



AGENDA
POWELL REGULAR COUNCIL MEETING
47 HALL STREET, POWELL, OH 43065
COUNCIL CHAMBERS
WEDNESDAY, MARCH 20, 2024
7:30 PM

Note: Date Change

I. CALL TO ORDER/ROLL CALL

II. PLEDGE OF ALLEGIANCE

III. CITIZEN PARTICIPATION

IV. APPROVAL OF MINUTES

- a. Approval of the Minutes from the City Council meeting held on March 5, 2024.
[03.05.2024 city-council_minutes_summary.pdf](#)

V. CONSENT AGENDA

- a. **Notice to Legislative Authority: Ohio Division of Liquor Control**
Transfer of Ownership to Gallops Powell, LLC, Suites A & B, 240 N. Liberty Street, Powell, Ohio 43065 from Gallos Tap Room Powell LLC, DBA, Gallos Tap Room, Suites A & B, 240 N. Liberty Street, Powell, Ohio 43065. Permit Classes: D1, D2, D3, D3A, D6
[1. MEMO Notice to Legislative Authority -Gallops Powell Transfer.pdf](#)
[2. Gallops Liquor Transfer.pdf](#)
- b. **Monthly Reports**
 - [1. Building Monthly Report.pdf](#)
 - [2. Police Monthly Report.pdf](#)
 - [3. Communications Monthly Report.pdf](#)
 - [4. Finance Monthly Report.pdf](#)
 - [5- Parks and Recreation Monthly Report.pdf](#)
 - [6. Public Service and Engineering Monthly Report.pdf](#)
 - [7. Planning and Zoning Monthly Report.pdf](#)

VI. RESOLUTIONS

- a. **RESOLUTION 2024-17**
A RESOLUTION ACCEPTING THE RECOMMENDATIONS OF THE CITY OF POWELL TAX INCENTIVE REVIEW COUNCIL ON THE STATUS OF THE 2023 COMMUNITY REINVESTMENT AREA, ENTERPRISE ZONE, AND TAX INCREMENT FINANCING PROGRAMS.
[1. MEMO Res 2024-17 TIRC.pdf](#)
[2. Res 2024-17 TIRC.pdf](#)
[3. 2023_TIF_Report.pdf](#)

VII. ORDINANCES: SECOND READING(S)

a. **ORDINANCE 2024-06**

AN ORDINANCE ACCEPTING THE ANNEXATION OF 6.357 ACRES, MORE OR LESS, LOCATED ALONG WEST OLENTANGY STREET, FROM LIBERTY TOWNSHIP TO THE CITY OF POWELL (PETITIONER: HORSEPOWER FARMS, LLC).

1. [Memo Ord. 2024-06, Horespower Farms annexation .pdf](#)
2. [Ord 2024-06 Horsepower annexation.pdf](#)
3. [12.22.2023 Granting of Prayer 6.357 Acres Annexation.pdf](#)
4. [Map Horsepower Farms.pdf](#)
5. [Certified Res. 2023-39 Annexation Horsepower Farms Res of Services and Petition.pdf](#)

b. **ORDINANCE 2024-07**

AN ORDINANCE APPROVING AN AMENDMENT TO THE ZONING MAP WITH A COMBINED PRELIMINARY AND FINAL DEVELOPMENT PLAN FROM THE LIBERTY TOWNSHIP FARM RESIDENCE DISTRICT TO THE CITY OF POWELL PLANNED RESIDENCE DISTRICT FOR A DEVELOPMENT FOR THE STORAGE OF BOATS, RECREATIONAL VEHICLES AND CARS AS A PERMITTED USE ON ±15.8 ACRES AT 4301 HOME ROAD (HORSEPOWER FARM).

1. [Memo Ord. 2024_07_Horsepower.pdf](#)
2. [Ord. 2024-07_Horsepower Farms Ordinance.pdf](#)
3. [Ord. 2024-07_Horsepower Farms History.pdf](#)
4. [Ord. 2024-07_Horsepower Farms Application.pdf](#)
5. [Ord. 2024-07_Horsepower Farms Plan.pdf](#)
6. [Ord. 2024-07_Horsepower Farms Compatibility Statement.pdf](#)
7. [Ord. 2024-07_Horsepower Farms Development Text.pdf](#)
8. [Ord. 2024-07_Horsepower Farms Plan Update.pdf](#)
9. [Ord. 2024-07_Horsepower Farms ZPDPFDP Correspondence.pdf](#)
10. [Horsepower Farms_ZPDPFDP.pdf](#)

VIII. ORDINANCES: FIRST READING(S)

a. **ORDINANCE 2024-11**

AN ORDINANCE AUTHORIZING THE CITY MANAGER TO ENTER INTO A DEVELOPMENT AGREEMENT WITH CSD POWELL, LLC, AN OHIO LIMITED LIABILITY COMPANY, AND DECLARING AN EMERGENCY.

1. [MEMO Ord 2024-11, CoHatch Dev Agree Scioto.pdf](#)
2. [Ord 2024-11, Development Agreement \[COHatch\].pdf](#)
3. [Powell - CoHatch Development Agreement - DRAFT - 3.12.2024 CLEAN - 4879-4869-5200.5.pdf](#)

IX. COMMITTEE REPORTS

Development Committee: Next Meeting: April 2, 2024 @ 6:30 p.m.

Finance Committee: Next Meeting: April 9, 2024 @ 6:30 p.m.

a. Discussion relating to Budget Allocation for Council Training

Operations Committee: Next Meeting: April 16, 2024 @ 5:30 p.m.

Planning & Zoning Commission: Next Meeting: April 10, 2024 @ 6:30 p.m.

Powell Development Corporation: Next Meeting: March 26, 2024 @ 6:30 p.m.

X. CITY MANAGER'S REPORT/CITY CALENDAR

- a. Motion to Support Use of Council Contingency Not to Exceed \$17,000.
- b. Calendar
 - [City Calendar March 2024.pdf](#)
 - [City Calendar April 2024 .pdf](#)

XI. OTHER COUNCIL MATTERS

- a. Discussion Relating to Charter Review Commission

XII. EXECUTIVE SESSION

- * Ohio Revised Code Section 121.22 (G) (3) pending or imminent litigation.
- * Ohio Revised Code Section 121.22 (G) (8) To consider confidential information related to negotiations with other political subdivisions regarding economic development.

XIII. ADJOURNMENT



**CITY COUNCIL
MEETING MINUTES
MARCH 5, 2024**

I. CALL TO ORDER/ROLL CALL

Mayor Tom Counts called the March 5, 2024 City Council meeting to order at 7:32 p.m. Councilmembers present included: Councilmember Christina Drummond (arrived at 7:44 p.m.), Councilmember Ferzan Ahmed, Councilmember David Lester, Councilmember Tyler Herrmann, Councilmember Leif Carlson, Vice-Mayor Heather Karr and Mayor Tom Counts. Staff present included Mallory Sribanditmongkol, Strategic Communications Officer; Jason Nahvi, Human Resources Manager; Sean Hughes, Economic Development Administrator; Grant Crawford, Public Service Director; Aaron Stanford, City Engineer; Ron Sallows, Police Chief; Yazan Ashrawi, City Attorney; Rosa Ocheltree, Finance Director; and Andrew White, City Manager.

II. PLEDGE OF ALLEGIANCE

III. CITIZEN PARTICIPATION

Mayor Counts opened citizen participation. The following individuals provided public comment:

Jecy Weber
Delaware County Emergency Management
10 Court Street
Delaware, Ohio

Jecy Weber provided a presentation to Council regarding the April 8, 2024, solar eclipse event. The presentation included safety precautions, expected traffic increases, and the pathway of the eclipse related to Ohio and the City of Powell area. Most of Delaware County will experience some sort of totality and the event is expected to bring in visitors. The County and City have been working together for the past couple of years to plan for population surges, traffic management and effects on local infrastructure.

Brittany Zoecklein, REHSII
Registered Environmental Health Specialist
2 Delaware Health District
470 South Sandusky Street
Delaware, Ohio

Brittany Zoecklein provided updates regarding the State of Ohio outside smoking guidelines for work environments.

Hearing no further public participation, Mayor Counts closed citizen participation.

IV. APPROVAL OF MINUTES

- a. Approval of the Minutes from the City Council meeting held on February 20, 2024.

MOTION: Vice-Mayor Heather Karr moved to approve the Minutes from the City Council meeting held on February 20, 2024. Councilmember David Lester seconded. Motion passed.

VOTE: Y-6 N-0 AB-1 (ABSTAIN: DRUMMOND)

V. CONSENT AGENDA

a. **RESOLUTION 2024-14**

A RESOLUTION AUTHORIZING THE POWELL POLICE DEPARTMENT TO ENTER INTO A MEMORANDUM OF UNDERSTANDING WITH DELAWARE COUNTY BOARD OF DEVELOPMENTAL DISABILITIES.

b. **RESOLUTION 2024-15**

A RESOLUTION AUTHORIZING THE CITY OF POWELL TO APPROVE THE DELAWARE FINAL PLAN FOR NEXT GENERATION 9-1-1.

MOTION: Vice-Mayor Heather Karr moved to approve the consent agenda. Councilmember David Lester seconded. Motion passed.

VOTE: Y-7 N-0 AB-0

VI. RESOLUTIONS

a. **RESOLUTION 2024-16**

A RESOLUTION AUTHORIZING THE CITY MANAGER TO ENTER INTO AN AGREEMENT WITH PRADCO TO CONDUCT A SWOT ANALYSIS AND EMPLOYEE TRAINING.

Mayor Tom Counts read Resolution 2024-16 into the record for the first time. City Manager Andrew White discussed this is like exercises that were completed last year by the police department, which then brought forward some retention and recruitment efforts that were successful within the last contract negotiations. This resolution is similar in scope and would review the organizational structure and focus on opportunities for improvement and look at additional training for team building. The cost for the SWOT analysis and report is \$27,000 and \$20,000 would be for team building training. Councilmember Christina Drummond requested more information regarding the team building exercises. Human Resource Manager Jason Nahvi provided they would want to see the results of the organizational structure and determine what exercises would be appropriate. These exercises would primarily focus on the leadership team and effective communication. Mayor Tom Counts opened Resolution 2024-16 for public comment. Hearing none, he closed public participation for Resolution 2024-16.

MOTION: Councilmember Ferzan Ahmed moved to approve Resolution 2024-16. Vice-Mayor Heather Karr seconded. Motion passed.

VOTE: Y-7 N-0 AB-0

VII. ORDINANCES: FIRST READING(S)

a. **ORDINANCE 2024-06**

AN ORDINANCE ACCEPTING THE ANNEXATION OF 6.357 ACRES, MORE OR LESS, LOCATED ALONG WEST OLENTANGY STREET, FROM LIBERTY TOWNSHIP TO THE CITY OF POWELL (PETITIONER: HORSEPOWER FARMS, LLC).

Mayor Tom Counts read Ordinance No. 2024-06 into the record for the first time. He did state that the discussion for Ordinance 2024-06 and Ordinance 2024-07 will be separate and will be read at a second reading. Law Director Yazan Ashrawi reviewed the annexation process, and that this ordinance is the final step. If the ordinance is not adopted, then the property will remain in the township. Mayor Tom Counts questioned if this was subject to a pre-annexation agreement. Law Director Yazan Ashrawi explained that the agreement in place is similar terms to previous agreements in which the rejection of the development plan would require the annexation to not be accepted and that both Ordinance 2024-06 and Ordinance 2024-07 would need approved for the annexation to continue. Mayor Tom Counts opened Ordinance 2024-06 for public comment, hearing none, he closed public participation. Councilmember Christina Drummond questioned the zoning around the subject site. Planning Manager Claudia Husak explained that the surrounding township properties are zoned Farmed Residential. City Manager Andrew White discussed the Sawmill Commercial TIF and discussions of expansions of the TIF which could have public improvements such as sidewalks. Ordinance 2024-06 will be presented for a second reading.

b. **ORDINANCE 2024-07**

AN ORDINANCE APPROVING AN AMENDMENT TO THE ZONING MAP WITH A COMBINED PRELIMINARY AND FINAL DEVELOPMENT PLAN FROM THE LIBERTY TOWNSHIP FARM RESIDENCE DISTRICT TO THE CITY OF POWELL PLANNED RESIDENCE DISTRICT FOR A DEVELOPMENT FOR THE STORAGE OF BOATS, RECREATIONAL VEHICLES AND CARS AS A PERMITTED USE ON ±15.8 ACRES AT 4301 HOME ROAD (HORSEPOWER FARM).

Mayor Tom Counts read Ordinance 2024-07 into the record for the first time. Planning Manager Claudia Husak reviewed the staff presentation and the recommendations received by the Planning and Zoning Commission. She identified the current Horsepower Farms property and the area requested area to be annexed. The request would be to combine the previous Horsepower Farms property and requested annexed property into one zoning district within the City of Powell to eliminate the Liberty zoning district. The applicant is requesting a zoning of Residence District, which allows the proposed use. She reviewed the process and timeline for the project and public input that was received and included in the minutes and packet. The applicant is requesting six additional buildings that will be similar to the current buildings. She discussed access to Steitz Road and the development plan in relation to the Comprehensive Plan.

APPLICANT:

Chip Vance
275 Oakham Court
Powell, Ohio

Chip Vance discussed working with the surrounding neighbors regarding landscaping and lighting. He discussed previous efforts to reduce the height of the building and increase the setback.

Councilmember Ferzan Ahmed questioned the height of the mound and if possible per staff recommendations. Chip Vance stated he will work with staff for clarification on the changes.

Councilmember Tyler Herrmann questioned the residential zoning if the units will not be lived in. Planning Manager Claudia Husak explained that the use proposed is permitted as a standalone and is the lowest intensity use.

Councilmember Christina Drummond also questioned the zoning and what other storage facilities are zoned in the City. Chip Vance discussed that this is different from other storage facilities as these are individually owned and modified inside. These could be an extension of the owners residences/homes. There are deed restrictions from being a primary residence and they are not permitted as a residence or business. She also questioned the results of the traffic study. Chip Vance stated that the first part of the development had a traffic study that showed 2 cars per hour for 63 units. The proposed site will be for 67 units and would expect to see 4 cars per hour.

Councilmember David Lester discussed that there is no outside storage. Chip Vance confirmed that the by-laws only allow items outside the units up to 72 hours.

Councilmember Leif Carlson questioned if the trees to the east of the property will remain. Chip Vance explained that the trees are not the property and would remain.

Mayor Tom Counts discussed the location of the power lines and would residential homes be allowed under them. Planning Manager Claudia Husak discussed that she is not aware of the regulations relating to power lines and residential homes underneath, as they are usually in an open space area, but that residents would generally prefer not to.

PUBLIC PARTICIPATION”

Brandon Cooke
7900 Steitz Road
Powell, Ohio

Brandon Cooke discussed that in the past he has been vocally opposed to the development but he has been working with Chip Vance on mounding for a physical barrier and possibly a retaining wall. He is hoping for a solution to the mounding prior to approval. Hearing no further comments, Mayor Tom Counts closed public participation.

Councilmember Leif Carlson discussed walking the site and looked at the auditor site regarding taxes paid to the school from the current Horsepower Farms Development and the benefit to have development that is not adding to student population. Ordinance 2024-07 will be presented for a second reading.

c. **ORDINANCE 2024-08**

AN ORDINANCE VACATING 0.150 ACRES PORTION, MORE OR LESS, OF CASE AVENUE AS A PUBLIC ROAD IN THE CITY OF POWELL, COUNTY OF DELAWARE, STATE OF OHIO.

Mayor Tom Counts read Ordinance 2024-08 into the record for the first time. City Manager Andrew White discussed that this legislative action is related to the conditions related to Encore Park development, which is to be developed on the parcel located at the northwest corner of Depot Street and East Case Avenue. As part of the development Case is no longer connected to cross the railroad tracks and no longer needs this strip of right-of-way and wishes to vacate it in order to facilitate the Encore Park project. There will be some loss of parking spaces, but the parking spaces were scattered without any authorization. There are opportunities to make long-term resolutions for parking and the extension of a roadway will provide some additional parking. Law Director Yazan Ashrawi also discussed the statute that

governs the vacation of unused road right-of-way and per the development plan will need to be vacated and should have been done previously. Mayor Tom Counts discussed that it is currently owned by the City and since it is being used for public purposes, it pays no property tax. The vacation would allow for the parcel to no longer be used for public purpose and would be paying taxes.

Councilmember Leif Carlson questioned if the City had committed the portion to the developer already. Planning Manager Claudia Husak answered that the intent was for the entirety of the right of way to be included in the zoning for the Encore Park development.

Councilmember Christina Drummond recognized that in previous planning documentation it has been slated as a road for the Encore Park Bend which would curve at the railroad track. There have been discussions of private roads under the public umbrella to streamline the efficiency of services and the maintenance of the road. She questioned why the City would take it from public to private to make into a road. Law Director Yazan Ashrawi answered that it is the understanding that not all of the 0.150 acres of right of way parcel will be a roadway. None of the roadway infrastructure within the development is going to be public and this provides consistency within the development. He discussed that the North Depot section will be dedicated back to the City as public. Planning Manager Claudia Husak further explained that there was no financial transaction between the two pieces, but giving up part of Case Avenue, the City will receive North Depot dedicated as public.

Mayor Tom Counts also discussed that the railroad would have to approve if the road was to cross the railroad tracks and that his understanding is that the railroad does not have an interest in additional crossings. City Manager White addressed that is their default position and that every intersection has a score rating. This area in specific has not safety measures in place and would be extremely expensive. He also discussed the option for quiet zone, but the variable that gets the highest index score is to vacate the intersection entirely. This is the safest way to protect the community from train traffic by the railroad rationale. Mayor Tom Counts also discussed the difference between public and private roads and since there is no crossing of the railroad tracks, it will not require public road specifications.

City Manager White answered Councilmember Ferzan Ahmeds questioned that the vacation of this property was part of the development agreement.

Councilmember Leif Carlson questioned if this site could have a dry tunnel under the tracks. City Manager Andrew White explained that previous conversations with CSX indicated this is not a priority for them due to maintenance requirements.

Mayor Tom Counts opened Ordinance 2024-08 for public comment. Hearing none, he closed public participation.

MOTION: Councilmember David Lester moved to suspend the rules for Ordinance 2024-08. Councilmember Ferzan Ahmed seconded. Motion passed.

VOTE: Y-6 N-1 (No: Carlson) AB-0

MOTION: Councilmember Ferzan Ahmed moved to approve Ordinance 2024-08. Vice-Mayor Heather Karr seconded. Motion passed.

VOTE: Y-6 N-0 AB-1 (Abstain: Carlson)

d. **ORDINANCE 2024-09**

AN ORDINANCE AUTHORIZING THE CITY MANAGER TO AWARD A BID TO IRONSITE, INC., IN THE AMOUNT OF \$834,447.74 FOR THE ADVENTURE PARK PICKLEBALL COURTS PROJECT AND DECLARING AN EMERGENCY.

Mayor Tom Counts read Ordinance 2024-09 into the record for the first time. City Manager discussed that this is for the construction of eight pickleball courts at Adventure Park. Public Service Director Grant Crawford reviewed the bidding process in which three bids were received, although one company did supply an incomplete bid for only the fence components of the projects. Ironsite, Inc. was the lowest and best bidder. Consultant EMH&T has worked previously with Ironsite in other communities and provides a good product.

Vice-Mayor Heather Karr questioned if EMH& T had worked on pickleball courts with Ironsite previously as a project and were the pickleball players consulted in the design. Public Service Director Grant Crawford discussed that the consultant and Ironsite had worked on pickleball courts previously and the resident players were consulted on the design.

Mayor Tom Counts questioned if the timing were discussed with the bidders. Public Service Director Grant Crawford clarified that the contract requires that the contract be completed within 140 days from initiation of contract. He anticipates that during the bid opening there may be some delays with electrical component materials, and this will be reviewed with the contractor. The goal is to get them open as soon as possible and to determine if they can be opened while waiting for some materials.

Mayor Tom Counts opened Ordinance 2024-09 for public participation. Hearing none, he closed public participation for Ordinance 2024-09.

MOTION: Councilmember David Lester moved to suspend the rules for Ordinance 2024-09. Councilmember Christina Drummond seconded. Motion passed.

VOTE: Y-7 N-0 AB-0

MOTION: Councilmember Heather Karr moved to approve Ordinance 2024-09. Councilmember David Lester seconded. Motion passed.

VOTE: Y-7 N-0 AB-0

Mayor Tom Counts discussed that this was the first project that meets the goals that were first set.

e. **ORDINANCE 2024-10**

AN ORDINANCE AUTHORIZING THE CITY MANAGER TO AWARD A BID TO STRAWSER PAVING COMPANY, INC., IN THE AMOUNT OF \$2,215,398,20, FOR THE 2024 STREET AND PATH MAINTENANCE PROJECT, AND DECLARING AN EMERGENCY.

Mayor Tom Counts read Ordinance 2024-10 into the record for the first time. City Manager Andrew White recognized staff efforts to get the bid out early and that it will also

include wide array of work to street and paths maintenance. City Engineer Aaron Stanford discussed the goal to get this out as early as possible and was able to get it out about a month earlier compared to last year. To date, this program is the highest amount spent on the street maintenance program. The program is divided into roadway maintenance improvements, bike trail reconstruction and guardrail improvements. He reviewed the bidding process. Strawser Paving was the lowest and best bid and had previously done work in the City. He provided an overview of the work to be done and program communications. The City and Contractor will work to ensure that information regarding the Program is communicated to residents to help lessen the impact from the maintenance. He highlighted that there was a focus on the school route system for bike and pedestrian trail connections.

Councilmember Christina Drummond discussed the need to get communication regarding path maintenance as they will be used heavily when school is out of session. She also recognized that there was an unencumbered project balance of \$284,601.00 and would there be potential for future legislation for other proposed bids. City Engineer Aaron Stanford discussed the possibility of smaller types of improvements that the City could get a head of for the 2025 program. He also discussed that construction funding for 2025 is not available until January 2025 and looking at trends of other communities on the bid process. Other communities are breaking the bid into smaller phases.

Councilmember Leif Carlson questioned if the path maintenance is broken into different groups and is this based on historical precedence. Public Service Director Grant Crawford answered that staff was looking at the lowest rated paths and while comparable to last year's maintenance it was not structured solely to last year's funding.

Mayor Tom Counts opened Ordinance 2024-10 for public participation. Hearing none, he closed public participation.

MOTION: Councilmember David Lester moved to suspend the rules for Ordinance 2024-10. Councilmember Christina Drummond seconded. Motion passed.

VOTE: Y-7 N-0 AB-0

MOTION: Councilmember Christina Drummond moved to approve. Councilmember David Lester seconded. Motion passed.

VOTE: Y-7 N-0 AB-0

VIII. COMMITTEE REPORTS

Development Committee: Next Meeting: April 2, 2024 @ 6:30 p.m.

Councilmember Ferzan Ahmed provided a review of the Development Committee meeting held on March 5, 2024.

Finance Committee: Next Meeting: March 12, 2024 @ 7:00 p.m.

Operations Committee: Next Meeting: March 20, 2024 @ 5:30 p.m. (Note Date Change D/T Election Primaries)

Councilmember Christina Drummond reviewed that there was an Eclipse Presentation and preliminary planning for the Charter Review process and how to document the Operations Committee structure and charter. There were two new members introduced at the previous meeting, that had served on CDAC previously. Mayor Tom Counts provided that the next meeting for Operation Committee and the City Council meeting will be on Wednesday, March 20. This date change is related to the primary elections on March 19.

Planning & Zoning Commission: Next Meeting: March 13, 2024 @ 6:00 p.m. (Note Time Change)

Councilmember David Lester discussed hearing cases for Horsepower Farms, COHatch. Economic Development Administrator Sean Hughes discussed that staff is working to finalize the development agreement for COHatch. Councilmember David Lester also discussed the plan to review rules and meeting procedures for all members.

Powell Development Corporation: Next Meeting: March 26, 2024 @ 6:30 p.m.

Economic Development Administrator Sean Hughes reviewed the Economic Development Business Expansion Grant program and that it is performance based and how it can help small businesses, as well as larger businesses. Mayor Tom Counts also discussed that there was a presentation from Brightstone.

IX. CITY MANAGER'S REPORT/CITY CALENDAR

a. 2024-2025 Council Goal Strategy and Action Plan

City Manager Andrew White reviewed the draft goal strategy and took the six goals and listed them in order of City Council. This is staff interpretation on what objectives went under each goal. There were some objectives that could be consolidated. He discussed how the software can track objectives and action plans.

Councilmember Christina Drummond discussed that without the action items it was hard to determine if the goals were achievable. She requested more specific details to determine if the objectives are completed or not. City Manager Andrew White also specified that this is a fluid document and things can be added to the list.

Vice-Mayor Heather Karr reviewed the document and was looking at goal number six and the longest list of objectives. She discussed that some of the finance functions may need to be moved to different goals.

Councilmember Ferzan Ahmed voiced a concern that there is a lot of information provided and does staff have the ability to work on all of it.

Councilmember Tyler Herrmann thanked staff for the work and feels some progress was made. He looks forward to next steps.

Mayor Tom Counts would also like to see more specific objectives and actions. He discussed looking at the objectives to number six. He felt that the number one priority would have more specific objectives. Councilmember Christina Drummond discussed looking at operational vs. strategic. City Manager acknowledged that the objectives were all items that were spoken about in the Work Session.

b. March Calendar

X. OTHER COUNCIL MATTERS

Councilmember Tyler Herrmann discussed attending a town hall meeting regarding State Route 315 and banning truck traffic. City Manager White discussed that there is a proposed elimination of 315 connection to State Route 23 by ODOT.

Councilmember Christina Drummond discussed that she recently attended a State of School event. She also discussed that she was late for the meeting due to a ban concert at the schools and she discussed the high attendance at the concert. She recommended that during summer planning of events consider reaching out to schools for performances.

Councilmember Leif Carlson requested follow-up and solutions for Pupp-A-Razzi regarding parking. Planning Manager Claudia Husak and Economic Development Administrator Sean Hughes met with Dan McClurg earlier today regarding these concerns and he discussed looking at additional parking on the south end of Depot. Staff continues to work with Dan McClurg.

XI. EXECUTIVE SESSION

- * Ohio Revised Code Section 121.22 (G)(1) Personnel - to consider the appointment for boards and commissions.
- * Ohio Revised Code Section 121.22 (G) (8) To consider confidential information related to negotiations with other political subdivisions regarding economic development.

Mayor Tom Counts requested to add for potential litigation on concerns brought up at the COMMA meeting.

MOTION: Councilmember Christina Drummond moved to enter executive session pursuant to Ohio Revised Code Section 121.22 (G)(1) Personnel - to consider the appointment for boards and commissions, Ohio Revised Code Section 121.22 (G) (8) To consider confidential information related to negotiations with other political subdivisions regarding economic development, and Ohio Revised Code Section 121.22 (G) (3) to discuss imminent litigation. Councilmember David Lester seconded. Motion passed.

VOTE: Y-7 N-0 AB-0

Council entered executive session at 9:33 p.m. pursuant to to Ohio Revised Code Section 121.22 (G)(1) Personnel - to consider the appointment for boards and commissions, Ohio Revised Code Section 121.22 (G) (8) To consider confidential information related to negotiations with other political subdivisions regarding economic development, and Ohio Revised Code Section 121.22 (G) (3) to discuss imminent litigation. Councilmembers present included: Councilmember Christina Drummond; Councilmember Ferzan Ahmed, Councilmember David Lester, Councilmember Tyler Herrmann, Councilmember Leif Carlson, Vice-Mayor Heather Karr and Mayor Tom Counts. Staff present included Jason Nahvi, Human Resources Manager; Sean Hughes, Economic Development Administrator Yazan Ashrawi, City Attorney; and Andrew White, City Manager.



From: Andrew D. White, City Manager
To: City Council
Re: Notice to Legislative Authority of a Transfer of Ownership Request to Gallops Powell LLC, suites A & B, 240 N. Liberty Street, Powell, Ohio 43065.
Date: March 20, 2024

Summary:

The City of Powell received a Notice to Legislative Authority (“Notice”) from the Ohio Division of Liquor Control for a Transfers of Ownership at same location to Gallops Powell LLC, a business located at 240 N Liberty Street, Suites A & B, Powell Ohio from Gallos Tap Room Powell LLC, DBA, Gallos Tap Room pursuant to Ohio Revised Code (“ORC”) 4303.26. As the location of the business is located within the corporate limits of the City of Powell and their request for D1, D2, D3, D3A and D6 permits are required.

The Ohio Division of Liquor Control, and not the City, holds the authority to determine if the business is the type of business eligible to receive a liquor permit. Powell may request a hearing regarding the advisability of the issuance, transfer of ownership, or transfer of location of the permit. Staff is not recommending a hearing.

Legal Review:

The Law Director has reviewed this item and does not recommend Council take any formal action.

Financial Review:

None required.

Recommendation:

Based on the review by the Law Director, Staff does not recommend requesting a hearing in this matter. Regardless of whether Council desires to request a hearing, the Notice must be signed and returned to the Ohio Division of Liquor Control no later than March 22, 2024.

NOTICE TO LEGISLATIVE AUTHORITY

OHIO DIVISION OF LIQUOR CONTROL
6606 TUSSING ROAD, P.O. BOX 4005
REYNOLDSBURG, OHIO 43068-9005
(614)644-2360 FAX(614)644-3166

TO

3018814 TRFO GALLOPS POWELL LLC
PERMIT NUMBER TYPE SUITES A & B
ISSUE DATE 02 01 2024 240 N LIBERTY ST
FILING DATE 02 09 2024 POWELL OH 43065
PERMIT CLASSES D1 D2 D3 D3A D6
TAX DISTRICT 21 055 B RECEIPT NO. F30868

FROM 02/20/2024

3018931 GALLOS TAP ROOM POWELL LLC
PERMIT NUMBER TYPE DBA GALLOS TAP ROOM
ISSUE DATE 02 01 2024 SUITES A & B
FILING DATE 02 09 2024 240 N LIBERTY ST
PERMIT CLASSES D1 D2 D3 D3A D6 POWELL OH 43065
TAX DISTRICT 21 055 RECEIPT NO.



MAILED 02/20/2024

RESPONSES MUST BE POSTMARKED NO LATER THAN. 03/22/2024

IMPORTANT NOTICE

PLEASE COMPLETE AND RETURN THIS FORM TO THE DIVISION OF LIQUOR CONTROL
WHETHER OR NOT THERE IS A REQUEST FOR A HEARING.

REFER TO THIS NUMBER IN ALL INQUIRIES B TRFO 3018814

(TRANSACTION & NUMBER)

(MUST MARK ONE OF THE FOLLOWING)

WE REQUEST A HEARING ON THE ADVISABILITY OF ISSUING THE PERMIT AND REQUEST THAT
THE HEARING BE HELD [] IN OUR COUNTY SEAT. [] IN COLUMBUS.

WE DO NOT REQUEST A HEARING. []

DID YOU MARK A BOX? IF NOT, THIS WILL BE CONSIDERED A LATE RESPONSE.

PLEASE SIGN BELOW AND MARK THE APPROPRIATE BOX INDICATING YOUR TITLE:

(Signature)

(Title)- [] Clerk of County Commissioner

(Date)

[] Clerk of City Council

[] Township Fiscal Officer

CLERK OF POWELL CITY COUNCIL
47 HALL ST
POWELL OHIO 43065



Department of
Commerce

Division of Liquor Control

com.ohio.gov

Mike DeWine, Governor Jon Husted, Lt. Governor Sherry Maxfield, Director

Dear Local Legislative Authority Official:

Please find enclosed the legislative notice that is being sent to you regarding the applied for liquor permit as captioned on the notice. You **must**, within 30 days from the "mailed" date listed on the notice under the bar code:

- Notify the Division whether you object and want a hearing; or
- Ask for your one-time only, 30-day extension.
 - Any requests for a one-time, 30-day extension will be reviewed by the Division upon timely receipt. If granted, your additional 30-days runs from the expiration of the original 30-day period.

To be considered **timely**, your above response **MUST** be faxed, emailed, or mailed to the Division no later than the postmark deadline date stated on the form. To speed up processing times and reduce paper, the Division respectfully asks that you either fax or email your response. Please send your response to:

FAX: (614) 644 – 3166

EMAIL: Liquordocs@com.ohio.gov

MAIL: Ohio Division of Liquor Control
Attn: Licensing Unit
6606 Tussing Road
PO Box 4005
Reynoldsburg, Ohio 43068-9005

To find out who has disclosed an ownership interest in the permit application to us you can:

- Visit com.ohio.gov/liquorinfo. Select the "Search who has disclosed an ownership interest" tab. Where asked, enter the permit number listed on the legislative notice; or
- Contact your police department or county sheriff (if you are a township fiscal officer or county clerk). We also sent them detailed ownership information to review for any criminal background issues involving the disclosed persons.

We have resources for you at com.ohio.gov/govhelp. Never miss out on when renewal objections are due! Sign-up for our emails at com.ohio.gov/stayinformed.

Thank you in advance for your cooperation,

Division Licensing Section

(rev. 12/29/2023)

Building Department

March 2024 Monthly Report



EXECUTIVE SUMMARY

Issued Permits by Permit Type

02/01/2024 - 02/29/2024

Commercial Alteration	Permits Issued	Valuation	Fees Paid
Commercial Alteration	3		\$1,542.94
Subtotals:	3		\$1,542.94

Commercial One Stop	Permits Issued	Valuation	Fees Paid
A/C Furnace Permit - Commercial	1	\$20,000.00	\$309.00
Roof Alteration/Repair Permit - Commercial	1		\$103.00
Subtotals:	2	\$20,000.00	\$412.00

Engineering	Permits Issued	Valuation	Fees Paid
Driveway/Walkway Permit	1		\$50.00
Subtotals:	1		\$50.00

Residential Alteration	Permits Issued	Valuation	Fees Paid
Basement Remodel	2		\$1,332.80
Patio Permit	1		\$40.00
Residential Addition	4		\$2,372.00

Residential Alteration	2		\$620.05
Solar Voltaic Panels - Residential	1	\$25,830.00	\$640.95
Swimming Pool / Hot Tub - Residential	1		\$594.50
Subtotals:	11	\$25,830.00	\$5,600.30
Residential New	Permits Issued	Valuation	Fees Paid
1, 2, & 3 Family Dwelling	2		\$5,960.54
Accessory Structure - Residential	1	\$48,500.00	\$356.53
Subtotals:	3	\$48,500.00	\$6,317.07
Residential One Stop	Permits Issued	Valuation	Fees Paid
A/C Furnace Permit - Residential	10	\$92,480.81	\$1,717.00
Electrical Permit - Residential	1	\$1,600.00	\$101.00
Roof Alteration/Repair Permit - Residential	5	\$96,504.57	\$378.75
Subtotals:	16	\$190,585.38	\$2,196.75
Zoning	Permits Issued	Valuation	Fees Paid
Fence Permit	1		\$40.00
Miscellaneous Zoning Permit	2		\$80.00
Utility - Work in ROW Permit	2		\$700.00
Subtotals:	5		\$820.00
Totals:	41	\$284,915.38	\$16,939.06

Jurisdiction Building Performance Report

POW - Powell

Date Range: 02/01/2024 - 02/29/2024

Inspection Activity	Residential				Commercial				One Stop	Other	Zoning	Total
	Residential New	Residential Alteration	Residential Miscellaneous	Residential One Stop	Commercial New	Commercial Alteration	Commercial Miscellaneous	Commercial One Stop				
	Number of Inspections	86	52	0	17	1	23	0	0	0	0	0

Conditional Occupancy Log				
Contractor Name	Address	Permit #	Date Sent	Expiration
PULTE	4560 COYOTE CROSSING	22POW-RB00066	12/27/2022	6/27/2023
PULTE	4654 FOX TAIL CIRCLE	22POW-RB00072	2/1/2023	8/1/2023
PULTE	4656 COYOTE CROSSING	22POW-RB00099	3/30/2023	9/30/2023
PULTE	8125 WOLF PATH DRIVE	22POW-RB00107	4/17/2023	10/17/2023
R&H	9268 ADVOCET DRIVE	22POW-RB00068	4/20/2023	10/20/2023
PULTE	8193 SMITHS CIRCLE	22POW-RB00119	5/11/2023	11/11/2023
PULTE	4538 RUPPERT TRAIL	22POW-RB00083	5/22/2023	11/22/2023
PULTE	8112 JOSHUA WAY	22POW-RB00118	6/15/2023	12/15/2023
PULTE	4518 COYOTE CROSSING	22POW-RB00126	6/26/2023	12/26/2023
PULTE	8138 JOSHUA WAY	22POW-RB00129	6/26/2023	12/26/2023
PULTE	8195 SMITHS CIRCLE	22POW-RB00130	7/13/2023	1/13/2024
PULTE	8184 SMITHS CIRCLE	22POW-RB00131	7/13/2023	1/13/2024
PULTE	8146 JOSHUA WAY	23POW-RB00025	9/1/2023	3/1/2024
PULTE	4620 COYOTE CROSSING	23POW-RB00021	9/19/2023	3/16/2023
PULTE	8197 SMITHS CIRCLE	23POW-RB00033	9/28/2023	3/28/2024
PULTE	4532 COYOTE CROSSING	23POW-RB00041	10/20/2023	4/19/2024
PULTE	8203 JOSHUA WAY	23POW-RB00040	10/20/2023	4/19/2023
PULTE	8164 JERRY DRIVE	23POW-RB00049	11/17/2023	5/17/2024
PULTE	8123 JOSHUA WAY	23POW-RB00045	11/21/2023	5/21/2024
PULTE	8145 SMITHS CIRCLE	23POW-RB00059	1/29/2024	7/29/2024
PULTE	4341 HAROLD DRIVE	23POW-RB00070	2/22/2024	8/22/2024

Statistics

- Calls for Service, 1,420
- Dispatched Calls, 258
- Police Reports, 41
- Adult Arrests, 3
- Juvenile Arrests, 0
- Traffic Stops, 93
- Traffic Citations (including crashes), 14
- Traffic Crashes, 22
- False Alarms, 36
- House Watches, 34
- Preventative Patrols, 71
- Stacked Calls, 6

Response Time

- Response time from dispatch to arrival on scene was 5.28 minutes.

Training

The department completed 155 hours of training:

- Police Executive Leadership College (PELC)
- Delaware County Emergency Operations Center Manual
- Powell PD Continuity of Operations Plan
- Marijuana Update
- LEADS TAC

Use of Force

- There were no uses of force.

Crisis Intervention Team

- There were no calls for the Crisis Intervention Team.

Community Engagement

- Three child safety seats installed.

Recruiting

- Three certified officers were sworn in, and one recruit was sent to Academy.

Executive Summary

Council goal for 2024

Improving City operations by way of efficiency, prudent financial management and communications

Ongoing projects

1. Plan, promote and host inaugural State of the City event.
2. Continue 2024 website redesign project.
 - a. Establish e-communication sign-up fields and lists
 - b. Test templates for e-newsletter
 - c. Develop all necessary city forms
 - d. Rewrite page content throughout site
3. Develop quarterly newsletter template and first issue content.
 - a. Plan for second edition, focusing on the 2024 Powell Festival
4. Finalize digital events guide, in partnership with 614 Media.
5. Compile content for 2023 annual report.
6. Assist with ACFR and PAFR design.
7. Continue bi-weekly e-newsletter.
8. Test monthly mailed City Council meeting recaps.

Department updates

- The website project is now in the design, development and testing phase. The initial design, wireframe and sitemap have been approved.
- We have distributed the first round of invitations to Powell's first State of the City event. We hope you will join us Wed., April 3 at the Columbus Zoo and Aquarium's Africa Event Center. Staff continues to plan an interesting and robust event program, featuring local businesses as speakers, local desserts from area bakeries, and a gift to attendees fulfilled from local provider Artina Promotions.
- An annual content calendar and posting plan scaffolding has been developed.
- Mallory Sribanditmongkol has accepted another opportunity and will be leaving the City on Wed., March 20. She will be joining People in Need, Inc. of Delaware County as Director of Community Engagement.

Year-over-year social media growth

Primary account followers, March 2023-March 2024

- Facebook: 10,637 -> 11,686 (+1,049, or 10%)
- Instagram: 4,665 -> 5,288 (+623, or 13%)
- LinkedIn: 1,100 -> 1,720 (+620, or 56%)
- Nextdoor: 4,233 -> 4,638 (+405, or 10%)

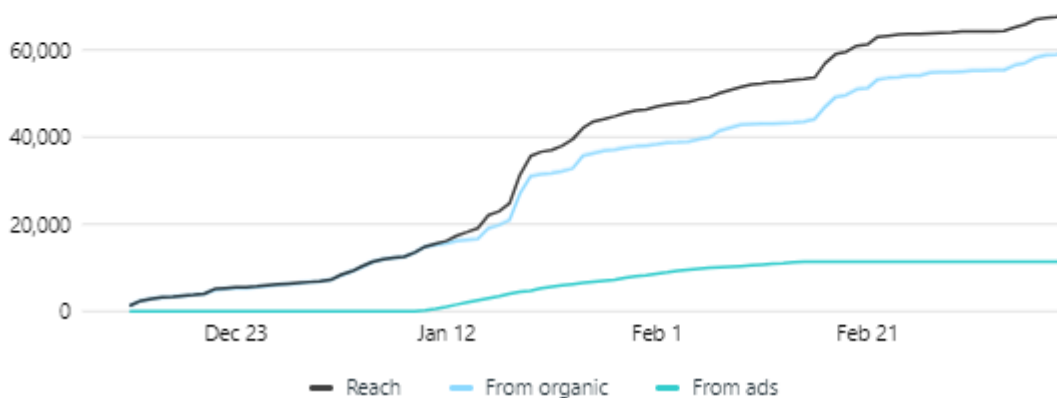
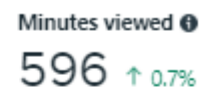
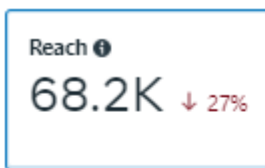
Analytic updates

Social media followers, March 2024

- Facebook:
 - City of Powell – 11,686 (+396)
 - Parks and Recreation – 3,451 (+111)
- Instagram: 5,288 (+165)
- LinkedIn: 1,720 (+395)
- Nextdoor: 4,638 (+190)
- X/Twitter: 4,218 (+25)
- Threads: 747 (+225)

Reach is down due to fewer social media advertisements run this quarter.

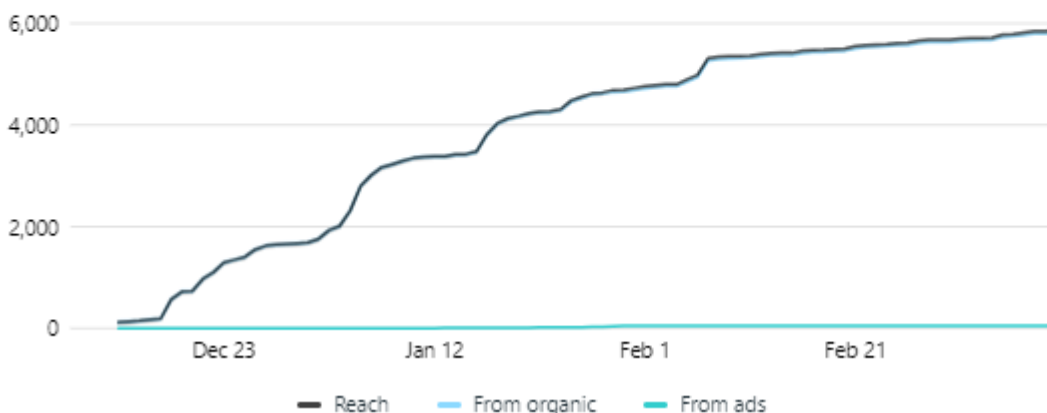
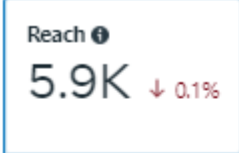
Facebook



Reach breakdown

Total	68,198 ↓ 27%
From organic	59,613 ↓ 30.6%
From ads	11,457 ↓ 30.9%

Instagram



Reach breakdown

Total	5,853 ↓ 0.1%
From organic	5,816 ↑ 2.2%
From ads	45 ↓ 72.7%

LinkedIn

Engagement rate ▾



Department of Finance

February 2024 Financial Report



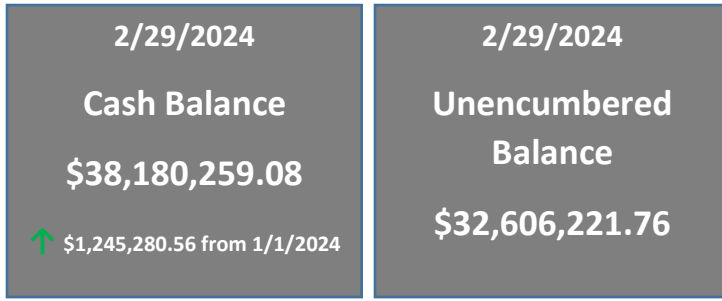
Executive Report

Revenue Source	<u>Original</u> Budget 2024	<u>Revised</u> Budget 2024	<u>Actual to Date</u> February 2024	% of Revised Budget
Prior Year Fund Balance	\$ 19,000,000.00	\$ 21,106,589.40	\$ 21,106,589.40	
Prior Year General Fund Reserve	\$ 1,980,000.00	\$ 1,980,000.00	\$ 1,980,000.00	
Total Prior Year Carryforward Balance	\$ 20,980,000.00	\$ 23,086,589.40	\$ 23,086,589.40	
Taxes, assessments, & related revenue	\$ 20,072,540.00	\$ 19,960,349.38	\$ 2,878,122.82	14.4%
Local revenue	\$ 33,600.00	\$ 33,600.00	\$ 3,628.25	10.8%
Development related revenue	\$ 686,970.00	\$ 686,970.00	\$ 112,539.98	16.4%
Other revenue	\$ 659,740.00	\$ 659,740.00	\$ 217,406.36	33.0%
Total Operating Revenue	\$ 21,452,850.00	\$ 21,340,659.38	\$ 3,211,697.41	15.0%
Total Available Funds	\$ 42,432,850.00	\$ 44,427,248.78	\$ 26,298,286.81	59.2%
Expenditure Source	<u>Adopted</u> Budget 2024	<u>Revised</u> Budget 2024	<u>Actual to Date</u> February 2024	% of Revised Budget
Personnel	\$ 8,634,150.00	\$ 8,634,150.00	\$ 1,295,527.08	15.0%
Operating Expenses	\$ 4,190,355.00	\$ 4,190,355.00	\$ 485,284.49	11.6%
Prior Year Remaining Encumbrances		\$ 921,953.76		
Operating Expenditures	\$ 12,824,505.00	\$ 13,746,458.76	\$ 1,780,811.57	13.0%
Excess (deficiency) of operating revenues over operating expenditures	\$ 8,628,345.00	\$ 7,594,200.62	\$ 1,430,885.84	
Capital Equipment	\$ 1,982,310.00	\$ 1,982,310.00	\$ 46,704.73	2.4%
Transfers	\$ 7,602,600.00	\$ 7,602,600.00	\$ 1,320,000.00	17.4%
Addition to 27th Payroll Reserve	\$ 20,000.00	\$ 20,000.00	\$ 20,000.00	100.0%
Addition to Comp Abs Reserve	\$ 20,000.00	\$ 20,000.00	\$ 20,000.00	100.0%
Advances				
Additional to reserve fund balance	\$ 870,000.00	\$ 870,000.00	\$ -	0.0%
Contingencies	\$ 50,000.00	\$ 50,000.00	\$ -	0.0%
Nonoperating Expenditures	\$ 10,544,910.00	\$ 10,544,910.00	\$ 1,406,704.73	13.3%
Total Expenditures	\$ 23,369,415.00	\$ 24,291,368.76	\$ 3,187,516.30	13.1%
Excess (deficiency) of revenue over all expenditures	\$ (1,916,565.00)	\$ (2,950,709.38)	\$ 24,181.11	
Ending Year General Fund	\$ 19,063,435.00	\$ 20,135,880.02	\$ 21,130,770.51	
Ending Year General Fund Reserve	\$ 2,850,000.00	\$ 2,850,000.00	\$ 1,980,000.00	
Total Current Year Unexpended Balance	\$ 21,913,435.00	\$ 22,985,880.02	\$ 23,110,770.51	
Total Available Funds	\$ 42,432,850.00	\$ 44,427,248.78	\$ 26,298,286.81	

16.6% = Target expenditure and revenue collection rate.

Quick Facts

ALL FUNDS



GENERAL FUND (GF)



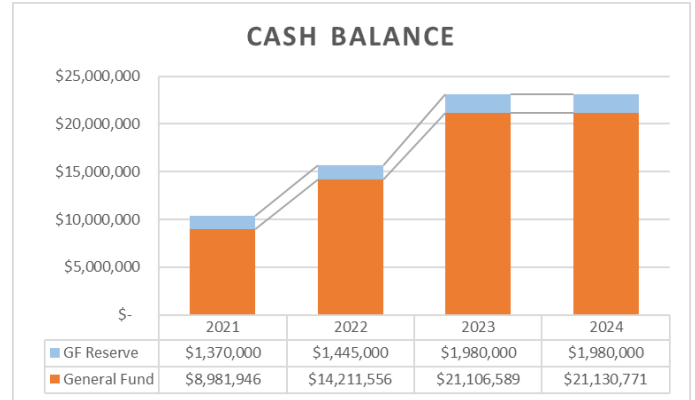
General Fund Highlights

The General Fund balance = **\$23,110,770.51**. This figure includes the general reserve fund. The unencumbered balance of

\$19,103,595.12 is 147% of the 5-yr GF revenue average;

- \$12.6M over the short-term range (50%)
- \$9.7M over the fiscally prudent range (75%)

Per the Fund Balance Policy, excess funds over the fiscally prudent range may be allocated to capital improvements.

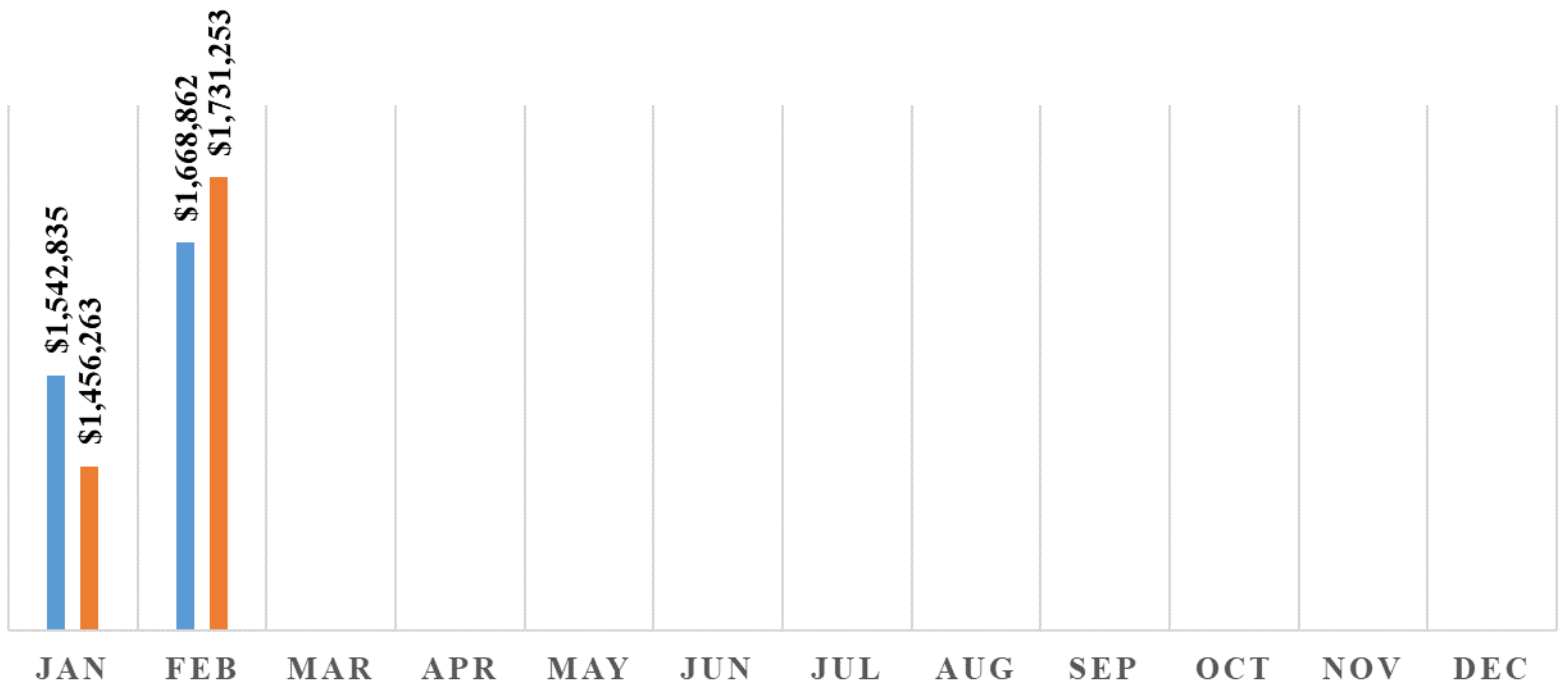


General Fund Cash Flow Analysis

Total GF Revenue: **\$3,211,697**

Total GF Expenditures: **\$3,187,516**

Net Cash Flow: **\$24,181**



YTD Revenue as of February 2024 decreased by \$1,320,526, or 29.1%, compared to February 2023. If we exclude ARPA funds received in 2023, YTD revenue increased by \$86,113.

Year-to-Date General Fund Cash Position

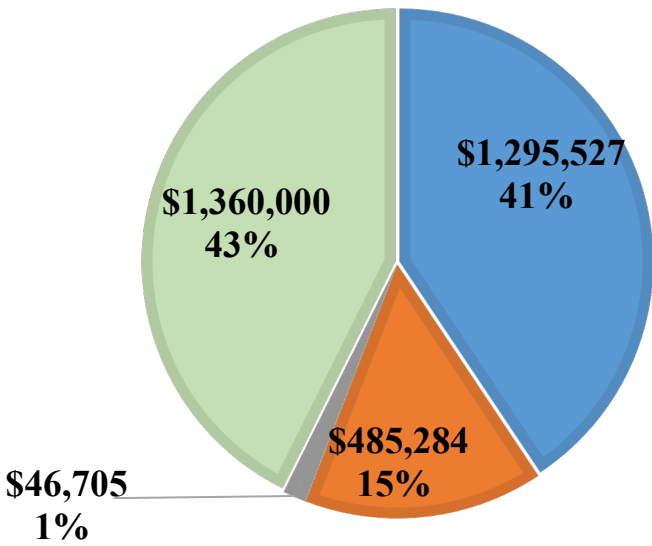
Month	Revenues	Expenditures	Transfers	2024 Net	Liquidity	2023 Net	Change
January	\$ 1,542,835	\$ 771,263	\$ 685,000	\$ 86,572	\$ 771,572	\$ 478	↑ \$ 86,094
February	\$ 1,668,862	\$ 1,056,253	\$ 675,000	\$ (62,391)	\$ 612,609	\$ 1,759,081	↓ \$ (1,821,472)
March	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 211,177	---
April	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 573,138	---
May	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 2,053,158	---
June	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 350,254	---
July	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 711,322	---
August	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,269	---
September	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 80,056	---
October	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 675,099	---
November	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 164,358	---
December	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 315,643	---
Total	\$ 3,211,697	\$ 1,827,516	\$ 1,360,000	\$ 24,181	\$ 1,384,181	\$ 2,543,874	↓ \$ (1,735,378)

All Funds - Cash Position

Description	Beg. Balance	Net Change	End. Balance
100 - GENERAL FUND	\$ 21,106,589	\$ 24,181	\$ 21,130,771
101 - GENERAL FUND RESERVE	\$ 1,980,000	\$ -	\$ 1,980,000
105 - CORMA FUND	\$ 183,384	\$ -	\$ 183,384
110 - 27TH PAYROLL RESERVE FUND	\$ 149,977	\$ 20,000	\$ 169,977
111 - COMPENSATED ABSENCES RESERVE FUND	\$ 24,356	\$ 20,000	\$ 44,356
210 - MUNICIPAL MOTOR VEHICLE LICENSE FUND	\$ 143,416	\$ 10,984	\$ 154,400
211 - STREET CONSTRUCTION MAINTENANCE & REPAIR FUND	\$ 1,504,681	\$ 551,815	\$ 2,056,496
221 - STATE HIGHWAY IMPROVEMENT	\$ 412,576	\$ 14,605	\$ 427,180
231 - RIGHT OF WAY FUND	\$ -	\$ 120,000	\$ 120,000
241 - PARKS & RECREATION	\$ 912,369	\$ 28,239	\$ 940,609
251 - FEMA GRANT FUND	\$ -	\$ -	\$ -
252 - ARPA GRANT FUND	\$ -	\$ -	\$ -
260 - CORONAVIRUS RELIEF FUND	\$ -	\$ -	\$ -
264 - ODNR GRANT	\$ -	\$ -	\$ -
265 - LAW ENFORCEMENT ASSISTANCE FUND	\$ 20,114	\$ 19,431	\$ 39,546
266 - AMERICAN RESCUE PLAN ACT - CORONAVIRUS LOCAL	\$ -	\$ -	\$ -
267 - ONEOHIO OPIOID SETTLEMENT SPECIAL REVENUE FUND	\$ -	\$ -	\$ -
271 - LAW ENFORCEMENT FUND	\$ 15,092	\$ 82	\$ 15,174
281 - DRUG LAW ENFORCEMENT	\$ 5,524	\$ -	\$ 5,524
290 - SPECIAL PROJECTS FUND	\$ -	\$ -	\$ -
291 - BOARD OF PHARMACY-LAW ENFORCEMENT	\$ 7,306	\$ -	\$ 7,306
292 - POWELL FESTIVAL FUND	\$ -	\$ -	\$ -
295 - P&R REC. PROGRAMS	\$ 276,286	\$ (23,253)	\$ 253,033
296 - VETERAN'S MEMORIAL FUND	\$ 8,741	\$ -	\$ 8,741
297 - SPECIAL EVENTS	\$ -	\$ -	\$ -
298 - POLICE CANINE SUPPORT FUND	\$ 19,741	\$ -	\$ 19,741
310 - SELDOM SEEN TIF DEBT SERVICE FUND	\$ 47	\$ -	\$ 47
311 - CAPITAL IMPROVEMENTS BOND	\$ 5,147	\$ -	\$ 5,147
315 - REFUNDING BONDS, SERIES 2010	\$ -	\$ -	\$ -
317 - GOLF VILLAGE DEBT SERVICE FUND	\$ -	\$ -	\$ -
318 - VOTED PARK IMPROVEMENT DEBT SERVICE FUND	\$ -	\$ -	\$ -
319 - POLICE FACILITY DEBT SERVICE	\$ 2,649	\$ -	\$ 2,649
321 - POWELL CIFA DEBT SERVICE	\$ -	\$ -	\$ -
451 - DOWNTOWN TIF PUBLIC IMPROVEMENT	\$ 3,219,805	\$ (12,000)	\$ 3,207,805
452 - DOWNTOWN TIF HOUSING RENOVATION	\$ 31,063	\$ -	\$ 31,063
453 - SELDOM SEEN TIF PUBLIC IMPROVEMENTS FUND	\$ -	\$ -	\$ -
455 - SAWMILL CORRIDOR COMM IMPR TIF	\$ 1,391,758	\$ -	\$ 1,391,758
470 - SANITARY SEWER AGREEMENTS	\$ 36,194	\$ (36,194)	\$ -
491 - CAPITAL PROJECTS FUND	\$ 4,129,716	\$ 616,338	\$ 4,746,054
492 - VILLAGE DEVELOPMENT FUND	\$ 348,343	\$ 21,778	\$ 370,121
493 - MURPHY PARKWAY CONSTRUCTION FUND	\$ -	\$ -	\$ -
494 - VOTED CAPITAL IMPROVEMENT FUND	\$ 35,107	\$ -	\$ 35,107
496 - OLENTANGY/LIBERTY ST INTERSECTION	\$ -	\$ -	\$ -
497 - SELDOM SEEN TIF PARK IMPROVEMENTS FUND	\$ 262,420	\$ -	\$ 262,420
498 - ROADWAY IMPROVEMENT MIDDLEBURY CROSSING	\$ -	\$ -	\$ -
910 - UNCLAIMED FUNDS FUND	\$ 860	\$ -	\$ 860
911 - FLEXIBLE BENEFITS PLAN FUND	\$ 106	\$ -	\$ 106
912 - HEALTH REIMBURSEMENT ACCOUNT	\$ -	\$ -	\$ -
991 - BOARD OF BUILDING STANDARDS	\$ 1,291	\$ 1,707	\$ 2,998
992 - ENGINEERING INSPECTIONS FUND	\$ 664,641	\$ (134,959)	\$ 529,682
993 - PLUMBING INSPECTION FUND	\$ -	\$ -	\$ -
994 - ESCROWED DEPOSITS FUND	\$ 33,614	\$ -	\$ 33,614
996 - FINGERPRINT PROCESSING FEES	\$ 2,067	\$ 2,526	\$ 4,592
Grand Total	\$36,934,979	\$1,245,281	\$ 38,180,259

Total Expenditures by Categories = \$3,187,516

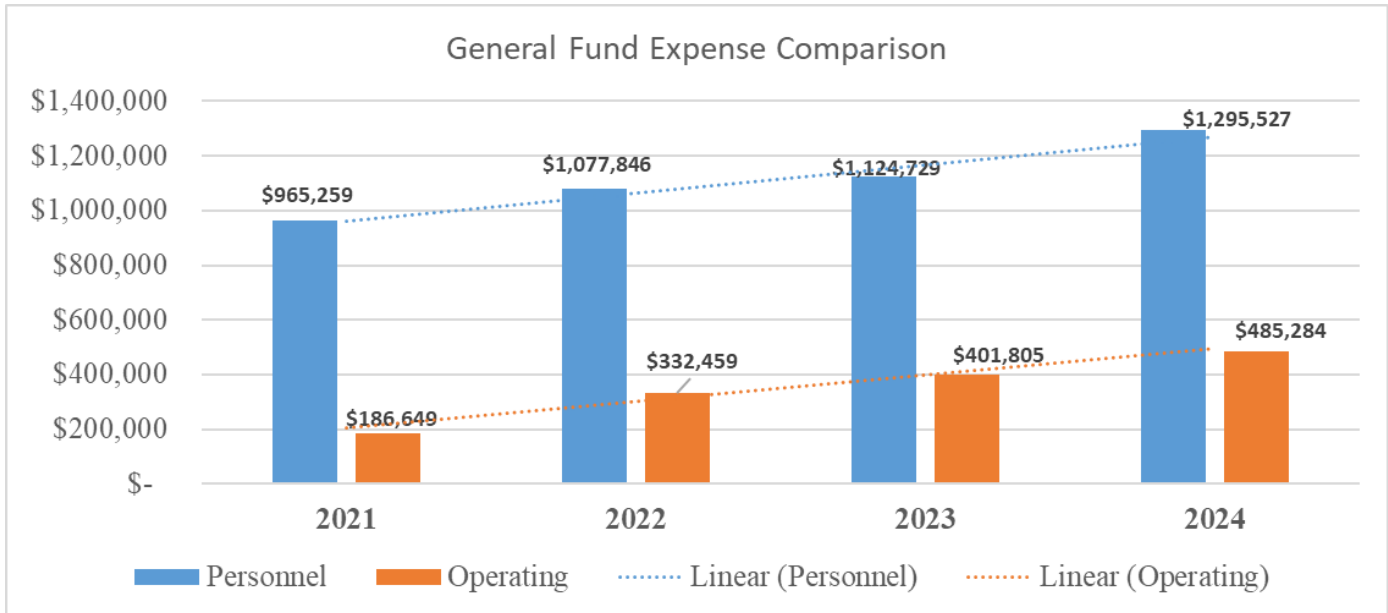
■ Personnel ■ Operating ■ Capital ■ Advances ■ Transfers



Anticipated percentage of expenditures = 16.6% of budget

- At month-end, **personnel expenses** were 15.0% of the budget, a favorable variance of \$137,742, or 1.6%. The favorable variance is due to our annual healthcare premium holiday and vacancy credits.
- **Operating expenses** ended at 11.6% of the budget, a favorable variance of \$210,314 or 5.0%. Savings were primarily captured in contracted services, computer maintenance, and legal services.
- **Capital expenses** were 2.4% of the budget, a favorable variance of \$282,359, or 14.2%. Variance is due to the timing of capital equipment purchases and building improvements.
- **Transfers** are 17.4% of the budget. The Finance Director will execute transfers based on fund liquidity, fund balances, and timing of debt expenses.

General Fund Expense Comparison



Personnel and operating expenditures are \$1,780,812. This reflects an increase of 16.7% from the previous year.

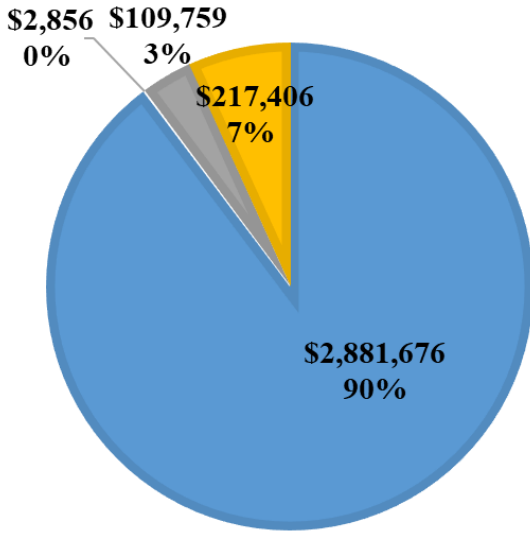
Personnel expenses are up 15% compared to 2023, but are within budgeted amounts for 2024.

Notable Activity for the month:

- Fleet purchases = \$142,056 (three police cruisers)
- Income tax collection fees = \$44,461
- Legal services = \$25,662
- Software and subscriptions = \$19,827

Total Revenues by Type = \$3,211,697

■ Taxes & Assessments ■ Local ■ Development ■ Other



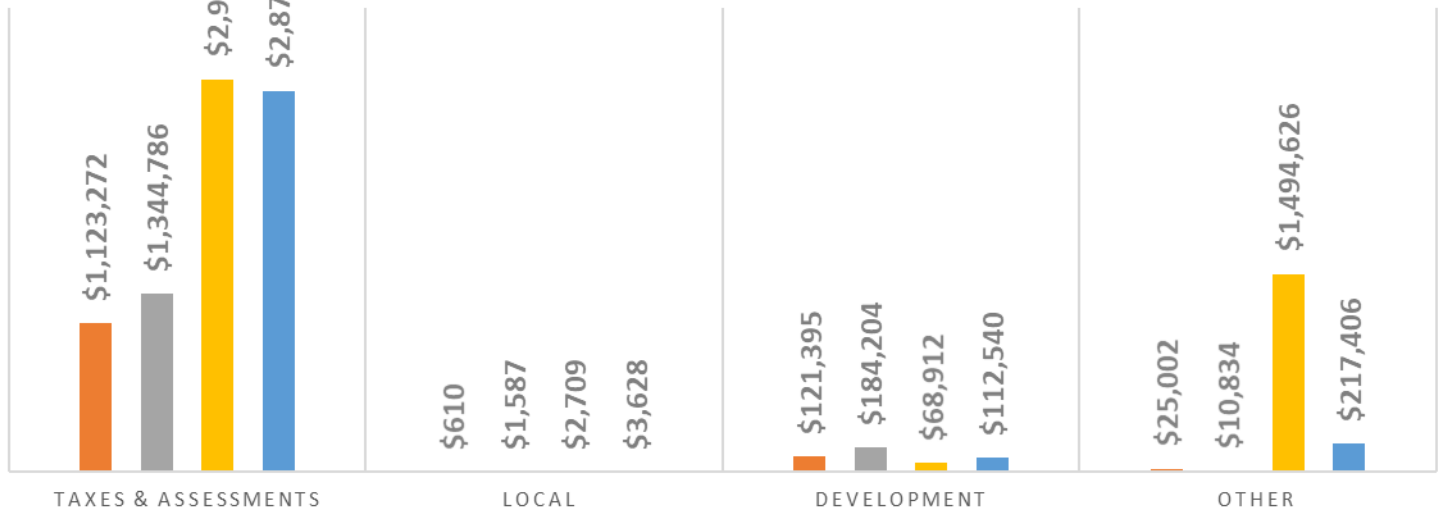
Anticipated percentage of revenues = 16.6% of the budget

Total revenues are 15.0% of the budget, an unfavorable variance of \$330,852.

- **Taxes and Assessments** revenues are 14.4% of the budget, an unfavorable variance of \$435,295. See the next page for additional information.
- **Local revenues** are 10.8% of the budget, an unfavorable variance of \$1,949.
- **Development-related revenues** are 16.4% of the budget, an unfavorable variance of \$1,497.
- **Other revenue** shows a favorable variance of \$107,889 related to interest earnings 26% of budget.

GENERAL FUND REVENUES COMPARISON

■ 2021 ■ 2022 ■ 2023 ■ 2024

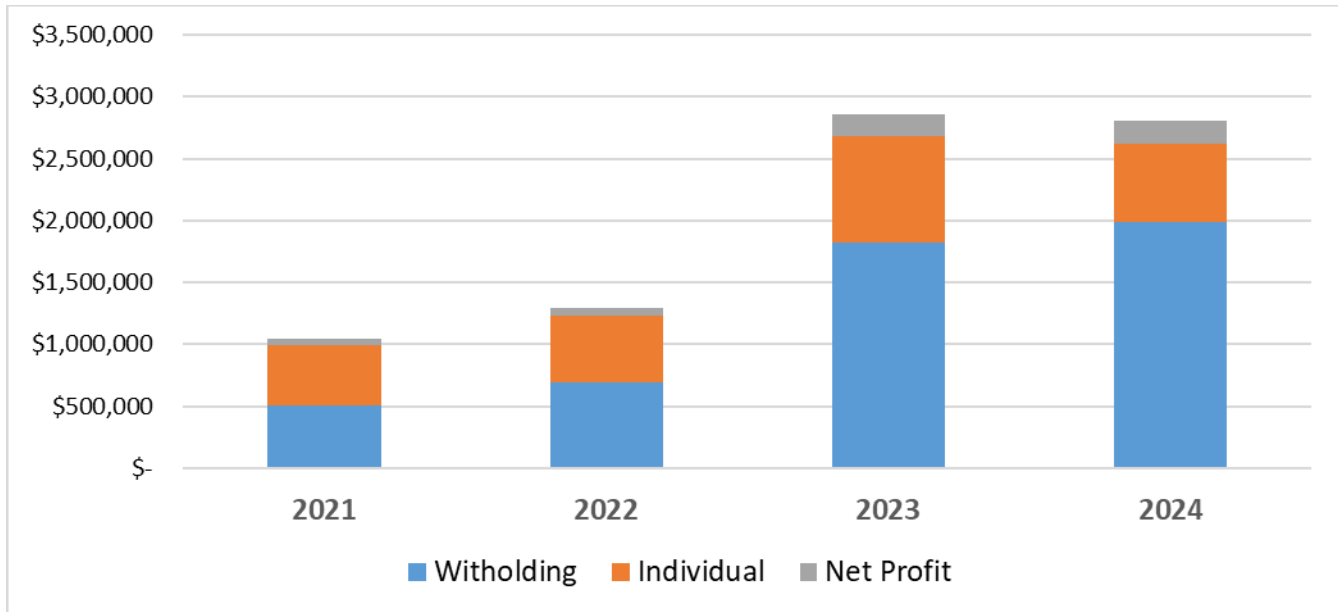


Notable Activity for the month:

- Income Tax = \$1,454,775
- Development related revenue = \$59,792 (primarily commercial building permits & residential building fees)
- Interest Earnings = \$116,514
- Local government taxes, permits and franchise fees = \$29,296
- See the next page for detailed tax information

As of February 2024, YTD income tax receipts totaled \$2,807,284, an unfavorable variance of 1.9%, or \$55,576, compared to 2023 tax receipts. 2024 tax receipts are 15.0% of the \$18,700,000 budgeted income tax revenue (including the fee reconciliation payment), just shy of the 16.6% goal for February.

Income Tax Comparison



	2021	2022	2023	2024	%Change
Withholding	\$ 506,383	\$ 692,981	\$ 1,825,323	\$ 1,982,719	
Individual	\$ 491,055	\$ 541,809	\$ 853,519	\$ 633,159	
Net Profit	\$ 47,221	\$ 56,363	\$ 184,018	\$ 191,406	
Total	\$ 1,044,659	\$ 1,291,153	\$ 2,862,860	\$ 2,807,284	-2%

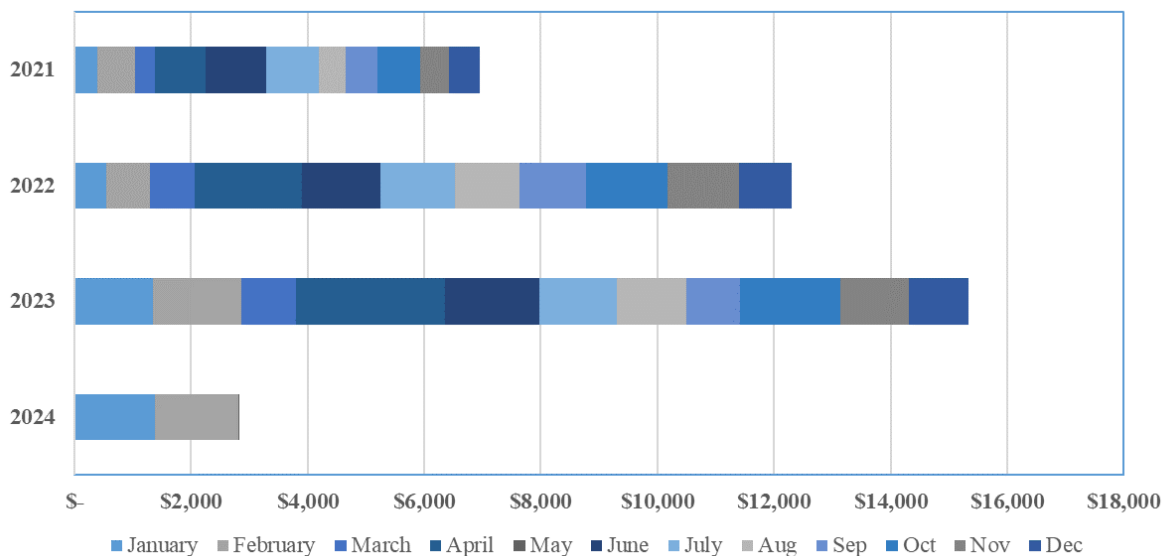
Comparing YTD Feb 2024 to Feb 2023

- Withholding collections ↑ by 8.62% or \$157,396
- Individual collections ↓ by 25.8% or \$220,360
- Net Profit collections ↑ by 4.0% or \$7,388

Comparing Feb 2024 to Jan 2024

- Withholding collections ↑ by 16.3% or \$149,024
- Individual collections ↓ by 10.8% or \$36,143
- Net Profit collections ↓ by 42.5% or \$51,718

Income Tax Receipts by Month (in Thousands)



City of Powell Operating Account

PORTFOLIO SUMMARY

As of February 29, 2024

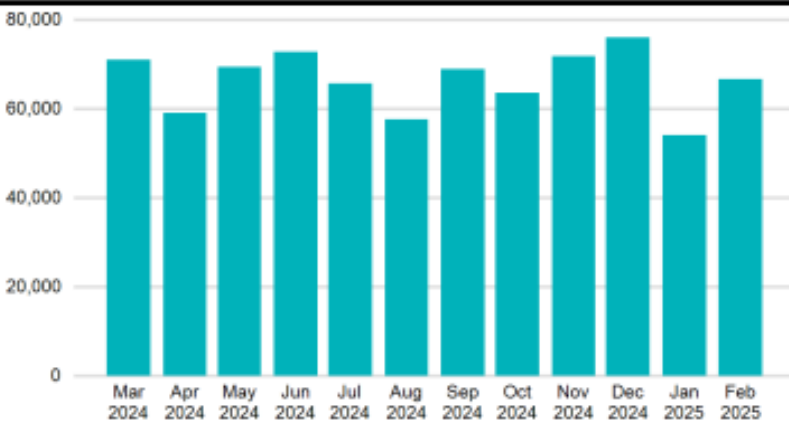
MONTHLY RECONCILIATION

Beginning Book Value	27,702,638.78
Contributions	
Withdrawals	
Prior Month Management Fees	(2,029.92)
Prior Month Custodian Fees	(230.24)
Realized Gains/Losses	342.00
Gross Interest Earnings	53,709.87
Ending Book Value	27,754,430.49

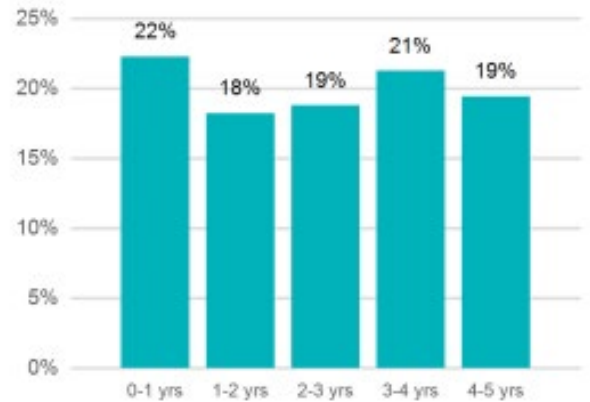
PORTFOLIO CHARACTERISTICS

Portfolio Yield to Maturity	3.43%
Portfolio Effective Duration	2.29 yrs
Weighted Average Maturity	2.49 yrs

PROJECTED MONTHLY INCOME SCHEDULE



MATURITY DISTRIBUTION



Market Rates as of 2/29/2024 (Provided by Meeder Investment Management)

	Yesterday	Last Week	Last Year
GDP (\$0-\$25MM)	3.98%	3.98%	2.75%
STAR Ohio	5.48%	5.47%	4.81%
2 Yr T Note	4.70%	4.69%	4.81%
5 Yr T Note	4.32%	4.33%	4.18%

Parks and Recreation Department

March 2024 Monthly Report

EXECUTIVE SUMMARY

2/1/24 – 2/29/24

February brought exciting events, accomplishments, and awards to the Parks and Recreation Department

- OPRA Marketing Innovation Award
 - Melissa Hindman and Gina Kolp accepted the OPRA Marketing Innovation Award at the OPRA Annual Conference.
 - Caught Being Cool was a summer marketing initiative in partnership with Handel's Ice Cream. Coupons were given to park users by Public Service staff to acknowledge their patronage of our parks, and their commitment to unplugging and connecting with friends and family to lead healthy lifestyles.
 - Public Service staff were able to meet and speak with the community. They took the opportunity to highlight their work, city maintenance projects, and park improvements. Children were delighted to investigate their vehicles, tools and learn about their jobs.
 - 13 agencies throughout the state of Ohio were recognized for their excellence, and awards were determined by a judging team of peers.



- 3rd Friday Chocolate Walk

Despite a mini blizzard, the community enjoyed the Chocolate Walk on Friday, February 16th. Eleven downtown locations were paired with local bakeries to provide chocolate treats to the first 100 visitors. Locations included: The City of Powell, PeachTree Street, Lohcally Artesian Chocolates, Cute as a Button, Huli Huli, Kimberly's Diamond Corner, Board and Brush, Buzzed Bull Creamery, Zen Hen, Finn & Roe and Local Roots. Bakeries included Sweet Tooth Cottage, Mrs. Turbo's Cookies, Beehive Bread, Giant Eagle Catering, Lohcally Artesian Chocolates, Buzzed Bull Creamery, Aladdin's, Monte Carlo, and The Buckeye Lady. Huli Huli offered a specialty cocktail that was part of the DORA.

- *Adventure Park Playground Improvement*

Invasive and overgrown landscaping at the Adventure Park playground was cleared and removed. Alternative surfacing for the area is being investigated to reduce invasive growth and provide a safe surface for natural play.

- *Baseball/Softball Diamond Improvement Project*

We have started the process of renovating three baseball/softball diamonds at two parks (Library/Seldom Seen). Fields will be laser graded, new top dressing will be applied, infield lips will be removed, drainage will be improved, and bases/pitching areas will be replaced. We expect to hire a contractor to perform this work within the next month so the fields are ready for spring and summer play.

- *Parks Master Plan and Facility Assessment*

City staff met with the consulting team in February to review the information provided during the data request. The information provided is specific to the City of Powell and includes information on existing programs, budgets, previous improvements, previous studies (community attitude survey, etc), and much more. MKSK and the consulting team will continue to use and develop the information throughout the process.

Next Milestone: MKSKs consultant will begin working on developing the statistically valid survey. A park tour is also scheduled with the entire consulting team in March.

Public Service and Engineering Department

March 2024 Monthly Report

EXECUTIVE SUMMARY

2/1/24 – 2/29/24

PROJECT AND ACTIVITY LISTING

- 2024 Street and Path Maintenance Program

The Program was awarded via approval by the City Council on 3/5/2024. This \$2,200,000 program will be the largest in City history.

Next Milestone: Preconstruction meeting.

- North Depot Street Reconstruction Project

Design ongoing. Met with designer and performed site walk with City staff to review current design.

Next Milestone: Design to continue to 30% submission.

- OSU Wexner Medical Center

The plans have been completely approved and a preconstruction meeting is scheduled for March 13th with OSU staff and the construction team.

Next Milestone: Preconstruction meeting on March 13th.

- Redwood Development

The plan review is completed and the mylars are proceeding through the signature process. The first phase of work will be tree clearing and mass grading which should occur in late February.

Next Milestone: Construction to start soon, demo work, including tree clearing and grading, has started.

- North Depot Street Extension / Encore Development

Tree clearing has been completed. Sanitary plans are approved and this phase of work is to start in early March. The public street plan and private improvement plan mylars are being submitted for final signatures.

Next Milestone: Sanitary sewer construction.

- Engineering Inspections and Plan Reviews

- 24 Inspections completed in February 2024
- 34 Plan reviews completed in February 2024

- MORPC Activities

- Active Transportation Committee Q1 Meeting (2-28-2024)
- Money Mondays
- Complete Streets Policy Update Working Group
 - Revised Complete Streets Policy review comment period ended.

- OSA Pool Evaluation and Feasibility Study

The building condition assessment and the pool condition assessment have been completed. A survey has been developed and shared with OSA Board members for review.

Next Milestone: OSA is planning to send out the survey to member late Spring early summer. The board has elected to delay the survey to ensure it does not conflict with their very important yearly membership process. OSA does understand that this will have an impact on the timeline and is working to expedite the survey as much as they can. The consultant is working through the financial costs associated with correcting any deficiencies noted in the assessment. Send out the survey to OSA Pool members.

- Fleet Management

We have begun specing vehicles and equipment replacements with support from our Fleet consultant. The goal is to right size the specialized equipment to maximize its use. We want to try to use equipment throughout the entire year by updating the models and ensure they have the right attachments

Next Milestone: Obtain quotes from vendors for replacement of current vehicles and equipment.

- Fleet Software (FleetIO)

We have begun the implementation process of the city's first Fleet Management Software. Compass Direct is assisting the city with data entry and the creation of maintenance intervals. Met with Service and PD staff to review maintenance intervals and create inspection forms.

Next Milestone: We will begin deployment of the software to staff including training and field testing.

- Adventure Park Pedestrian Tunnel

The city's consultant completed structural façade inspections of the CSX tunnel in late 2023. Hydraulic analysis and review of the drainage and FEMA floodplain are still being analyzed. A draft report has been completed and will require additional input on the stormwater component in 2024

Staff met with CSX's governmental liaison in January to review active and pending CSX projects. We have since scheduled a meeting with CSX Engineer on February 15th to review the analysis and receive direction on the next steps.

- SR750 CSX Crossing Improvement Project

Following approval by the City Council to enter into an agreement with CSX to facilitate the improvements, the City signed the agreement and sent it to CSX for execution. CSX noted that execution can take at least 3 weeks and to check back in 3 weeks.

Next Milestone: Check in with CSX at the 3-week mark, which is March 6th, if we have not received the agreement.

- Adventure Park Pickleball Courts

The Adventure Park Pickleball Courts project was awarded via approval by the City Council on 3/5/2024. The lowest and best bid was submitted by Ironsite, Inc. for \$834,447.74

Next Milestone: Preconstruction meeting to be scheduled.

- Snow and Ice Event Review

Crews responded to 2 winter weather events in January on 2/16/24 and 2/23/24.

The event on February 16th hit the region much harder than originally anticipated. The storm ended, producing around 7 inches of snow within about 4 hours. We adjusted our operations on the spot to run one long shift with all available team members. The adjusted operation allowed us to maximize our available resources and were able to get the roads completely cleared before the morning commute.

COMMUNITY DEVELOPMENT DEPARTMENT

March 2024 Monthly Report



EXECUTIVE SUMMARY

BOARD OF ZONING APPEALS

2/7/2024
Cancelled

3/7/2024
Cancelled

PLANNING AND ZONING COMMISSION

2/15/2024

PRELIMINARY DEVELOPMENT PLAN (Case 2024-01PDP)

Applicant: Matt Davis, c/o John Fleming, Tim Lai Architect
Location: 50 East Olentangy Street, Parcels 21942513055000 and 3194251305600
Zoning: DB - Downtown Business District
Request: A request for review and approval of a preliminary development of a new building and site improvements for a .64-acre site on the north side of East Olentangy Street, east of Liberty Street to construct a co-working facility with a rooftop bar.
Status: Approved

SKETCH PLAN (Case 2024-02SP)

Applicant: Burkhold RE, LLC, Rebecca Burkholder, c/o Sands Decker, Scott Sands P.E.
Location: 419 West Olentangy Street
Zoning: PC – Planned Commercial District
Request: A request for review and feedback for a ± 2,7000 SF expansion to a daycare facility at 419 West Olentangy Street, on the south side of West Olentangy Street, east of Sawmill Parkway.
Status: Feedback Given

ZONING MAP AMENDMENT

PRELIMINARY/FINAL DEVELOPMENT PLAN (2024-03Z/PDP/FDP)

Applicant: Chip Vance, Horsepower Farms, LLC c/o Craig Moncrief, Esq. Plank Law Firm
Location: 4301 Home Road
Zoning: FR- Farm Residence District (Liberty Township)
Request: A request for review and recommendation of approval to City Council of a zoning map amendment with a combined Preliminary and Final Development Plan from the Liberty Township Farm Residence District to the City of Powell Planned Residence District for a development for the storage of boats, recreational vehicles and cars as a permitted use on ±15.8 acres at 4301 Home Road, on the south side of Home Road, west of Steitz Road.
Status: Recommended for Approval to City Council

3/13/2024

PRELIMINARY AND FINAL DEVELOPMENT PLAN (Case 2024-04PDP/FDP)

Applicant: Drew & Michele DiMaccio

Location: 150 West Case Avenue

Zoning: PC – Planned Commercial District

Request: Review and approval of a preliminary and final development plan for a new commercial space at the corner of West Case Avenue and Lincoln Street owned by Drew & Michele DiMaccio. The site is zoned PC – Planned Commercial District and consists of ±.403-acre.

Status: Tabled until architectural advisor comments can be addressed in more detail

HISTORIC DISTRICT ADVISORY COMMISSION

3/27/2024

CERTIFICATE OF APPROPRIATENESS (Case 2024-05CA)

This is a request for review and approval of a proposed single-family residence at 55 Scioto Street. The applicants are the property owners, David and Deborah Apseloff, represented by Carbon Homes. The site is 0.172-acre and is zoned DR – Downtown Residence District.

CERTIFICATE OF APPROPRIATENESS (Case 2024-06CA)

This is a request for review and feedback for the potential demolition and reconstruction of the Dr. Campbell House at 147 West Olentangy Street. The applicant is Randall Woodings with Kontogiannis and Associates and the site is zoned DB – Downtown Business District.

CERTIFICATE OF APPROPRIATENESS (Case 2024-07CA)

This is a request for review and approval of architectural changes to an approved residential development to allow options for roof top patios. The site is 2.43 acres at the current northern terminus of Deport Street and the applicant is Grand Communities, LLC. The site is zoned DB – Downtown Business District.

CODE ENFORCEMENT REPORT

Violations notices were sent to businesses along East Olentangy Street requesting repairs to fences.

NOTEWORTHY

- New HDAC members were on-boarded.
- Staff has been working with residents in Morris Station to finalize landscape installation prior to the developer turning the HOA over to the residents.
- Jacob Bon, the new Zoning Inspector, has been on-boarded.
- The Planning and Zoning Commission, at the March 13, 2024 meeting, reviewed the Rules and Regulations, adopted in 2023, specifically to discuss meeting conduct, public testimony and making motions.



From: Andrew D. White, City Manager
To: City Council
Initiated By: Sean Hughes, Economic Development Administrator
Re: Resolution 2024-17 - A RESOLUTION ACCEPTING THE RECOMMENDATIONS OF THE CITY OF POWELL TAX INCENTIVE REVIEW COUNCIL ON THE STATUS OF THE 2023 COMMUNITY REINVESTMENT AREA, ENTERPRISE ZONE, AND TAX INCREMENT FINANCING PROGRAMS.
Date: March 20, 2024

Summary:

City of Powell is required, under Ohio Revised Code Sections 3735.69 and 5709.68 to submit an annual report regarding the status of each Agreement by March 31, to the Director of the Ohio Development Services Agency.

To maintain and continue commercial and residential tax exemptions/abatement (Enterprise Zone, Community Reinvestment Area and Tax Increment Financing Agreements), authorized per the Ohio Revised Code and City Resolutions and Ordinances, the City of Powell legislative authority must appoint a Tax Incentive Review Council (TIRC). The TIRC annually reviews and makes recommendations to City Council to continue, modify or terminate each tax abatement agreement. City Council's decisions to accept or change the TIRC's recommendations are annually reported to the Ohio Department of Development no later than March 31.

Legal Review:

Approval of this legislation will ensure the City's compliance with its statutory requirements with respect to the various tax increment financing district,

Financial Review:

The Finance Director, City Manager and Vice-Mayor were present at the TIRC meeting to support the continuation of all TIF Districts.

Recommendation:

For Tax Year 2023, the City of Powell did not have any active Community Reinvestment Area (CRA) tax abatements, therefore, the Tax Incentive Review Council did not review any CRAs. Staff will need to complete an area report in the Ohio Department of Development's electronic reporting system. The TIRC did review the three (3) active TIF areas and found each to be in compliance and recommended continuance of these TIF areas and associated TIF agreements.

The TIRC and staff recommends that City Council accept and approve the findings of the 2024 Tax Incentive Review Council.



RESOLUTION 2024-17

A RESOLUTION ACCEPTING THE RECOMMENDATIONS OF THE CITY OF POWELL TAX INCENTIVE REVIEW COUNCIL ON THE STATUS OF THE 2023 COMMUNITY REINVESTMENT AREA, ENTERPRISE ZONE, AND TAX INCREMENT FINANCING PROGRAMS.

WHEREAS, the purpose of the Powell City Community Reinvestment Area (CRA), Enterprise Zone (EZ) and Tax Increment Financing (TIF) Programs (Programs) is to provide the community with an effective tool for managing and guiding economic development by enhancing the tax base, encouraging, and sustaining long term investment in the community, enhancing the quality of life, and preserving existing and attracting new business investment with said Programs; and

WHEREAS, in accordance with Ohio Revised Code Section 5709.85, the duly appointed Powell City Tax Incentive Review Council (TIRC) met on March 7, 2024, and reviewed the status of each active agreement within the Programs and developed recommendations to continue, modify, terminate or expire each active agreement; and

WHEREAS, the City of Powell is required, under Ohio Revised Code Sections 3735.69 and 5709.68 to submit an annual report regarding the status of each agreement within the Programs by March 31st of each year to the Director of the Ohio Department of Development.

NOW THEREFORE BE IT RESOLVED BY THE CITY OF POWELL, COUNTY OF DELAWARE, STATE OF OHIO, AS FOLLOWS:

Section 1: The review and recommendations identified in the attached TIRC March 7, 2024, Meeting Minutes, [NAME OF ROSA'S REPORT for TIFS] are accepted by this Council.

Section 2: The City Manager is directed to forward to the Director of the Ohio Department of Development and all other appropriate entities, the attached reports, accepted recommendations and all other information as required pursuant to Ohio Revised Code Sections 3735.69 and 5709.68.

Section 3: It is hereby found and determined that all formal actions of this Council concerning and relating to the passage of this Resolution were adopted in an open meeting of Council and that all deliberations of Council and any of the decision-making bodies of the City of Powell, which resulted in such formal actions, were in meetings open to the public in compliance with all legal requirements of the City of Powell, Delaware County, Ohio.

Tax Increment Financing (TIF) Districts

Powell Commercial District 90-024

Seldom Seen TIF 90-029

Downtown Powell TIF 90-011

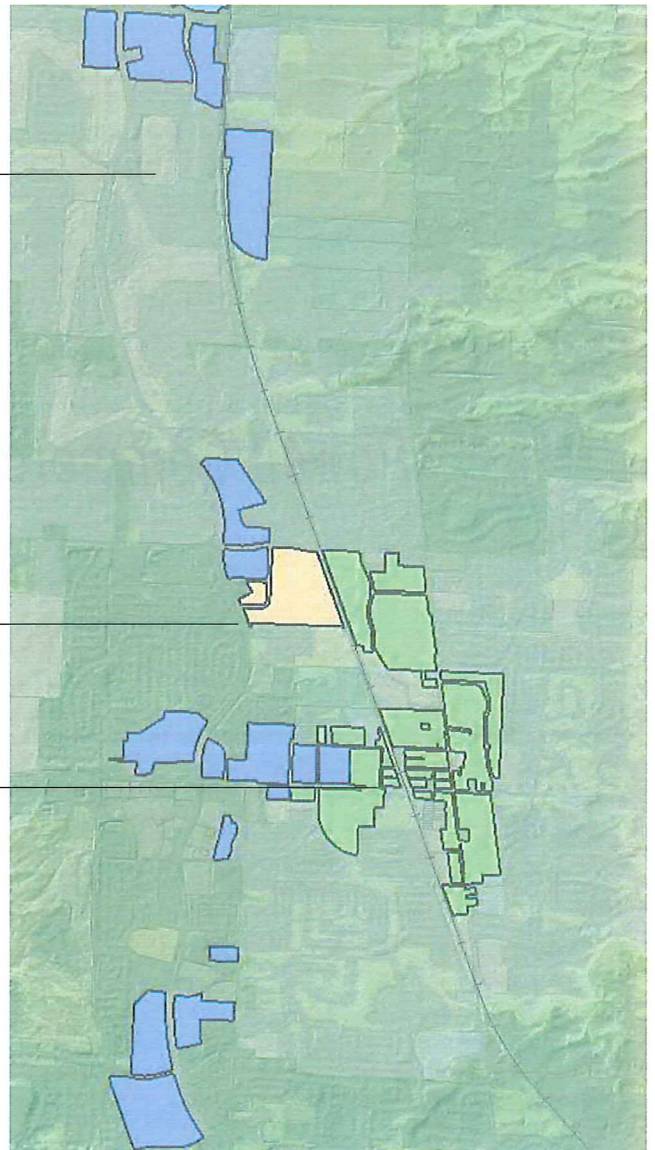


Table of Contents

Powell Commercial TIF District 90-024

Activity Report

- 2023** Paid \$195,929.71 to the developer for sanitary sewer at Spectrum/Ganzhorn parcels bringing the outstanding balance to \$283,686.87. Final payment is expected in April 2024.
- 2022** Paid \$178,754.01 to the developer for sanitary sewer at Spectrum/Ganzhorn parcels bringing the outstanding balance to \$253,299.61. Final payment is expected in 2024.
- 2021** Paid \$173,906.11 to the developer for sanitary sewer at Spectrum/Ganzhorn parcels bringing the outstanding balance to \$432,053.62.
- 2020** Paid \$178,733.79 to the developer for sanitary sewer at Spectrum/Ganzhorn parcels bringing the outstanding balance to \$605,959.73.
- 2019** No additional projects. The one-year not issued in August 2018 was refinanced into a 20-year bond in July of 2019. Paid \$81,250.99 to the developer for sanitary sewer at Spectrum/Ganzhorn parcels for the first distribution of service payments that was received earlier in the year; estimate to make a similar payment for the most recent distribution received in late August. The estimated outstanding balance due to the developer is \$803,736.28.
- 2018** Repaid \$250,000 of the \$850,000 advance from the General Fund. This is the final payment.
- Paid \$188,819.66 to the developer for sanitary sewer at Spectrum/Ganzhorn parcels bringing the outstanding balance to \$966,238.26.
- 2017** Repaid \$250,000 of the \$850,000 advance from the General Fund. This brings the outstanding balance to \$250,000.
- Paid \$44,942.08 to the developer for sanitary sewer at Spectrum/Ganzhorn parcels bringing the outstanding balance to \$1,155,057.92.
- 2016** Repaid \$175,000 of the \$850,000 advance from the General Fund. This brings the outstanding balance to \$500,000.
- 2015** Repaid \$175,000 of the \$850,000 advance from the General Fund. This brings the outstanding balance to \$675,000.
- 2014** City of Powell's General Fund advanced \$850,000 to the Sawmill Commercial TIF with repayment to be done through the TIF.
- Infrastructure costs of the Sawmill and Powell Road intersection \$150,000; Traffic signals at Galloway & Sawmill and Rutherford & Sawmill \$200,000; Traffic signal and intersection improvements at Sawmill & Target \$500,000.

2013

Infrastructure costs for Galloway & Sawmill traffic signal \$29,940.
Refunded \$114,798.68 to Delaware County for overpayment of revenue.

Development Activities

- Planning and Zoning Commission approved on 4/12/2023 an Amended Final Development Plan for the shopping center addition to the Target store. The proposal includes changes to the layout and additional parking, which is considered a modification. As this site was annexed with Township zoning and the Township Code allows for approval by the Commission for amendments, permits can be obtained if this application is approved. This is contrary to Skyline Chili, which, while under the same zoning rules, is not subject to P&Z review because the out parcels were not laid out and the Skyline meets all requirements.

City of Powell Trial Balance Detailed

Funds: 455 to 455
As Of: 1/1/2023 to 12/31/2023

Include Inactive Accounts: Yes
Include Pre-Encumbrances: No

Number	Description	Budgeted Amount	MTD Amount	YTD Amount	% YTD	Outstanding Encumbrance	UnEncumbered Balance	% Variance
455	SAWMILL CORRIDOR COMM IMPR TIF							
Cash								
455-000-1010-00	SAWMILL CORRIDOR COMM IMP	\$1,064,582.42		\$1,064,582.42			\$1,064,582.42	
Total Cash		\$1,064,582.42		\$1,064,582.42			\$1,064,582.42	
Revenue								
455-000-4110-00	REAL ESTATE TAX	\$470,000.00	\$0.00	\$533,453.76	113.50%			
455-000-4231-00	ROLLBACK/HOMESTEAD- STATE	\$0.00	\$0.00	\$0.00	0.00%			
455-000-4940-00	ADVANCE FROM GENERAL FUND	\$0.00	\$0.00	\$0.00	0.00%			
Total Revenue		\$470,000.00	\$0.00	\$533,453.76	113.50%			
Total Cash and Revenue		\$1,534,582.42	\$0.00	\$1,598,036.18	104.13%		\$1,598,036.18	104.13%
Expenses								
HUMAN RESOURCES								
455-790-5300-00	OPERATING EXPENSES	\$0.00	\$0.00	\$0.00	0.00%	\$0.00	\$0.00	0.00%
HUMAN RESOURCES Totals:		\$0.00	\$0.00	\$0.00	0.00%	\$0.00	\$0.00	0.00%
DEBT SERVICE								
455-850-5560-96	AUDITOR/TREASURER FEES	\$16,500.00	\$0.00	\$10,348.47	62.72%	\$0.00	\$6,151.53	62.72%
455-850-5600-00	COMM TIF CAPITAL IMPROVEME	\$0.00	\$0.00	\$0.00	0.00%	\$0.00	\$0.00	0.00%
455-850-5600-01	TRAFFIC SIGNALS	\$0.00	\$0.00	\$0.00	0.00%	\$0.00	\$0.00	0.00%
455-850-5600-02	SPECTRUM- CAPITAL OUTLAY	\$250,000.00	\$0.00	\$195,929.71	78.37%	\$0.00	\$54,070.29	78.37%
DEBT SERVICE Totals:		\$266,500.00	\$0.00	\$206,278.18	77.40%	\$0.00	\$60,221.82	77.40%
ADVANCES								
455-920-5810-00	REPAY ADVANCE	\$0.00	\$0.00	\$0.00	0.00%	\$0.00	\$0.00	0.00%
ADVANCES Totals:		\$0.00	\$0.00	\$0.00	0.00%	\$0.00	\$0.00	0.00%
Total Expenses		\$266,500.00	\$0.00	\$206,278.18	77.40%	\$0.00	\$60,221.82	77.40%
Fund: 455 Total		\$1,268,082.42	\$0.00	\$1,391,758.00	109.75%	\$0.00	\$1,391,758.00	109.75%

Seldom Seen TIF 90-029

Activity Report

- 2023** A payment of \$69,359.57 was made to Liberty Township for EMS/Fire. An additional \$168,350 was transferred to the debt payment fund for the bond payment.
- 2022** A payment of \$69,763.41 was made to Liberty Township for EMS/Fire. An additional \$166,950 was transferred to the debt payment fund for the bond payment.
- 2021** Payment of \$204,712.29 was made to Liberty Township for EMS/Fire per the terms of the TIF agreement for 2017-2020.
- A payment of \$931,000 was issued to the Developer to pay off the cost of public improvements plus interest. The General Fund covers a portion of the payment (\$582,933.54). Staff is working to categorize this amount as an advance from the General Fund to the Seldom Seen TIF.
- 2020** Park improvements completed \$434,007.08. Seldom Seen Park opened to the Public.
- 2019** No additional projects. The one-year note issued in August 2018 was refinanced into a 20-year bond in July 2019.
- 2018** No additional projects. The one-year note issued in August 2017 was refinanced into another one-year note due in August 2019.
- 2017** Issued \$2.2 million in debt (one-year note) for road improvements related to Powell Grand and Seldom Seen Park, with repayment to be done through the TIF.
- Paid the Developer \$1,225,000 for turn lane at Woods at Big Bear Farms; Storm water management/treatment; regional bike path; Sawmill Parkway traffic signal and intersection improvements; Bunker Lane extension (780 LF) and Seldom Seen road improvements.

Development Activities

- None

Detailed Trial Balance
As Of: 1/1/2023 to 12/31/2023
City of Powell
Trial Balance Detailed

Funds: 453 to 453

As Of: 1/1/2023 to 12/31/2023

Include Inactive Accounts: Yes

Include Pre-Encumbrances: No

Number	Description	Budgeted Amount	MTD Amount	YTD Amount	% YTD	Outstanding Encumbrance	UnEncumbered Balance	% Variance
453 SELDOM SEEN TIF PUBLIC IMPROVEMENTS FUND								
Cash								
453-000-1010-00	SELDOM SEEN TIF PUBLIC IMPROVE	\$1,594.57		\$1,594.57			\$1,594.57	
Total Cash		\$1,594.57		\$1,594.57			\$1,594.57	
Revenue								
453-000-4110-00	REAL ESTATE TAX	\$282,500.00	\$0.00	\$231,435.33	81.92%			
453-000-4231-00	ROLLBACK/HOMESTEAD- STATE	\$0.00	\$0.00	\$0.00	0.00%			
453-000-4701-00	INTEREST (NET)	\$0.00	\$0.00	\$0.00	0.00%			
453-000-4702-00	NOTE PREMIUM	\$0.00	\$0.00	\$0.00	0.00%			
453-000-4911-00	NOTE PROCEEDS	\$0.00	\$0.00	\$0.00	0.00%			
453-000-4931-00	TRANSFERS IN	\$0.00	\$7,221.25	\$7,221.25	0.00%			
453-000-4940-00	ADVANCE FROM GENERAL FUND	\$0.00	\$0.00	\$0.00	0.00%			
Total Revenue		\$282,500.00	\$7,221.25	\$238,656.58	84.48%			
Total Cash and Revenue		\$284,094.57	\$7,221.25	\$240,251.15	84.57%		\$240,251.15	84.57%
Expenses								
HUMAN RESOURCES								
453-790-5300-00	OPERATING EXPENSES	\$0.00	\$0.00	\$0.00	0.00%	\$0.00	\$0.00	0.00%
HUMAN RESOURCES Totals:		\$0.00	\$0.00	\$0.00	0.00%	\$0.00	\$0.00	0.00%
DEBT SERVICE								
453-850-5560-85	COST OF ISSUANCE	\$0.00	\$0.00	\$0.00	0.00%	\$0.00	\$0.00	0.00%
453-850-5560-98	AUDITOR/TREASURER FEES	\$3,000.00	\$0.00	\$2,541.58	84.72%	\$0.00	\$458.42	84.72%
453-850-5600-00	SELDOM SEEN TIF CAPITAL IMPROV	\$70,600.00	\$0.00	\$69,359.57	98.24%	\$0.00	\$1,240.43	98.24%
453-850-5600-01	TRAFFIC SIGNALS	\$0.00	\$0.00	\$0.00	0.00%	\$0.00	\$0.00	0.00%
DEBT SERVICE Totals:		\$73,600.00	\$0.00	\$71,901.15	97.69%	\$0.00	\$1,698.85	97.69%
TRANSFERS								
453-910-5910-00	TRANSFER TO DEBT SERVICE	\$168,350.00	\$0.00	\$168,350.00	100.00%	\$0.00	\$0.00	100.00%
453-910-5910-01	TRANSFER TO CAPITAL OUTLAY	\$0.00	\$0.00	\$0.00	0.00%	\$0.00	\$0.00	0.00%
TRANSFERS Totals:		\$168,350.00	\$0.00	\$168,350.00	100.00%	\$0.00	\$0.00	100.00%
ADVANCES								
453-920-5810-00	REPAY ADVANCE	\$0.00	\$0.00	\$0.00	0.00%	\$0.00	\$0.00	0.00%
ADVANCES Totals:		\$0.00	\$0.00	\$0.00	0.00%	\$0.00	\$0.00	0.00%
Total Expenses		\$241,950.00	\$0.00	\$240,251.15	99.30%	\$0.00	\$1,698.85	99.30%
Fund: 453 Total		\$42,144.57	\$7,221.25	\$0.00	0.00%	\$0.00	\$0.00	0.00%

Downtown Powell TIF 90-011

Activity Report

2023	Payment submitted to Harpers Pointe for repayment of capital infrastructure. Payment - \$50,385.86; Balance - \$1,027,290.18. The balance is growing due to interest accruals.
2022	Initial payment submitted to Harpers Pointe for repayment of capital infrastructure. Payment - \$33,448.77; Balance - \$991,470.80.
2021	Downtown Investment Evaluation - \$22,604.80
2020	Four Corners turn restriction signage - \$13,771.47 Downtown Street Maintenance Program - \$115,035.81 Completion of Scioto St & Liberty St Repairs - \$3,614.53
2019	Grace Drive & Liberty Road traffic signals -- \$256,355.82
2018	Grace Drive & Liberty Road traffic signals – \$182,481.30 4 Corners infrastructure improvements engineering – \$19,476.27 Right-of-way purchase on Liberty Rd. -- \$40,530.
2017	Grace Drive & SR750 and Grace Drive & Liberty Road traffic signals - \$32,363 Beechwood Park Detention System - \$55,228.13; 4 Corners infrastructure improvements engineering - \$11,528.39
2016	Grace Drive & SR750 Traffic Signals -\$233,895.75 Grace Drive traffic signals engineering - \$142,940.52; Depot Street improvements - \$47,200
2015	Depot Street improvements - \$4,400; Paver and streetscape replacement and repair - \$9,183.36 CSX right of way survey - \$4,600
2014	None
2013	North Liberty Street improvements and survey work \$38,471.26
2012	Bike hitches, benches, engineering, survey work \$28,621.92
2011	None
2010	TIF Study services \$5,500
2009	Repaid \$201,640 of the \$201,640 advance from the General Fund.

2008

None

2007

Right of way purchase \$130,144.50. 4 Corners survey, traffic study, engineering and other \$16,550

Development Activity

- The Final Development Plan for Encore Park (Fischer Homes) was approved at the 4/12/2023 Planning and Zoning Commission meeting. The plan includes 19 residential units. The project will need Council approval before construction.
- The City approved an Economic Development Agreement (EDA) with Grand Communities, LLC, relative to the Encore Park of Powell development (Ord. 2023-15) for the construction of a connection from downtown Powell to Adventure Park by extending Depot Street. The agreement is for a value not to exceed \$925,302.83. The scope includes the proposed roadway extension, concrete curb, sidewalk, storm sewer, sanitary sewer, water, street lighting, traffic control, streetscape, and associated updates to provide a neighborhood street connection in the Northwest Quadrant. In addition, the work will correct the Morris Station detention basin that will assist the Encore development and Morris Station development to provide adequate stormwater management for both developments, including the public improvements.
- The City approved an Economic Development Agreement (EDA) with CoHatch to aid in the resolution of downtown traffic and parking issues. The City will reimburse COhatch, a not to exceed sum of \$450,000 dollars, to demolish the existing building located at 50 E. Olentangy Street and to reconstruct the parking lot at the same location as part of the improvement of the site.
- Construction of Lily Reserve, a 13,000-square-foot shopping center on 1.5 acres at the southeast corner of West Olentangy Street and Murphy Parkway was completed in 2023. The site includes 72 parking spaces, a portion of which will be available for general downtown parking.

Detailed Trial Balance
As Of: 1/1/2023 to 12/31/2023

City of Powell
Trial Balance Detailed

Funds: 451 to 452

Include Inactive Accounts: Yes

As Of: 1/1/2023 to 12/31/2023

Include Pre-Encumbrances: No

Number	Description	Budgeted Amount	MTD Amount	YTD Amount	% YTD	Outstanding Encumbrance	UnEncumbered Balance	% Variance
451	DOWNTOWN TIF PUBLIC IMPROVEMENT							
Cash								
451-000-1010-00	DOWNTOWN TIF PUBLIC IMPROVEM	\$2,675,655.53		\$2,675,655.53			\$2,675,655.53	
Total Cash		\$2,675,655.53		\$2,675,655.53			\$2,675,655.53	
Revenue								
451-000-4110-00	REAL ESTATE TAX	\$480,000.00	\$0.00	\$567,876.74	118.31%			
451-000-4231-00	ROLLBACK/HOMESTEAD-STATE	\$9,600.00	\$0.00	\$26,608.24	277.69%			
451-000-4910-00	ADVANCE FROM GENERAL FUND	\$0.00	\$0.00	\$0.00	0.00%			
Total Revenue		\$489,600.00	\$0.00	\$594,484.98	121.43%			
Total Cash and Revenue		\$3,165,255.53	\$0.00	\$3,270,140.51	103.32%		\$3,270,140.51	103.32%
Expenses								
CAPITAL EXPENDITURES								
451-800-5531-04	CONTRACTED SERVICES	\$0.00	\$0.00	\$0.00	0.00%	\$0.00	\$0.00	0.00%
451-800-5531-05	CONTRACTED SURVEYING SERVICE	\$0.00	\$0.00	\$0.00	0.00%	\$0.00	\$0.00	0.00%
451-800-5532-00	CONSULTING SERVICES	\$0.00	\$0.00	\$0.00	0.00%	\$0.00	\$0.00	0.00%
451-800-5540-02	TIF STUDY SERVICES	\$0.00	\$0.00	\$0.00	0.00%	\$0.00	\$0.00	0.00%
451-800-5540-04	PARKING AGREEMENTS	\$0.00	\$0.00	\$0.00	0.00%	\$0.00	\$0.00	0.00%
451-800-5540-09	TRAFFIC RELATED PROJECTS	\$0.00	\$0.00	\$0.00	0.00%	\$0.00	\$0.00	0.00%
451-800-5540-10	STREETSCAPES	\$0.00	\$0.00	\$0.00	0.00%	\$0.00	\$0.00	0.00%
451-800-5600-00	DOWNTOWN PROJECTS	\$0.00	\$0.00	\$0.00	0.00%	\$0.00	\$0.00	0.00%
451-800-5600-01	PAVER REPAIRS	\$0.00	\$0.00	\$0.00	0.00%	\$0.00	\$0.00	0.00%
451-800-5600-02	FOUR CORNERS PROJECT	\$0.00	\$0.00	\$0.00	0.00%	\$0.00	\$0.00	0.00%
451-800-5600-03	Doput St Extension	\$980,039.00	\$0.00	\$0.00	0.00%	\$980,039.00	\$0.00	100.00%
451-800-5601-02	LAND OR R.O.W. ACQUISITION	\$0.00	\$0.00	\$0.00	0.00%	\$0.00	\$0.00	0.00%
CAPITAL EXPENDITURES Totals:		\$980,039.00	\$0.00	\$0.00	0.00%	\$980,039.00	\$0.00	100.00%
ADVANCE REPAYMENTS								
451-820-5820-01	REPAY ADVANCE FROM GENERAL F	\$0.00	\$0.00	\$0.00	0.00%	\$0.00	\$0.00	0.00%
ADVANCE REPAYMENTS Totals:		\$0.00	\$0.00	\$0.00	0.00%	\$0.00	\$0.00	0.00%
DEBT SERVICE								
451-850-5560-56	AUDIT OR/TREASURER FEES	\$20,000.00	\$0.00	\$7,604.91	38.02%	\$0.00	\$12,395.09	38.02%
451-850-5600-01	HARPERS PONTE	\$50,000.00	\$0.00	\$42,780.95	85.56%	\$0.00	\$7,219.05	85.56%
DEBT SERVICE Totals:		\$70,000.00	\$0.00	\$50,385.86	71.98%	\$0.00	\$19,614.14	71.98%
Total Expenses		\$1,050,039.00	\$0.00	\$50,385.86	4.80%	\$980,039.00	\$19,614.14	98.13%
Fund: 451 Total		\$2,115,216.53	\$0.00	\$3,219,804.65	152.22%	\$980,039.00	\$2,239,765.65	105.89%
452	DOWNTOWN TIF HOUSING RENOVATION							
Cash								
452-000-1010-00	DOWNTOWN TIF HOUSING RENOVAT	\$45,134.59		\$45,134.59			\$45,134.59	
Total Cash		\$45,134.59		\$45,134.59			\$45,134.59	
Revenue								
452-000-4110-00	REAL ESTATE TAX	\$5,500.00	\$0.00	\$5,736.13	104.25%			
452-000-4231-00	ROLLBACK/HOMESTEAD-STATE	\$100.00	\$0.00	\$269.28	269.28%			
Total Revenue		\$5,600.00	\$0.00	\$6,005.41	107.24%			
Total Cash and Revenue		\$50,734.59	\$0.00	\$51,140.00	100.80%		\$51,140.00	100.80%
Expenses								
DEBT SERVICE								
452-850-5560-56	AUDIT OR/TREASURER FEES	\$300.00	\$0.00	\$76.81	15.36%	\$0.00	\$423.19	15.36%
452-850-5710-00	HOUSING RENOVATION GRANT PRO	\$20,500.00	\$0.00	\$20,000.00	100.00%	\$0.00	\$0.00	100.00%
DEBT SERVICE Totals:		\$20,800.00	\$0.00	\$20,076.81	97.94%	\$0.00	\$423.19	97.94%
Total Expenses		\$20,800.00	\$0.00	\$20,076.81	97.94%	\$0.00	\$423.19	97.94%
Fund: 452 Total		\$30,234.59	\$0.00	\$31,063.19	102.74%	\$0.00	\$31,063.19	102.74%



**TAX INCENTIVE REVIEW
COUNCIL MEETING MINUTES
MARCH 7, 2024**

I. CALL TO ORDER

- * Designee to Chair George Kaitsa, Chief Deputy Auditor and Chief Compliance Officer, Shari Lewis

Chair Shari Lewis called the March 7, 2024, Tax Incentive Review Council meeting to order at 10:03 a.m.

II. ROLL CALL

- * Sean Hughes, Economic Development Administrator

Economic Development Administrator Sean Hughes called the roll. The following members of the Tax Incentive Review Council were present for the meeting: included Andrew D White, City Manager; Heather Karr, Vice-Mayor; Rosa Ocheltree, Finance Director; Shari Lewis, Designee for County Auditor; Andi Moore, Citizen Representative; Ryan Jenkins, Olentangy School Representative; Tom Marchetti, Designee for Chris Bell, Delaware Area Career Center Representative. Absent from the meeting was Zachary Hardison, Citizen Representative. Staff present included Sean Hughes, Economic Development Administrator.

Chair Shari Lewis requested an amendment to the agenda to appoint a member as Vice-Chair.

MOTION: Vice-Mayor Heather Karr moved to appoint Ryan Jenkins as Vice-Chairman. City Manager Andrew White seconded. Motion passed.

VOTE: Y-6 N-0 AB-1 (ABSTAIN: Jenkins)

III. APPROVAL OF MINUTES

- a. Designee to Chair George Kaitsa, Chief Deputy Auditor and Chief Compliance Officer, Shari Lewis

MOTION: City Manager Andrew D White moved to approve the minutes from April 20, 2023. Ryan Jenkins seconded. Motion passed.

VOTE: Y-7 N-0 AB-0

IV. 2023 TAX YEAR CRA AND EZ TAX ABATEMENT REPORTS AND RECOMMENDATIONS CONSENT AGENDA

- a. No CRA Agreements were active in the 2023 tax year.

Economic Development Administrator Sean Hughes discussed that there are no Enterprise Zones in the City of Powell. There is a Downtown CRA, but no active abatements for 2023 tax year. There is one that was activated and will not activate until January 2026 and expect reporting in 2027 for the COHatch development.

V. 2023 TAX YEAR CRA AND EZ TAX ABATEMENT REPORTS AND RECOMMENDATIONS CONSIDERATION AGENDA

- a. No CRA Agreements were active for the 2023 tax year.

VI. 2023 TAX YEAR RESIDENTIAL CRA TAX ABATEMENT REPORTS AND RECOMMENDATIONS CONSIDERATION AGENDA

- a. No Residential CRA Abatements were active in the 2023 tax year.

Economic Development Administrator Sean Hughes reported that applications are being collected in 2024 but won't be active until January 2025 and reported in 2026. This is a new program.

VII. 2023 TAX YEAR TIF TAX ABATEMENT REPORTS AND RECOMMENDATIONS CONSIDERATION AGENDA

- a. Tax Increment Finance Districts - Active Districts

- Powell Commercial TIF (90-024)
- Seldom Seen TIF (90-029)
- Downtown Powell TIF (90-011)
- Vote for Compliance or Non-Compliance - Shari Lewis
- Vote for One - Continue, Modify, Terminate, Expire - Shari Lewis

Finance Director Rosa Ocheltree reviewed the three active TIF Districts. The Powell Commercial TIF District activity for 2023 was a reimbursement to the developer for sanitary sewer of \$195,929.71. The final payment is expected to be given to the developer in April 2024. She discussed that there is a Redwood Development TIF Agreement that is pending. City Manager Andrew White discussed the parcels of 70 acres annexed in the City slated for 330 units of residential development. The city is to retain 11 acres in the front for future commercial development. The developers have sought a TIF Incentive, which would have no impact on schools. There are public infrastructures that this area would be eligible for including investments in parks, paths and streets. Finance Director Rosa Ocheltree reviewed the trial balance which shows a revenue of \$533,000 and expenditures of the unencumbered fund balance of \$1.4M

Finance Director Rosa Ocheltree reviewed the Seldom Seen TIF, which is generating enough revenue for the Seldom Seen Fund Payment and payment to Liberty Township for EMS/Fire Services. She reviewed the detailed Trail Balance provided in the report.



MEMO

From: Andrew D. White, City Manager
To: Members of City Council
Initiated By: Claudia D. Husak, AICP, Planning Manager and Yazan Ashrawi, Law Director
Re: Ordinance 2024-06 – An Ordinance Accepting the Annexation of 6.357 Acres, more or less, Located along West Olentangy Street, From Liberty Township to the City of Powell (Petitioner: Horsepower Farms, LLC).
Date: March 5, 2024

Summary:

On November 15, 2023, An annexation petition was filed with the Board of Delaware County Commissioners for annexation of 6.357 acres, more or less, located along West Olentangy Street, to the City of Powell by Donald T. Plank, Plank Law Firm, LPA, agent for the petitioner. The filing of the annexation petition triggered the annexation process for this property. Since the filing of the petition, the Board of Commissioners of Delaware County has approved the annexation petition, and the City adopted a resolution identifying the municipal services it would provide to the property if annexed.

This property is also the subject of companion legislation (see companion Ordinance 2024-07), which, if approved, would approve a zoning map amendment with a combined Preliminary and Final Development Plan from the Liberty Township Farm Residence District to the City of Powell Planned Residence District for a development for the storage of boats, recreational vehicles and cars as a permitted use on ±15.8 acres at 4301 Home Road, on the south side of Home Road, west of Steitz Road. The site is currently zoned FR – Farm Residence District (Liberty Township). The 6.357-acre property that is the subject of this annexation ordinance falls within this development area.

Approval of the companion ordinance will establish the final zoning of this site as Planned Residence District with the details contained in the Final Development Plan for a development of six (6) additional buildings to the site.

Approval of this annexation ordinance will be the final legislative step to annex this property into the City of Powell.

Legal Review:

The Law Director has reviewed this ordinance and approved it as to form.

Financial Review:

The Finance Director has reviewed and is supportive of the legislation.

Recommendation:

Staff recommends approval of Ordinance 2024-06 at the second reading/public hearing on March 20, 2024.



ORDINANCE 2024-06

AN ORDINANCE ACCEPTING THE ANNEXATION OF 6.357 ACRES, MORE OR LESS, LOCATED ALONG WEST OLENTANGY STREET, FROM LIBERTY TOWNSHIP TO THE CITY OF POWELL (PETITIONER: HORSEPOWER FARMS, LLC).

WHEREAS, An annexation petition was filed with the Board of Delaware County Commissioners for annexation of 6.357 acres, more or less, located along West Olentangy Street, to the City of Powell by Donald T. Plank, Plank Law Firm, LPA, agent for the petitioner; and

WHEREAS, The Board of Commissioners of Delaware County conducted a proceeding and approved the annexation petition on November 27, 2023; and

WHEREAS, More than sixty (60) days have elapsed from the date of filing of the transcript of such approval by the Board of Delaware County Commissioners with the City Clerk.

NOW THEREFORE BE IT ORDAINED BY THE CITY OF POWELL, COUNTY OF DELAWARE, STATE OF OHIO AS FOLLOWS:

Section 1: That the proposed annexation, as submitted by Donald T. Plank, Agent for the Petitioner, which petition was filed with the Board of County Commissioners of Delaware County, Ohio on November 15, 2023, and which petition prayed for the annexation to the City of Powell of certain territory adjacent thereto and hereinafter described, which petition was approved for annexation to the City of Powell by the Board of County commissioners on November 27, 2023, be, and hereby is, accepted. The territory annexed hereby is described in the legal description attached hereto as Exhibit "A" and made a part hereof as though fully rewritten herein. The certified transcript of proceedings for annexation with an accurate map of the territory, together with the petition for annexation and other papers relating to the proceedings thereto of the County Commissioners are all on file with the Clerk of the City of Powell and have been for more than 60 days.

Section 2: That the Clerk be, and hereby is, authorized and directed to make three copies of this Ordinance, to each of which shall be attached a copy of the transcript of proceedings of the Board of County Commissioners relating thereto and a certificate as to the correctness thereof. The Clerk shall then forthwith deliver one copy to the County Auditor, one copy to the County Auditor, one copy to the County Recorder, and one copy to the Secretary of State, and shall filed notice of this annexation with the Board of Elections within thirty days after it becomes effective.



Delaware County Commissioners

Jeff Benton
Barb Lewis
Gary Merrell

County Administrator
Tracie Davies

Deputy Administrators
Dawn Huston
Aric Hochstettler

Clerk to the Commissioners
Jennifer Walraven

December 20, 2023

Clerk of the City of Powell, Ohio
Att: Elaine McCloskey
47 Hall Street
Powell, Ohio 43065

RE: Annexation of 6.357 Acres of Land in the Township of Liberty to the City of Powell

Clerk McCloskey:

The Delaware County Commissioners in Regular Session on December 14, 2023 adopted a Resolution granting Prayer of Petition for Annexation of 6.357 Acres of Land in the Township of Liberty to the City of Powell.

I am herewith forwarding a certified copy of the Commissioners' Journal Resolution 23-1076. and a copy of the annexation Petition.

Sincerely,

Brandy Wilson
Clerk to the Board of Commissioners Delaware County
91 N. Sandusky Street P.O. Box 8006
Delaware, OH 43015
740-833-2108



Delaware County Commissioners

Jeff Benton
Barb Lewis
Gary Merrell

County Administrator
Tracie Davies

Deputy Administrators
Dawn Huston
Aric Hochstettler

Clerk to the Commissioners
Jennifer Walraven

RESOLUTION NO. 23-1076

IN THE MATTER OF GRANTING ANNEXATION PETITION FROM AGENT FOR THE PETITIONER, DONALD T. PLANK, PLANK LAW FIRM, LPA, REQUESTING ANNEXATION OF 6.357 ACRES OF LAND IN LIBERTY TOWNSHIP TO THE CITY OF POWELL:

It was moved by Mr. Merrell, seconded by Mrs. Lewis to approve the following resolution:

WHEREAS, on November 15, 2023, the Clerk to the Board of the Delaware County Commissioners received an annexation petition filed by Donald T. Plank, Plank Law Firm, LPA, agent for the petitioners, requesting annexation of 6.357 acres, more or less, from Liberty Township to the City of Powell; and

WHEREAS, pursuant to section 709.023 of the Revised Code, if the Municipality or Township does not file an objection within 25 days after filing of the annexation petition, the Board at its next regular session shall enter upon its journal a resolution granting the proposed annexation; and

WHEREAS, 25 days have passed and the Clerk of the Board has not received an objection from the City of Powell or the Township of Liberty;

NOW, THEREFORE, BE IT RESOLVED that the Delaware County Board of Commissioners grants the petition requesting annexation of 6.357 acres, more or less, from Liberty Township to the City of Powell.

Vote on Motion Mr. Benton Aye Mr. Merrell Aye Mrs. Lewis Aye

I, Jennifer Walraven, Clerk to the Board of County Commissioners hereby certify that the foregoing is a true and correct copy of a resolution of the Board of County Commissioners of Delaware County duly adopted on December 14, 2023, and appearing upon the official records of said Board.

Jennifer Walraven, Clerk to Commissioners

Jeff Benton
County Commissioner

Barb Lewis
County Commissioner

Gary Merrell
County Commissioner



Delaware County Commissioners

Jeff Benton
Barb Lewis
Gary Merrell

County Administrator
Tracie Davies

Deputy Administrators
Dawn Huston
Aric Hochstettler

Clerk to the Commissioners
Jennifer Walraven

RESOLUTION NO. 23-1006

IN THE MATTER OF ACKNOWLEDGING RECEIPT OF ANNEXATION PETITION FROM AGENT FOR THE PETITIONER, DONALD T. PLANK, PLANK LAW FIRM, LPA, REQUESTING ANNEXATION OF 6.357 ACRES OF LAND IN LIBERTY TOWNSHIP IN DELAWARE COUNTY TO THE CITY OF POWELL, OHIO:

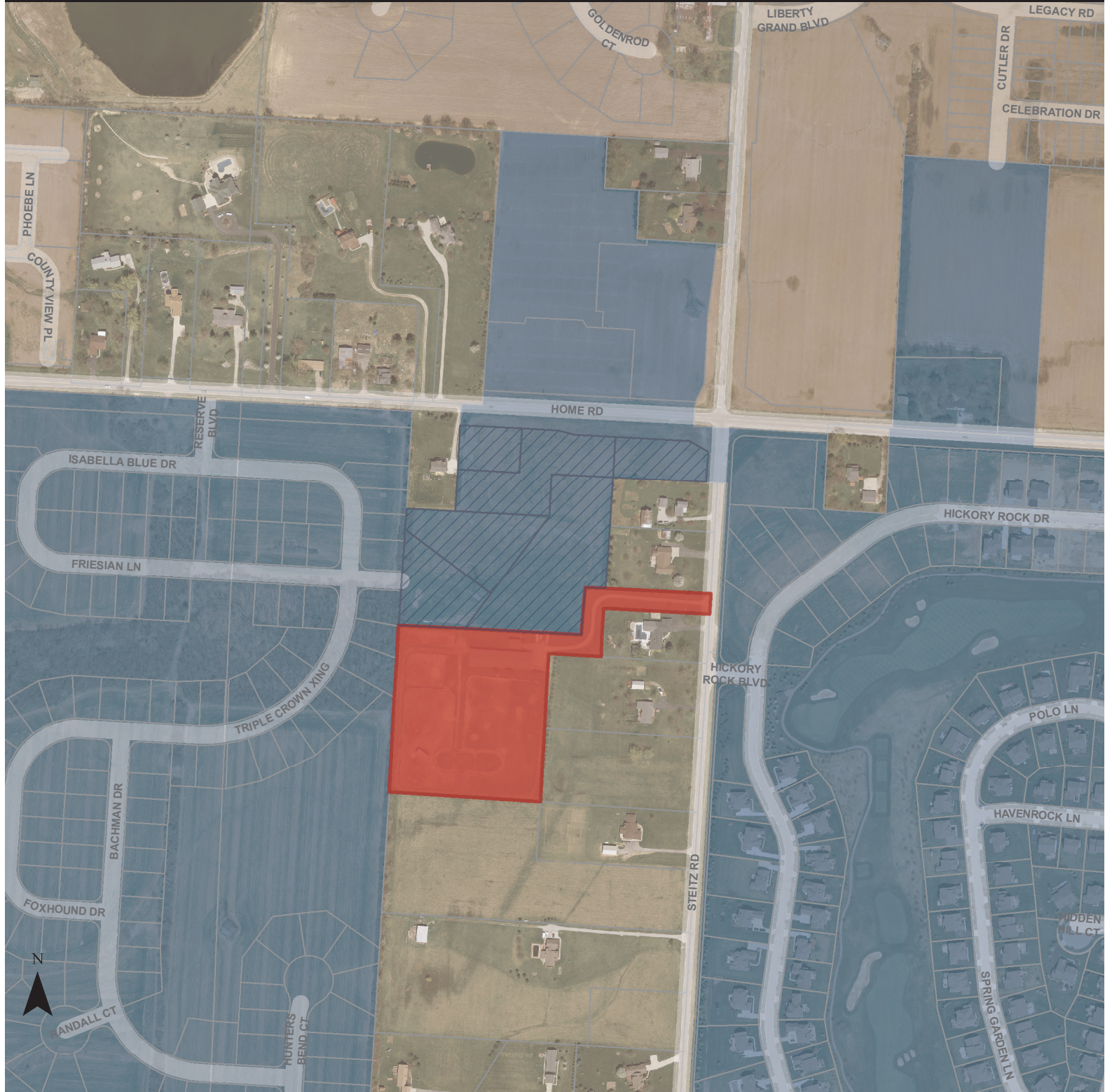
It was moved by Mr. Merrell, seconded by Mrs. Lewis to acknowledge that on November 15, 2023, the Clerk to the Board of Commissioners received a petition requesting annexation of 6.357 acres of land from Liberty Township to the City of Powell.





Vote on Motion Mr. Merrell Aye Mrs. Lewis Aye Mr. Benton Aye

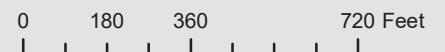
I, Brandy Wilson, Deputy Clerk to the Board of County Commissioners hereby certify that the foregoing is a true and correct copy of a resolution of the Board of County Commissioners of Delaware County duly adopted on November 27, 2023, and appearing upon the official records of said Board.

Brandy Wilson

Brandy Wilson, Deputy Clerk to Commissioners



-  Powell Boundary
-  Parcels
-  Existing Horsepower Farms Parcels
-  Proposed Annexation



Sources:

1. City of Powell, Development Department
2. City of Powell Codified Ordinances, Resolutions and Record of Proceedin



RESOLUTION CERTIFICATION

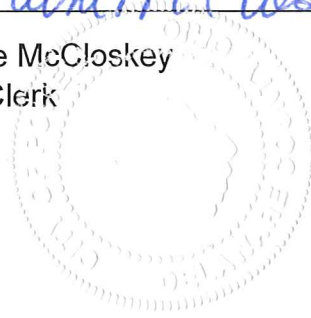
I, Elaine McCloskey, being the duly appointed City Clerk of the City of Powell, Delaware, County, Ohio, do hereby certify that the attached is a true, complete, and correct copy of Resolution No. 2023-39, entitled, " A RESOLUTION INDICATING WHAT SERVICES THE CITY OF POWELL WILL PROVIDE 6.357+/-ACRES OF LAND, LOCATED IN LIBERTY TOWNSHIP, DELAWARE COUNTY, OHIO, IF SAID PROPERTY IS HEREAFTER ANNEXED TO THE CITY OF POWELL, OHIO AND TO PROVIDE FOR BUFFER REQUIREMENTS." and the corresponding Exhibit "A" adopted on December 5, 2023 by Powell City Council.

Elaine McCloskey

12/6/2023

Elaine McCloskey
City Clerk

Date



RECEIVED

2023 DEC - 6 PM 12: 35

DELAWARE COUNTY
COMMISSIONERS

In accordance with Powell City Charter Resolution No. 2023-39, will be posted at the Village Green Municipal Building, 47 Hall Street, Powell, Ohio from December 6, 2023 until December 21, 2023 and on the City website at www.cityofpowell.us.



RESOLUTION 2023-39

A RESOLUTION INDICATING WHAT SERVICES THE CITY OF POWELL WILL PROVIDE 6.357+/-ACRES OF LAND, LOCATED IN LIBERTY TOWNSHIP, DELAWARE COUNTY, OHIO, IF SAID PROPERTY IS HEREAFTER ANNEXED TO THE CITY OF POWELL, OHIO AND TO PROVIDE FOR BUFFER REQUIREMENTS.

WHEREAS, on November 15, 2023, pursuant to Ohio Revised Code Sections 709.02 through 709.11, Donald T. Plank, as agent for the property owner Horsepower Farms, LLC, filed a Petition with the Delaware County Commissioners seeking annexation of 6.357+/- acres, along West Olentangy Street, contiguous to the City of Powell, a copy of which is attached hereto as Exhibit "A," notice of which will be duly served upon the City of Powell as prescribed by law; and

WHEREAS, Ohio Revised Code Section 709.023(C) provides that within twenty (20) days after the date that the petition is filed, the municipal corporation to which annexation is sought shall adopt a resolution stating what services the municipal corporation will provide to the territory seeking annexation and an approximate date by which it will provide those services should the municipal corporation annex the territory; and

WHEREAS, Ohio Revised Code Section 709.023(C) also provides that within that same twenty (20) days period, a municipal corporation shall adopt a resolution stating that if the territory is annexed and becomes subject to zoning by the municipal corporation and that if the municipal corporation's zoning permits uses in the annexed territory that the municipal corporation determines are clearly incompatible with the uses permitted under current county or township zoning regulations in the adjacent land remaining in the township from which the territory was annexed, the municipal corporation shall require, in the zoning ordinance permitting the incompatible uses, the owner of the annexed territory to provide a buffer separating the use of the annexed territory and the adjacent land remaining within the township.

NOW THEREFORE BE IT RESOLVED BY THE CITY OF POWELL, DELAWARE COUNTY, OHIO AS FOLLOWS:

Section 1: That upon annexation to the City of Powell of the 6.357 acres located along West Olentangy Street owned by Horsepower Farms, LLC, and described and delineated on the attached Exhibit "A" the City will provide the full range of available municipal services consistent with those services available to the existing residents of, and to the property within, the City of Powell, including but not limited to police protection, street maintenance, refuse collections via private contract, planning and zoning, and parks and recreation, all of which can be provided immediately upon the effective date of the annexation as provided by law. Should it be determined that as a result of the annexation, the boundary line between the township and the City divides or segments a street or highway so as to create a road maintenance problem for the Village, as a condition of annexation, the City shall assume the maintenance of that street or highway or otherwise correct the problem.

City Council

Daniel Swartwout, Mayor

Ferzan Ahmed

Jon C. Bennehoof

Tom Counts

Christina Drummond

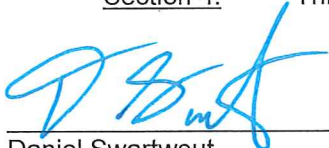
Heather Karr

David Lester

Section 2: If the Property is annexed and becomes subject to the City of Powell zoning and the City zoning permits uses in the annexed territory that the City determines are clearly incompatible with the uses permitted under applicable county or township zoning regulations in effect at the time of filing of the petition on the land adjacent to the annexed territory remaining in the unincorporated area of the Township, then the City will require the owner of the annexed territory to provide a buffer separating the use of the annexed territory and the adjacent land remaining within the township.

Section 3: The Clerk of Council is hereby directed to forward and file certified copies of this Resolution with the Delaware County Board of Commissioners immediately upon execution and to furnish a copy to the Agent for Petitioner for the annexation to insure the statutory requirement is met within twenty (20) days following the date that the petition was filed.

Section 4: This Resolution shall be in full force and effect immediately upon adoption.



Daniel Swartwout
Mayor

12/5/2023
Date


Elaine McCloskey
City Clerk

12/5/2023
Date

EFFECTIVE DATE: December 5, 2023

This legislation has been posted in accordance with the City Charter on this date 12/14/2023

City Clerk

PETITION FOR ANNEXATION
OF 6.357 ACRES
FROM LIBERTY TOWNSHIP IN DELAWARE COUNTY
TO THE CITY OF POWELL, OHIO
UTILIZING THE SPECIAL PROCEDURE OF R.C. SECTION 709.023 ET SEQ.

RECEIVED
2023 NOV 15 PM 12:07
DELAWARE COUNTY
COMMISSIONERS

**TO: THE BOARD OF COUNTY COMMISSIONERS OF
DELAWARE COUNTY, OHIO**

Now comes the undersigned petitioner, being one hundred percent (100%) of the owners of certain property as hereinafter described, and requests that their property be annexed to the City of Powell, Ohio. The territory proposed for annexation contains 6.357 acres in Liberty Township, Delaware County and is contiguous to the boundary of the City of Powell, Ohio, for five percent (5%) or more of the perimeter of the territory proposed for annexation. The undersigned understands the territory will not be excluded from the township.

An accurate description of the perimeter of the territory sought to be annexed and a map or plat of the above-described territory sought to be annexed is attached hereto and made a part hereof as Exhibit "A" and Exhibit "B".

The annexation will not create an unincorporated area of township that is completely surrounded by the territory proposed for annexation.

There is no annexation agreement between the municipality and the township pursuant to R.C. §709.192 applicable to this annexation or an applicable Cooperative Economic Development Agreement (C.E.D.A.) pursuant to R.C. §701.07.

The number of owners in the territory sought to be annexed is one (1) and the number of owners who signed the petition is one (1).

The owner who signs this petition by their signature expressly waives their right to appeal in law or equity from the board of county commissioners' entry of any resolution passed under R.C. §709.023 and waive any rights they may have to sue on any issue relating to a municipal corporation requiring a buffer as provided in R.C. §709.023 and further waive any rights to seek a variance that would relieve or exempt them from that buffer requirement.

Donald T. Plank, Plank Law Firm, LPA, 411 East Town St., 2nd Floor, Columbus, Ohio 43215, (614) 947-8600, is hereby appointed agent for the undersigned petitioner, as required by R.C. §709.02. Amendments to correct any discrepancy or mistake noted by the county engineer or others in their examination of the map, plat or description may be made by the presentation of an amended map or plat and description to the Delaware County Board of County Commissioners on, before or after the date set for hearing of this petition unless otherwise specified by law.

“WHOEVER SIGNS THIS PETITION EXPRESSLY WAIVES THEIR RIGHT TO APPEAL IN LAW OR EQUITY FROM THE BOARD OF COUNTY COMMISSIONERS’ ENTRY OF ANY RESOLUTION PERTAINING TO THIS SPECIAL ANNEXATION PROCEDURE, ALTHOUGH A WRIT OF MANDAMUS MAY BE SOUGHT TO COMPEL THE BOARD TO PERFORM ITS DUTIES REQUIRED BY LAW FOR THIS SPECIAL ANNEXATION PROCEDURE.”

<u>NAME</u>	<u>ADDRESS</u>	<u>DATE</u>
Horsepower Farms, LLC	356 West Olentangy Street Powell, Ohio 43065	10/27/23

By: *[Signature]* member Horsepower Farms, LLC

Its: _____

Printed Name: Howard R. Vance

Proposed Type 2 (O.R.C. 709.023)
Annexation of 6.357 Acres
In Liberty Township, Delaware County, Ohio
To The City of Powell, Ohio

Situated in the State of Ohio, County of Delaware, Township of Liberty, being located in Farm Lot 13 and Farm Lot 14, Section 2, Township 3, Range 19, United States Military Lands and further being all of that 6.357 acre tract of land as conveyed to Horsepower Farms, LLC by deed of record in Official Record Volume 2012, Page 1384, said 6.357 acre tract being more particularly bounded and described as follows. All references to records are on file in the Recorder's Office, Delaware County, Ohio:

COMMENCING, at the intersection of the centerline of Home Road (C.R. 124) having a variable width Right of Way with the centerline of Steitz Road (T.R.125) having a variable width Right of Way;

Thence along the centerline of said Steitz Road, bearing South $03^{\circ}47'10''$ West, a distance of 540.83 feet to a point thereon, said point also being the Southeast corner of a 1.397 acre tract of land as conveyed to Jefferey W. Reese and Judy A. Reese by deed of record in Deed Book 552, Page 292, and the **TRUE PLACE OF BEGINNING** for said 6.357 acre tract herein to be described;

Thence continuing along the centerline of said Steitz Road, bearing South $03^{\circ}47'10''$ West, a distance of 60.00 feet to a point thereon, said point also being the Northeast corner of a 1.10 acre tract of land as conveyed to Linda L. Franz by deed of record in Deed Book 538, Page 797 and Official Record Volume 1206, Page 1593;

Thence along the Northern line of said 1.10 acre tract, bearing North $86^{\circ}12'50''$ West, a distance of 320.40 feet to the Northwest corner thereof;

Thence along the Western line of said 1.10 acre tract, bearing South $03^{\circ}47'10''$ West, a distance of 150.00 feet to the Southwest corner thereof, the same being a point in the Northern line of that 2.500 acre tract of land as conveyed to Tamera K. Canegali by deed of record in Official Record Volume 1191, Page 506;

Thence along the Northern line of said 2.500 acre tract, bearing North $86^{\circ}12'50''$ West, a distance of 160.43 feet to the Northwest corner thereof;

Thence along the Western line of said 2.500 acre tract and the Southerly prolongation thereof, bearing South $03^{\circ}47'10''$ West, a distance of 452.97 feet to a point in the Northern line of that 2.000 acre tract of land as conveyed to Steven Dzickowski and Denise L. Dzickowski by deed of record in Official Record Volume 1133, Page 715;

Thence along the Northern line of said 2.500 acre tract and the Northern line of that 6.008 acre tract of land as conveyed to Brandon D. Cook and Jill C. Cook by deed of record in Official Record Volume 1143, Page 2856, bearing North $86^{\circ}12'50''$ West, a distance of 466.18 feet to the Northwest corner of said 6.008 acre tract, the same being a point in the Eastern line that Reserve "C" of The Reserve at Scioto Glenn Phase 3 Subdivision of record in Official Record Volume 1477, Page 1443-1444;

Thence along the Eastern line of said Reserve "C" and the Northerly prolongation thereof, bearing North $03^{\circ}48'39''$ East, a distance of 512.97 feet to the Southwest corner of Horsepower Farms Condominium Phase 1, Amendment 4 of record in Official Record Volume 1982, Pages 282 – 284;

Thence along the Southern line of said Horsepower Farms Condominium Phase 1, Amendment 4 and the Easterly prolongation thereof, bearing South $86^{\circ}12'50''$ East, a distance of 566.39 feet to the Southeast corner of Horsepower Farms Condominium Phase 1, Amendment 5 of record in Official Record Volume 1982, Pages 1057 – 1061;

Thence along an Easterly line of said Horsepower Farms Condominium Phase 1, Amendment 5, bearing North $03^{\circ}47'10''$ East, a distance of 150.00 feet to an angle point;

Thence along a Southerly line of said Horsepower Farms Condominium Phase 1, Amendment 5 and the Southern line of said 1.397 acre tract, bearing South $86^{\circ}12'50''$ East, a distance of 380.40 feet to a point in the centerline of said Steitz Road and the **TRUE PLACE OF BEGINNING**, containing 6.357 acre, more or less.

Basis of Bearings: Bearings shown hereon are based on the bearing of South $03^{\circ}47'10''$ East for the centerline of Steitz Road.

This description is based on information of record and is for Annexation purposes only and is not to be used for transfer of property, it has been prepared by Rolling & Hocevar, Inc. under the direct supervision of Andrew G. Planet, Registered Professional Surveyor Number 7802.

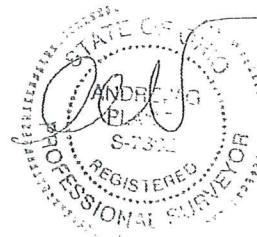
Rolling & Hocevar, Inc.



8-31-2023

Andrew G. Planet, P.S.
Professional Surveyor No. 7802

Date



- 1289.36 feet of total boundary is contiguous to The City of Powell;
- 3219.74 feet is the perimeter of territory to be annexed;
- 40.05% of the perimeter is contiguous to The City of Powell;
- Total acreage to be annexed is 6.357 acres;
- 60.00 feet of Township Road (Steitz Road) is affected by this annexation;
- 0 feet of County Road is affected by this annexation;

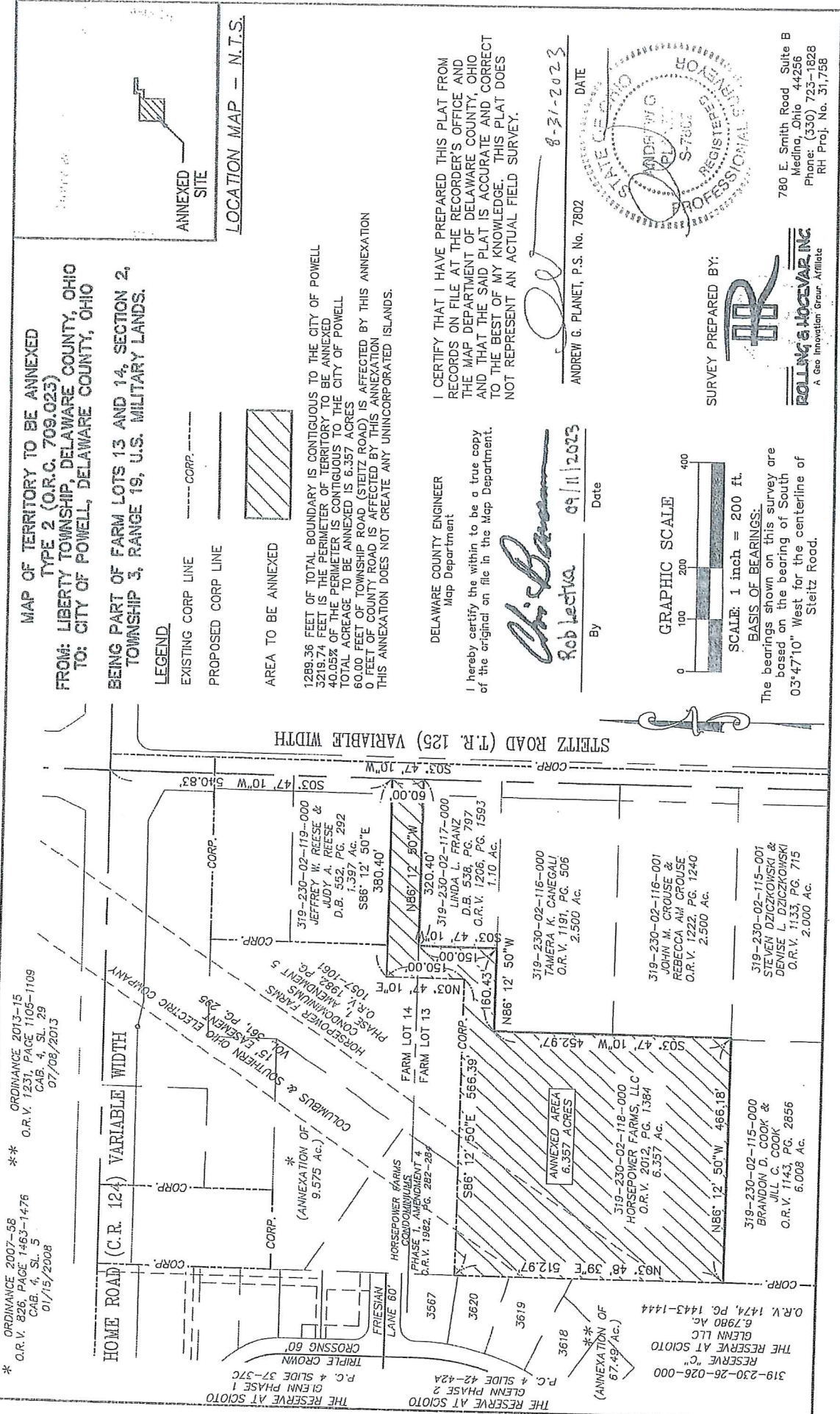
DELAWARE COUNTY ENGINEER
Map Department

I hereby certify the within to be a true
copy of the original on file in the Map Department.



By: Rob Lectka

Date: 09/11/2023



MAP OF TERRITORY TO BE ANNEXED
 TYPE 2 (O.R.C. 709.023)
 FROM: LIBERTY TOWNSHIP, DELAWARE COUNTY, OHIO
 TO: CITY OF POWELL, DELAWARE COUNTY, OHIO
 BEING PART OF FARM LOTS 13 AND 14, SECTION 2,
 TOWNSHIP 3, RANGE 19, U.S. MILITARY LANDS.

LEGEND
 --- CORP.
 --- CORP LINE
 [Hatched Box] AREA TO BE ANNEXED

1289.36 FEET OF TOTAL BOUNDARY IS CONTIGUOUS TO THE CITY OF POWELL
 3219.74 FEET IS THE PERIMETER OF TERRITORY TO BE ANNEXED
 40.05% OF THE PERIMETER IS CONTIGUOUS TO THE CITY OF POWELL
 TOTAL ACREAGE TO BE ANNEXED IS 6.357 ACRES
 60.00 FEET OF TOWNSHIP ROAD (STEITZ ROAD) IS AFFECTED BY THIS ANNEXATION
 0 FEET OF COUNTY ROAD IS AFFECTED BY THIS ANNEXATION
 THIS ANNEXATION DOES NOT CREATE ANY UNINCORPORATED ISLANDS.

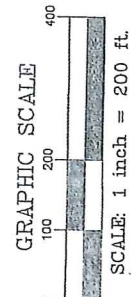
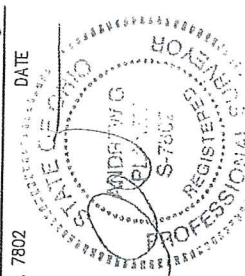
DELAWARE COUNTY ENGINEER
 Map Department

I hereby certify the within to be a true copy
 of the original on file in the Map Department.

Rob Lectka
 Rob Lectka
 By _____ Date 09/11/2023

I CERTIFY THAT I HAVE PREPARED THIS PLAT FROM
 RECORDS ON FILE AT THE RECORDER'S OFFICE AND
 THE MAP DEPARTMENT OF DELAWARE COUNTY, OHIO
 AND THAT THE SAID PLAT IS ACCURATE AND CORRECT
 TO THE BEST OF MY KNOWLEDGE. THIS PLAT DOES
 NOT REPRESENT AN ACTUAL FIELD SURVEY.

Andrew G. Planet
 Andrew G. Planet, P.S. No. 7802
 By _____ Date 08-31-2023



SCALE: 1 inch = 200 ft.
 BASIS OF BEARINGS:
 The bearings shown on this survey are
 based on the bearing of South
 03°47'10" West for the centerline of
 Steitz Road.

SURVEY PREPARED BY:

ROLLING & HOYER, INC.
 A Geospatial Group Affiliate

780 E. Smith Road Suite B
 Medina, Ohio 44256
 Phone: (330) 723-1828
 RH Proj. No. 31,758

* ORDINANCE 2007-58
 O.R.V. 826, PAGE 1463-1476
 CAB. 4, SL. 5
 01/15/2008

** ORDINANCE 2013-15
 O.R.V. 1231, PAGE 1105-1109
 CAB. 4, SL. 29
 07/08/2013

HOME ROAD (C.R. 124) VARIABLE WIDTH
 COLUMBUS & SOUTHERN OHIO ELECTRIC COMPANY
 HORSEPOWER FARMS
 PHASE 1, AMENDMENT 5
 O.R.V. 1982, PG. 295
 VOL. 381, PG. 295

ANNEXED AREA
 6.357 ACRES
 HORSEPOWER FARMS
 CONDONSULUS
 PHASE 1, AMENDMENT 4
 O.R.V. 1982, PG. 282-285

319-230-02-115-000
 BRANDON D. COOK &
 JILL C. COOK
 O.R.V. 1143, PG. 2856
 6.008 Ac.

319-230-02-116-000
 TAMERA K. CAMEGALI
 O.R.V. 1191, PG. 506
 2.500 Ac.

319-230-02-116-001
 JOHN M. CROUSE &
 REBECCA AN CROUSE
 O.R.V. 2222, PG. 1240
 2.500 Ac.

319-230-02-115-001
 STEVEN DZICZKOWSKI &
 DENISE L. DZICZKOWSKI
 O.R.V. 1133, PG. 715
 2.000 Ac.

Parcel ID #	Owner Name	Owner Tax Mailing Address	Owner Mailing Address	Property Address or Site Address
319-230-02-118-000	Horsepower Farms LLC	356 West Olentangy Street, Powell, Ohio 43065	7560 Steitz Road, Powell, Ohio 43065	7560 Steitz Road, Powell, Ohio 43065
319-230-02-001-528	James L. Beeson	5873 Willow Bend Lane, Westerville, Ohio 43082	4301 Home Road, Powell, Ohio 43065	4301 Home Road, Unit 4A, Powell, Ohio 43065
319-230-02-001-550	6E LLC	Post Office Box 70, Gladwyn, Pennsylvania 19035	4301 Home Road, Powell, Ohio 43065	4301 Home Road, Unit 6E, Powell, Ohio 43065
319-230-02-119-000	Jeffrey W. & Judy Reese	Wells Fargo - N/A (Mortgage)	7540 Steitz Road, Powell, Ohio 43065	7540 Steitz Road, Powell, Ohio 43065
319-240-10-001-000	Golf Village Property Owners Association	3755 Attucks Drive, Powell, Ohio 43065	Hickory Rock Drive, Powell, Ohio 43065	Hickory Rock Drive, Powell, Ohio 43065
319-230-02-117-000	Linda L. Franz	Corelogics - N/A (Mortgage)	7570 Steitz Road, Powell, Ohio 43065	7570 Steitz Road, Powell, Ohio 43065
319-230-02-116-000	Tamera K. Canegalli	7620 Steitz Road, Powell, Ohio 43065	7620 Steitz Road, Powell, Ohio 43065	7620 Steitz Road, Powell, Ohio 43065
319-230-02-116-001	John M. & Rebecca AM Crouse	7648 Steitz Road, Powell, Ohio 43065	7648 Steitz Road, Powell, Ohio 43065	7648 Steitz Road, Powell, Ohio 43065
319-230-02-115-001	Steven & Denise L. Dziczkowski	7690 Steitz Road, Powell, Ohio 43065	7690 Steitz Road, Powell, Ohio 43065	7690 Steitz Road, Powell, Ohio 43065
319-230-02-115-000	Brandon D. & Jill C. Cook	7700 Steitz Road, Powell, Ohio 43065	7700 Steitz Road, Powell, Ohio 43065	7700 Steitz Road, Powell, Ohio 43065
319-230-26-026-000	The Reserve at Scioto Glenn LLC	3755 Attucks Drive, Powell, Ohio 43065	Bachman Drive, Powell, Ohio 43065	Bachman Drive, Powell, Ohio 43065
319-230-26-003-000	Erik J. & Catherine A. Hohler	Letera - N/A (Mortgage)	2571 Triple Crown Xing, Powell, Ohio 43065	2571 Triple Crown Xing, Powell, Ohio 43065
319-230-26-002-000	James R. & Nancy B. Staack	2587 Triple Crown Xing, Powell, Ohio 43065	2587 Triple Crown Xing, Powell, Ohio 43065	2587 Triple Crown Xing, Powell, Ohio 43065
319-230-26-001-000	Jayur S. & Priya J. Patel	Corelogics - N/A (Mortgage)	2594 Triple Crown Xing, Powell, Ohio 43065	2594 Triple Crown Xing, Powell, Ohio 43065



MEMO

From: Andrew D. White, City Manager

To: Members of City Council

Initiated By: Claudia D. Husak, AICP, Planning Manager and Yazan S. Ashrawi, Law Director

Re: Ordinance 2024-07 – An ordinance for a Zoning Map Amendment with a combined preliminary and final development plan from the Liberty Township Farm Residence District to the City of Powell Planned Residence District for a development for the storage of boats, recreational vehicles and cars as a permitted use on ±15.8 acres at 4301 Home Road (Horsepower Farm)

Date: March 5, 2024

Summary:

This ordinance is a request for review and recommendation of approval of a zoning map amendment with a combined Preliminary and Final Development Plan from the Liberty Township Farm Residence District to the City of Powell Planned Residence District for a development for the storage of boats, recreational vehicles and cars as a permitted use on ±15.8 acres at 4301 Home Road, on the south side of Home Road, west of Steitz Road. The site is currently zoned FR – Farm Residence District (Liberty Township).

Approval of this ordinance will establish the final zoning of this site as Planned Residence District with the details contained in the Final Development Plan for a development of six (6) additional buildings to the site.

Overview:

The southern portion of the site, encompassing 6.357 acres is located within Liberty Township while the northern portion is incorporated into the City. A petition for annexation of the southern parcel has been filed and approved by the Delaware County Commissioners. An introduction of the annexation ordinance by the City of Powell City Council is required at the March 5, 2024 meeting (See companion Ordinance 2024-06).

The northern portion of the subject site was annexed to the City of Powell in 2007. The site retained the Liberty Township Zoning of FR-1, Farm Residence District. This site was developed as Horsepower Farms after approval of a conditional use by the Board of Zoning Appeals in 2018 as a storage facility for cars, RVs and boats.

The applicant is proposing to incorporate the 6+ acre subject property into Horsepower Farms to construct seven structures as an extension of the existing development and is requesting to rezone the entirety of the site into the Planned Residential District in the City of Powell. The district permits the storage of recreational vehicles as a conditional use and the applicant is requesting the storage of vehicles, recreational vehicles and boats to be made a permitted use as a deviation with the inclusion of a development text for the ease of administering the development in the future. Staff supports the request to include the requested deviation to the development as the Planning and Zoning Commission and City Council are reviewing all details of the proposal. The applicant has provided a development text to further aid in the administration of this development.

Ordinance Review:

The Code, Section [1141.07](#) does not contain specific criteria for zoning map amendments. The Code includes criteria for a request for Zoning Map Amendment to a Planned District, which requires the review and approval of a Preliminary Development Plan. The applicant has provided a detailed Preliminary Development Plan as well as a Final Development Plan. Administration of the zoning and the development will be in accordance to the approval and will follow the Powell Code. The Planning and Zoning Commission has recommended approval to City Council of the Zoning Map Amendment request and the Preliminary Development and Final Development Plans.

This request for approval includes the deviation to allow the storage of recreation vehicles, boats and cars as a permitted use instead of a conditional and also rectifies existing setback on the northern portion of the site which was previously approved using the Township Code.

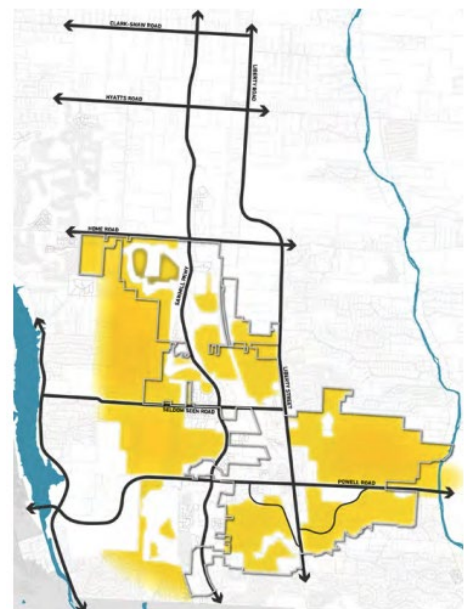
The Planning and Zoning Commission recommended approval to City Council for this application at the February 15, 2024 meeting with the following conditions:

1. That the applicant combine all parcels as part of the permitting process;
2. That the applicant investigate the potential of increasing the height of the mound while ensuring required stormwater management and add additional split rail fencing along the rear of building 15, subject to staff approval;
3. That the applicant work with the property owner to the south to strategically place proposed landscaping should additional mounding be infeasible, subject to staff approval.

Condition 1 can be accomplished by a future application for a lot combination with Delaware County. Conditions 2 and 3 will be reviewed as part of the permitting process.

Comprehensive Plan Consistency:

This site is designated as Single Family Residential in the Land Use chapter of the Comprehensive Plan. The zoning district for residential currently allows for the type of use intended in addition to housing, which is the district the applicant is requesting upon annexation. Surrounding sites are residential and agricultural in nature and the intended use, given the architecture and existing example to the north will fit within the character of the area.



Note: Locations of land use types depicted on this map are intended to be general in nature and do not necessarily depict specific parcel lines or boundary limits. Recommended future land use designations do not change current zoning for individual properties. Changes to zoning, if appropriate, will occur with future public review processes.

Staff supports creating a Planned District within the Powell Zoning Code and with the requested deviations to ensure consistent administration of all requirements and has recommended to the applicant to merge all phases of Horsepower Farms (existing and proposed) into a single development annexed into the City within Planned Residence District. This will create a more comprehensive development plan, allow the entire site to conform to Powell zoning, and create administrative efficiencies for both City Staff and the property owner's reference. It will also help to streamline any future reviews for expansion or site improvements

Legal Review:

The Law Director and Community Development Staff have reviewed this ordinance to ensure compliance with the Zoning Code.

Financial Review:

Per the 2024 Fee Schedule, the project will be required to pay a Recreation Fee of \$4,650 per acre or a total of \$29,560.50 and a Development Fee of \$38,885.

Recommendation:

Staff recommends approval of Ordinance 2024-07 at the second reading/public hearing on March 20, 2024.



ORDINANCE 2024-07

AN ORDINANCE APPROVING AN AMENDMENT TO THE ZONING MAP WITH A COMBINED PRELIMINARY AND FINAL DEVELOPMENT PLAN FROM THE LIBERTY TOWNSHIP FARM RESIDENCE DISTRICT TO THE CITY OF POWELL PLANNED RESIDENCE DISTRICT FOR A DEVELOPMENT FOR THE STORAGE OF BOATS, RECREATIONAL VEHICLES AND CARS AS A PERMITTED USE ON ±15.8 ACRES AT 4301 HOME ROAD (HORSEPOWER FARM).

WHEREAS, at February 15, 2024 meeting, the Planning and Zoning Commission of the City of Powell recommended approval of this proposal with conditions; and

WHEREAS, the request for a Zoning Map Amendment and the Preliminary and Final Development Plans have been submitted to City Council by the Planning and Zoning Commission pursuant to the provisions of Section 1143 of the Codified Ordinances of the City of the Powell; and

WHEREAS, City Council has determined that the implementation and approval of this proposal is in the best interest of the residents of the City of Powell.

NOW THEREFORE BE IT ORDAINED BY THE CITY OF POWELL, COUNTY OF DELAWARE, STATE OF OHIO AS FOLLOWS:

Section 1: That the Zoning Map Amendment and Preliminary and Final Development Plan for the property described in the legal description are accepted and approved by the Council of the City of Powell as submitted; subject to and contingent upon the conditions as recommended by the Planning and Zoning Commission as follows:

1. That the applicant combine all parcels as part of the permitting process;
2. That the applicant investigate the potential of increasing the height of the mound while ensuring required stormwater management and add additional split rail fencing along the rear of building 15, subject to staff approval;
3. That the applicant work with the property owner to the south to strategically place proposed landscaping should additional mounding be infeasible, subject to staff approval.

Section 2: That the submission of the Final Development Plan constitutes a formal request for an amendment addition to the zoning of the property, and upon final approval by Council becomes the zoning of the subject property, in accordance with the Powell Zoning Code.



**PLANNING & ZONING COMMISSION
MEETING MINUTES FEBRUARY 15, 2024**

b. HORSEPOWER FARMS ZONING MAP AMENDMENT

PRELIMINARY/FINAL DEVELOPMENT PLAN (2024-03_Z_PDP_FDP)

Applicant: Chip Vance, Horsepower Farms, LLC c/o Craig Moncrief, Esq. Plank Law Firm
Location: 4301 Home Road et all
Existing Zoning: FR – Farm Residence District (Liberty Township)
Request: Review and recommendation of approval to City Council of a zoning map amendment with a combined Preliminary and Final Development Plan from the Liberty Township Farm Residence District to the City of Powell Planned Residence District for a development for the storage of boats, recreational vehicles and cars as a permitted use on ±15.8 acres at 4301 Home Road, on the south side of Home Road, west of Steitz Road. The site is currently zoned FR – Farm Residence District (Liberty Township) and the applicant is Chip Vance, Horsepower Farms, LLC c/o Craig Moncrief, Esq. Plank Law Firm.

Chair Bailik read case 2024-03_Z_PDP_FDP into record. Claudia Husak provided a staff presentation. The southern portion of the site, encompassing 6.357 acres is located within Liberty Township while the northern portion is incorporated into the City. A petition for annexation of the southern parcel has been filed and approved by the Delaware County Commissioners. An introduction of the annexation ordinance by the City of Powell City Council is required at the March 5, 2024 meeting.

The northern portion of the subject site was annexed to the City of Powell in 2007. The site retained the Liberty Township Zoning of FR-1, Farm Residence District. This site was developed as Horsepower Farms after it was approved by the Board of Zoning Appeals with a conditional use in 2018. The applicant is proposing to incorporate the 6+ acre subject property into Horsepower Farms to construct additional space for the storage of recreational vehicles. As part of the request, the applicant is also requesting to have the zoning map amended to a Powell zoning district. This application includes all final details that would be required for a preliminary and final development plan. The introduction of the annexation ordinance will go before City Council on 3/5/2024.

Three of the proposed new structures cross the existing parcel boundary lines and staff requests all parcels be combined through a lot combination with Delaware County. Having a consolidated district will make future administration of any changes much easier.

Since the sketch plan review, the size of building 14 was decreased, building setbacks have increased from 10 to 25 feet for side yards and from 40 to 60 feet for rear yards and there is mounding proposed along the southern and eastern property lines.

This site is designated as Single Family Residential in the Land Use chapter of the Comprehensive Plan. The zoning district for residential currently allows for the type of use intended in addition to housing, which is the district the applicant is requesting upon annexation. Surrounding sites are residential and agricultural in nature and the intended use, given the architecture and existing example to the north will fit within the

character of the area. There are overhead power lines going through the site which would make other development of the site challenging.

Staff recommends the Planning and Zoning Commission recommend approval to City Council of this Zoning Map Amendment and Combined Preliminary and Final Development Plan with the following conditions:

1. That the applicant combine all parcels as part of the permitting process;
2. That the applicant investigate the potential of increasing the height of the mound while ensuring required storm water management and add additional split rail fencing along the rear of building 15, subject to staff approval;
3. That the applicant work with the property owner to the south to strategically place proposed landscaping should additional mounding be infeasible, subject to staff approval.

APPLICANT

Craig Moncrief	Chip Vance
Plank Law Firm	HorsePower Farms, LLC
411 East Town Street	275 Oakham Court
Columbus, OH 43215	Powell, OH 43065

Craig Moncrief presented a slide show. Each unit is a garage condominium for purchase with a condo association. Buyers can customize their units however they might wish. He noted that the benefit to the zoning approval would be that the entire development will be cohesive under one zoning and site plan. There are current 7 garage buildings with 52 units along with a club house. The new plan will add another seven buildings and 67 units. There will be a secondary access to the property from Steitz Road that will have a gate. He noted that the plans meet or exceed the required landscaping setback standards.

Chip Vance noted that he has been working with the neighbors. He has heard their input and is incorporating what he can to meet the neighbor's needs.

Chair Bailik opened the case for public comment.

Mark Cutler
7750 Steitz Road
Powell, Ohio 43065

Mark Cutler noted that he is not a Powell resident but lives next to the property. He spoke with Mr. Vance earlier who verified that he is connecting to the Scioto Reserve sanitary sewer. He requests that the project have higher mounding and more trees than what has been presented. He wanted to verify that the north boundary has a 60-foot setback.

Linda Franz
7570 Steitz Road
Powell, Ohio 43065

Linda Franz said that when she and her husband built their home, she never expected that her view would be of garages. She knows that she cannot stop the project, but she asks for privacy, insulation of sound and safety to be considered. She is concerned about speeders on the roads and revving of engines and is concerned for her grandchildren, noting that she has a special needs grandchild. She would like to see Home Road used for construction traffic.

Brandon Cook
7700 Steitz Road
Powell, Ohio 43065

Brandon Cook asked if the email comments will be read. Commission Member Griffin assured him that all of the Commission members have read the emails which have been submitted. Brandon Cook stated that he shares 500 feet of his property with the proposed development and that he is opposed to the size and scope of the nature and he sees no need for this to be put in a residential area. He brought up the concept of spot zoning – rezoning that is at odds with a city's master plan resulting in unjustified special treatment for a developer. He believes that this Zoning Amendment meets the qualifications of spot zoning. The project will have a negative effect on home value and will hurt his neighbors. He stated that this is a conflict of interest and asked if the city protects neighbors or if there is a quid pro quo with the developer since the city will receive fees for this project. He is asking for the City to require an adequate number and size of fast growing evergreen trees, mounding and landscaping and asked the Commission to do what is right.

Karen Niehaus
8900 Filiz Lane
Powell, Ohio 43065

Karen Niehaus is a condo owner in HorsePower Farms. She is in favor of the proposed changes. She is pleased that Steitz Road can be used as an entrance to the property, and she is happy to keep her motor home there.

Joseph Wood
3915 Hampshire Avenue
Powell, Ohio 43065

Joseph Wood gave his support to the rezoning efforts and stated that he owns a unit and uses it to store his cars.

Brad Bender
8151 Timothy Trace
Powell, OH 43065

Brad Bender is in the process at looking at purchasing a unit. He is in favor of the rezoning. He stated that he knows that there are concerns. He will use his unit for storage and stated that there is nothing else like this in Powell. He believes that the units are a needed venue for the area.

Faye Bennington
8095 Farm Crossing Circle
Powell, Ohio 43065

Faye Bennington owned the land before Chip Vance purchased it. She stated that Mr. Vance would help with any problems and would check in with her while the first phase was constructed. She noted that she has never had issues with noise from the original condos. She said there is not heavy traffic going to the condos.

Mike Friel
7769 Will's Run Lane
Blacklick, Ohio 43004

Mike Friel stated that he keeps his British sports cars at HorsePower Farms. He stated that the existing property is well maintained, and that the owners are not messy people. He said that these are very expensive cars and that the owners just need a place that is safe and clean to store their toys. He is in favor of the rezoning.

Katie McCall
14 East Main Street
Springfield, Ohio 45502

Kiki McCall is the project manager on site. She reiterated that Mr. Vance made a way for the set back and mounding to work. She is available if there are architectural questions.

Chair Bailik verified that no more members of the public wished to comment and closed public participation. Chair Bailik then opened up the floor for Commission member feedback and discussion.

Claudia Husak noted that all emails which were sent in were included in the Commission members' packets.

Shaun Simpson asked about how the condo agreement effects overall maintenance on the property as well as questions about garbage collection and fencing. Mr. Vance explained that the bylaws require 10% annually to be put in a capital account which balance is currently \$160,000. The by-laws were amended so that if every time a property changes hands, the new owner must contribute \$2,000 to the reserve, and also answered Mr. Simpson's other questions. Mr. Simpson noted that this development benefits the schools in that it is adding tax income without adding additional students.

Kurt Ramsey asked about what security will be in place to protect the facility. Mr. Vance reviewed safety and security measures which are on site.

Ted Klecker asked clarifying questions about occupancy, mounding and other amenities, which Mr. Vance answered. Mr. Klecker asked if the police had ever been called to the property to which Mr. Vance stated to his knowledge they had not. Mr. Klecker asked about deed restrictions that would prevent the units from being a primary residence and Mr. Vance reviewed the deed restrictions on site. Mr. Klecker also asked Mr. Cook about what HorsePower Farms has done to address the neighbor's concerns. Mr. Cook answered that he had had a meeting with Mr. Vance, but other neighbors have not.

Ryan Griffin asked clarification questions regarding the mounding and landscaping. Ms. McCall, the project architect, provided more detail about what they are planning as they were not able to accurately show the mounding in the presented renderings. Mr. Griffin stated that he thinks this is a good use of a spot with giant power lines going overhead. He thinks that the concerns from the last meeting have been addressed.

David Lester stated that he disagrees with the allegation of spot zoning. He noted that this will be a high-end development and that Powell is a high end area. He noted that the former owner of the land supports this development and that as a resident of Kinsale, he feels that this is awesome and will bring very little traffic. He stated that the proposal has his full support.

Elizabeth Bailik noted that she sees that Mr. Vance is talking with the neighbors and taking their requests into consideration. She stated that it makes sense to combine the parcels within the City of Powell. She stated that she appreciates the efforts Mr. Vance has made and encouraged him to continue to work with the neighbors.

MOTION: David Lester moved to recommend that City Council approve the Zoning Map Amendment from the Liberty Township farm residence district to the City of Powell planned residence district and the combined Preliminary and Final Development Plan for case number 2024-03_Z_PDP_FDP as presented by the applicant Chip Vance of Horsepower Farms LLC c/o Craig Moncrief, Plank Law Firm which is located at Home Road on the south side of Home Road



**PLANNING & ZONING COMMISSION
MEETING MINUTES
SEPTEMBER 13, 2023**

CALL TO ORDER/ROLL CALL

Chair Elizabeth Bailik called the September 13, 2023 Planning & Zoning Commission meeting to order at 6:30 p.m. Commission Members present included, Shaun Simpson, Elizabeth Bailik, Ryan Herchenroether, Ferzan Ahmed, Ryan Griffin and Stephan MacGuidwin. David Lester was absent. Staff included Andy White, City Manager, Jeff Tyler, ACM/Development Director, Claudia Husak, Planning Director; Elise Schellin, Senior Planner; and Pam Friend, Administrative Assistant. Council members in attendance were Mayor Dan Swartwout and Heather Karr.

HEARING OF VISITORS FOR ITEMS NOT ON THE AGENDA

Chair Bailik opened the floor for visitors to address the Commission for items not on the agenda. Hearing none, Chair Bailik closed public comment.

APPROVAL OF MINUTES

August 9, 2023 Meeting Minutes
[08092023_PZ_Draft_Min.pdf](#)

Chair Bailik moved to approve the August 9, 2023 Planning & Zoning Commission Minutes with a yes or no vote. All members present signified with a yes vote. Minutes approved by consensus.

ITEMS FOR REVIEW

SKETCH PLAN REVIEW (2023-24SP)

Applicant: Horsepower Farms LLC
Location: 7860 Steitz Road
Existing Zoning: FR1 - Liberty Township Farm Residence District
Requested Zoning: PR- Planned Residence District, City of Powell
Request: Review and feedback of a Sketch Plan to construct seven garage condominiums on a ±6.357 acre lot.

1. [Staff Report_HorsePowerFarms2_2023-24SP.pdf](#)
2. [Horsepower Farms Phase 2 Combined App.pdf](#)

Elise Schellin, Senior Planner, presented the Staff Report, which recommends the applicant merge all phases of Horsepower Farms (existing and proposed) into a single development annexed into the City with Planned Residence District zoning.

Also, staff is recommending the Commission provide the applicant/owner with comments regarding the following: uses/rezoning, access, setbacks, landscaping, building location, and any other comments by the Commission wishes to discuss.

Chip Vance, Applicant, Horsepower Farms LLC, talked about the current Horsepower Farms site, the vision for the extension of the project and answered questions from the Commission.

Commissioner Herchenroether asked about the ratio of RVs, boats and cars. Mr. Vance said he could not give an exact number but maybe 12 RVs, a boat and the rest are cars.

Commissioner Simpson asked if vehicles set outside the units. Mr. Vance said the bylaws require no vehicle be left outside for more than 72 hours including trailers.

Commissioner Ahmed asked if events are held on the property, and plans for fencing and mounding. Mr. Vance said there are occasional gatherings but nothing past 10:00 p.m. Also, he envisions mounding and a split-rail fence along areas where there is no natural buffer. Further, he talked about the high-tension wires and retention pond they will be adding.

Commissioner Simpson asked if Liberty Fire has reviewed the plan and if the merging of the properties can happen with plan approval. Claudia Husak, Planning Director, said staff has done a preliminary review with Liberty Fire in regards to the Steitz Road access and circulation. Ms. Husak said staff strongly encourages merging the properties as part of this process.

Commissioner Simpson asked about the number of units and lighting, which Mr. Vance responded there would be an additional 63 total units added and the lighting is zero lumens. There are no light poles, all lighting is on the units facing downward.

Commissioner MacGuidwin asked Mr. Vance about his discussions with the neighbors. Mr. Vance walked the neighborhood behind the property and talked with neighbors about what mounding and buffering they would like to see.

Commissioner Griffin asked if mounding will be around the entire property and the neighbor's feedback he is incorporating into the design. Mr. Vance said mounding will primarily be on the east and south side. To the west is high-tension wires and there will be a retention pond. He received suggestions for adding hay style barn doors to the top of the buildings.

Chair Bailik appreciates the applicant talking with neighbors and suggested offering neighboring properties a tour of the current development. She opened the floor for visitors to address the Commission for the Horsepower Farms Sketch Plan request.

Jesse Hunter, 8197 Trail Lake Drive, gave comment in opposition to the proposed project.
(Golf Village, City of Powell)

David Brock, 2668 Silver Leaf Drive, spoke in opposition to the proposed project.
(Lakes @ Silver Leaf, Liberty Twp.)

Matthew Hunter, 10657 Dundee Court, spoke in opposition to the proposed project.
(Wedgewood, Liberty Twp.)

Jerry and Bonnie Goodson, 7956 Steitz Road, spoke in opposition of the proposed project.
(Liberty Twp.)

Fay Baynton, 8095 Farm Crossing Circle, spoke in support of the proposed project.
(Former owner of property in question) (Concord Twp.)

Mark Cutler, 7750 Steitz Road, spoke in opposition to the proposed project.
(Liberty Twp.)

Steven Dziczkowski, 7690 Steitz Road, spoke in opposition to the proposed project.
(Liberty Twp.)

Brandon Cook, 7700 Steitz Road, spoke in opposition to the proposed project.
(Liberty Twp.)

Greg Davis, 7815 Tree Lake Blvd, spoke in opposition to the proposed project.
(Scioto Reserve, Concord Twp.)

Robert & Patricia Schneider, 7941 Steitz Road, spoke in opposition to the proposed project.
(Liberty Twp.)

David Rogers, 3668 Bainbridge Mills Drive, spoke in opposition to the proposed project.
(Bainbridge Mills Sub., Liberty Twp.)

Blasen Archibald, 161 Charterhouse Court, spoke in opposition to the proposed project.
(Falcon Ridge, City of Powell)

Joel Staskiewicz, 3140 Ardmore Court, spoke in support of the proposed project.
(Liberty Lakes, Liberty Twp.)

John Tallarico, 225 Oakham Court, spoke in support of the proposed project.
(Liberty Hills, City of Powell)

Larry Coolidge, 2559 Jewett Road, spoke in support of the proposed project.
(Liberty Twp.)

Margo Smith, 4775 Cherry Glen Drive, spoke in opposition to the proposed project.
(Scioto Reserve, Concord Twp.)

Hearing no other comments, Chair Bailik closed public comment and turned to the Commission for comments for any additional comments.

Commissioner Herchenroether asked staff to clarify the Planned Residents District. Ms. Husak said City of Powell zoning does not have an equivalent to Farm Residential that exist in the Township. The conditional uses in the Planned Residential District include storage for boats and RVs, as well as various other uses. Further, she said residential use on this land is the appropriate district to apply to this site.

Commissioner Herchenroether said the clarification is helpful and explained to those in attendance that there is a process not an automatic approval when looking at projects.

Commissioner Ahmed thanked everyone for their comments, but he had nothing more to add to the discussion with regards to the Sketch Plan review.

Commissioner Simpson does not believe this area is what it once was. Much of the farmland went away when Liberty Township developed the PODs, which made Home Road a major thoroughfare. This project will have a net positive to the school district and tax base. He agrees with the speaker who said it is not a great idea to have residential under power lines, so having non-occupied buildings there is a good fit. He is concerned the L-shaped building is too large, would like to see more mounding/buffering and architectural esthetics added to units.

Commissioner MacGuidwin appreciates neighbors sharing their views, but encourages them to engage Mr. Vance in discussions in order to have a productive dialog. He thinks Horsepower Farms is a unique opportunity for the City of Powell and central Ohio, but does not believe the proposed Sketch Plan fits within the Planned Residential conditional use definition and tends to agree it is more of a Planned Commercial District, however as a community member noted just north is an area zoned commercial and more commercial development is coming to this area.

Commissioner Griffin said Powell is exploding with growth, particularly in this area where they built a new library and other commercial projects. He commented Home Road will be a 5-lane freeway to I-71. He feels this is a forum for what is the best way forward to make the community better.

Chair Bailik said public input is paramount to the success of Powell. She talked about the conditional uses in the Code and the importance of understanding it. Further, she talked about the process and the ultimate decision coming from City Council.

Note - Brief recess

OTHER BUSINESS

WORKSHOP - Discuss Design Guidelines - Potential Downtown Re-Development

[Village Green RFQ_Draft Final.pdf](#)

[Powell_Placemaking_090523.pdf](#)

[Powell_DesignGuidelines_091323.pdf](#)

Jeff Tyler, Assistant City Manager/Community Development Director, talked about a request for RFQs to look at the potential of re-development of the 12+ acres where the Village Green and municipal building are located. He talked about holding a series of informational workshops so the decision/policy makers could have a pathway forward. He introduced Kim Way and Megha Sinha of NBBJ, a national multi-disciplined design firm, who gave a presentation regarding the potential for downtown re-development. They discussed the need for updated design guidelines and offered three potential ways to go about updating guidelines; Developer-Led Village Green Master Plan and Urban Design; City-Led Process to Update Downtown Design Guidelines Process, and Developer-City Collaboration. These items are for discussion only and not intended to be recommendations. After the presentation there was a discussion between members of City Council, the Planning and Zoning Commission and staff.



PLANNING AND ZONING COMMISSION (P&Z)
ZONING MAP AMENDMENT APPLICATION

ALL ITEMS ON THIS APPLICATION MUST BE COMPLETED.

Application Fee: \$750.00*
Per Fee Schedule

Applicant: Horsepower Farms LLC c/o Craig Moncrief, Esq.

Address/City/State/Zip: Plank Law Firm, LPA, 411 East Town Street, Floor 2, Columbus, Ohio 43215

Email Address: cjm@planklaw.com

Phone No: 614-947-8600 Cell Phone No: Fax No:

Property Owner: See attached exhibit

Address/City/State/Zip:

Email Address:

Phone No: Cell Phone No: Fax No:

Architect/Designer for Applicant: McCall Sharp Architecture c/o Katie and Edward McCall

Address/City/State/Zip: 14 East Main Street, Suite 201, Springfield, Ohio 45502

Email Address: kmccall@mccallsharp.com and ed@mccallsharp.com

Phone No: 937-323-4300 Cell Phone No: Fax No:

Property Address: 4301 Home Road, Powell, Ohio 43065

Lot Number/Subdivision: Existing Use: Garage condo and agricultural Proposed Use: Garage condominiums

Zoning Map Change Request (attach necessary documents): From FR-1 District to PR District in order to develop:

Applicant desires to rezone the existing Horsepower Farms facility and its proposed expansion. Horsepower Farms provides for-sale garage condominiums for the storage of personal and recreational vehicles.

Checklist:

- Zoning Map Amendment requirements set forth in Section 1131.04
Attach a list of contiguous property owners as well as directly across the street from and within 250 feet of property
Attach 5 copies of a vicinity map
1 digital copy (CD, USB, Email) of the complete application packet.
Attach statement of compatibility of proposed zoning and use with adjacent properties and comprehensive plan
Attach the required fee - \$750.00*

*Does not include transcript cost, which actual cost incurred.

Post a public notice sign at least (10) days prior to a public hearing or public meeting, pursuant to ordinance 1107.035

Public notice sign details found here.

(See Over)

HORSEPOWER FARM'S

OWNER : POWELL CONDOS

PROJECT SITE: 4301 HOME ROAD, POWELL, OHIO 43065

ARCHITECT

McCall Sharp Architecture, Ltd.

14 East Main Street, Suite 201
Springfield, OH 45502
(937) 323-4300

CONTRACTOR

3C Industries

605 Miami Street
Urbana, OH 43078
(937) 652-4759

DRAWING SHEET INDEX

GENERAL

- G1 - COVER PAGE
- G2 - PHOTOMETRICS PLAN
- G3 - PHOTOMETRICS PLAN
- G4 - PHOTOMETRICS PLAN

CIVIL

- SITE IMPROVEMENT PLANS (12 PAGES)
- SANITARY SEWER IMPROVEMENTS (6 PAGES)

LANDSCAPING

- L1 - LANDSCAPING PLAN

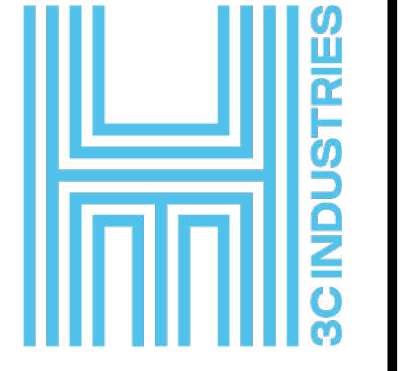
ARCHITECTURAL

- A1 - ARCHITECTURAL SITE PLAN
- A2 - BUILDING 8 FLOOR PLAN & EXT. ELEVATIONS
- A3 - BUILDING 9 FLOOR PLAN & EXT. ELEVATIONS
- A4 - BUILDING 10 FLOOR PLAN & EXT. ELEVATIONS
- A5 - BUILDING 11 FLOOR PLAN & EXT. ELEVATIONS
- A6 - BUILDING 12 FLOOR PLAN & EXT. ELEVATIONS
- A7 - BUILDING 14 FLOOR PLAN
- A8 - BUILDING 14 EXT. ELEVATIONS
- A9 - BUILDING 14 EXT. ELEVATIONS
- A10 - BUILDING 15 FLOOR PLAN & EXT. ELEVATIONS
- A11 - EXTERIOR RENDERINGS
- A12 - EXTERIOR RENDERINGS

NOT FOR CONSTRUCTION

REVISIONS

NO.	DATE	DESCRIPTION



HORSEPOWER FARM'S
FOR
POWELL CONDOS
4301 HOME ROAD, POWELL, OHIO 43065
COVER PAGE

JOB NO: 2316

DRAWN BY: KJM
CHECKED BY: EEM
CONSTRUCTION DOCUMENTS

G1

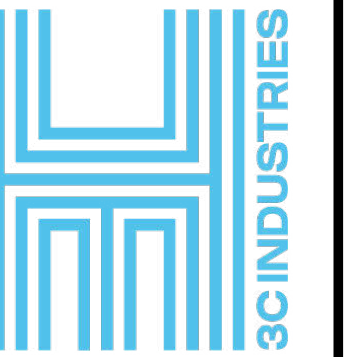
DATE: 01-25-2024

© COPYRIGHT 2017 BY MCCALL SHARP ARCHITECTURE LTD.

NOT FOR CONSTRUCTION

REVISIONS

NO. DATE DESCRIPTION



McCall SHARP ARCHITECTURE

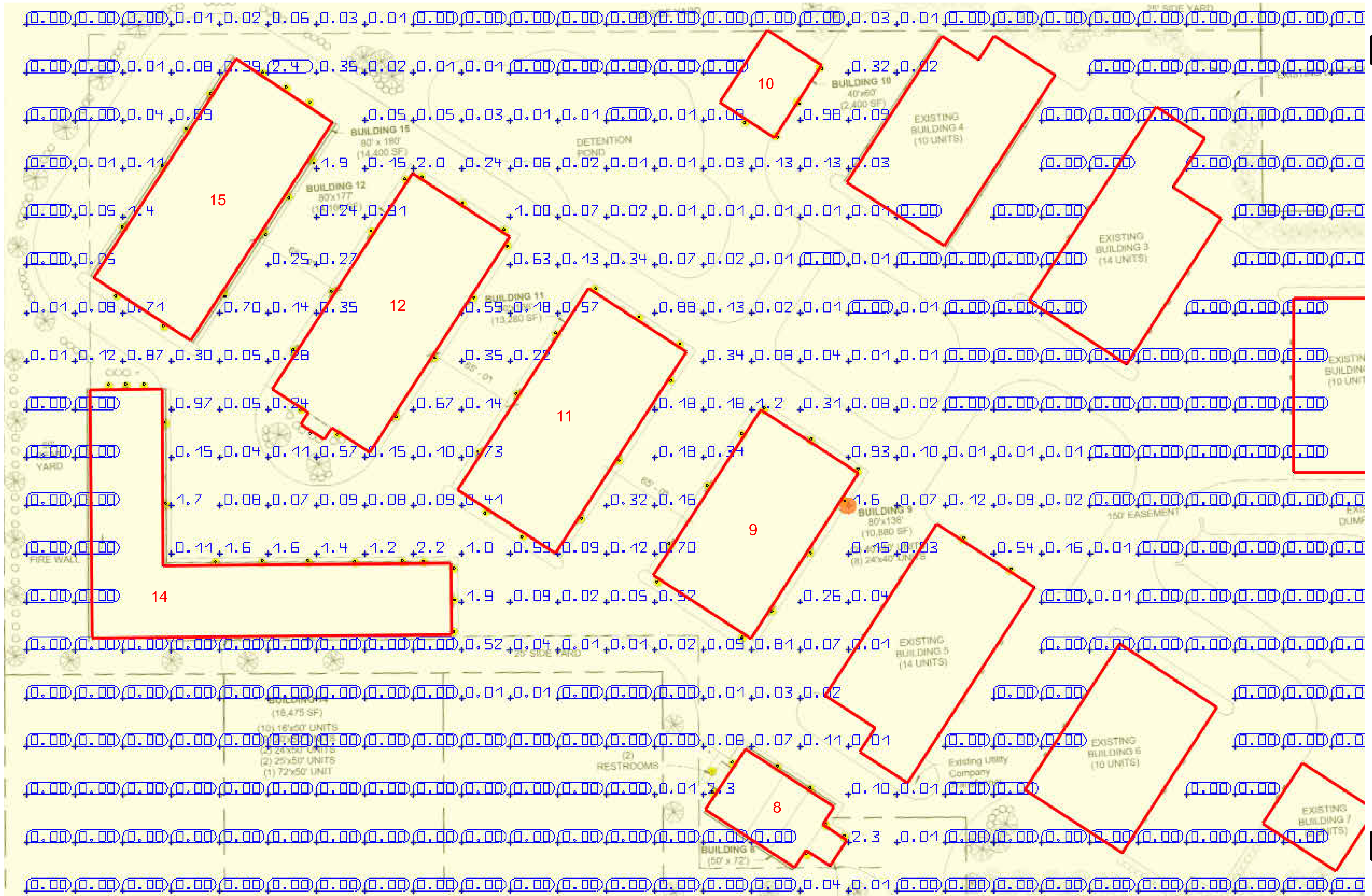
HORSEPOWER FARMS FOR POWELL CONDOS 4301 HOME ROAD, POWELL, OHIO 43065

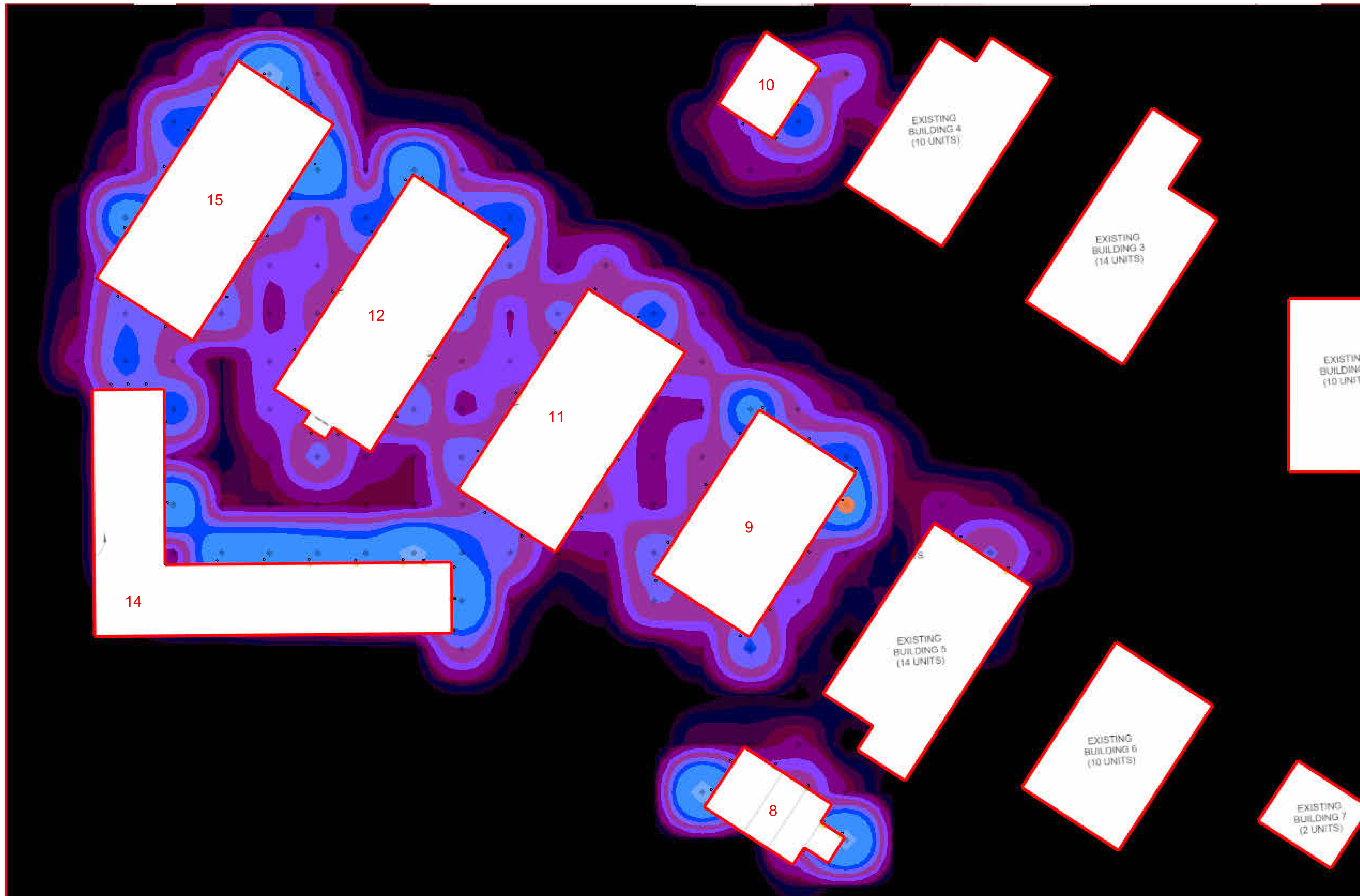
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DRAWN BY: KJM CHECKED BY: EEM CONSTRUCTION DOCUMENTS

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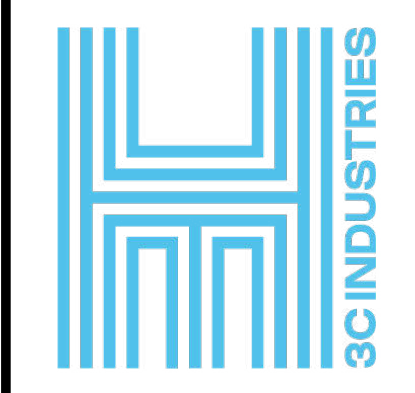
DATE: 01-25-2024





NOT FOR CONSTRUCTION

REVISIONS	
NO.	DESCRIPTION



McCall SHARP ARCHITECTURE
14 EAST MAIN STREET SUITE 201 SPRINGFIELD, OHIO 45502

HORSEPOWER FARMS
 FOR
 POWELL CONDOS
 4301 HOME ROAD, POWELL, OHIO 43065
 PHOTOMETRICS PLAN

JOB NO: 2316

DRAWN BY: KJM
 CHECKED BY: EEM
 CONSTRUCTION DOCUMENTS

G3

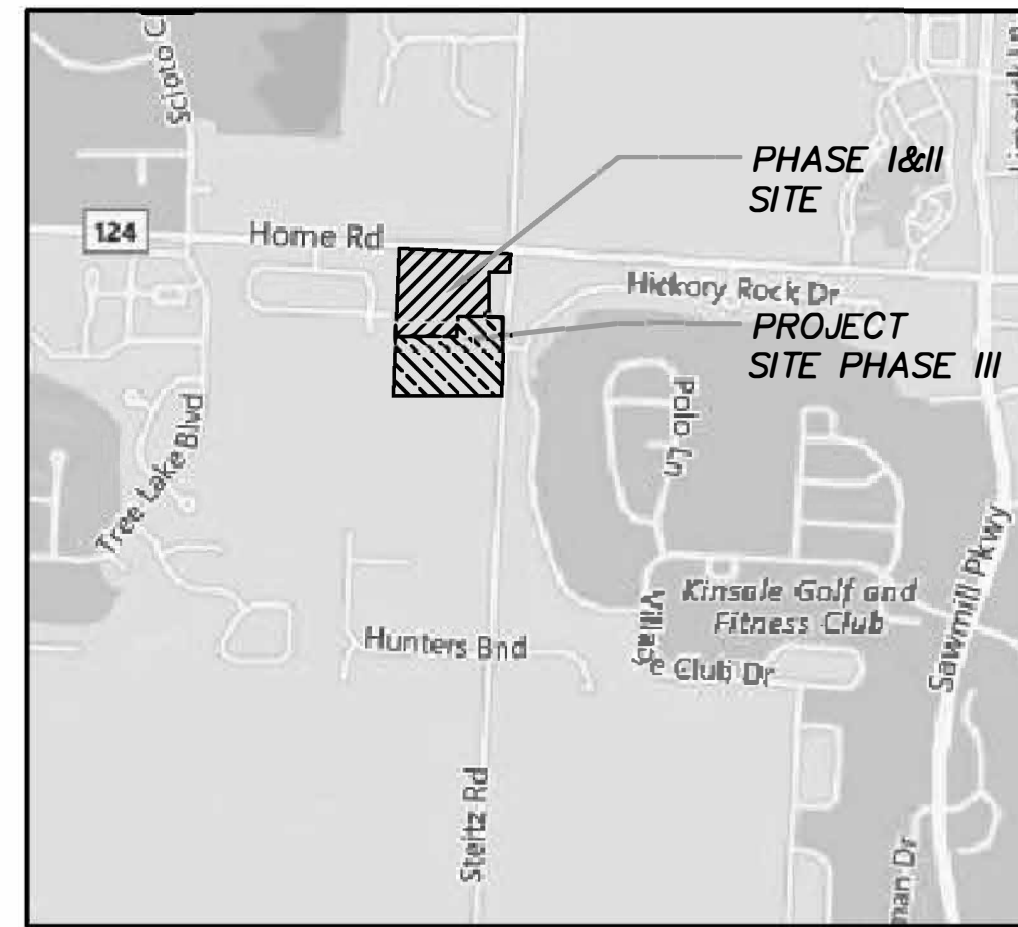
DATE: 01-25-2024

SITE IMPROVEMENT PLANS FOR: HORSEPOWER FARMS PHASE III

4301 HOME ROAD THE CITY OF POWELL 2024

OWNER/DEVELOPER

CHIP VANCE
C/O HORSEPOWER FARMS
356 W. OLENTANGY STREET
POWELL, OHIO 43065
chipvance@gmail.com



VICINITY MAP
NOT TO SCALE

GENERAL NOTES

- THE REQUIREMENTS OF THE CITY OF POWELL, OHIO AND OSPA PERMIT 46C0031746, TOGETHER WITH THE CONSTRUCTION AND MATERIAL SPECIFICATIONS AND THE STANDARD CONSTRUCTION DRAWINGS OF THE CITY OF COLUMBUS, DEPARTMENT OF TRANSPORTATION, MATERIAL SPECIFICATIONS INCLUDING ALL SUPPLEMENTS THERETO, AND AQA OHIO SPECIFICATIONS, IN FORCE ON THE DATE OF CONTRACT, SHALL GOVERN ALL MATERIAL AND WORKMANSHIP INVOLVED IN THE IMPROVEMENTS SHOWN ON THESE PLANS, EXCEPT AS SUCH SPECIFICATIONS ARE MODIFIED BY THE CONSTRUCTION DETAILS SET FORTH ON THE PLANS OR IN THE NOTES.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL FEDERAL STATE AND LOCAL SAFETY REQUIREMENTS, TOGETHER WITH EXERCISING PRECAUTIONS AT ALL TIMES FOR THE PROTECTION OF PERSONS (INCLUDING EMPLOYEES) AND PROPERTY. IT IS ALSO THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO INITIATE, MAINTAIN AND SUPERVISE ALL SAFETY REQUIREMENTS, PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.
- THE IDENTITY AND LOCATION OF THE EXISTING UNDERGROUND UTILITY FACILITIES KNOWN TO BE LOCATED IN THE CONSTRUCTION AREA HAVE BEEN SHOWN ON THE PLANS AS ACCURATELY AS PROVIDED BY THE OWNER OF THE UNDERGROUND UTILITY. THE CITY OF POWELL AND/OR THE ENGINEER ASSUME NO RESPONSIBILITY AS TO THE ACCURACY OR THE DEPTHS OF THE UNDERGROUND FACILITIES WHETHER OR NOT SHOWN ON THE PLANS.
- THE CONTRACTOR SHALL CAUSE NOTICE TO BE GIVEN TO THE OHIO UTILITY PROTECTION SERVICE (TELEPHONE 1-800-362-2764 - TOLL FREE) AND THE OWNER'S OF THE UNDERGROUND UTILITIES SHOWN ON THE PLANS WHO ARE NOT MEMBERS OF A REGISTERED UNDERGROUND PROTECTION SERVICE IN ACCORDANCE WITH SECTION 153.64 OF THE REVISED CODE.
- SUPPORT, PROTECTION AND RESTORATION OF ALL EXISTING UTILITIES AND APPURTENANCES, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE COST OF THIS WORK SHALL BE INCLUDED IN THE PRICE BID FOR THE VARIOUS ITEMS.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS.
- ALL TRENCHES UNDER EXISTING OR PROPOSED PAVED AREAS OR DRIVES SHALL BE REPLACED TO ORIGINAL CONDITION OR CONNECTED EITHER TO THE STORM SEWER SYSTEM AS DIRECTED BY THE ENGINEER. THE CITY OF POWELL'S ENGINEERS OFFICE SHALL BE IMMEDIATELY NOTIFIED WHEN FIELD TILE IS ENCOUNTERED.
- ALL TRAFFIC CONTROL DEVICES SHALL BE FURNISHED, ERECTED, MAINTAINED AND REMOVED BY THE CONTRACTOR IN ACCORDANCE WITH THE OHIO MANUAL OF TRAFFIC CONTROL DEVICES FOR CONSTRUCTION AND MAINTENANCE OPERATIONS, COPIES OF WHICH ARE AVAILABLE FROM THE OHIO DEPARTMENT OF TRANSPORTATION, BUREAU OF TRAFFIC, 1980 WEST BROAD STREET, COLUMBUS, OHIO 43223.
- TWO WAY - TWO LANE TRAFFIC SHALL BE MAINTAINED ON STEITZ ROAD AT ALL TIMES.
- ACCESS TO ALL ADJACENT PROPERTIES TO BE MAINTAINED AT ALL TIMES.
- STEADY-BURNING, TYPE "C" LIGHTS SHALL BE REQUIRED ON ALL BARRICADES, DRUMS AND SIMILAR TRAFFIC CONTROL DEVICES IN USE AT NIGHT.
- TRACKING OF MUD, DIRT, DEBRIS ONTO PUBLIC ROADWAY IS PROHIBITED. ANY SUCH OCCURRENCE SHALL BE CLEANED UP IMMEDIATELY BY THE CONTRACTOR.
- ALL TRENCHES UNDER EXISTING OR PROPOSED PAVED AREAS OR DRIVES SHALL BE BACKFILLED WITH COMPACTED GRANULAR BACKFILL, FROM THE TOP OF THE BEDDING MATERIAL TO THE PAVEMENT SUBGRADE OR TO A PLANE SIX (6) INCHES BELOW THE TOP OF THE GROUND, BETWEEN THE LIMITS OF FIVE (5) FEET BEYOND THE EDGE OF PAVEMENT, PAVED SHOULDER, OR THE BACK OF CURB, UNLESS OTHERWISE SHOWN. TRENCHES NOT UNDER EXISTING OR PROPOSED PAVED AREAS BUT WITHIN EXISTING OR PROPOSED RIGHT OF WAY OR LAWN AREAS SHALL BE BACKFILLED WITH COMPACTED BACKFILL.
- THE DEVELOPER/OWNER/CONTRACTOR SHALL, PRIOR TO ANY CONSTRUCTION OPERATION, DEPOSIT WITH THE CITY OF POWELL THE TOTAL ESTIMATED COSTS FOR INSPECTION.
- ANY MODIFICATION TO THE WORK AS SHOWN ON THESE DRAWINGS MUST HAVE PRIOR WRITTEN APPROVAL BY THE CITY OF POWELL.
- ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWERS ARE PROHIBITED.
- THE DEVELOPER/OWNER/CONTRACTOR SHALL PROVIDE 72 HOURS WRITTEN NOTICE TO THE CITY OF POWELL PRIOR TO BEGINNING CONSTRUCTION. IN THE EVENT CONSTRUCTION ACTIVITIES CEASE FOR MORE THAN 72 HOURS, CONTRACTOR IS REQUIRED TO PROVIDE 48 HOURS NOTICE PRIOR TO RESUMING CONSTRUCTION ACTIVITIES.
- AS-BUILT PLANS:** PRIOR TO CONSIDERATION OF CONDITIONAL CERTIFICATE OF OCCUPANCY, THE DEVELOPER/OWNER SHALL PROVIDE THE CITY WITH AN "AS-BUILT" SURVEY OF THE IMPROVEMENTS INCLUDING THE STORM WATER MANAGEMENT SYSTEM (INCLUDING RETENTION/DETENTION AREAS AND APPURTENANCES) AND ALL CRITICAL GRADE ELEVATIONS DEPICTING THAT THE OVERALL MAJOR STORM ROUTINGS FUNCTION PER THE APPROVED PLAN AND AS INTENDED. THE SURVEY SHALL BE COMPLETED BY A PROFESSIONAL REGISTERED SURVEYOR.
- PRE-CONSTRUCTION CONFERENCE:** A PRE-CONSTRUCTION CONFERENCE SHALL BE HELD AT THE CITY ENGINEERS OFFICE AT LEAST 15 CALENDAR DAYS BEFORE ANY WORK HAS BEGUN. REPRESENTATIVES OF THE OWNER, DESIGN ENGINEER AND CONTRACTOR SHALL BE IN ATTENDANCE. A SCHEDULE OF SEQUENCE OF EVENTS, DURING CONSTRUCTION, MUST BE SUBMITTED FOR REVIEW AT LEAST 7 DAYS PRIOR TO THIS MEETING.

STORM WATER NOTES

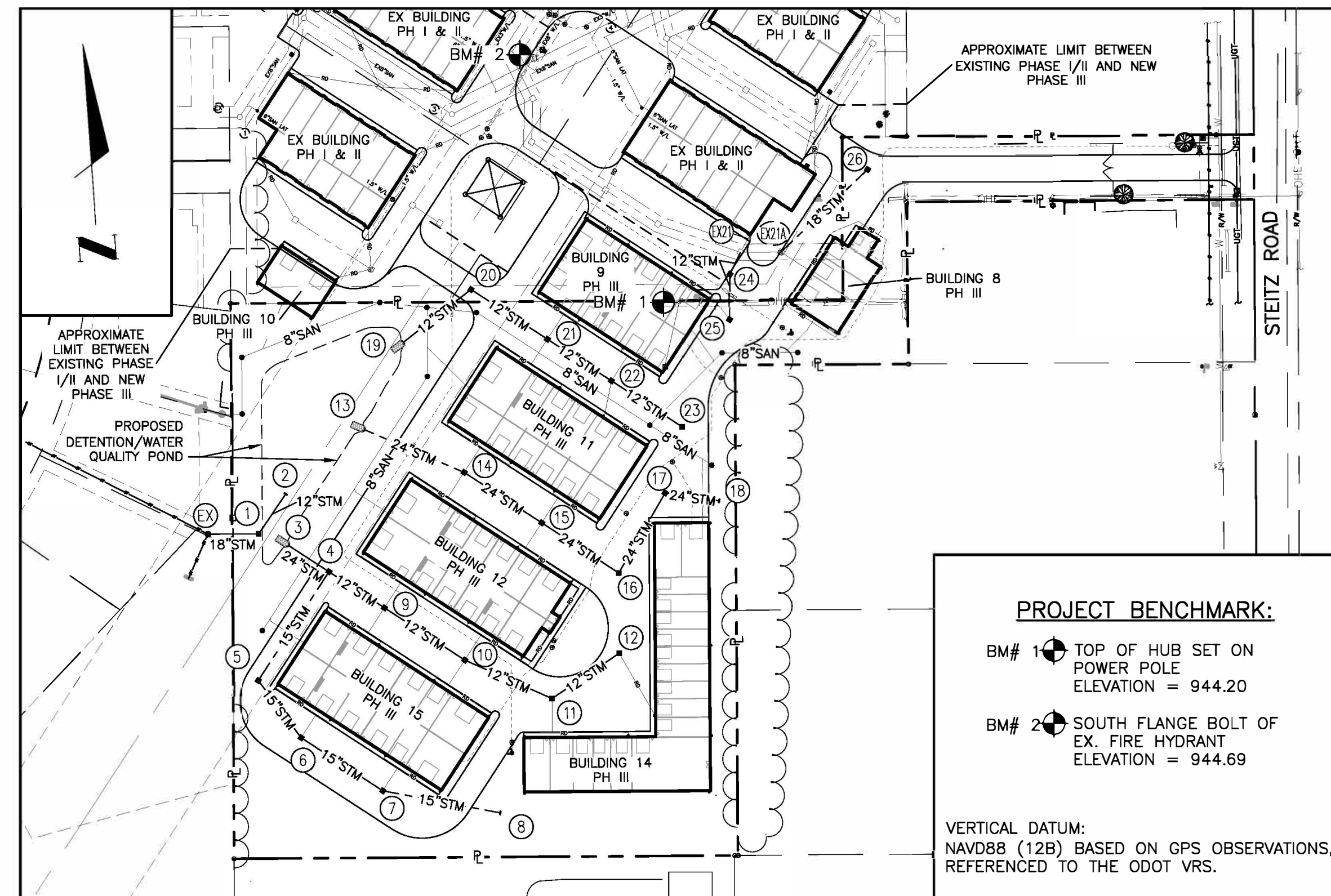
- ALL SEWERS OUTSIDE OF EASEMENTS AS SHOWN ON THIS DRAWING ARE TO BE CONSTRUCTED AS A PRIVATE STORM SYSTEM. THEREFORE THE CITY WILL NOT ASSUME MAINTENANCE THEREOF AFTER COMPLETION. STANDBY INSPECTION IS MANDATORY DURING CONSTRUCTION.
- THE FOLLOWING UTILITIES ARE LOCATED WITHIN THE WORK LIMITS OF THIS PROJECT, AND THE OWNERS DO NOT SUBSCRIBE TO A REGISTERED UNDERGROUND UTILITY SERVICE.

UTILITY	OWNER	TELEPHONE NO.
STORM SEWER	CITY OF POWELL	614-885-5380
SANITARY SEWER	DELAWARE COUNTY SANITARY ENGINEER	740-833-2240
WATER FACILITIES	DELCO WATER	740-548-7746

- THE FLOW IN ALL SEWERS, DRAINS AND WATERCOURSES ENCOUNTERED SHALL BE MAINTAINED BY THE CONTRACTOR AT HIS OWN EXPENSE AND WHENEVER SUCH WATERCOURSES AND DRAINS ARE DISTURBED OR DESTROYED DURING THE PROSECUTION OF HIS WORK THEY SHALL BE RESTORED BY THE CONTRACTOR AT HIS OWN COST AND EXPENSE TO A CONDITION SATISFACTORY TO THE GM/GC AND ENGINEER.
- ALL PVC SEWER LINES SHALL BE DEFLECTION TESTED AFTER INSTALLATION, IN CONFORMANCE WITH THE APPLICABLE ASTM OR AASHTO REQUIREMENTS.
- CONTRACTOR SHALL PROVIDE ADDITIONAL EROSION CONTROL MEASURES AS MAY BE NECESSARY, AS DETERMINED BY THE CITY OF POWELL.

ESTIMATE OF QUANTITIES							
ITEM	UNIT	QUANT	DESCRIPTION	ITEM	UNIT	QUANT	DESCRIPTION
RIGHT OF WAY QUANTITIES				SITE QUANTITIES			
207	EA.	1	CONSTRUCTION ENTRANCE	DELCO	EA.	7	WATER SERVICES
301	TON	22	ASPHALT CONCRETE BASE COURSE	DELCO	EA.	1	MASTER METER PIT FOR 3" METER
448	TON	5.4	ASPHALT CONCRETE, SURFACE COURSE (MED TRAFFIC), PG70-22M	DELCO	EA.	3	HYDRANT ASSEMBLY - COMPLETE
448	TON	7.6	ASPHALT CONCRETE, INTERMEDIATE COURSE (MED TRAFFIC), PG64-22	DELCO	EA.	1	HYDRANT ASSEMBLY - REMOVED & REINSTALLED COMPLETE
				DELCO	L.F.	890	3" WATER SERVICE DISTRIBUTION LINE
SITE QUANTITIES							
207	L.F.	1,960	SILT FENCE				
207	EA.	1	CONCRETE WASHOUT				
207	EA.	20	DANDY BAG				
304	CY	2,542	AGGREGATE BASE COURSE				
448	TON	954	ASPHALT CONCRETE, SURFACE COURSE (MED TRAFFIC), PG70-22M				
448	TON	954	ASPHALT CONCRETE, INTERMEDIATE COURSE (MED TRAFFIC), PG64-22				
451	S.Y.	1,182	CONCRETE PAVEMENT (8")				
601	C.Y.	20	ROCK CHANNEL PROTECTION				
604	EA.	9	CATCH BASIN AA-S133A				
604	EA.	4	CATCH BASIN AA-S133B				
604	EA.	1	CATCH BASIN AA-S134B				
604	EA.	6	MANHOLE AA-S102				
604	EA.	2	12" ENDWALL AA-S169				
604	EA.	1	15" ENDWALL AA-S169				
604	EA.	2	24" ENDWALL AA-S169				
608	S.F.	156	SIDEWALK (4")				
901	L.F.	745	12" CONDUIT W/TYPE 1 BEDDING				
901	L.F.	387	15" CONDUIT W/TYPE 1 BEDDING				
901	L.F.	158	18" CONDUIT W/TYPE 1 BEDDING				
901	L.F.	451	24" CONDUIT W/TYPE 1 BEDDING				
DELCO	L.F.	779	8" WATERLINE				
DELCO	L.F.	372	6" WATERLINE				
DELCO	L.F.	2	8" GATE VALVE & HD VALVE BOX				
DELCO	L.F.	2	6" GATE VALVE & HD VALVE BOX				

ESTIMATED QUANTITIES ARE SHOWN AS REFERENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR QUANTITIES REQUIRED TO CONSTRUCT ITEMS OF WORK AS SHOWN ON THESE PLANS.



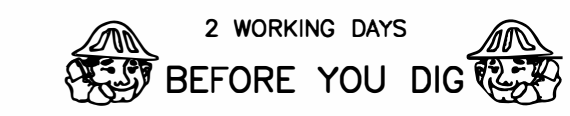
PROJECT BENCHMARK:

- BM# 1 TOP OF HUB SET ON POWER POLE ELEVATION = 944.20
- BM# 2 SOUTH FLANGE BOLT OF EX. FIRE HYDRANT ELEVATION = 944.69

VERTICAL DATUM:
NAVD88 (12B) BASED ON GPS OBSERVATIONS, REFERENCED TO THE ODOT VRS.

INDEX MAP
SCALE: 1"=100'

UNDERGROUND UTILITIES



CALL TOLL FREE 1-800-362-2764

OHIO UTILITIES PROTECTION SERVICE
NON-MEMBERS
MUST BE CALLED DIRECTLY

STANDARD DRAWINGS

THE CITY OF COLUMBUS STANDARD CONSTRUCTION DRAWINGS LISTED BELOW SHALL BE CONSIDERED A PART OF THESE PLANS.

AA-S102 AA-S113 AA-S134B
AA-S106 AA-S117 AA-S141
AA-S107 AA-S119 AA-S149
AA-S108 AA-S133A AA-S168
AA-S112 AA-S133B

INDEX OF SHEETS

- 1 - TITLE
- 2 - TOPOGRAPHIC & UTILITY SURVEY
- 3 - STORM SEWER DRAINAGE PLAN
- 4 - STORM SEWER PROFILES
- 5 - STORM SEWER PROFILES
- 6 - MISCELLANEOUS UTILITY PLAN
- 8 - MISCELLANEOUS UTILITY DETAILS
- 9 - SEDIMENTATION & EROSION CONTROL PLAN
- 10 - SEDIMENTATION & EROSION CONTROL PLAN
- 11 - STAKING PLAN
- 12 - PAVEMENT & STRIPING PLAN

Signatures on this plan signify only concurrence with the general purposes and general location of project. All technical details remain the responsibility of the engineer preparing the plan.

CITY OF POWELL:

By _____ Date _____
CITY ENGINEER, CITY OF POWELL

By _____ Date _____
DIRECTOR OF DEVELOPMENT, CITY OF POWELL

By _____ Date _____
MAYOR, CITY OF POWELL

LIBERTY TOWNSHIP FIRE DEPARTMENT:
By _____ Date _____
CHIEF, LIBERTY TOWNSHIP FIRE DEPARTMENT

By _____ Date _____
DEPUTY GENERAL MANAGER, DEL-CO WATER COMPANY

PLAN PREPARED BY:



Civil/Site Engineering
1500 West Third Avenue
Suite 102
Columbus, Ohio 43212
Phone: (614) 220-9122
Email: info@brhgroup.com

By _____ Date _____
Registered Engineer

SHEET

1

C-1

OF 12

EXISTING STORM/SANITARY STRUCTURE SCHEDULE:

- 1.) EX. 12" CPP
12"FL[N.] = 943.29
12"FL[S.] = 942.99
- 2.) EX. 12" CPP
12"FL[N.] = 942.64
12"FL[S.] = 942.38
- 3.) EX. CATCH BASIN
T/C = 941.29
18"FL[W.] = 938.56
- 4.) EX. CATCH BASIN
T/C = 941.83
12"FL[NE.] = 937.81
12"FL[NW.] = 937.82
- 5.) EX. STORM INLET MANHOLE
T/C = 936.94
18"FL[W.] = 932.80
18"FL[S.] = 932.76
- 6.) EX. HEADWALL
18"FL = 932.24
- A.) EX. SANITARY MANHOLE
T/C = 938.44
8"FL[W.] = 927.87
- B.) P.N. 319-230-02-115-01
STEVEN DZICZKOWSKI &
DENISE L. DZICZKOWSKI
BOOK VOL. 1133, PG. 715
07/05/2012
- C.) P.N. 319-230-26-026-00
RESERVE AT SCIOTO GLENN LLC
BOOK VOL. 1474, PG. 1443
12/16/2016

OWNERSHIP INFORMATION

FLOOD STATEMENT:

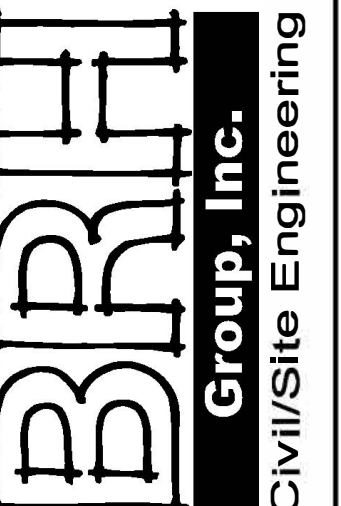
PER 39041CINDOB EFFECTIVE DATE FEBRUARY 17, 2016 THE PARENT PARCEL IS LOCATED IN UN-PRINTED PANEL NO. 39041C0230K, UN-PRINTED PANELS CONTAIN NO SPECIAL FLOOD HAZARD AREAS

PROJECT BENCHMARK:

- BM# 1 TOP OF HUB SET ON POWER POLE
ELEVATION = 944.20
- BM# 2 SOUTH FLANGE BOLT OF EX. FIRE HYDRANT
ELEVATION = 944.69

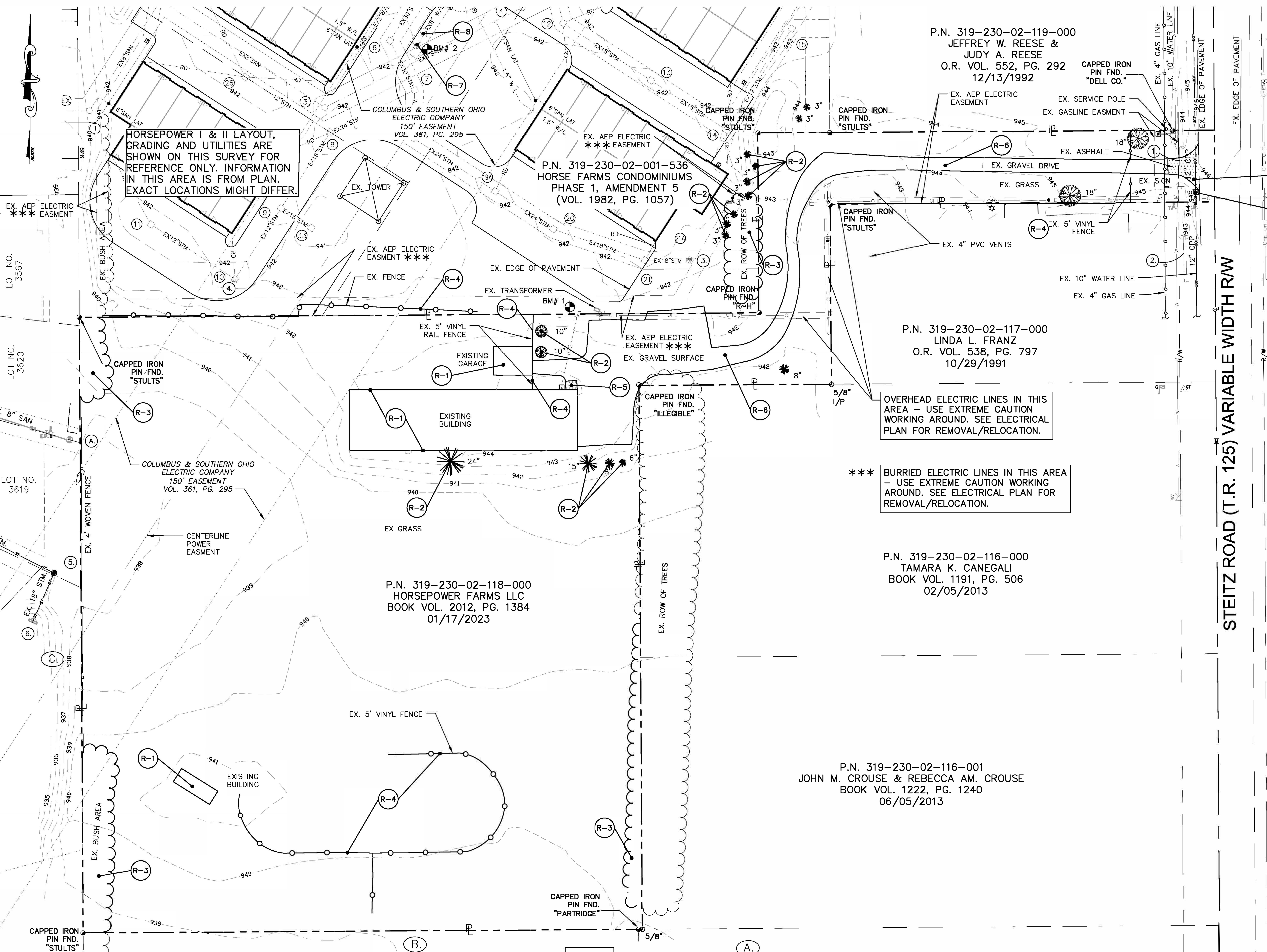
DEMOLITION NOTES

ALL DEMOLITION SHALL BE PER THE REQUIREMENTS OF THE CITY OF POWELL, CONSTRUCTION AND MATERIAL SPECIFICATIONS, CURRENT ADDITION, AND STATE OF OHIO REGULATIONS.
SEE STAKING AND PAVING PLAN FOR REMOVAL LIMITS.
REMOVE ALL LANDSCAPING AND HARDSCAPE WITHIN THE WORK LIMITS.
ELECTRIC LINES/SERVICES:
THERE ARE ELECTRIC LINES/SERVICES BOTH OVERHEAD AND BURIED THAT WILL NEED TO BE ADJUSTED/RELOCATED FOR THIS PROJECT. THIS DEMOLITION PLAN DOES NOT SHOW THE REMOVAL OF THESE ELECTRIC LINES. WE DO CALL TO THE ATTENTION OF CONTRACTORS THAT THERE ARE ELECTRIC LINES BOTH OVERHEAD AND BURIED THAT ARE IN THE WORK LIMITS OF THIS PROJECT. THESE LINES MAY NEED TO STAY IN SERVICES WHILE RELOCATION WORK IS BEING DONE. EXTREME CAUTION SHALL BE UTILIZED DURING CONSTRUCTION AROUND THESE LINES. ALL WORK AROUND EXISTING ELECTRIC LINES SHALL BE COORDINATED WITH CONSTRUCTION MANAGER. WE HAVE ATTEMPTED TO DEPICT WHERE THESE LINES EXIST. CONTRACTOR IS RESPONSIBLE FOR LOCATION OF THESE LINES IN FIELD.
DEMOLITION OF EXISTING PAVEMENT:
DEMOLITION OF EXISTING PAVEMENT WILL BE REQUIRED FOR THE INSTALLATION OF NEW UTILITIES AND FOR THE CONSTRUCTION OF NEW BUILDINGS 8 AND 10. THE REMOVAL LOCATIONS ARE NOT SHOWN AS DEMOLITION ON THIS PLAN. CONTRACTOR SHALL SAWCUT EXISTING PAVEMENT IN STRAIGHT LINES TO THE WIDTH REQUIRED FOR PROPER CONSTRUCTION WHERE REMOVAL IS REQUIRED. SAWCUT EDGES SHALL BE PROTECTED. IF SAWCUT EDGES ARE DESTROYED DURING CONSTRUCTION A NEW STRAIGHT SAWCUT SHALL BE COMPLETED BEFORE PAVEMENT IS INSTALLED. ALL PAVEMENT NOT REQUIRED TO BE REMOVED SHALL BE PROTECTED FROM DAMAGE AT ALL TIMES.



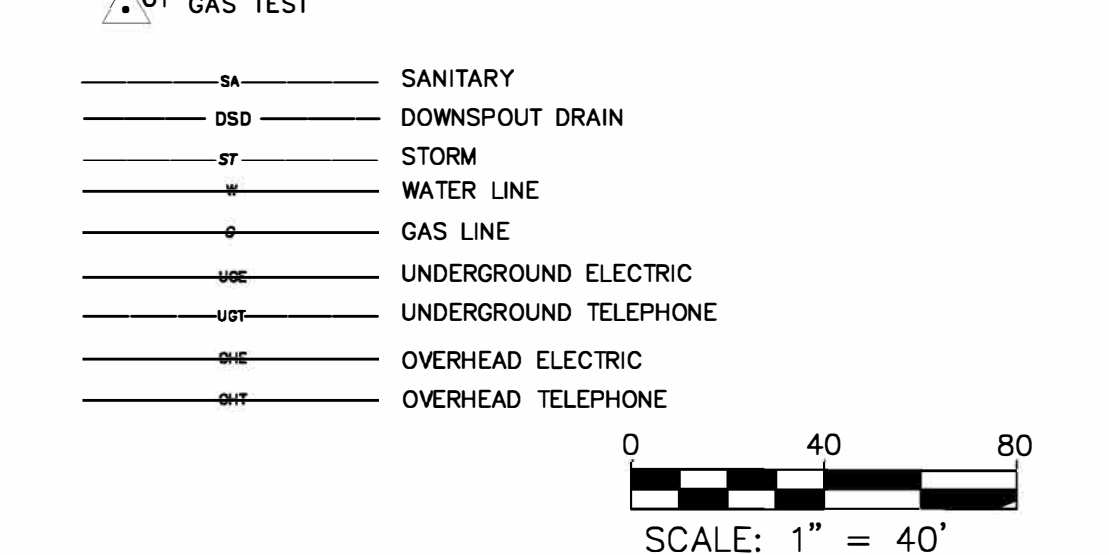
1500 West Third Ave., Suite 102
Columbus, Ohio 43212-2816
Phone: (614) 220-9122
Email: info@brhgroup.com

EXISTING CONDITIONS - TOPOGRAPHIC SURVEY, OHIO
HORSEPOWER FARMS III
STIETZ ROAD
POWELL, OHIO



- DEMOLITION LEGEND**
- R-1 EXISTING BUILDING TO BE REMOVED
 - R-2 EXISTING TREES TO BE REMOVED
 - R-3 EXISTING BRUSH/TREES TO BE REMOVED (ONSITE ONLY)
 - R-4 EXISTING FENCE TO BE REMOVED
 - R-5 EXISTING CONCRETE PAVEMENT TO BE REMOVED
 - R-6 EXISTING STONE PAVEMENT TO BE REMOVED
 - R-7 EXISTING HYDRANT TO BE REMOVED AND REUSED. COORDINATE WORK WITH DELCO AND LIBERTY TOWNSHIP FIRE DEPARTMENT.
 - R-8 REMOVE 6" WATERLINE AND 8" TO 6" REDUCER SOUTH OF EX. 8" GATE VALVE FOR WATERLINE EXTENSION. COORDINATE WORK WITH DELCO AND LIBERTY TOWNSHIP FIRE DEPARTMENT.
 - R-9 EXISTING MAILBOX TO BE MOVED OR REMOVED IF NOT REQUIRED.

- SYMBOL LEGEND & ABBREVIATIONS:**
- SM STORM MANHOLE
 - SCB STORM CATCH BASIN
 - SMH SANITARY MANHOLE
 - CIB CURB INLET BASIN
 - FH FIRE HYDRANT
 - WLW WATER LINE VALVE
 - PWV POLE WITH GUY WIRE
 - CO CLEAN-OUT
 - GF GAS FLAG
 - HVAC HVAC
 - CS CURB STOP
 - MH MANHOLE (TYPE UNKNOWN)
 - DS DOWN SPOUT
 - TP TELEPHONE PED.
 - HS HOSE SPIGOT
 - ET ELECTRIC TRANSFORMER
 - EM ELECTRIC MANHOLE (C.E.I.)
 - ET EXISTING TREE
 - EHP ELECTRIC HAND HOLE
 - FOM FIBER OPTIC MARKER
 - X1000.0 EXISTING SPOT ELEVATION
 - GT GAS TEST
 - GM GAS METER
 - SS STREET SIGN
 - GV GAS VALVE
 - UPB UTILITY PED./BOX
 - UP UTILITY POLE
 - PP POWER POLE
 - ICV IRRIGATION CONTROL VALVE
 - OHE OVERHEAD ELECTRIC
 - OHT OVERHEAD TELEPHONE
 - UGE UNDERGROUND ELECTRIC
 - UGT UNDERGROUND TELEPHONE
 - MB MAILBOX
 - IRP 1/2" IRON PIN FOUND W/CAP
 - IRP 5/8" IRON PIN SET W/CAP
 - MBX MONUMENT BOX W/ IRON PIN FOUND
 - IRP 5/8" IRON PIN FOUND (NO CAP)
 - IRP IRON PIPE FOUND
 - ST STONE FOUND
 - RS RAILROAD SPIKE FOUND
 - PN PK NAIL SET
 - LP LIGHT POLE
 - GL GROUND LIGHT
 - BOLL BOLLARDS
 - WM WATER METER
 - FFP FINISHED FLOOR POINT
 - TP TELEPHONE POLE
 - TM TELEPHONE MANHOLE
 - FP FLAG POLE
 - EP ELECTRIC PED

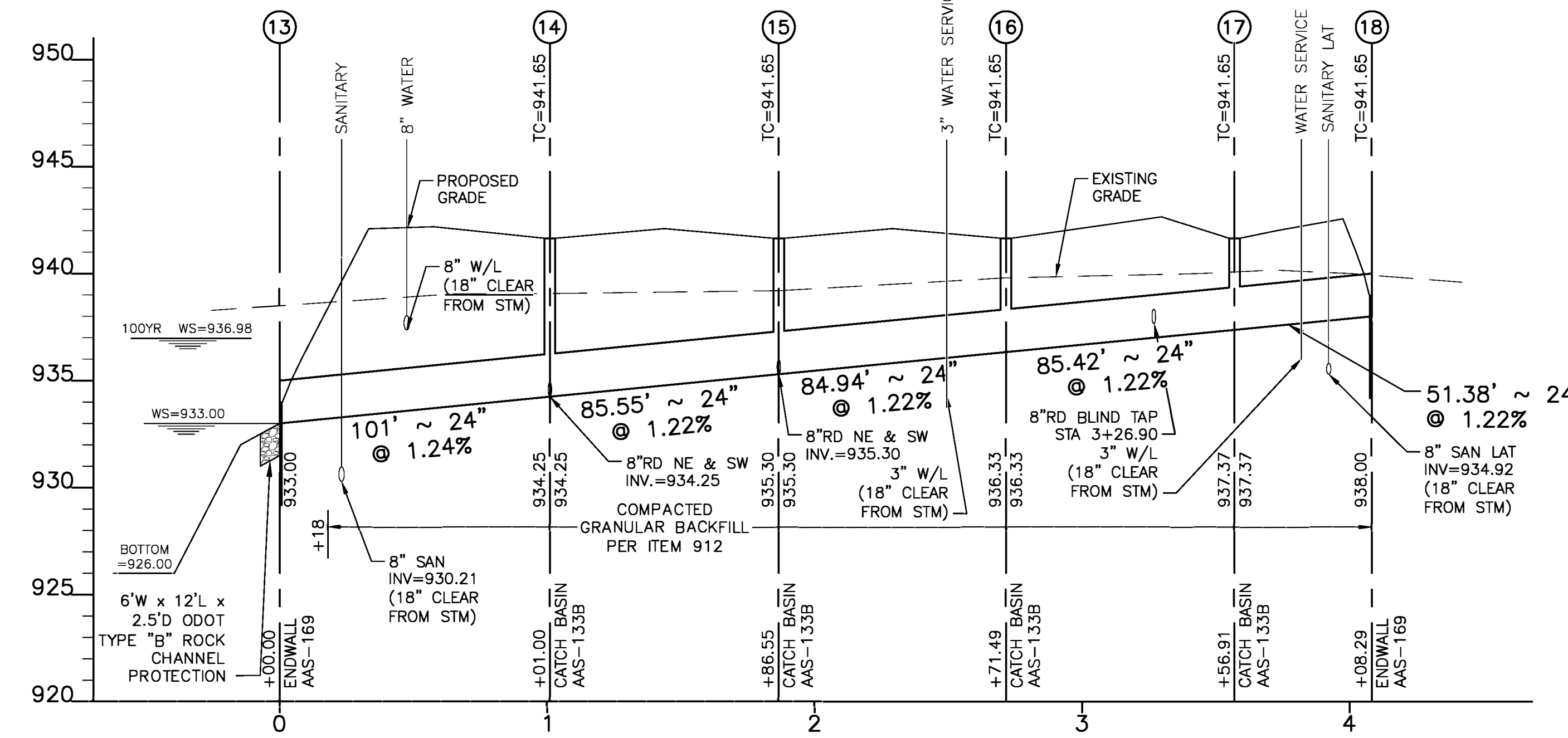
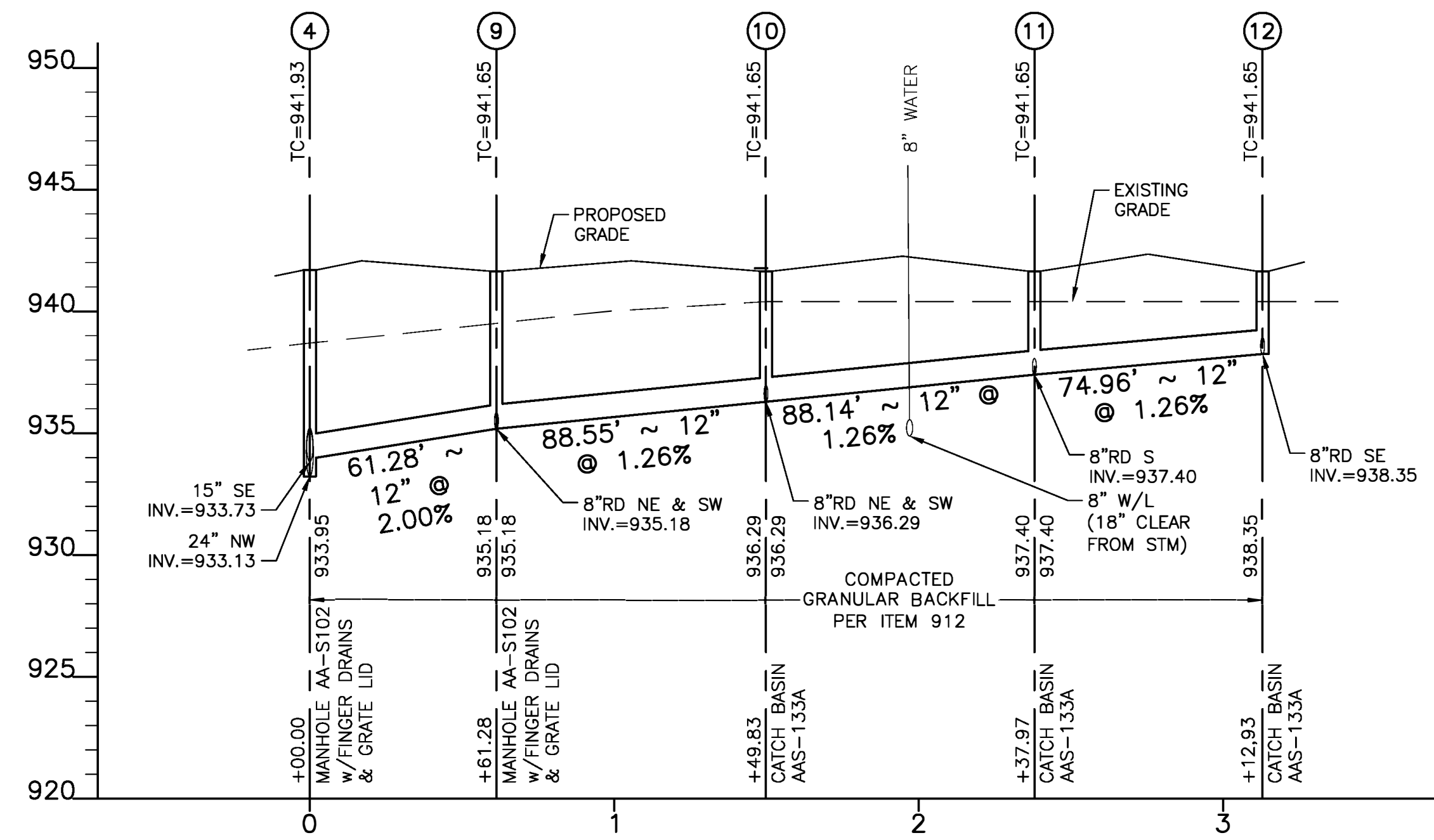
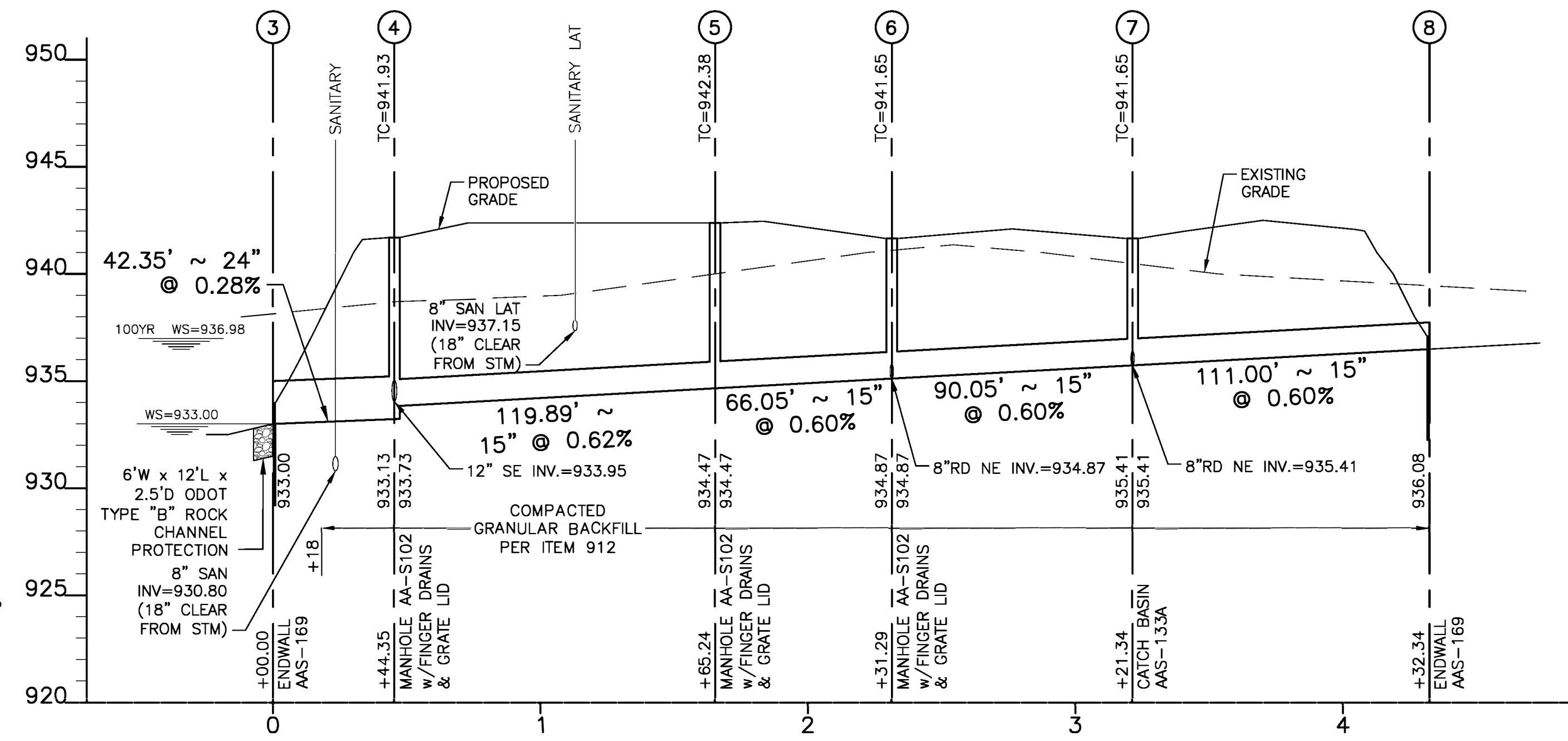
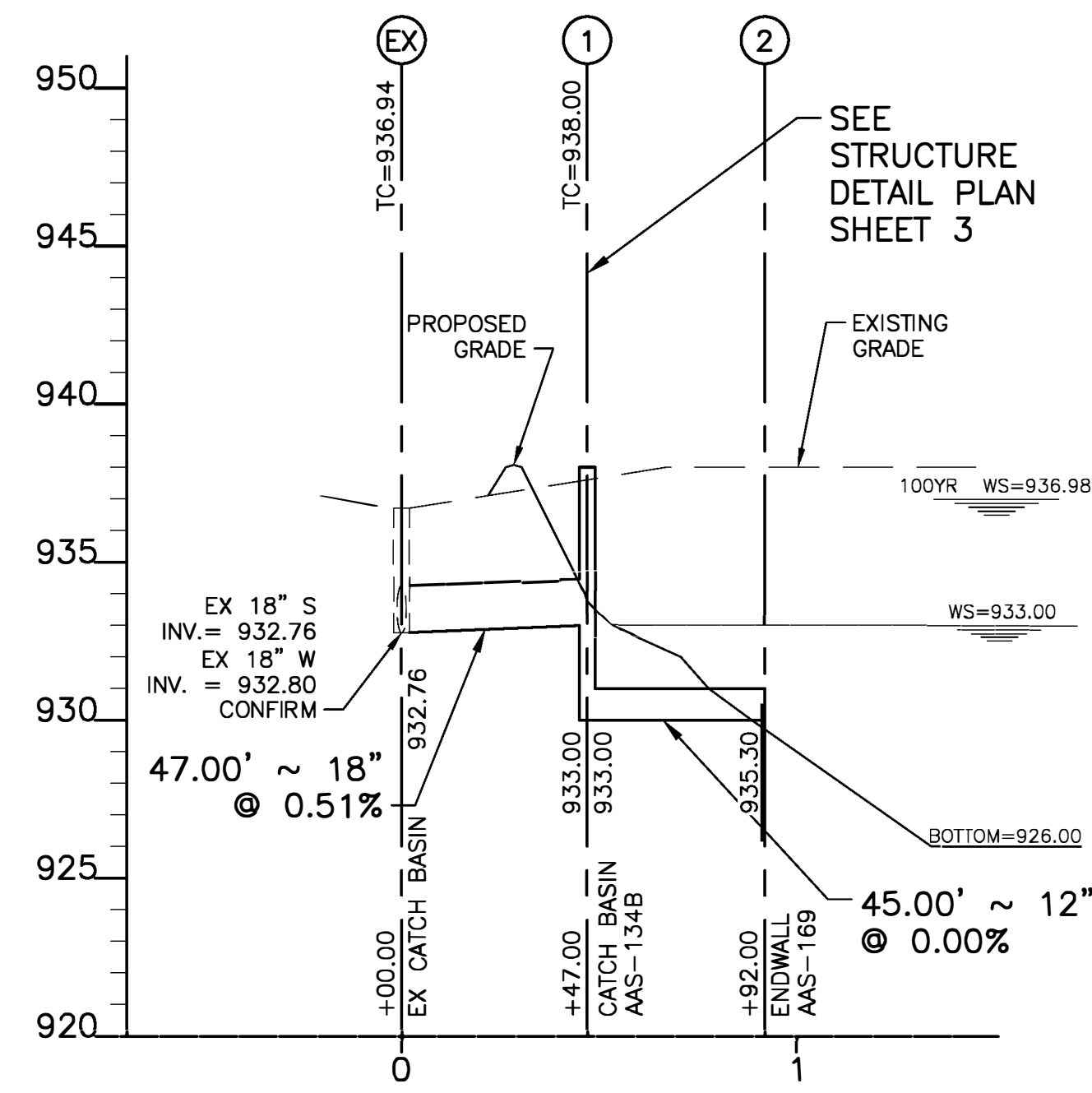


UNDERGROUND UTILITIES
Contact Two Working Days Before You Dig
OHIO811.org
Before You Dig
OHIO811, 8-1-1, or 1-800-362-2764 (Non-members must be called directly)

UTILITY NOTES
ANY LOCATIONS OF UNDERGROUND UTILITIES SHOWN HEREON ARE BASED UPON VISIBLE ABOVE GROUND STRUCTURES AND/OR RECORD DRAWINGS PROVIDED TO THE SURVEYOR. LOCATIONS OF UNDERGROUND UTILITY LINES AND STRUCTURES MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITY LINES AND STRUCTURES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROGRESS OF THIS SURVEY TO LOCATE BURIED UTILITIES/STRUCTURES. THIS SURVEY SHOWS ONLY APPROXIMATE LOCATIONS OF UNDERGROUND UTILITIES AND MUST BE VERIFIED AND FIELD CHECK BY THE UTILITY COMPANIES BEFORE YOU DIG.

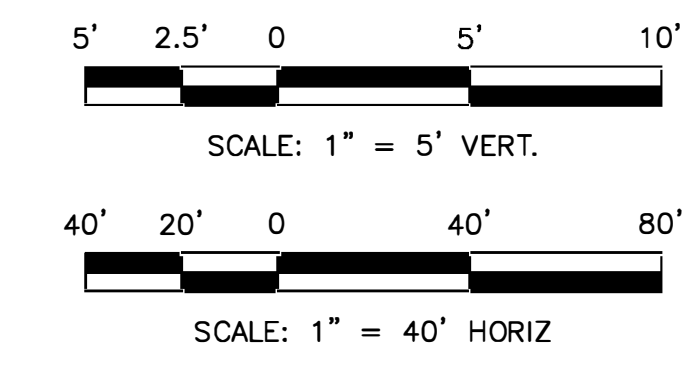
DATE	REVISIONS	JOB NO.	31.758
		DRAWN BY	PRE
		DESIGNED BY	
		CHECKED BY	DAP
		FIELD CREW	D.A. / B.L.
		FIELD BOOK	
		DATE	6-16-20
		SCALE	1" = 40'
		SHEET	2 OF 12

SITE IMPROVEMENT PLANS FOR:
HORSEPOWER FARMS PHASE III
STORM SEWER PROFILES
THE CITY OF POWELL



PIPE BEDDING PER COC STANDARD
DETAIL AA-S149 SHALL BE #57 STONE
12-INCHES ABOVE THE PIPE

STORM SEWER PIPE SHALL BE PER CITY
OF COLUMBUS CONSTRUCTION AND
MATERIAL SPECIFICATION 720.12



NO.	DATE	REVISIONS

JOB NO.	40406
DRAWN BY	CAD
DESIGNED BY	SRB
CHECKED BY	SRB
FIELD CREW	
FIELD BOOK	
DATE	1-3-24
SCALE	1"=40'

C:\USERS\BROWN\DESKTOP\TRANSFER FILES 10-4-2024\40406 - HORSEPOWER IN F-0005\STORM SEWER PROFILES.DWG
Plot Date: 1/3/24 10:55:11 AM User: STINE BROWN

DEL-CO WATER COMPANY
GENERAL NOTES FOR WATER LINE CONSTRUCTION

- General Notes as modified by Del-Co and shown on the approved Construction Drawings shall supersede all other notes of the Del-Co Water Company Construction Standards Manual wherever discrepancies occur.
- Standard General Notes:
 - Water line design, materials, and installation methods shall conform to applicable sections of Recommended Standards for Water Works (Ten States Standards), American Water Works Association (AWWA) Standards, and the Del-Co Water Company Construction Standards Manual. Contractor shall obtain a copy of the standards and have in their possession at all times during construction. Coordinate work with Del-Co Water (740) 548-7746.
 - Del-Co's signature on the permit signifies only concurrence with the general purpose and location of the proposed water line improvements. All technical details remain the responsibility of the professional engineer who prepared and certified these plans. Del-Co Water Company takes no responsibility, financial or otherwise, regarding errors in this plan.
 - Correction of errors shall be to the applicable Del-Co Water Company standard and the sole responsibility of the developer. All corrections, or revisions that affect Del-Co's Water Line plans, directly or indirectly shall be submitted to, and approved by Del-Co Water Company prior to revisions being issued.
 - GPS coordinates shall be provided to Del-Co Water at the completion of the waterline installation. These coordinates shall include all materials, equipment and labor necessary to obtain horizontal and vertical (northing, easting and elevation) survey coordinates for the water main improvements. The survey coordinates shall be obtained at the completion of the water main installation and shall include all valves, tees, fire hydrants, bends, plugs, reducers, tapped tees, curb stops, air releases, 2" end of line fire hydrants, ends of casing pipe, service saddles and corporations. Additional GPS coordinates are required on the water main every 200' where no fittings or service saddles are to be installed.
 - GPS coordinates shall be referenced to the applicable County Engineer's Monuments and shall be based on the North American Datum of 1983 (NAD 83) with the NAD83/2011 adjustment, with further reference made to the Ohio State Plane North Coordinate System, North Zone, with elevations based on NAVD 88 datum. All coordinates (Northing, Easting and Elevation) shall be referenced to the nearest hundredth. All survey coordinates shall be accurate to within 0.5 foot or less horizontal and vertical.
 - The GPS coordinates shall be submitted to the Del-Co Water Engineering Department in digital spreadsheet form and shall include the applicable item, station, northing, easting and elevation coordinates. The above listed GPS coordinate information shall be submitted to the Del-Co Water Engineering Department as part of the As-Built Drawing submittal.
 - As-Built drawings are required following the completion of construction. One set of drawings marked "As-Built" shall be submitted by the developer to Del-Co's Inspection Department for review and approval. Water mains cannot receive a Final Acceptance until as-built drawings have been approved. *Please note taps may not be purchased nor installed until water lines have received a Final Acceptance.*
 - Water mains shall become the ownership of Del-Co Water upon final acceptance.

Revised: January 17, 2020 Page 1 of 58

DEL-CO WATER COMPANY
GENERAL NOTES FOR WATER LINE CONSTRUCTION

- Water line construction plans are approved for a period of one year from the date of the approval letter or signed plans. If construction has not started within one year of the date of approval, plans shall be resubmitted to Del-Co Water Company for approval.
- Water Line Construction:
 - Water lines shall be NSF 61 approved, and compliant with ASTM D2241 & Ohio EPA ENG-08-002 standards.
 - Use the following type and class of pipe unless otherwise indicated on the drawings:
 - 2-inch water line pipe Class 200 SDR 21 Yelomine PVC (restrained joint).
 - 4-inch water line pipe Class 200 SDR 21 PVC.
 - 6-inch water line pipe Class 200 SDR 21 PVC.
 - 8-inch to 12-inch water line pipe Class 160 SDR 26 PVC.
 - 16-inch and larger water line pipe AWWA C151 Class 52 DIP.
 - 4-inch pipe and larger used for fire service: AWWA C900 DR 18 (150 PSI) PVC.
 - All sizes of Del-Co-owned water lines used on master meter projects: Class 200 SDR 21 PVC.
 - All sizes of Ductile Iron pipe shall be installed with Polyethylene Encasement.
 - All fittings shall be mechanical joint conforming to AWWA C1153.
 - Crosses shall not be used without approval of Del-Co Water Company.
 - All valves shall be mechanical joint conforming to AWWA with AISI 304 stainless steel external hardware. Valves 12-inch and smaller shall be Resilient-Seated Gate valves per AWWA C505 and valves 16-inch and larger shall be Pratt Grounding butterfly valves per AWWA C504.
 - Provide heavy-duty valve boxes on all hot-taps and at all valves located under gravel or pavement surfaces.
 - Top of valve box shall be flush with finished grade in paved areas, and 4 inches above finished grade in non-paved areas.
 - Maintain a minimum 10-foot horizontal and 1.5-foot vertical separation between water lines and sanitary and storm sewers.
 - All other buried utilities shall maintain a minimum 5-foot horizontal separation, and 2-foot vertical separation from the centerline of water lines as finally laid and constructed.
 - Provide concrete thrust blocking for all fittings, valves, anchor tees, and hydrants.
 - Bury water lines a minimum depth of 48-inches to the top of pipe.
 - All engineered fill to be placed over or under Del-Co Water Lines shall be in place prior to the construction of the water lines.
 - Place a 5-foot steel fence post or 4x4" wood post at valves and the ends of lines. Paint blue.
 - Tracer Wire:
 - Install Copperhead® or equal 12-gauge high strength 452b break strength 30 mil HDPE jacket, copper clad, steel reinforced tracer wire on all water mains and service lines installed by trenching methods.
 - Install Copperhead® or equal 12-gauge extra high strength 1150b break strength 45 mil HDPE jacket, copper-clad, steel reinforced tracer wire on all water mains and service lines installed by boring methods.

Revised: January 17, 2020 Page 2 of 58

DEL-CO WATER COMPANY
GENERAL NOTES FOR WATER LINE CONSTRUCTION

- Fasten wire to pipe in two places per pipe section. Extend tracer wire to ground surface at all valves and hydrants as shown in the Del-Co standard detail. Splice wires using Bundy Copper Split Bolt KS-15. Thoroughly wrap the connector and bare wires with 3M Temflex 2155 Rubber Splicing Tape. cover entire connection with Scotch Super 88 Heavy Duty Grade Electrical Tape.
- Connect all service line wires to main line wires using Bundy Copper Split Bolt KS-15. Thoroughly wrap the connector and bare wires with 3M Temflex 2155 Rubber Splicing Tape. cover entire connection with Scotch Super 88 Heavy Duty Grade Electrical Tape.
- Contractor shall test the continuity of all wire using a third-party tester.
 - Contractor shall contact Del-Co's Inspection Department a minimum of 24 hours prior to test.
 - Tester shall send a signed report to Del-Co Water Inspection Department affirming all wire has continuity.
 - Contractor shall repair all deficiencies.
- Water Service Construction (between main line and meter pit):
 - All water services shall be constructed and installed per AWWA C800.
 - For pipe 1-inch and smaller, use 1-inch Class 200 SDR 7 iron pipe size (IPS) polyethylene pipe.
 - Connections to PVC pipe shall be made with approved tapping saddle and corporation stop per Del-Co Subdivision Construction Standards Manual.
 - Connections to DIP shall be by direct tap or saddle and approved corporation stop per Del-Co Subdivision Construction Standards Manual.
 - Provide fire stop with 1-inch female iron pipe threads on the customer side at the end of service lines. Locate at ROW, but a minimum of five feet from edge of sidewalk unless otherwise approved or directed by Del-Co.
 - All service line valves 1 1/2-inch and larger shall be mechanical joint gate valves restrained with Duct-Lugs and galvanized all threaded rod, or anchor tees where applicable.
 - Minimum depth of cover shall be 48 inches.
 - Place a 5-foot steel fence post or 4x4" wood post at the ends of all service lines, paint blue.
 - Contractor shall be responsible for providing special backfill material for all lines including those installed by Del-Co Water Company, where required by the County or City Engineer.
- Fire Hydrants:
 - Fire hydrants shall conform to AWWA C502 for dry barrel hydrants.
 - Main valve: 5.25-inch compression.
 - Nozzles:
 - Treading conform to NFPA National Standard fire hose threads.
 - 4.5-inch steamer, except in the following locations where an integral storz connection, Harrington HH550 or equal, Berkshire, Berin, Concord, Genoa, Kingston, Liberty, Orange, Porter, Trenton and Susco Townships; City of Powell, and the Villages of Sunbury and Galena.
 - Two 2.5-inch hose connections.

Revised: January 17, 2020 Page 3 of 58

DEL-CO WATER COMPANY
GENERAL NOTES FOR WATER LINE CONSTRUCTION

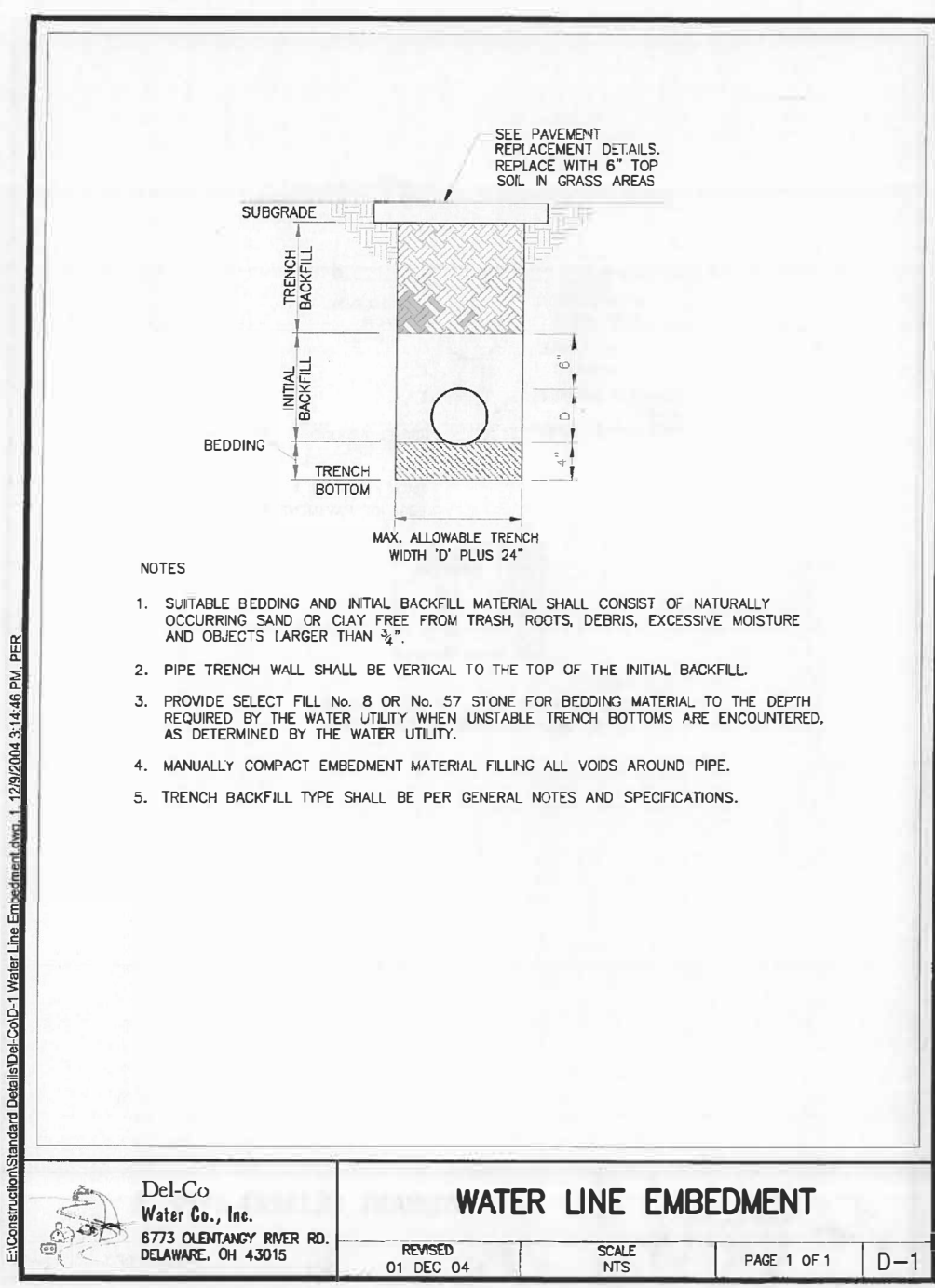
- Inlet Connection 6-inch mechanical joint.
- Operating Nut 1.5-inch pentagon, turn counter-clockwise to open.
- Placement of Hydrant: 2 feet from the back of curb or 8 feet from the edge of pavement on non-curbed streets.
- Extensions and parts shall be manufactured by the original equipment manufacturer.
- Approved Manufacturers: Mueller Super Centurion 200, American Flow Control B-84-B, Clow Metallion, M&H Model 123M, AVK Nostalgic 2780, or Kennedy Guardian K51D.
- Painting: Repair all hydrants after installation per Del-Co Subdivision Construction Standards Manual Section 02731, Part 2.06.
 - Liberty Townships, Powell, and Village of Sunbury: Safety Red.
 - Other Townships: Safety Yellow.
 - Fire hydrants located on private water lines shall be painted Industrial Green.
- Disinfect all water lines in accordance with AWWA C651 and Del-Co specifications.
- All pipe installation and pressure testing shall be in accordance with AWWA C600 for ductile iron pipe and 6005 for plastic pipe and Del-Co Specifications.
 - Contractor shall provide all equipment necessary to perform pressure test.
 - Schedule test between 8:00 AM and 2:00 PM weekdays. Notify Del-Co 24 hours prior to test.
- Obtain written approval of material and manufacturers list from Del-Co Water prior to beginning construction.
- Provide casing pipe for all road crossings unless otherwise approved by Del-Co. Casing pipe shall be steel pipe with 0.375-inch wall thickness, or PVC C900 for water lines 12-inch Dia. or less. Casings for water lines larger than 12-inch Dia. may be AWWA C905.
- Easements shall be provided to Del-Co Water before permission will be given to make new service line connections.
- Connections to existing water lines will be made by Del-Co Water at the contractor's expense or perched by contractors who are approved for making connections. Notify all property owners, and Del-Co Water, in writing 48 hours before starting construction.
- Contractor shall excavate to determine the location and depth of existing water lines wherever cover over the water lines is being reduced. If the final depth of the waterline will be below Del-Co Water standards, Contractor shall submit a relocation plan for approval by Del-Co Water, and relocate the water line at their expense.
- Contractor shall be responsible for locating and protecting the water line prior to final acceptance by Del-Co Water, and repairing all damages from construction activity.
- Do not fill new water lines until approved by Del-Co Water Co.

Revised: January 17, 2020 Page 4 of 58

DEL-CO WATER COMPANY
GENERAL NOTES FOR WATER LINE CONSTRUCTION

- Booster pumps are not allowed on individual services.
- All water mains, including those not designed to provide fire protection, shall be sized following an analysis based on flow demands, and pressure requirements. The system shall be designed to maintain a minimum pressure of 20 psi at ground level at all points in the distribution system under all designed flow conditions. Normal working pressure in the distribution system shall not be less than 35 psi.

Revised: January 17, 2020 Page 5 of 58



SANITARY SEWER IMPROVEMENT FOR: HORSEPOWER FARMS PHASE III

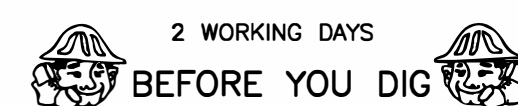
4301 HOME ROAD THE CITY OF POWELL 2024

FARM LOT 13 AND 14, SECTION 2, TOWNSHIP 3, RANGE 19, UNITED STATES MILITARY LANDS



VICINITY MAP
NOT TO SCALE

UNDERGROUND UTILITIES



2 WORKING DAYS
BEFORE YOU DIG
CALL TOLL FREE 1-800-362-2764

OHIO UTILITIES PROTECTION SERVICE
NON-MEMBERS
MUST BE CALLED DIRECTLY

STANDARD DRAWINGS

THE DELAWARE COUNTY STANDARD CONSTRUCTION DRAWINGS LISTED BELOW SHALL BE CONSIDERED A PART OF THESE PLANS.

Sa. S-1 Sa. S-5 Sa. S-11
Sa. S-2 Sa. S-6 Sa. S-16
Sa. S-3 Sa. S-7

PROJECT PHASING

THIS PROJECT IS TO BE CONSTRUCTED IN TWO PHASES.

PHASE I WILL CONSTRUCT BUILDINGS #1, #2, OFFICE AND ASSOCIATED INFRASTRUCTURE AROUND THESE BUILDINGS, AND OVERALL MASS EARTHWORK. SEE APPROXIMATE PHASE I OUTLINE ON PLAN AND OUTLINE BELOW ON UTILITIES.

PHASE II (APPROXIMATE LIMIT SHOWN) WILL CONSTRUCT BUILDINGS #4, #5, #6, #7 AND ASSOCIATED INFRASTRUCTURE AROUND THESE BUILDINGS. SEE APPROXIMATE PHASE II OUTLINE ON PLAN AND OUTLINE BELOW ON UTILITIES.

WORK TO BE DONE IN PHASE II DURING PHASE I INCLUDES THE FOLLOWING:

- GENERAL SITE GRADING (MASS EARTHWORK). GRADING FOR PAVEMENT/BUILDING AREAS SHALL BE COMPLETED TO SUBGRADE. MINOR GRADING TO PROVIDE ADEQUATE DRAINAGE (TEMPORARY DITCHES) WILL BE REQUIRED - THIS WORK TO BE COORDINATED WITH THE CONSTRUCTION MANAGER.
- 8" PUBLIC WATERLINE TO BE COMPLETED, INCLUDING HYDRANT INTO PHASE II.
- SANITARY SEWER FROM EX SANITARY THROUGH MANHOLE #4, AND FROM MANHOLE #4 TO MANHOLE #9 GOING INTO PHASE I.
- STORM SEWER FROM STRUCTURE #5 SOUTH WILL BE CONSTRUCTED - SEE PROFILE FOR LIMIT. THIS WILL BE THE OUTLET FOR TEMPORARY DRAINAGE DITCHES NOTED ABOVE. STORM PROFILES ARE ALL LABELED AS TO PHASE.
- SEE MISCELLANEOUS UTILITY PLAN - SHEET 6 FOR PHASE I LIMIT ON 2.5" DOMESTIC DISTRIBUTION WATERLINE. TWO SERVICES TO BE CONSTRUCTED IN PHASE I.

PROJECT BENCHMARK:

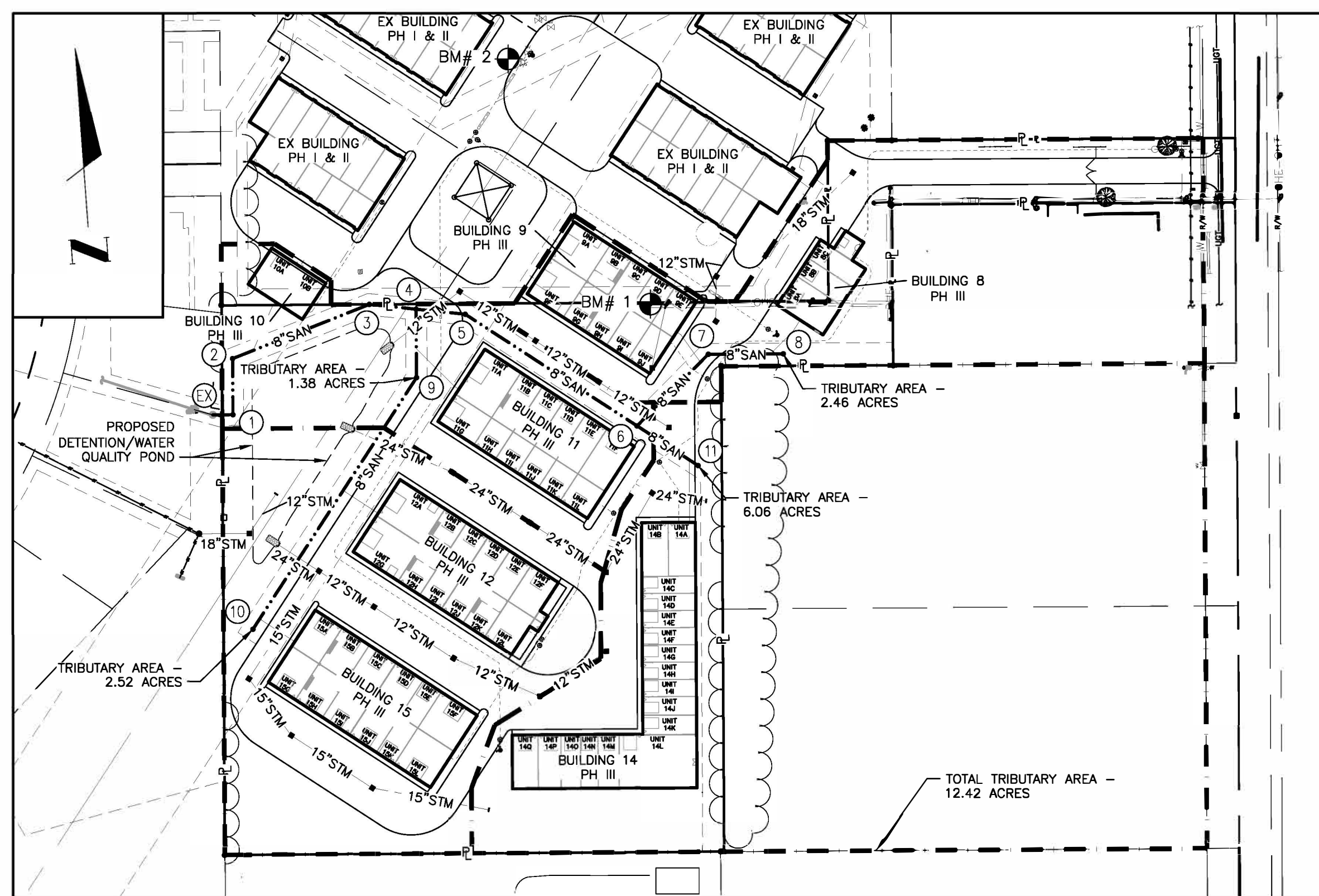
BM# 1 TOP OF HUB SET ON
POWER POLE
ELEVATION = 944.20

BM# 2 SOUTH FLANGE BOLT OF
EX. FIRE HYDRANT
ELEVATION = 944.69

OWNER/DEVELOPER

HORSEPOWER FARMS
C/O CHIP VANCE
356 WEST OLEMTANGY STREET
POWELL, OHIO 43065
cvance@gmail.com

VERTICAL DATUM:
NAVD88 (12B) BASED ON GPS OBSERVATIONS,
REFERENCED TO THE ODOT VRS.



INDEX MAP

SCALE: 1" = 100'



INDEX OF SHEETS

- TITLE
- GENERAL NOTES
- TRIBUTARY MAP
- MISCELLANEOUS DETAILS
- SANITARY SEWER PLAN
- SANITARY SEWER PROFILE

Signatures on this plan signify only concurrence with the general purposes and general location of project. All technical details remain the responsibility of the professional engineer preparing the plan.

CITY OF POWELL:

By _____ Date _____
CITY ENGINEER, CITY OF POWELL

By _____ Date _____
DIRECTOR OF DEVELOPMENT, CITY OF POWELL

By _____ Date _____
MAYOR, CITY OF POWELL

DELAWARE COUNTY SANITARY ENGINEER:

By _____ Date _____
DELAWARE COUNTY SANITARY ENGINEER

DELAWARE COUNTY COMMISSIONERS:

By _____ Date _____

By _____ Date _____

By _____ Date _____

PLAN PREPARED BY:



Civil/Site Engineering
1500 West Third Avenue
Suite 102
Columbus, Ohio 43212
Phone: (614) 220-9122
Email: info@brhgroup.com

By _____ Date _____
Registered Engineer

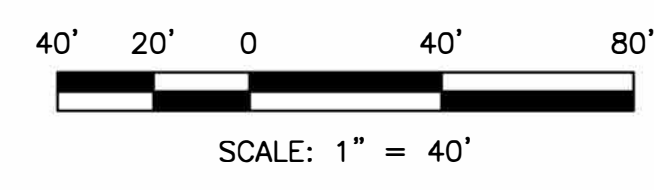
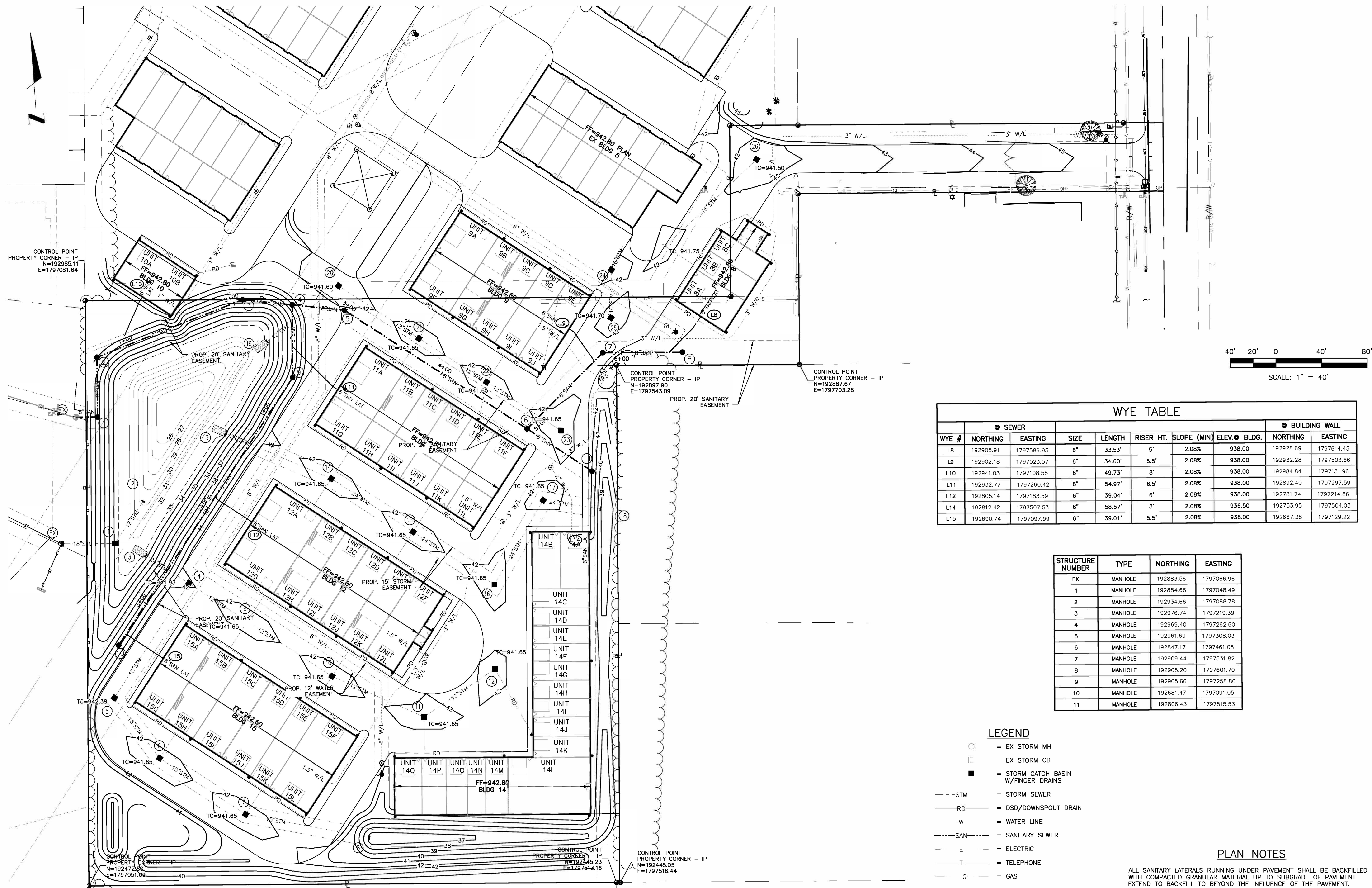
THIS IS TO CERTIFY THAT GOOD ENGINEERING PRACTICES HAVE BEEN UTILIZED IN THE DESIGN OF THIS PROJECT AND THAT ALL MINIMUM STANDARDS FOR DELAWARE COUNTY HAVE BEEN MET, INCLUDING THOSE STANDARDS GREATER THAN MINIMUM WHERE, IN MY OPINION, THEY ARE NEEDED TO PROTECT THE SAFETY OF THE PUBLIC. ANY VARIANCES TO THE ABOVE STANDARDS ARE CONSISTENT WITH SOUND ENGINEERING PRACTICES AND ARE NOT DETRIMENTAL TO THE PUBLIC SAFETY AND CONVENIENCE. THESE VARIANCES HAVE BEEN LISTED HEREIN AND HAVE BEEN APPROVED BY THE DELAWARE COUNTY SANITARY ENGINEER.

SHEET

1

OF 6

SANITARY SEWER IMPROVEMENT PLANS FOR
HORSEPOWER FARMS
SANITARY SEWER PLAN
THE CITY OF POWELL



WYE #	● SEWER		SIZE	LENGTH	RISER HT.	SLOPE (MIN)	ELEV.● BLDG.	● BUILDING WALL	
	NORTHING	EASTING						NORTHING	EASTING
L8	192905.91	1797589.95	6"	33.53'	5'	2.08%	938.00	192928.69	1797614.45
L9	192902.18	1797523.57	6"	34.60'	5.5'	2.08%	938.00	192932.28	1797503.66
L10	192941.03	1797108.55	6"	49.73'	8'	2.08%	938.00	192984.84	1797131.96
L11	192932.77	1797260.42	6"	54.97'	6.5'	2.08%	938.00	192892.40	1797297.59
L12	192805.14	1797183.59	6"	39.04'	6'	2.08%	938.00	192781.74	1797214.86
L14	192812.42	1797507.53	6"	58.57'	3'	2.08%	936.50	192753.95	1797504.03
L15	192890.74	1797097.99	6"	39.01'	5.5'	2.08%	938.00	192667.38	1797129.22

STRUCTURE NUMBER	TYPE	NORTHING	EASTING
EX	MANHOLE	192883.56	1797066.96
1	MANHOLE	192884.66	1797048.49
2	MANHOLE	192934.66	1797088.78
3	MANHOLE	192976.74	1797219.39
4	MANHOLE	192969.40	1797262.60
5	MANHOLE	192961.69	1797308.03
6	MANHOLE	192847.17	1797461.08
7	MANHOLE	192909.44	1797531.82
8	MANHOLE	192905.20	1797601.70
9	MANHOLE	192905.66	1797258.80
10	MANHOLE	192681.47	1797091.05
11	MANHOLE	192806.43	1797515.53

- LEGEND**
- = EX STORM MH
 - = EX STORM CB
 - = STORM CATCH BASIN W/FINGER DRAINS
 - STM --- = STORM SEWER
 - RD --- = DSD/DOWNSPOUT DRAIN
 - W --- = WATER LINE
 - SAN --- = SANITARY SEWER
 - E --- = ELECTRIC
 - T --- = TELEPHONE
 - G --- = GAS

PLAN NOTES

ALL SANITARY LATERALS RUNNING UNDER PAVEMENT SHALL BE BACKFILLED WITH COMPACTED GRANULAR MATERIAL UP TO SUBGRADE OF PAVEMENT. EXTEND TO BACKFILL TO BEYOND THE INFLUENCE OF THE PAVEMENT.

CLEANOUTS TO BE PER STANDARD DETAIL SAS-16. AT ANGLE POINT WHERE CLEANOUT IS PROPOSED MODIFY 45 DEGREE BEND AND WYE BRANCH WITH LONG RADIUS 90 DEGREE ELBOW. WYE BRANCH TO BE INSTALLED AT ANGLE POINT.

DATE	REVISIONS	NO.	JOB NO.	40406
			DRAWN BY	CAD
			DESIGNED BY	SRB
			CHECKED BY	SRB
			FIELD CREW	
			FIELD BOOK	
			DATE	1-3-24
			SCALE	1"=40'
			SHEET	5
				6

CONTROL POINT
PROPERTY CORNER - IP
N=192985.11
E=1797081.64

CONTROL POINT
PROPERTY CORNER - IP
N=192897.90
E=1797543.09

CONTROL POINT
PROPERTY CORNER - IP
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E=1797703.28

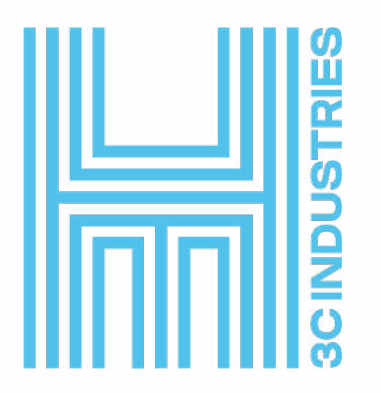
CONTROL POINT
PROPERTY CORNER - IP
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E=1797516.44

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 User: SITE BROWN
 Date: 1/3/24 2:56 PM

NOT FOR CONSTRUCTION

REVISIONS

NO.	DATE	DESCRIPTION



McCall SHARP ARCHITECTURE
14 EAST MAIN STREET SUITE 201, SPRINGFIELD, OHIO 45402

HORSEPOWER FARMS
FOR
POWELL CONDOS
4301 HOME ROAD, POWELL, OHIO 43065
LANDSCAPE PLAN

JOB NO: 2316

DRAWN BY: KJM
CHECKED BY: EEM
CONSTRUCTION DOCUMENTS

L1

DATE: 01-25-2024

LANDSCAPE PLAN NOTES

1. ALL PLANTS SHALL MEET OR EXCEED STANDARDS SET IN THE USA STANDARD FOR NURSERY STOCK.
2. ALL PLANTING OPERATIONS SHALL ADHERE TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.
3. PLANT LOCATIONS AND BEDS SHALL BE LOCATED BY CONTRACTOR AND APPROVED BY THE OWNER PRIOR TO INSTALLATION.
4. PLANTING BEDS SHALL HAVE A MINIMUM 3" DEEP SHREDDED HARDWOOD BARK MULCH. MULCH HEDGES IN A CONTINUOUS BED.
5. ALL PLANTING BEDS TO BE TILLED TO A MINIMUM DEPTH OF 12".
6. ALL PLANTING BEDS TO BE FERTILIZED WITH 10-10-10 OR APPROVED EQUAL.
7. SODDING / SEEDING BY LANDSCAPE CONTRACTOR.
8. ALL AREAS DISTURBED BY CONSTRUCTION ARE TO BE RESTORED, FINE GRADED AND SEEDED/ SODDED.
9. ALL EXISTING PLANT MATERIAL SHOWN ON THIS PLAN IS TO BE PRESERVED UNLESS SPECIFICALLY NOTED OTHERWISE.

SITE DATA

Total Site Area - 688,872.39 sf (15.814 acres)
Buildings - 137,672 sf (19.99 % of site)
Pavement - 226,214 sf (32.84 % of site)
Total Impervious - 363,886 sf (52.83 % of site)
Total Pervious - 324,986.36 sf (47.17 % of site)

LANDSCAPING LEGEND

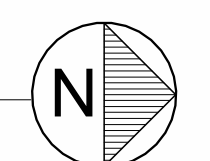
- Rhus Aromatica Gro-Low Sumac (lower bed shrub)
- Miscanthus Sinensis 'Gracillimus' (ornamental grass)
- Viburnum Dentatum 'Christom' (deciduous shrub - hedge style)
- Platanus X Acerifolia 'Bloodgood' (deciduous shade tree)
- Acer X Freemanii 'Sienna' (deciduous shade tree)
- Picea Abies (evergreen tree)
- Picea Glauca (evergreen tree)
- Three-rail Horse Fence, Painted Black (Decorative Fencing)
- Existing Landscaping (half-toned)

PLANT LIST

QTY	BOTANICAL NAME	COMMON NAME	SIZE
22	Rhus Aromatica Gro-Low Sumac	Fragrant Sumac	2' - 3' HGT.
54	Miscanthus Sinensis 'Gracillimus'	Chinese Silver Grass	3' - 7' HGT.
110	Viburnum Dentatum 'Christom'	Blue Muffin Arrowwood	5' - 7' HGT.
15	Platanus X Acerifolia 'Bloodgood'	Bloodgood London Plane Tree	2" CAL.
16	Acer X Freemanii 'Sienna'	Sienna Glen Maple	2" CAL.
8	Picea Abies	Norway Spruce	6' - 7' HGT.
12	Picea Glauca	White Spruce	6' - 7' HGT.



1 LANDSCAPE PLAN
SCALE: 1" = 50'-0"



- GENERAL NOTES**
- BOUNDARY, TOPOGRAPHIC, AND UTILITY SURVEY WAS PREPARED BY BRH GROUP, INC. / 1500 W. THIRD AVE., SUITE 102 COLUMBUS, OH / (614) 220-9122. REFER TO CIVIL DRAWINGS FOR ADDITIONAL INFORMATION.
 - CONTRACTOR SHALL VERIFY DIMENSIONS AND NOTIFY ARCHITECT & CIVIL ENGINEER OF ANY DISCREPANCIES.
 - NEW WORK INCLUDES: 67 UNITS, 1 STORAGE SHED, & TWO PUBLIC, ADA ACCESSIBLE, RESTROOMS. UNITS WITH AN ASTERISK ARE TO HAVE A MEZZANINE.
 - USING EXISTING DUMPSTERS & CLUBHOUSE.
 - BROOM FINISH ON CONCRETE SHALL BE PERPENDICULAR TO TRAFFIC FLOW.

SITE DATA

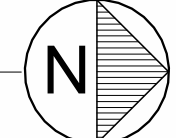
Total Site Area	688,872.39 sf (15.814 acres)
Buildings	137,672 sf (19.99 % of site)
Pavement	226,214 sf (32.84 % of site)
Total Impervious	363,886 sf (52.83 % of site)
Total Pervious	324,986.36 sf (47.17 % of site)

- SITE PLAN LEGEND**
- #X* ASTERISK'S SYMBOL MEANS THE UNIT INCLUDES A MEZZANINE
 - HOSE BIB LOCATION
 - FIRE HYDRANT LOCATION

- LANDSCAPING LEGEND**
- Rhus Aromatica 'Gro-Low Sumac' (lower bed shrub)
 - Miscanthus Sinensis 'Gracillimus' (ornamental grass)
 - Viburnum Dentatum 'Christom' (deciduous shrub - hedge style)
 - Platanus X Acerifolia 'Bloodgood' (deciduous shade tree)
 - Acer X Freemanii 'Sienna' (deciduous shade tree)
 - Picea Abies (evergreen tree)
 - Picea Glauca (evergreen tree)
 - Three-rail Horse Fence, Painted Black (Decorative Fencing)
 - Existing Landscaping (half-toned)



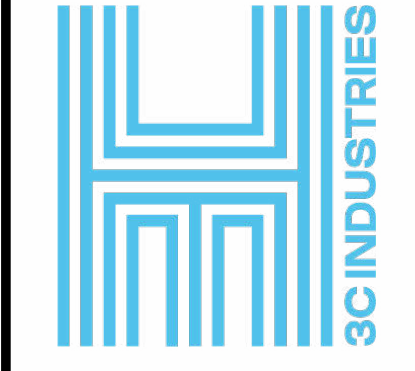
1 SITE PLAN
SCALE: 1" = 50'-0"



NOT FOR CONSTRUCTION

REVISIONS

NO.	DATE	DESCRIPTION



McCall SHARP ARCHITECTURE
14 EAST MAIN STREET SUITE 201, SPRINGFIELD, OHIO 45502

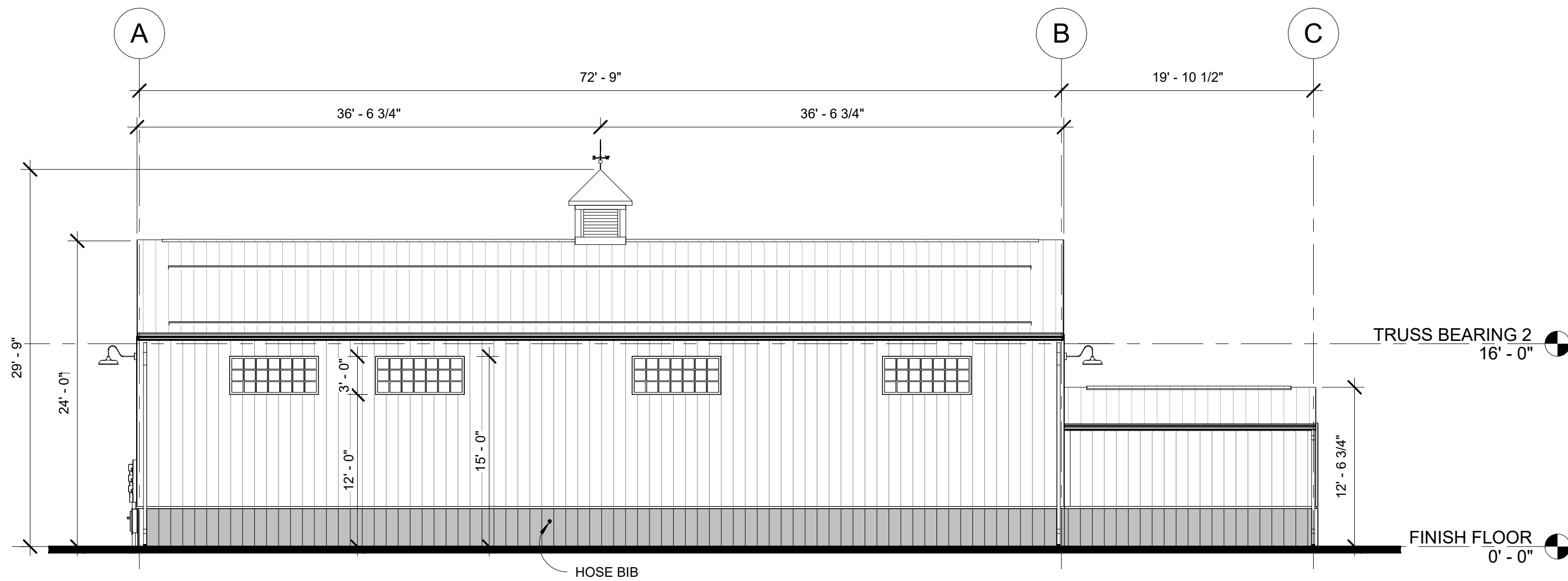
HORSEPOWER FARMS
FOR
POWELL CONDOS
4301 HOME ROAD, POWELL, OHIO 43065
ARCHITECTURAL SITE PLAN

JOB NO: 2316

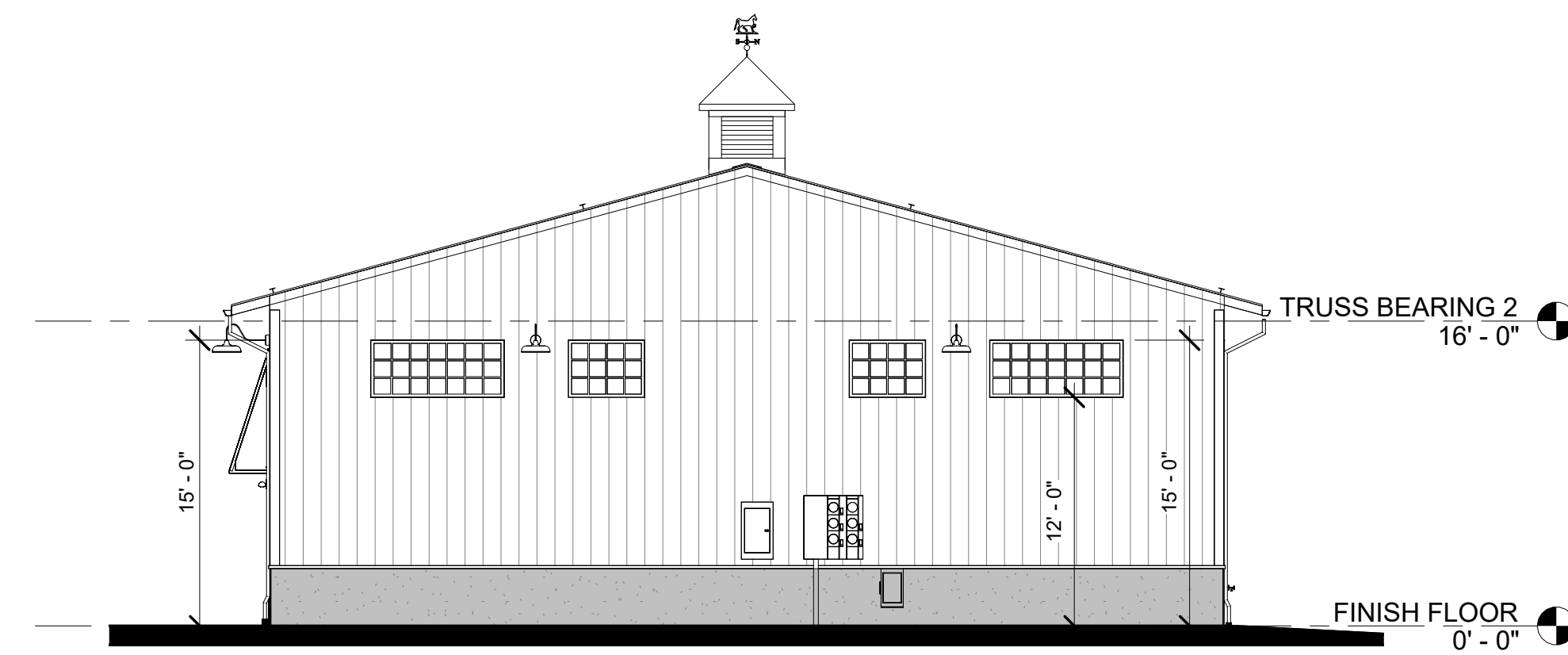
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CHECKED BY: EEM
CONSTRUCTION DOCUMENTS

A1

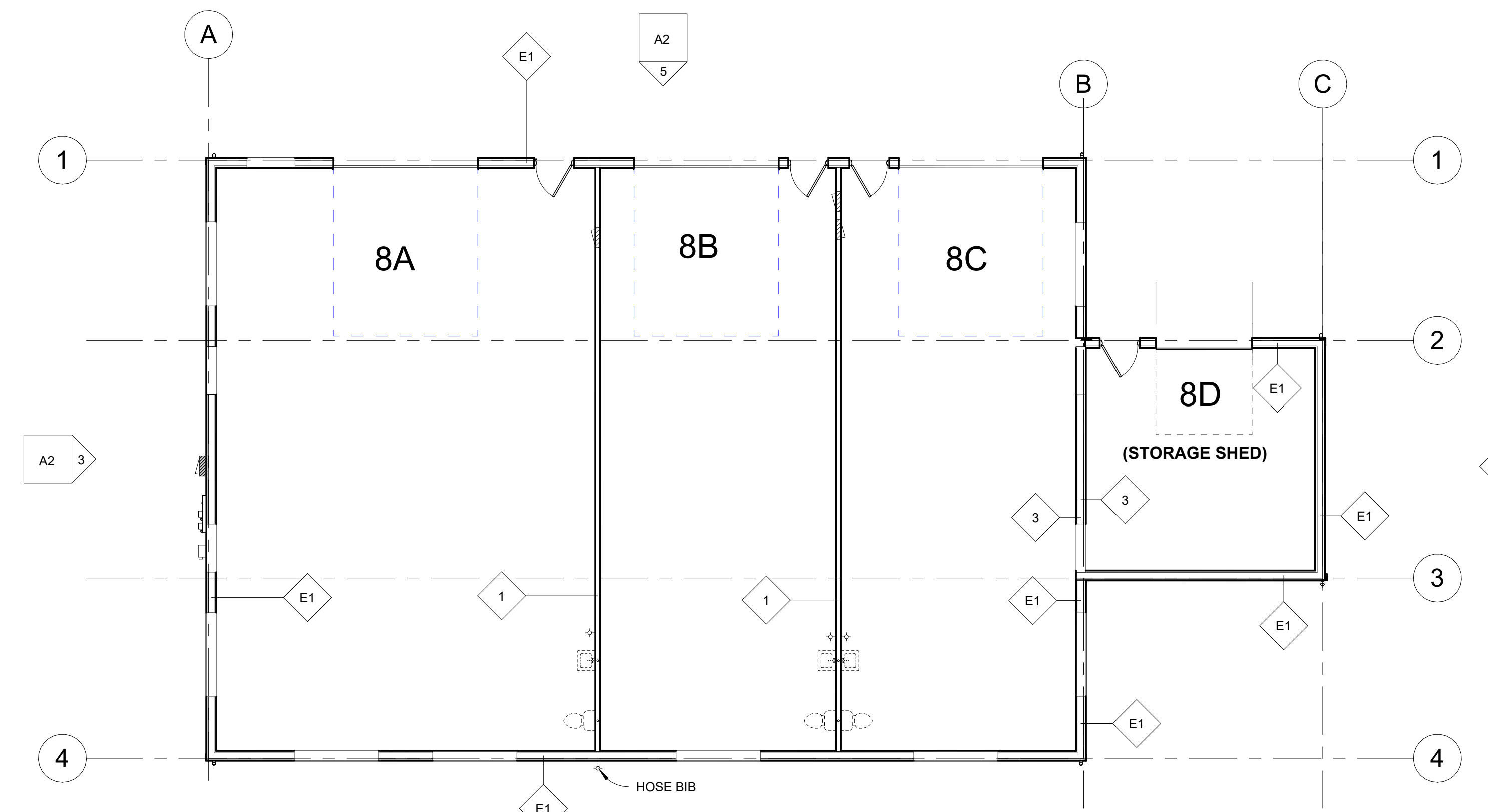
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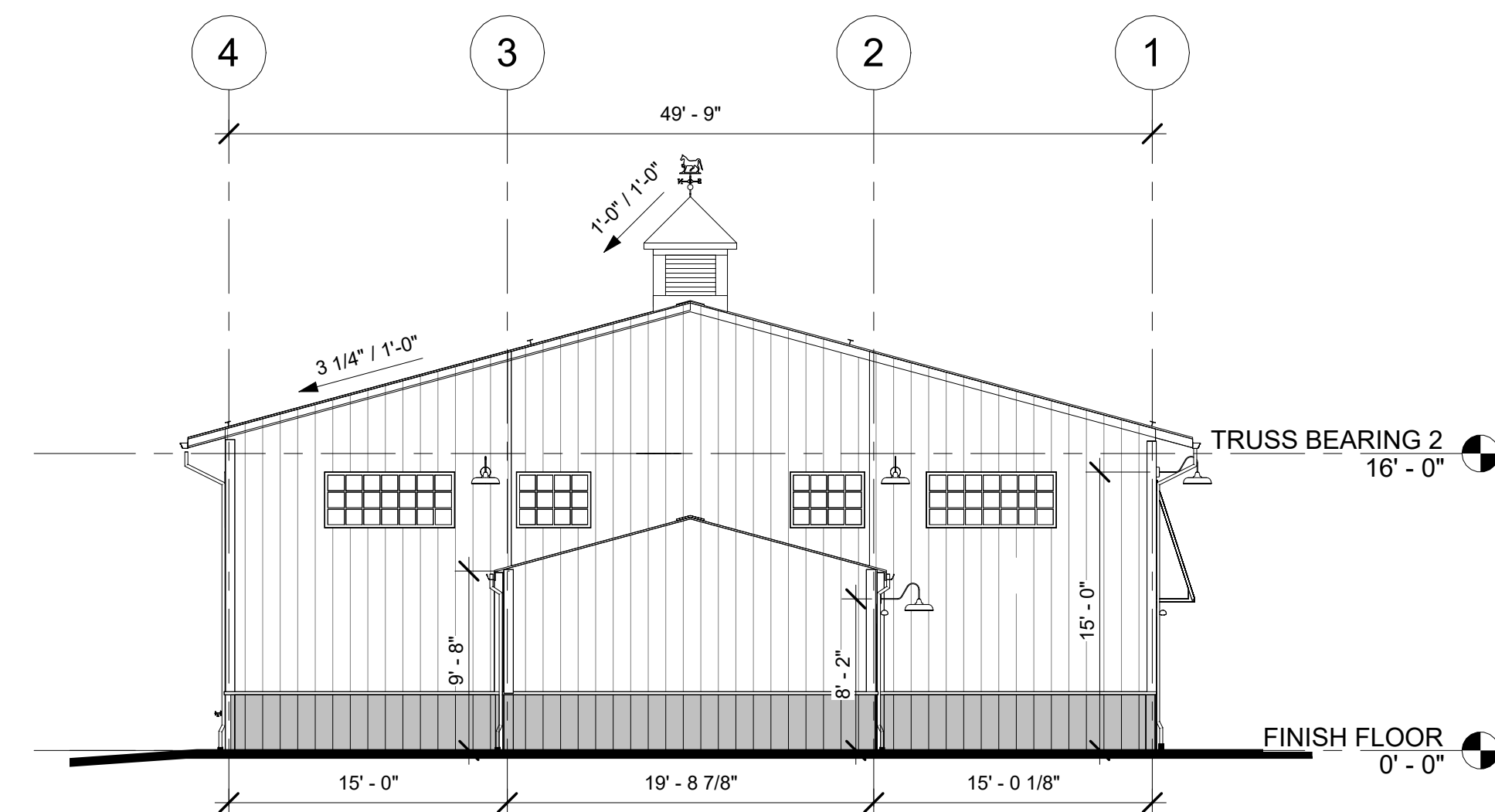
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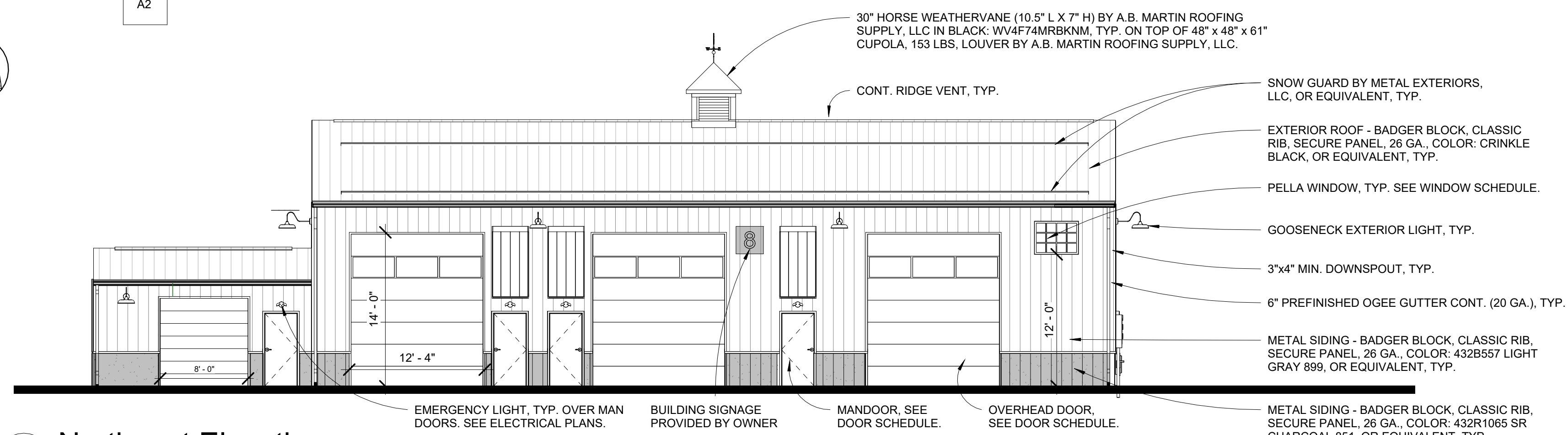
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1 Floor Plan
SCALE: 1/8" = 1'-0"



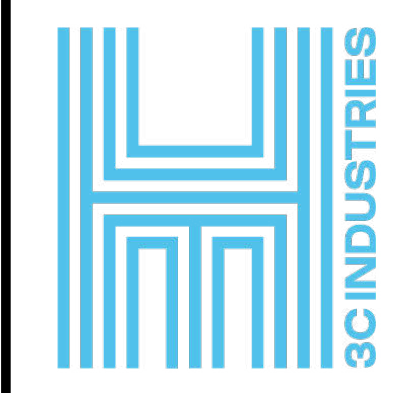
4 Northwest Elevation
SCALE: 1/8" = 1'-0"



5 Northeast Elevation
SCALE: 1/8" = 1'-0"

NOT FOR CONSTRUCTION

NO.	DATE	DESCRIPTION



McCall SHARP ARCHITECTURE
11 EAST MAIN STREET SUITE 201, SPRINGFIELD, OHIO 45502

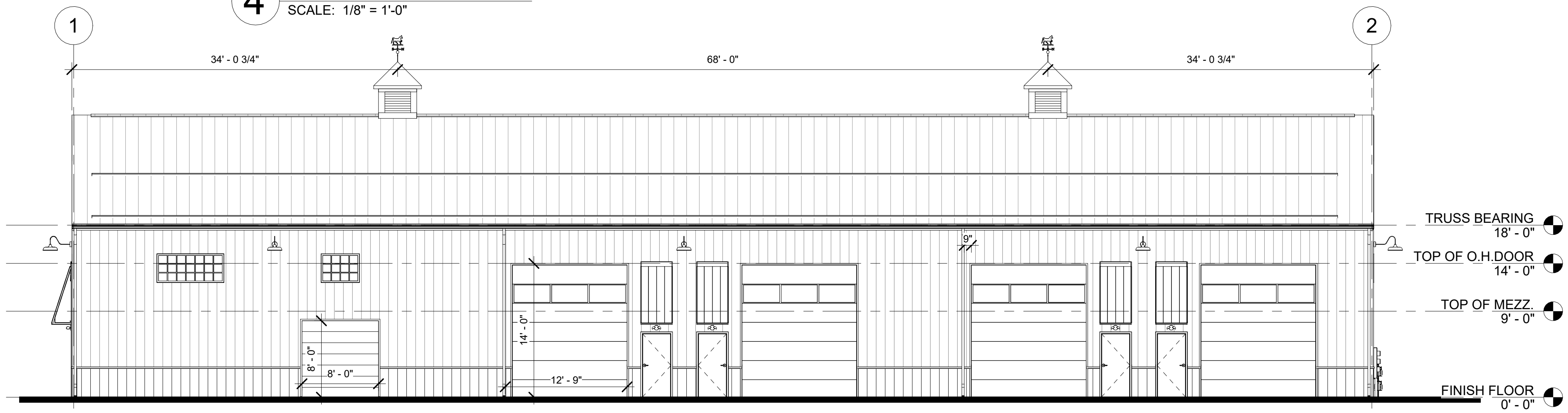
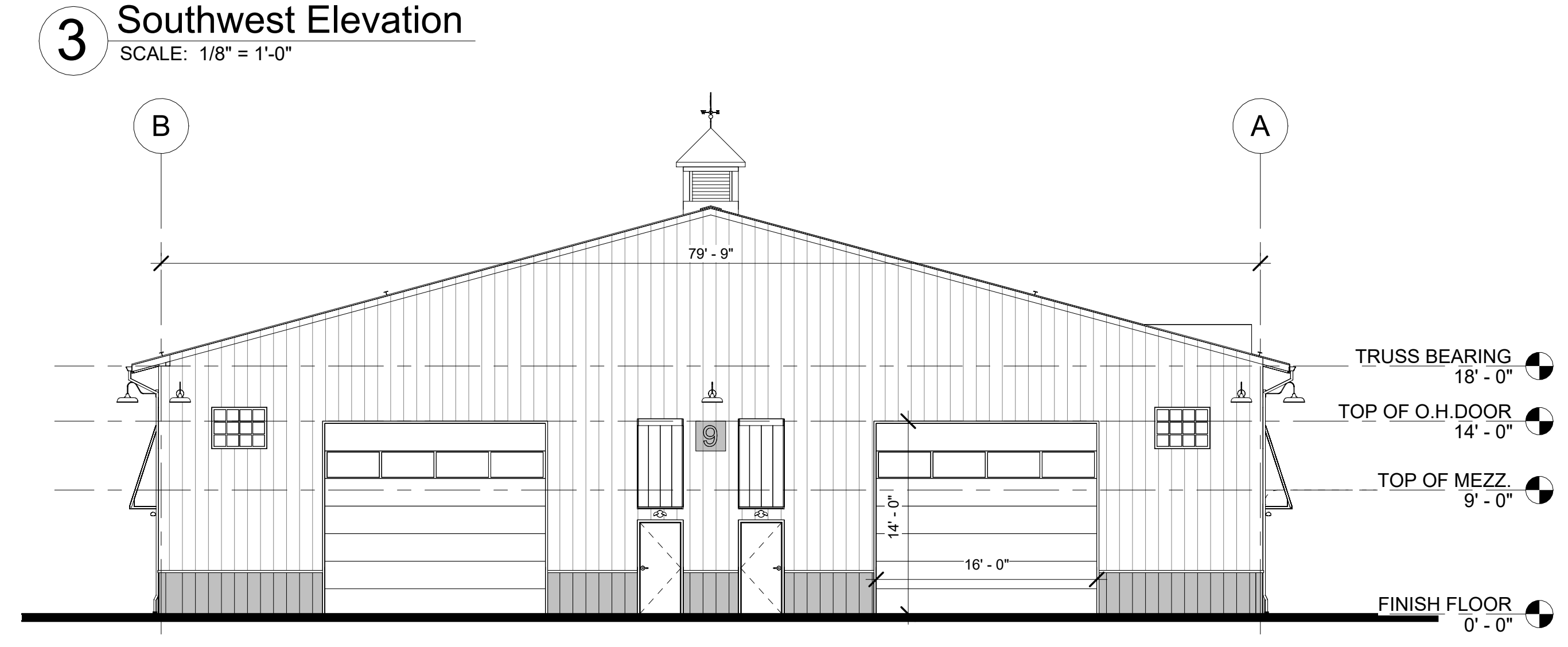
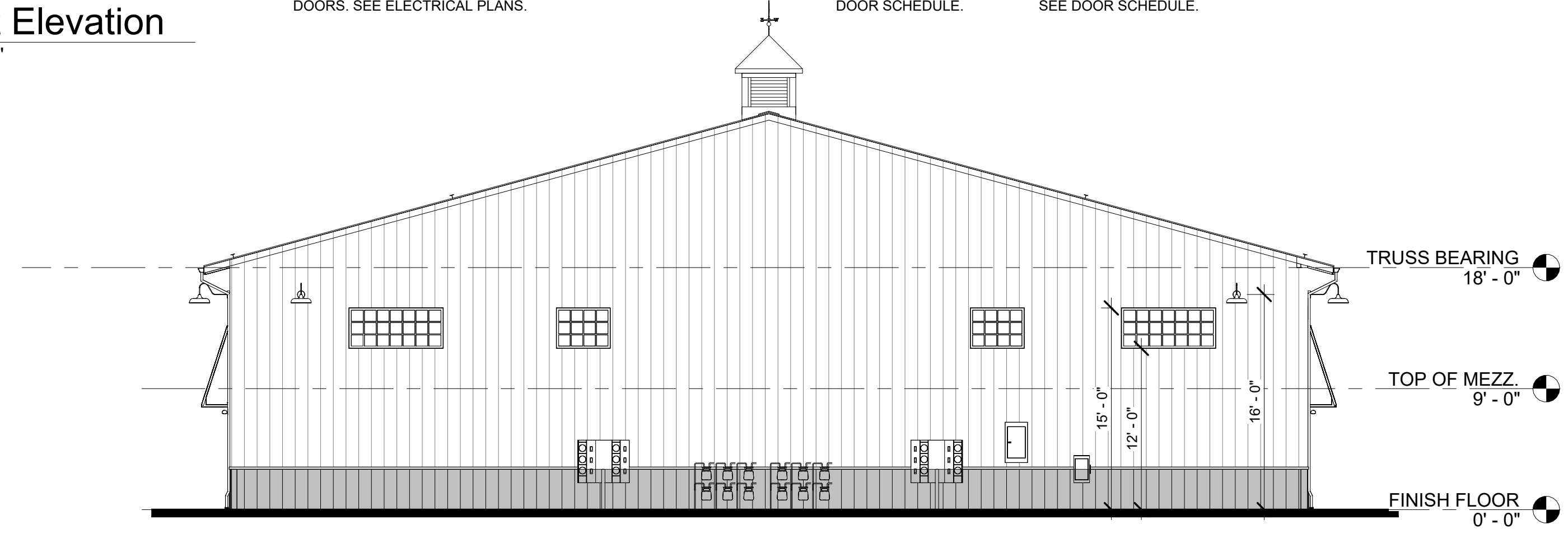
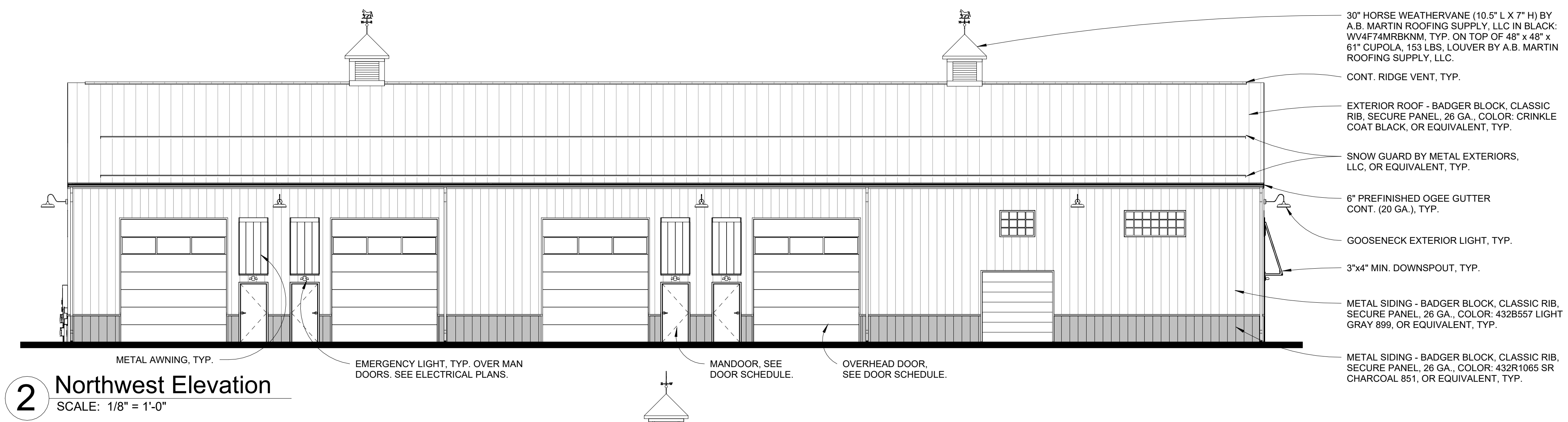
HORSEPOWER FARMS FOR POWELL CONDOS
4301 HOME ROAD, POWELL, OHIO 43065
BUILDING 8 FLOOR PLAN & EXT. ELEVATIONS

JOB NO: 2316

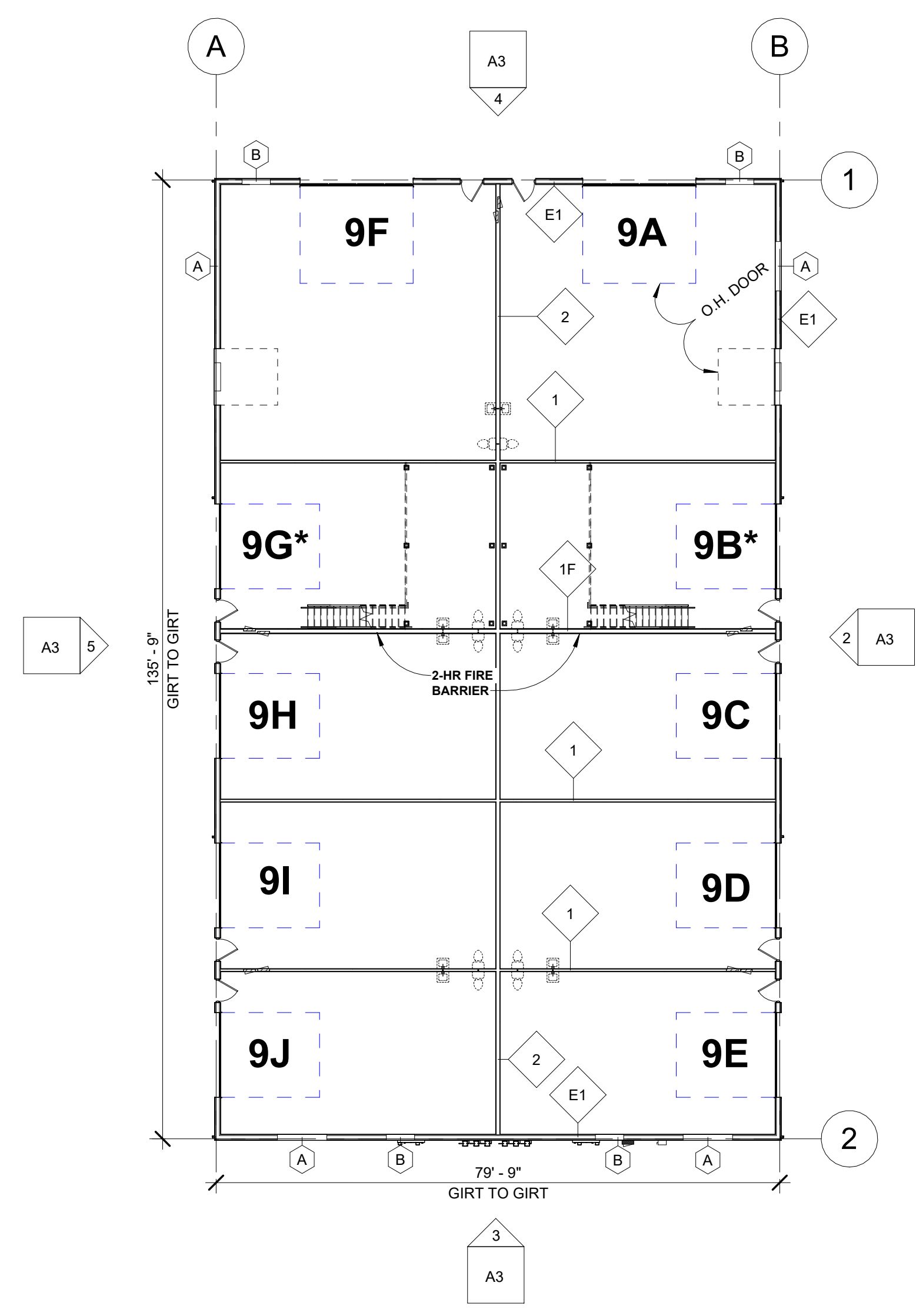
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CHECKED BY: EEM
CONSTRUCTION DOCUMENTS

A2

DATE: 01-25-2024

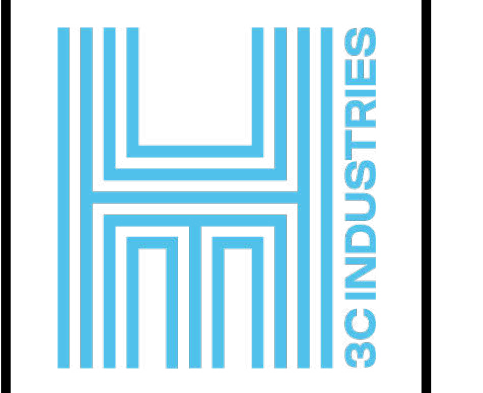


DIMENSION FLOOR PLAN NOTES
UNITS WITH AN ASTERISK'S (*) SYMBOL TO HAVE FUTURE MEZZANINES



NOT FOR CONSTRUCTION

NO.	DATE	DESCRIPTION

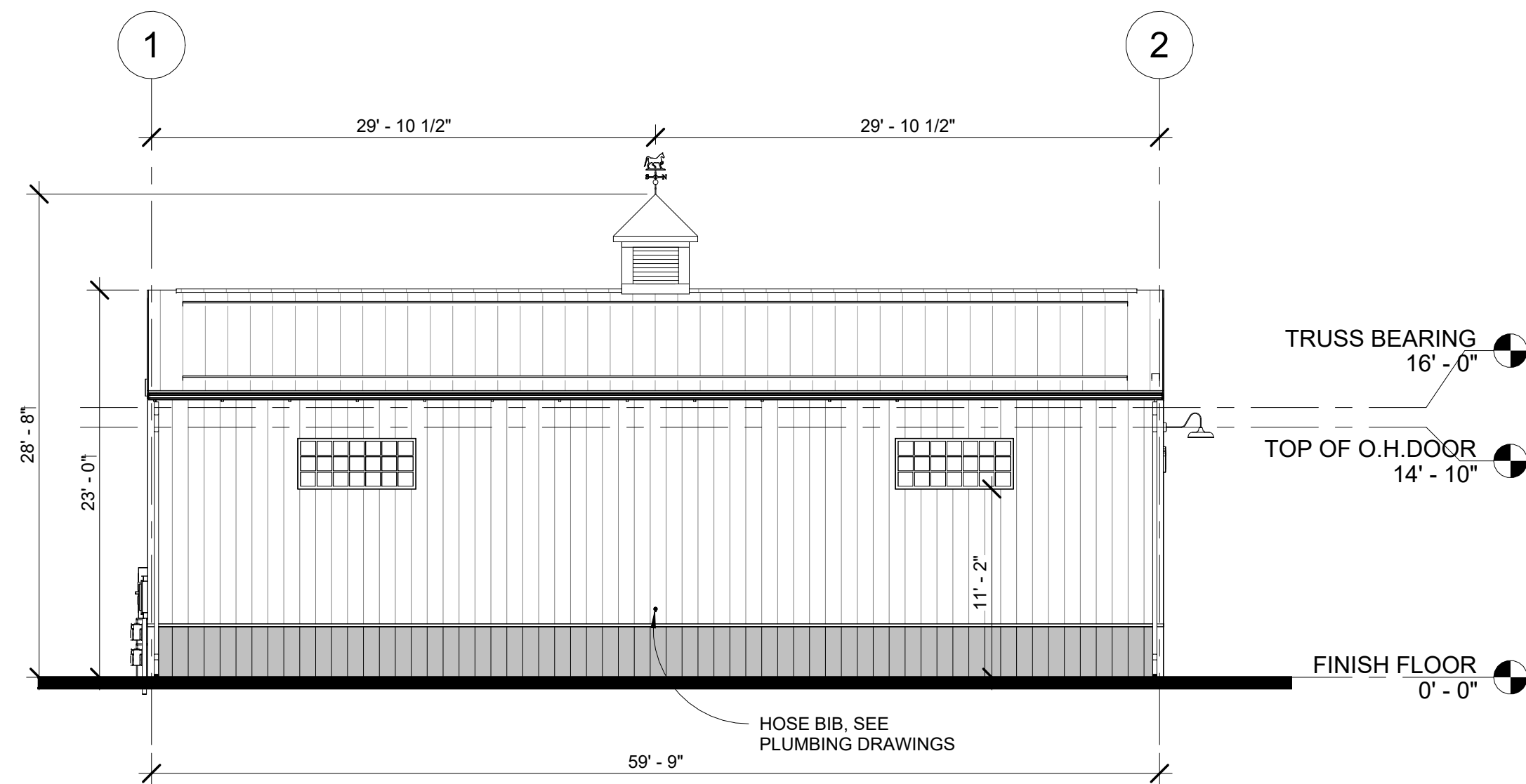


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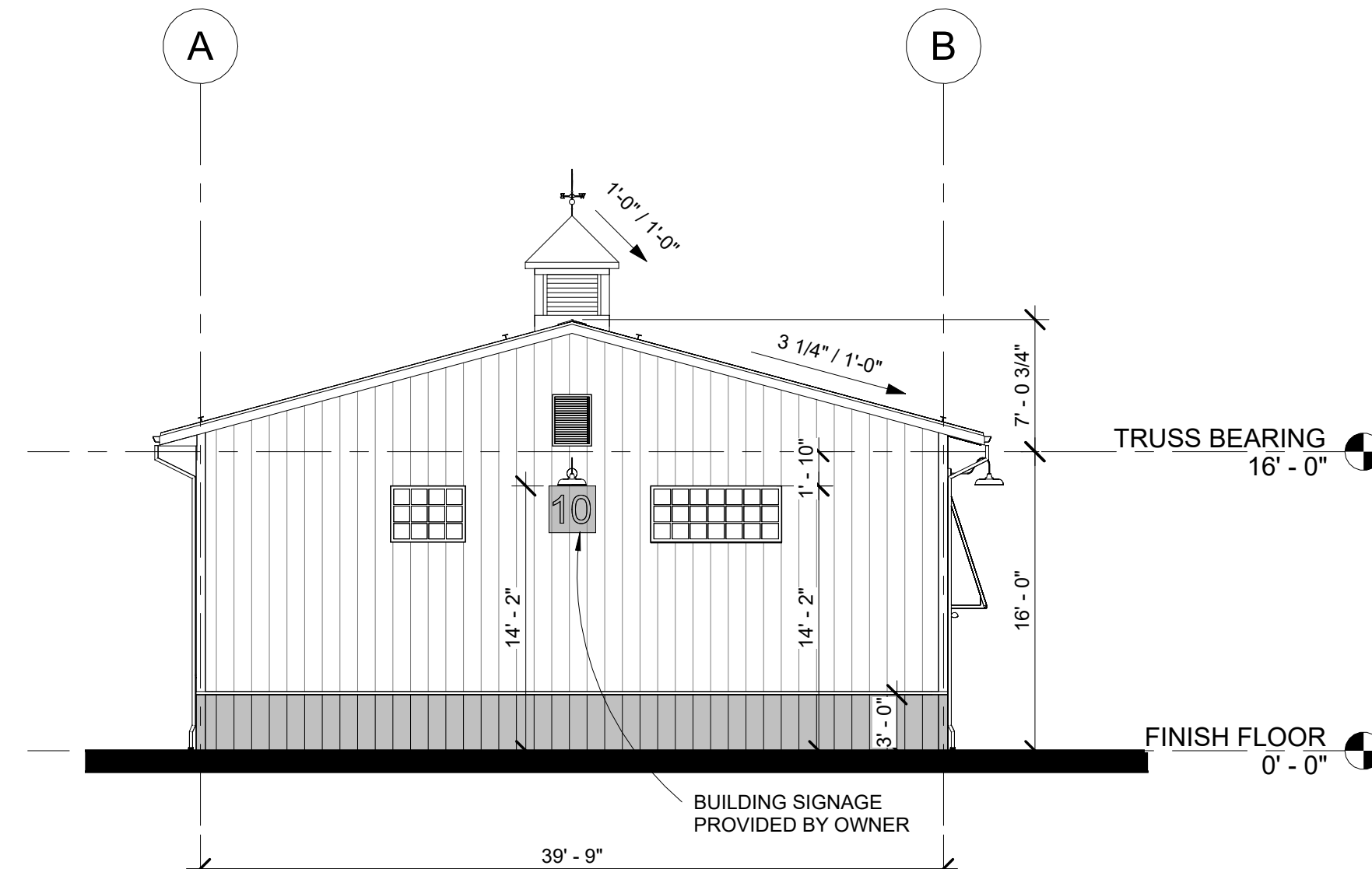
HORSEPOWER FARMS
FOR
POWELL CONDOS
4301 HOME ROAD, POWELL, OHIO 43065
BUILDING 9 FLOOR PLAN & EXT. ELEVATIONS

JOB NO: 2316
DRAWN BY: KJM
CHECKED BY: EEM
CONSTRUCTION DOCUMENTS

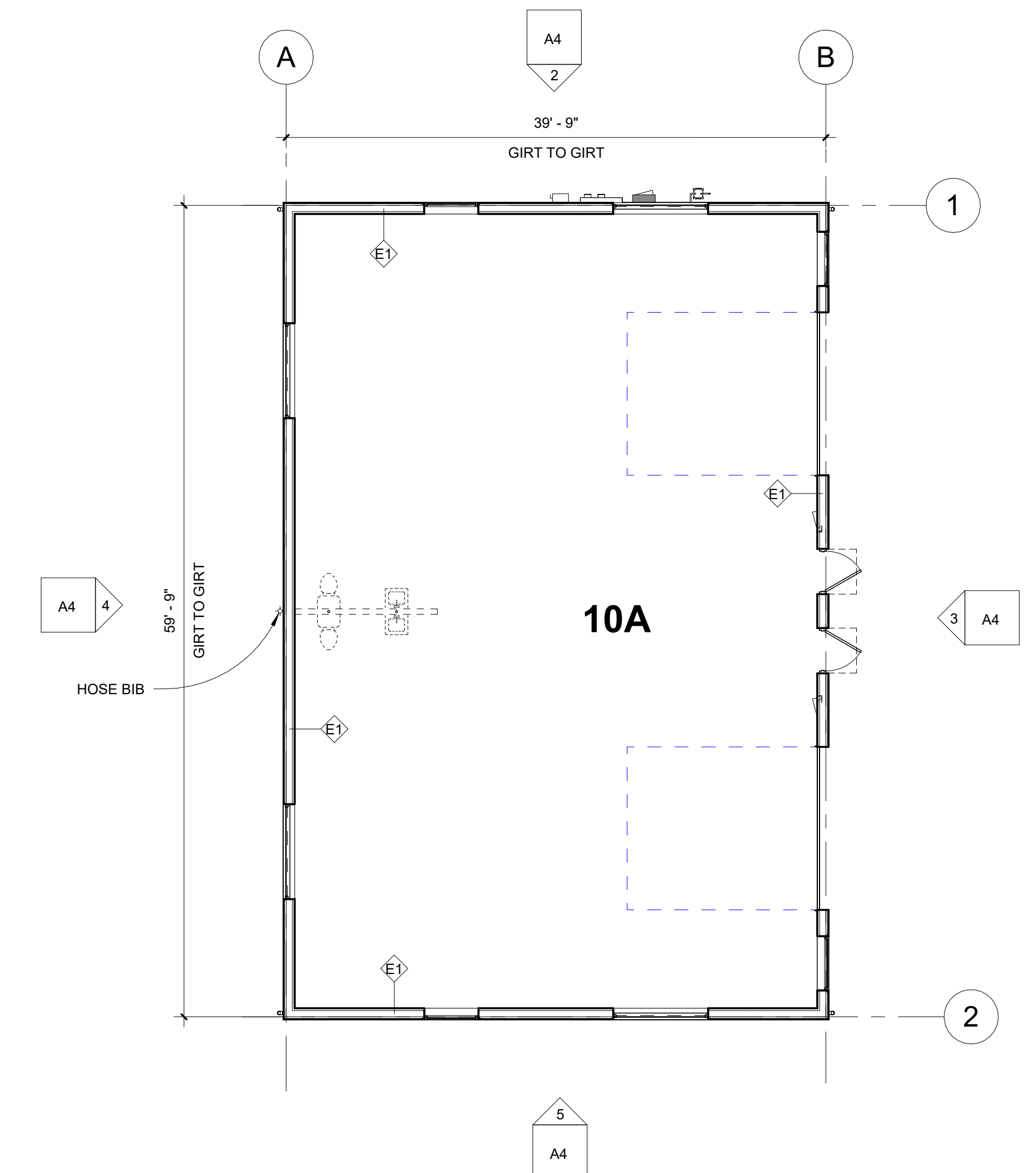
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DATE: 01-25-2024



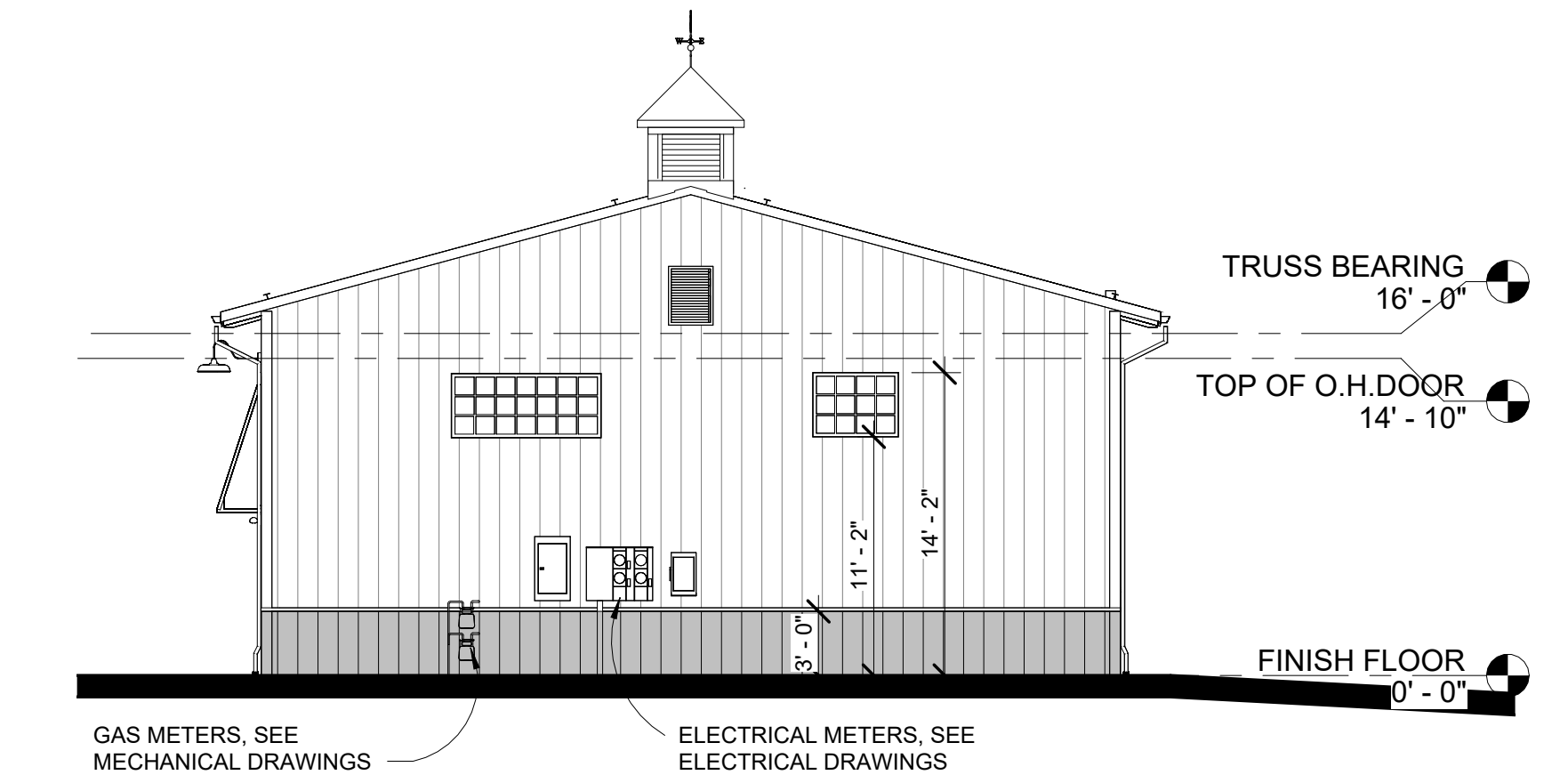
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SCALE: 1/8" = 1'-0"



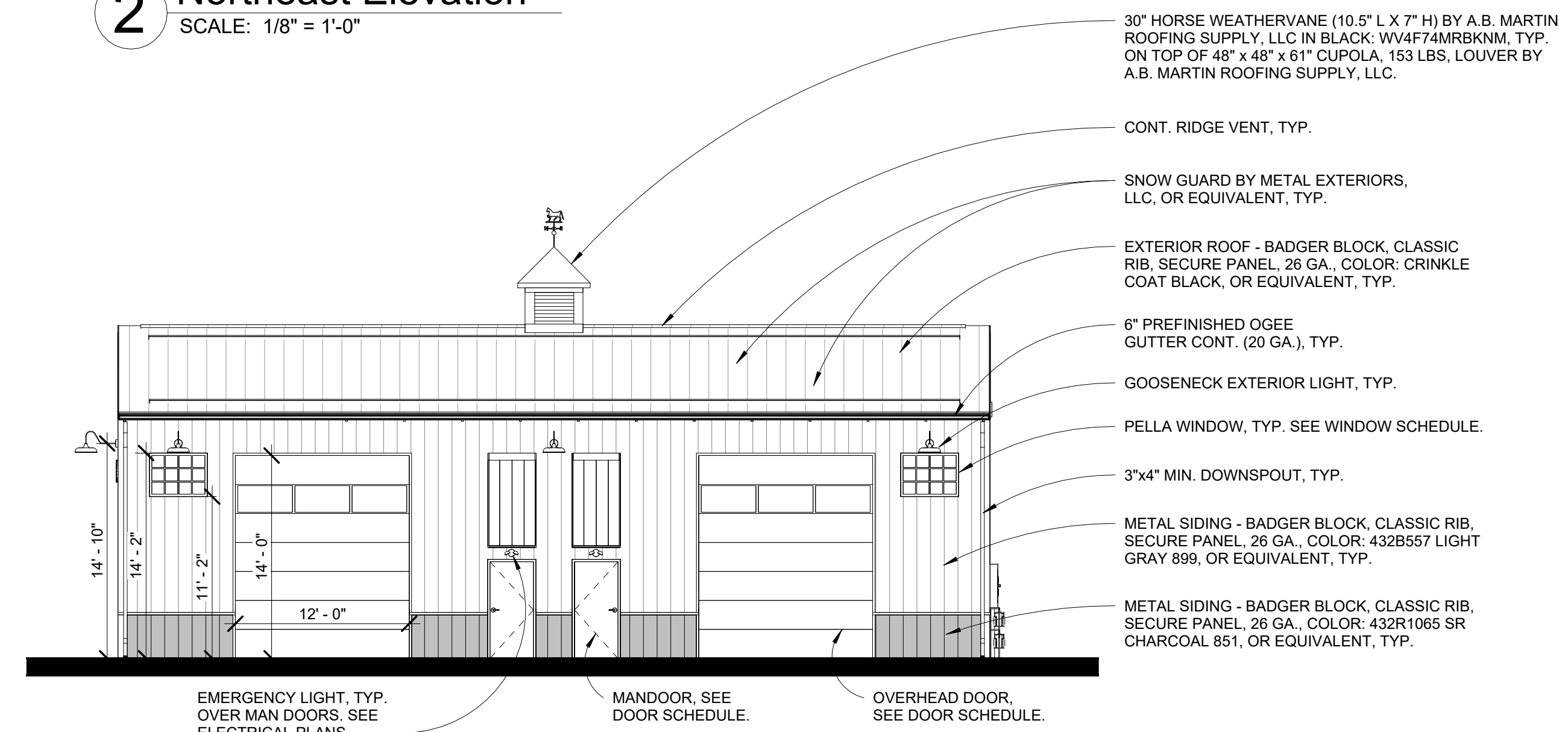
5 Southwest Elevation
SCALE: 1/8" = 1'-0"



1 Floor Plan
SCALE: 1/8" = 1'-0"



2 Northeast Elevation
SCALE: 1/8" = 1'-0"

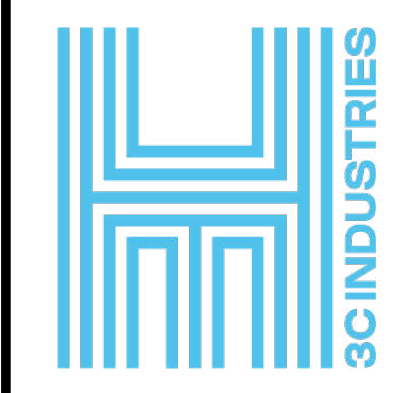


3 Northwest Elevation
SCALE: 1/8" = 1'-0"

- 30" HORSE WEATHERVANE (10.5" L X 7" H) BY A.B. MARTIN ROOFING SUPPLY, LLC IN BLACK: W4F74MRKHM, TYP. ON TOP OF 48" X 48" X 61" CUPOLA, 153 LBS. LOUVER BY A.B. MARTIN ROOFING SUPPLY, LLC.
- CONT. RIDGE VENT, TYP.
- SNOW GUARD BY METAL EXTERIORS, LLC, OR EQUIVALENT, TYP.
- EXTERIOR ROOF - BADGER BLOCK, CLASSIC RIB, SECURE PANEL, 26 GA., COLOR: CRINKLE COAT BLACK, OR EQUIVALENT, TYP.
- 6" PREFINISHED OGEE GUTTER CONT. (20 GA.), TYP.
- GOOSENECK EXTERIOR LIGHT, TYP.
- PELLA WINDOW, TYP. SEE WINDOW SCHEDULE.
- 3"x4" MIN. DOWNSPOUT, TYP.
- METAL SIDING - BADGER BLOCK, CLASSIC RIB, SECURE PANEL, 26 GA., COLOR: 432B557 LIGHT GRAY 899, OR EQUIVALENT, TYP.
- METAL SIDING - BADGER BLOCK, CLASSIC RIB, SECURE PANEL, 26 GA., COLOR: 432R1065 SR CHARCOAL 851, OR EQUIVALENT, TYP.

NOT FOR CONSTRUCTION

NO.	DATE	DESCRIPTION



McCall SHARP ARCHITECTURE
11 EAST MAIN STREET SUITE 201, SPRINGFIELD, OHIO 45502

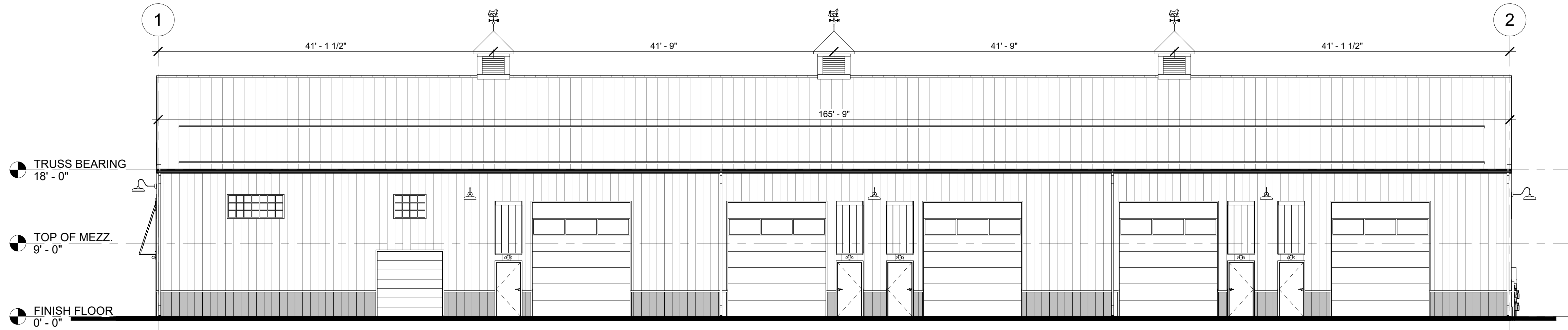
HORSEPOWER FARMS
FOR
POWELL CONDOS
4301 HOME ROAD, POWELL, OHIO 43065
BUILDING 10 FLOOR PLAN & EXT. ELEVATIONS

JOB NO: 2316

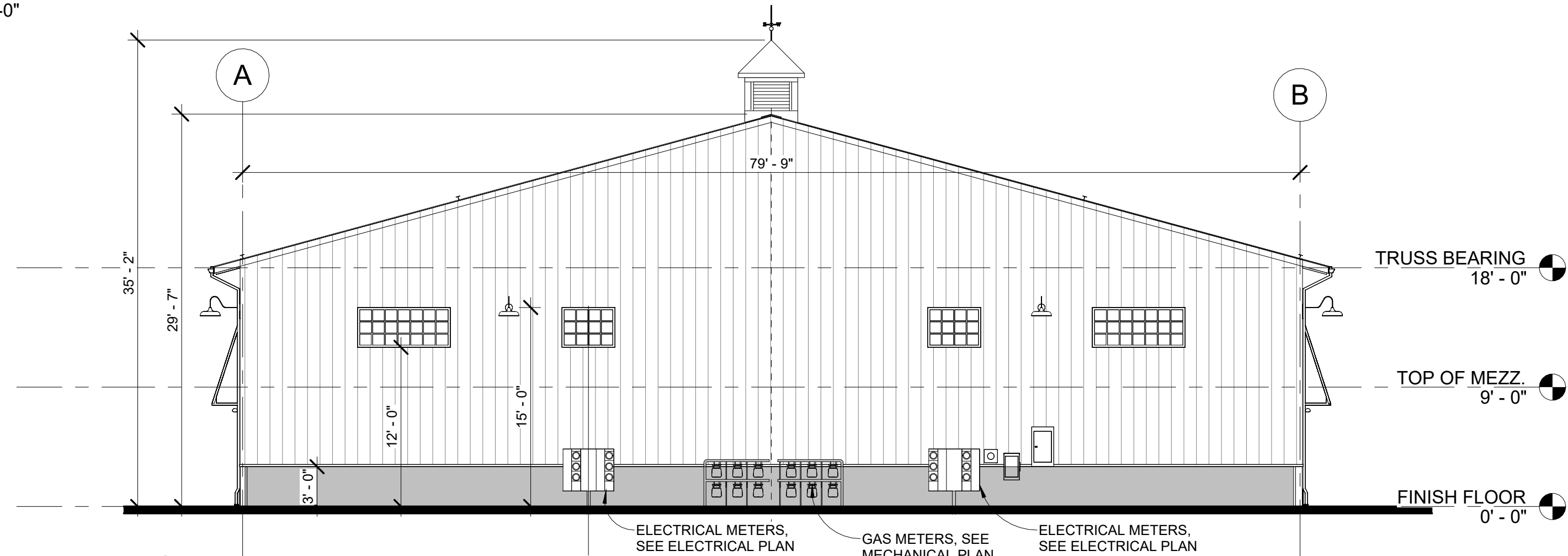
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CHECKED BY: EEM
CONSTRUCTION DOCUMENTS

A4

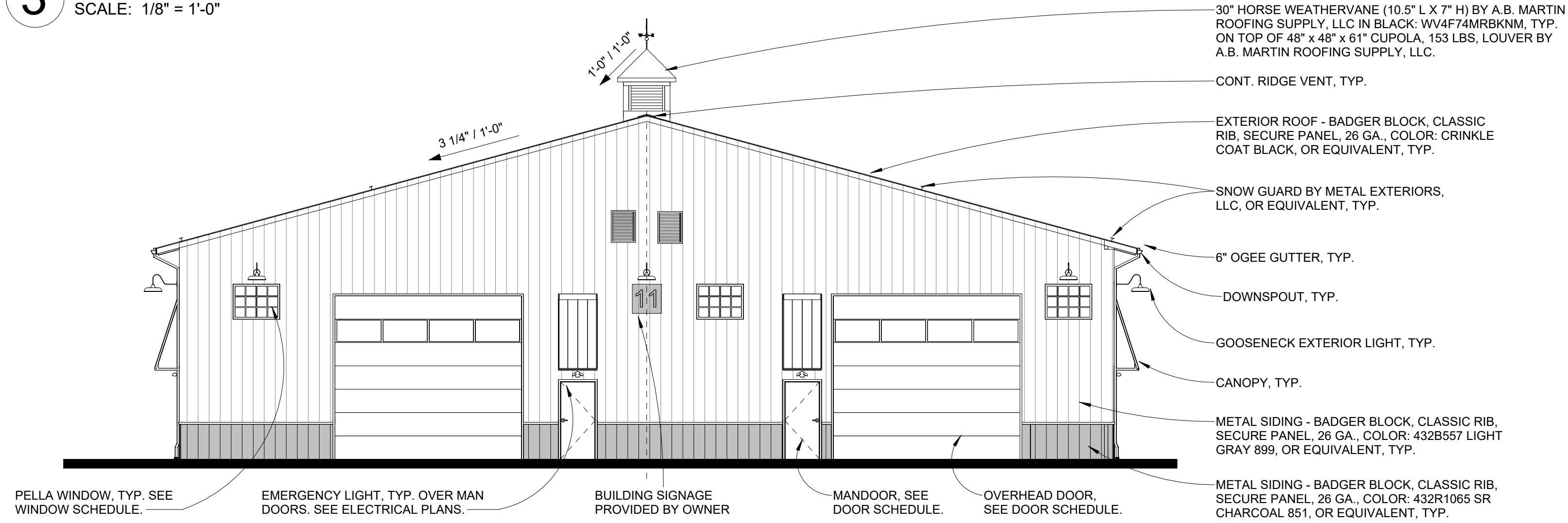
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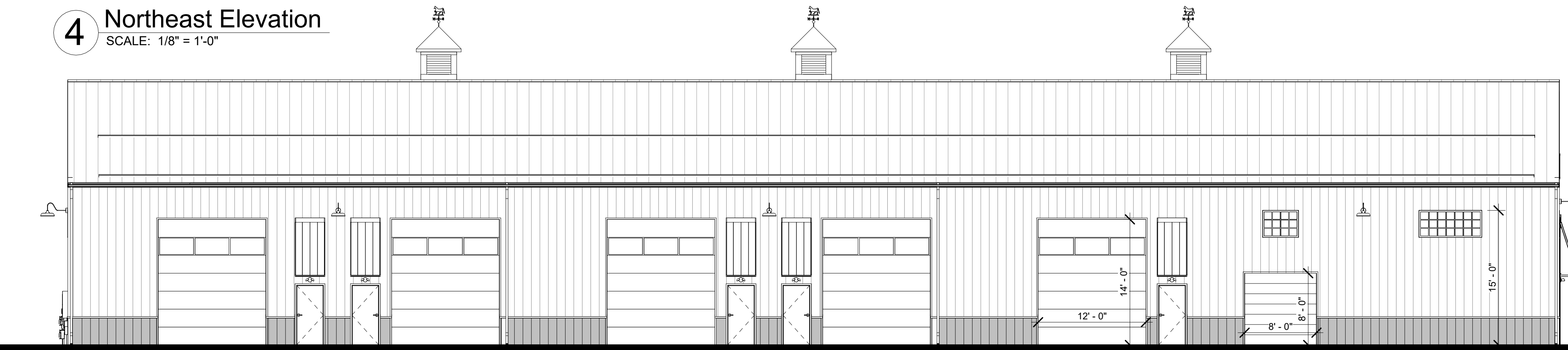
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3 Southwest Elevation
SCALE: 1/8" = 1'-0"

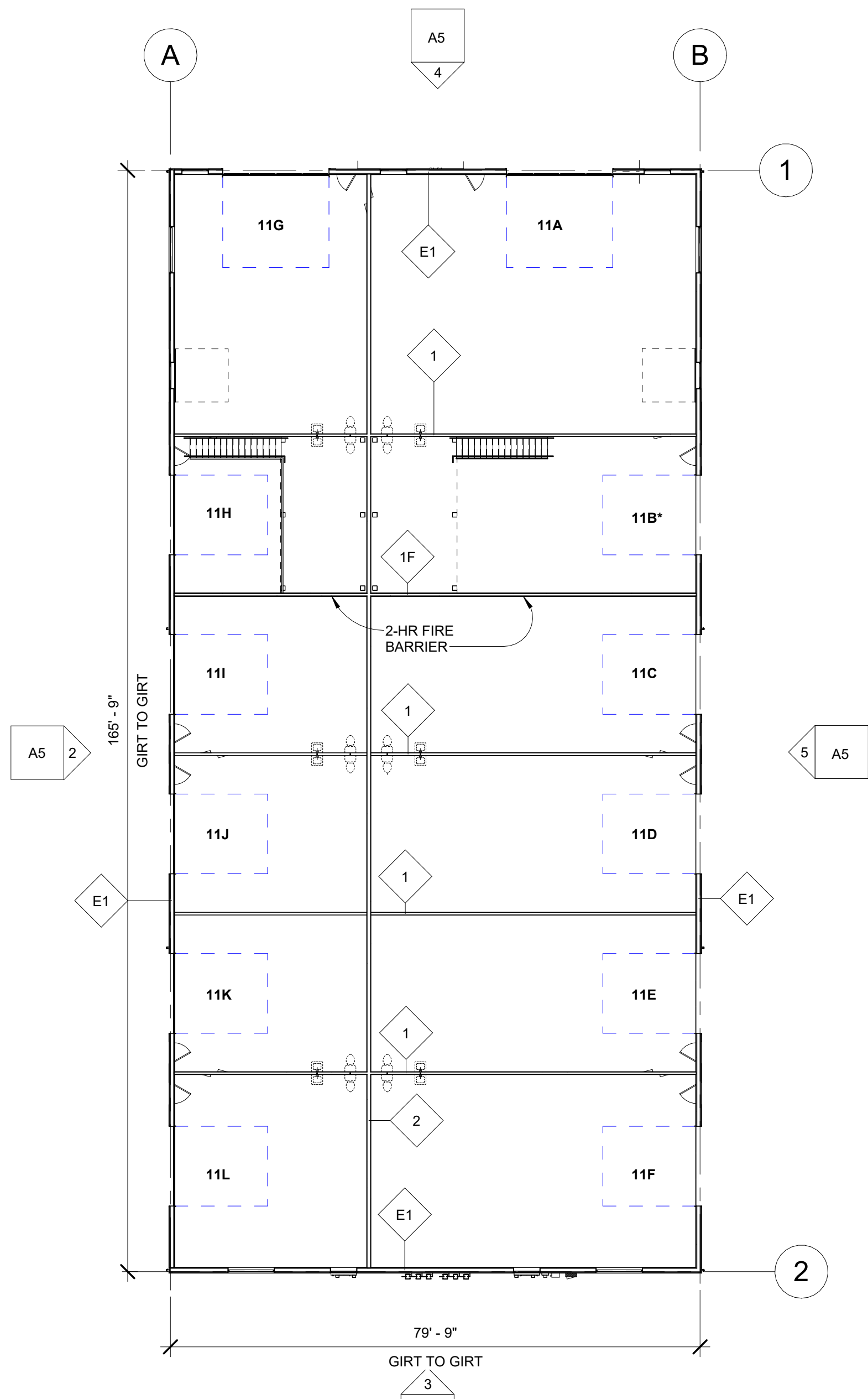


4 Northeast Elevation
SCALE: 1/8" = 1'-0"



5 Northwest Elevation
SCALE: 1/8" = 1'-0"

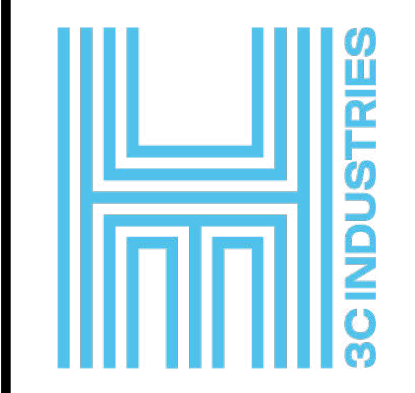
DIMENSION FLOOR PLAN NOTES
UNITS WITH AN ASTERISK'S (*) SYMBOL TO HAVE FUTURE MEZZANINES



1 Floor Plan
SCALE: 1/16" = 1'-0"

NOT FOR CONSTRUCTION

REVISIONS	
NO.	DATE DESCRIPTION



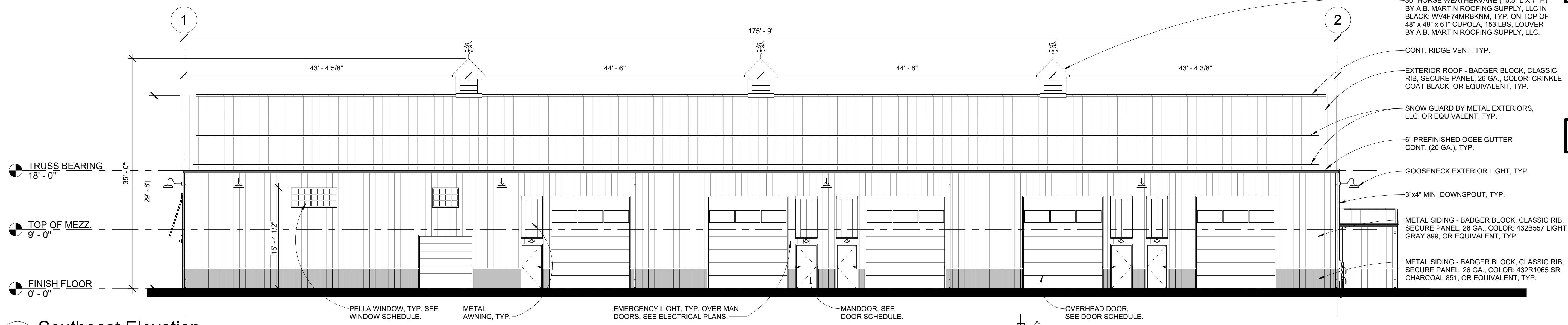
McCall SHARP ARCHITECTURE
14 EAST MAIN STREET SUITE 201 SPRINGFIELD, OHIO 45502

HORSEPOWER FARMS
FOR
POWELL CONDOS
4301 HOME ROAD, POWELL, OHIO 43065
BUILDING 11 FLOOR PLAN & EXT. ELEVATIONS

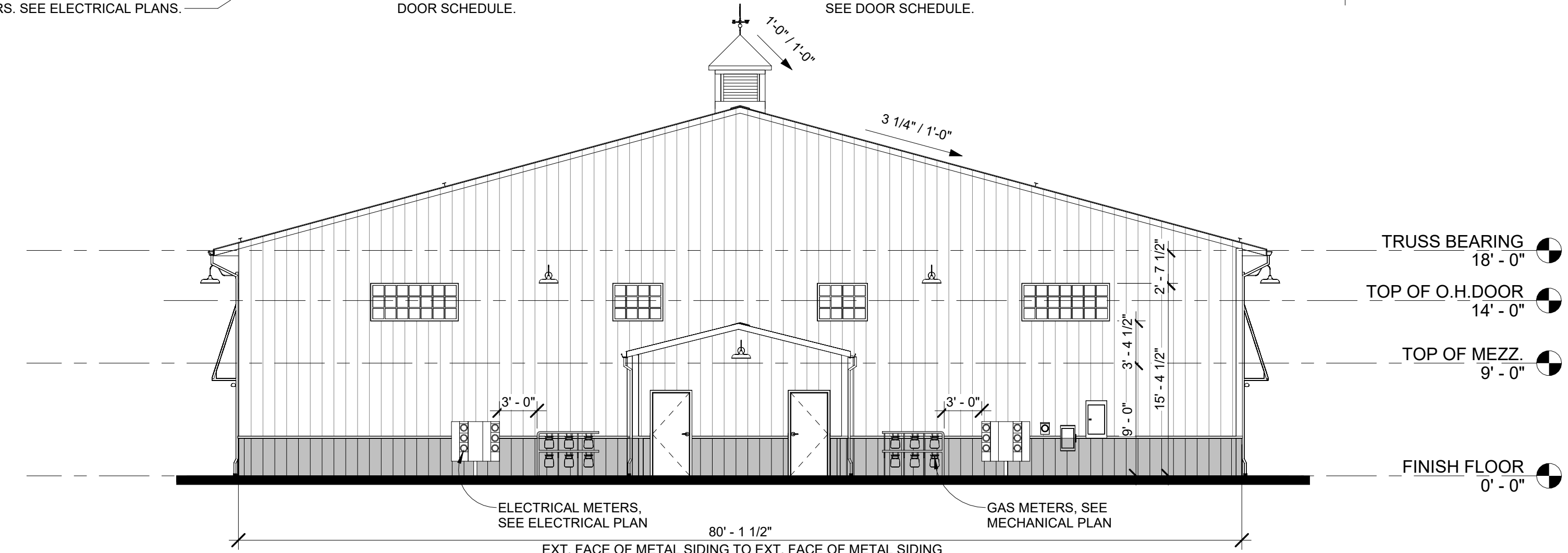
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DRAWN BY: KJM
CHECKED BY: EEM
CONSTRUCTION DOCUMENTS

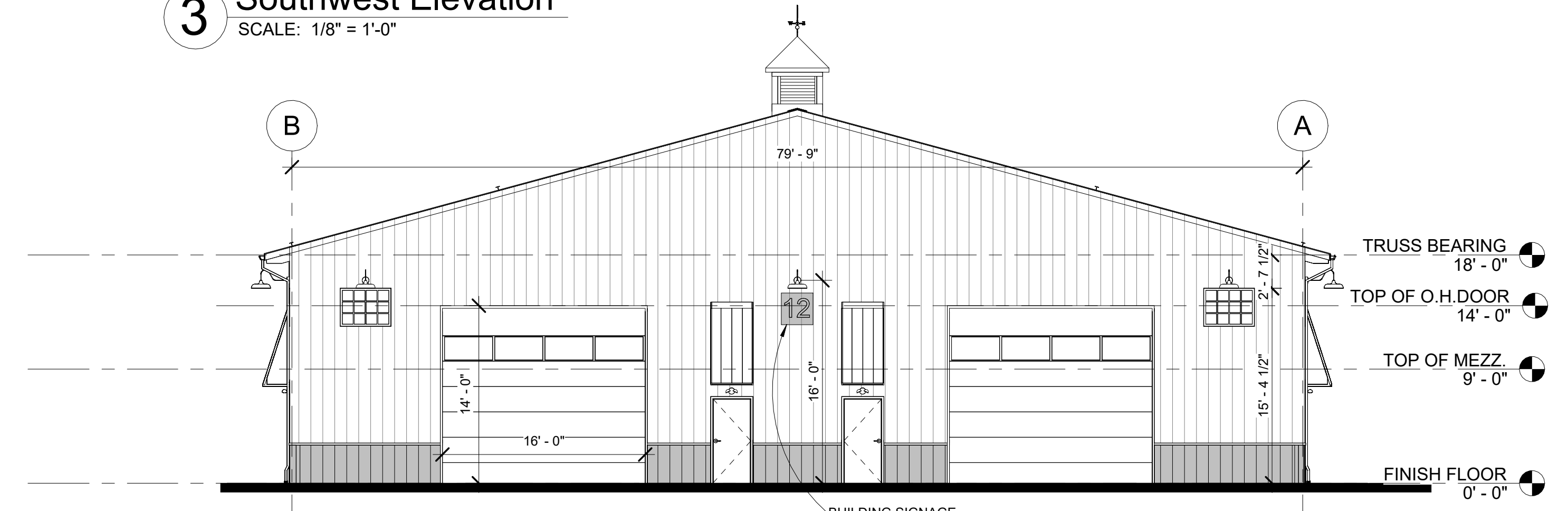
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DATE: 01-25-2024



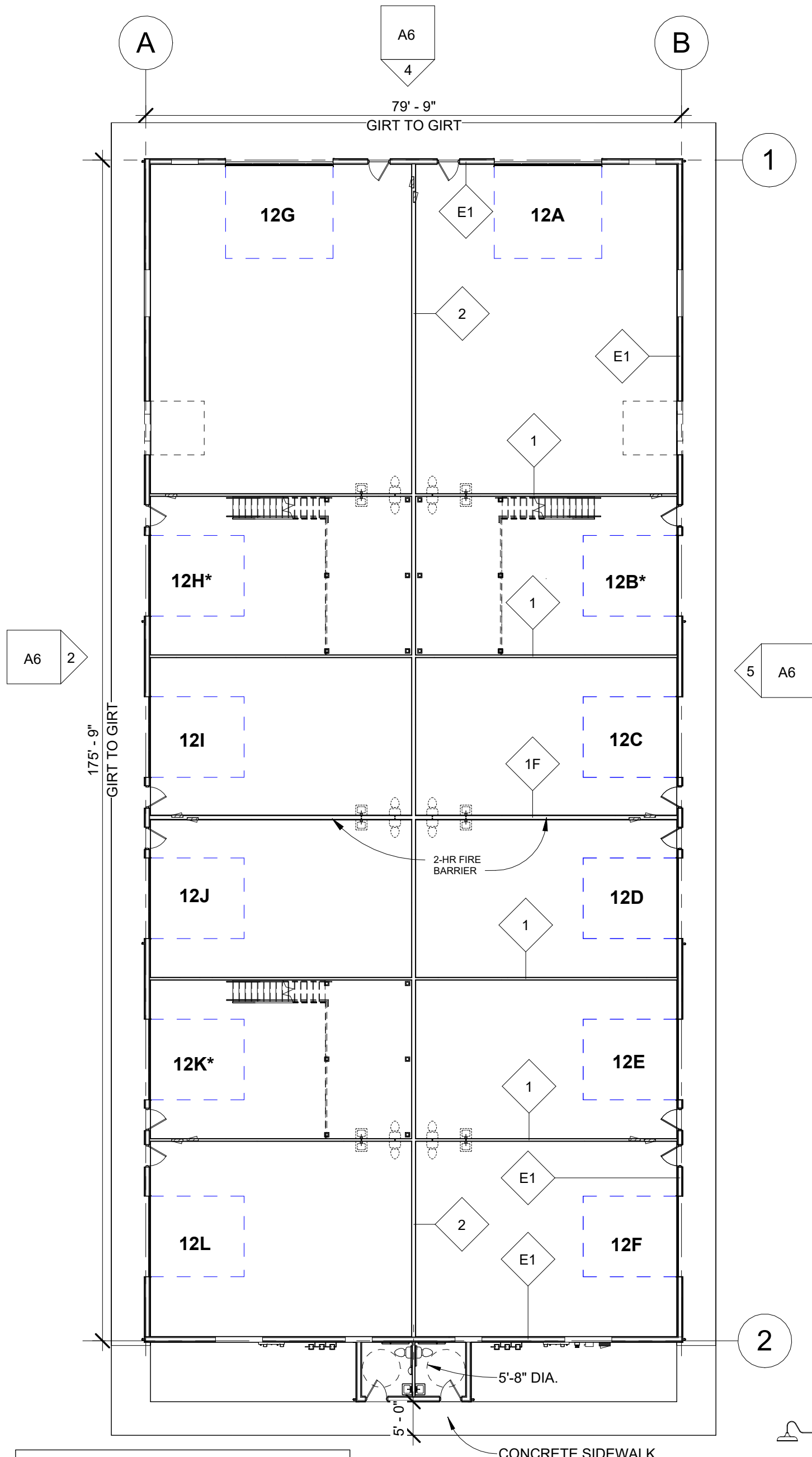
2 Southeast Elevation
SCALE: 1/8" = 1'-0"



3 Southwest Elevation
SCALE: 1/8" = 1'-0"



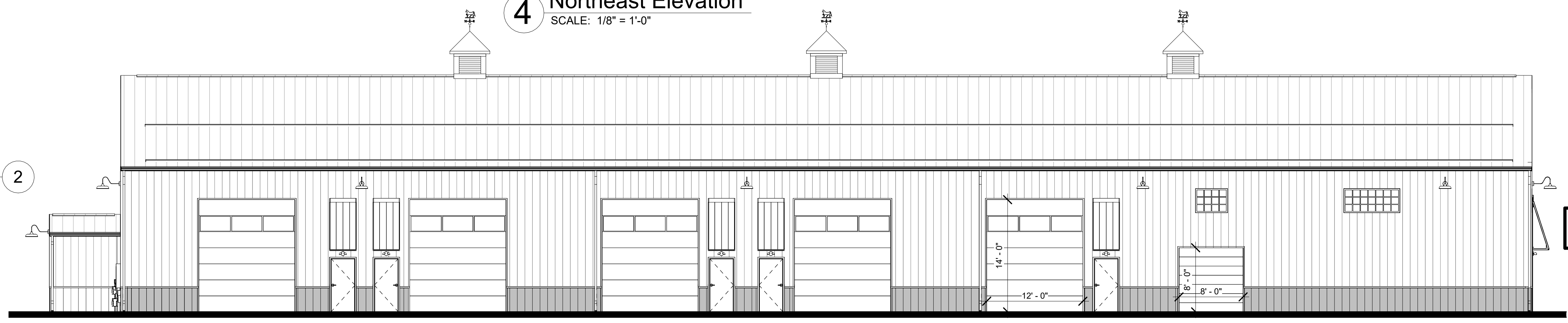
4 Northeast Elevation
SCALE: 1/8" = 1'-0"



FLOOR PLAN NOTES

UNITS WITH AN ASTERISK'S (*) SYMBOL TO HAVE A MEZZANINE

1 Floor Plan
SCALE: 1/16" = 1'-0"

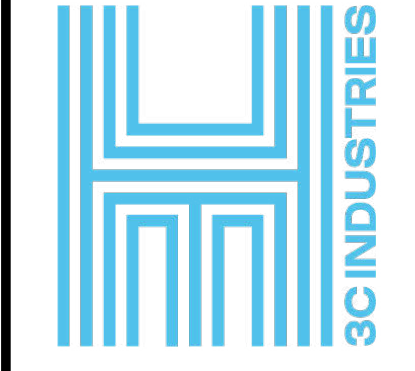


5 Northwest Elevation
SCALE: 1/8" = 1'-0"

NOT FOR CONSTRUCTION

REVISIONS

NO.	DATE	DESCRIPTION



McCall SHARP ARCHITECTURE
11 EAST MAIN STREET SUITE 201, SPRINGFIELD, OHIO 45502

HORSEPOWER FARMS
FOR
POWELL CONDOS
4301 HOME ROAD, POWELL, OHIO 43065
BUILDING 12 FLOOR PLAN & EXT. ELEVATIONS

JOB NO: 2316

DRAWN BY: KJM
CHECKED BY: EEM
CONSTRUCTION DOCUMENTS

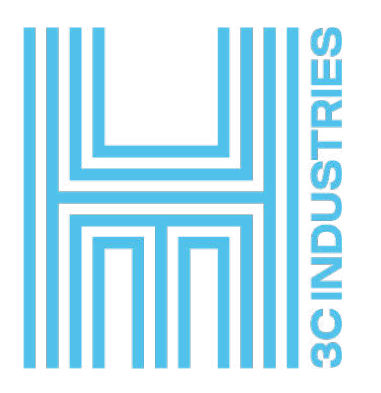
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DATE: 01-25-2024

NOT FOR CONSTRUCTION

REVISIONS

NO.	DATE	DESCRIPTION



McCall SHARP ARCHITECTURE
 14 EAST MAIN STREET SUITE 201, SPRINGFIELD, OHIO 45502

HORSEPOWER FARMS
 FOR
 POWELL CONDOS
 4301 HOME ROAD, POWELL, OHIO 43065
 BUILDING 14 FLOOR PLAN

JOB NO: 2316

DRAWN BY: KJM
 CHECKED BY: EEM
 CONSTRUCTION DOCUMENTS

A7

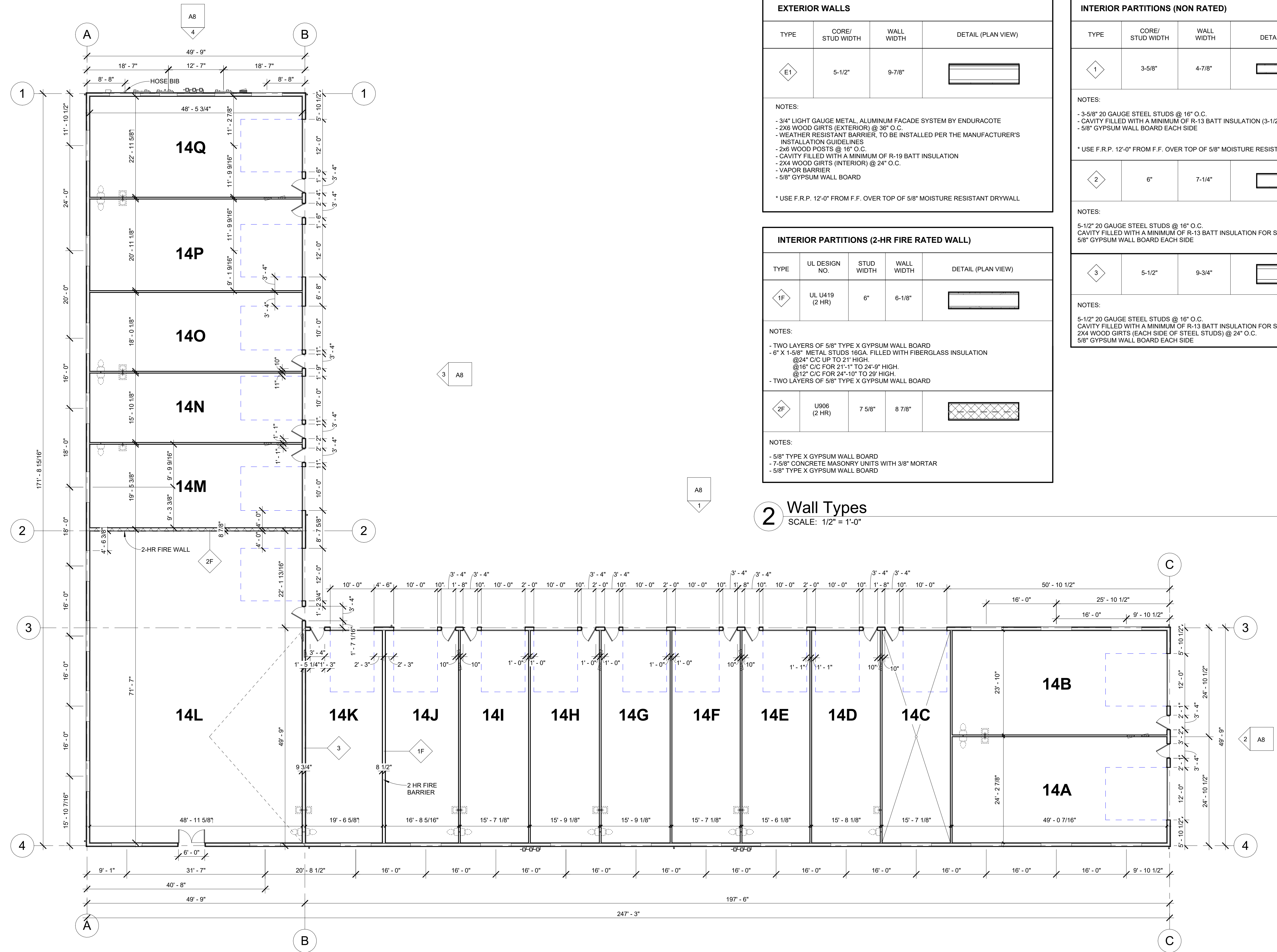
DATE: 01-25-2024

EXTERIOR WALLS			
TYPE	CORE/STUD WIDTH	WALL WIDTH	DETAIL (PLAN VIEW)
E1	5'-1/2"	9'-7/8"	
NOTES: - 3/4" LIGHT GAUGE METAL ALUMINUM FACADE SYSTEM BY ENDURACOTE - 2X6 WOOD GIRTS (EXTERIOR) @ 36" O.C. - WEATHER RESISTANT BARRIER, TO BE INSTALLED PER THE MANUFACTURER'S INSTALLATION GUIDELINES - 2X6 WOOD POSTS @ 16" O.C. - CAVITY FILLED WITH A MINIMUM OF R-19 BATT INSULATION - 2X4 WOOD GIRTS (INTERIOR) @ 24" O.C. - VAPOR BARRIER - 5/8" GYPSUM WALL BOARD * USE F.R.P. 12'-0" FROM F.F. OVER TOP OF 5/8" MOISTURE RESISTANT DRYWALL			

INTERIOR PARTITIONS (2-HR FIRE RATED WALL)				
TYPE	UL DESIGN NO.	STUD WIDTH	WALL WIDTH	DETAIL (PLAN VIEW)
1F	UL U419 (2 HR)	6"	6'-1/8"	
NOTES: - TWO LAYERS OF 5/8" TYPE X GYPSUM WALL BOARD - 6" X 1-5/8" METAL STUDS 16GA. FILLED WITH FIBERGLASS INSULATION @24" C/C UP TO 21' HIGH. @16" C/C FOR 21'-1" TO 24'-9" HIGH. @12" C/C FOR 24'-10" TO 29' HIGH. - TWO LAYERS OF 5/8" TYPE X GYPSUM WALL BOARD				
2F	U906 (2 HR)	7 5/8"	8 7/8"	
NOTES: - 5/8" TYPE X GYPSUM WALL BOARD - 7-5/8" CONCRETE MASONRY UNITS WITH 3/8" MORTAR - 5/8" TYPE X GYPSUM WALL BOARD				

INTERIOR PARTITIONS (NON RATED)			
TYPE	CORE/STUD WIDTH	WALL WIDTH	DETAIL (PLAN VIEW)
1	3'-5/8"	4'-7/8"	
NOTES: - 3-5/8" 20 GAUGE STEEL STUDS @ 16" O.C. - CAVITY FILLED WITH A MINIMUM OF R-13 BATT INSULATION (3-1/2" OR MORE) FOR SOUND - 5/8" GYPSUM WALL BOARD EACH SIDE * USE F.R.P. 12'-0" FROM F.F. OVER TOP OF 5/8" MOISTURE RESISTANT DRYWALL			
2	6"	7'-1/4"	
NOTES: - 5-1/2" 20 GAUGE STEEL STUDS @ 16" O.C. - CAVITY FILLED WITH A MINIMUM OF R-13 BATT INSULATION FOR SOUND - 5/8" GYPSUM WALL BOARD EACH SIDE			
3	5'-1/2"	9'-3/4"	
NOTES: - 5-1/2" 20 GAUGE STEEL STUDS @ 16" O.C. - CAVITY FILLED WITH A MINIMUM OF R-13 BATT INSULATION FOR SOUND - 2X4 WOOD GIRTS (EACH SIDE OF STEEL STUDS) @ 24" O.C. - 5/8" GYPSUM WALL BOARD EACH SIDE			

2 Wall Types
 SCALE: 1/2" = 1'-0"

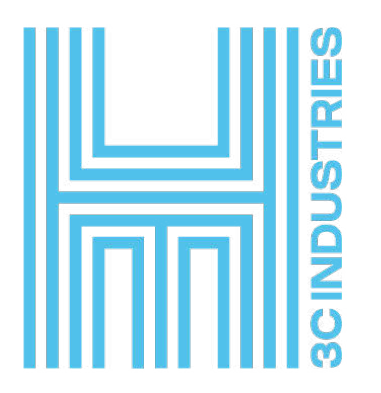


1 Floor Plan
 SCALE: 3/32" = 1'-0"

NOT FOR CONSTRUCTION

REVISIONS

NO.	DATE	DESCRIPTION



McCall SHARP ARCHITECTURE
14 EAST MAIN STREET SUITE 201 SPRINGFIELD, OHIO 45422

HORSEPOWER FARMS
 FOR
 POWELL CONDOS
 4301 HOME ROAD, POWELL, OHIO 43065
 BUILDING 14 EXT. ELEVATIONS

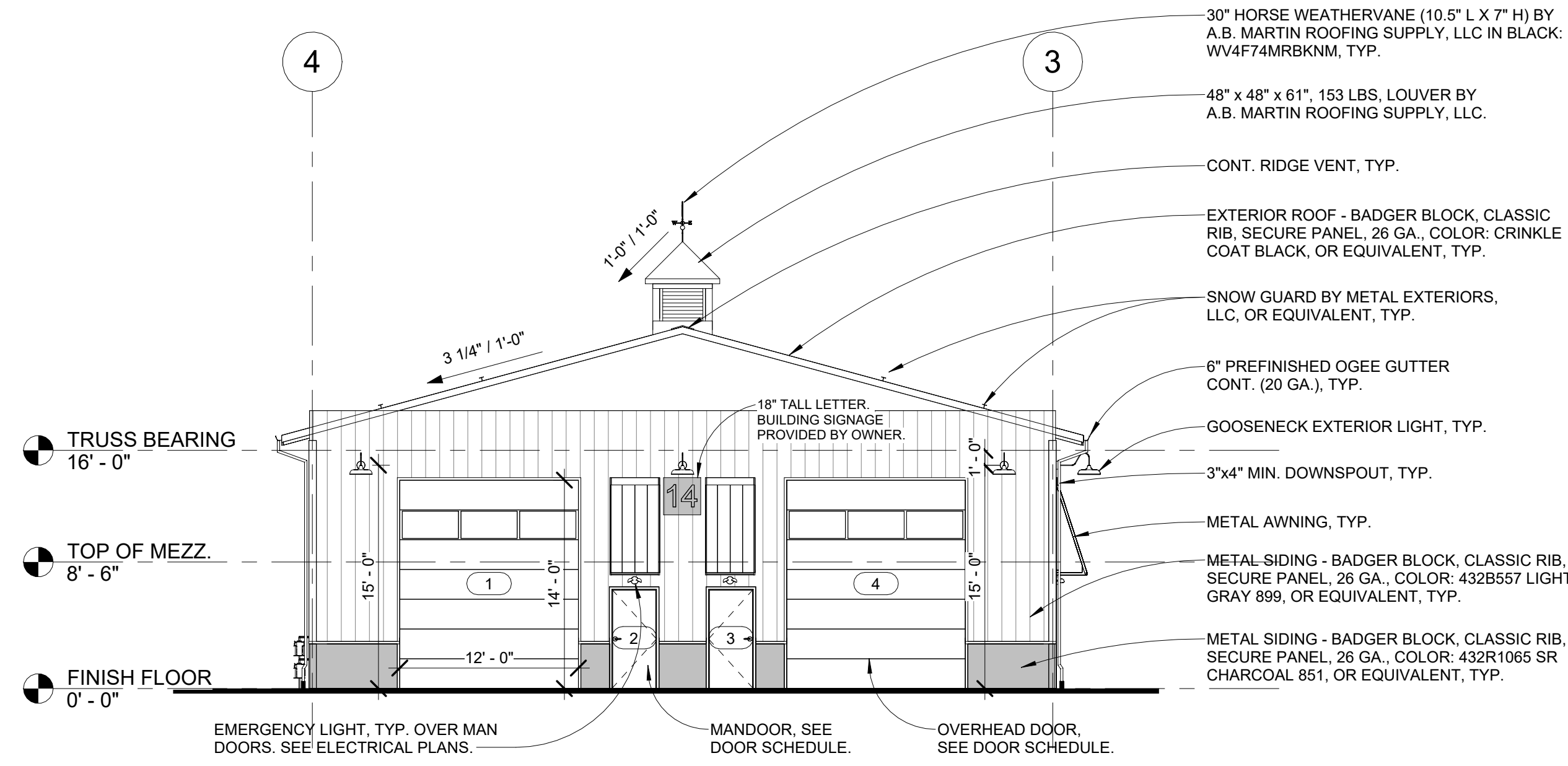
JOB NO: 2316

DRAWN BY: KJM
 CHECKED BY: EEM
 CONSTRUCTION DOCUMENTS

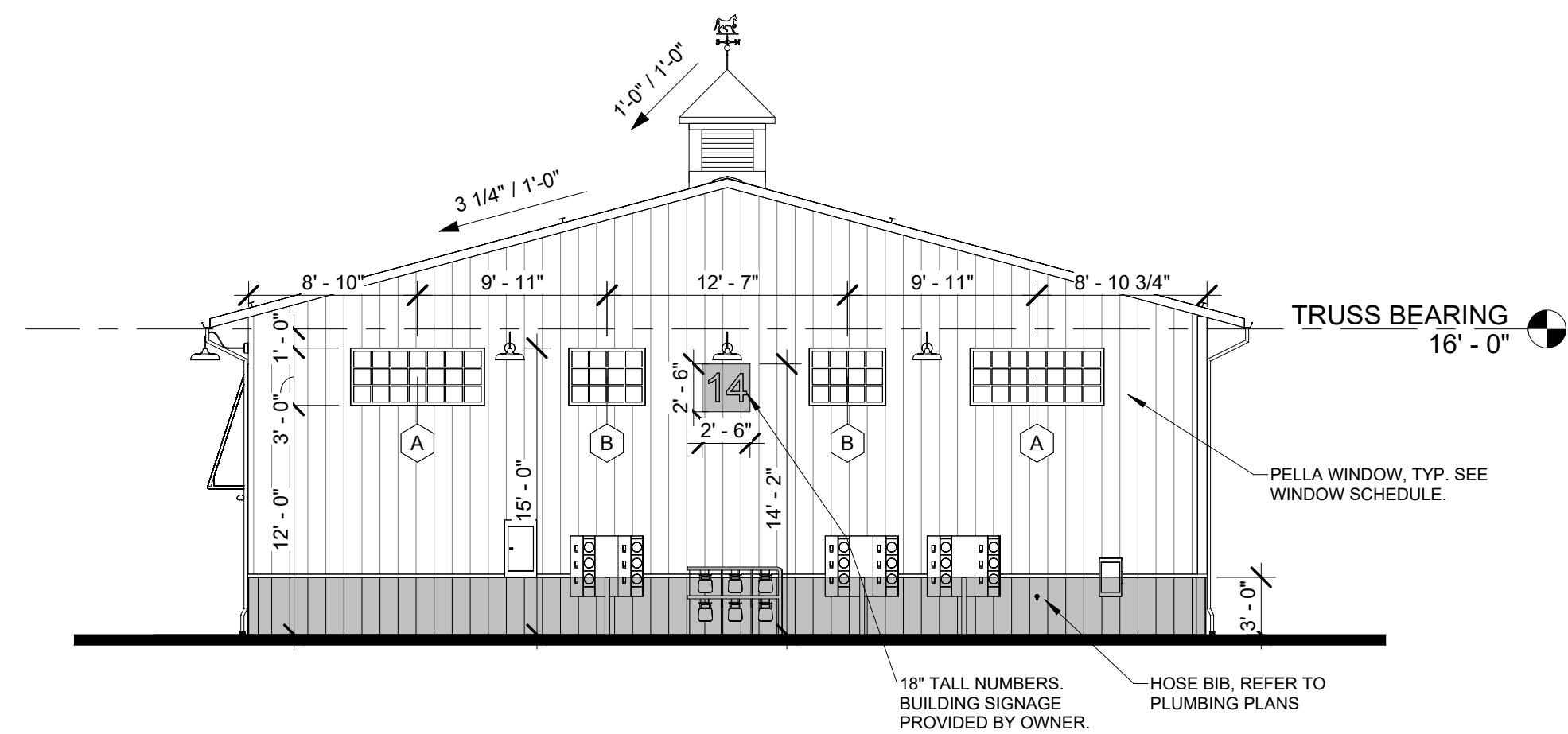
A8

DATE: 01-25-2024

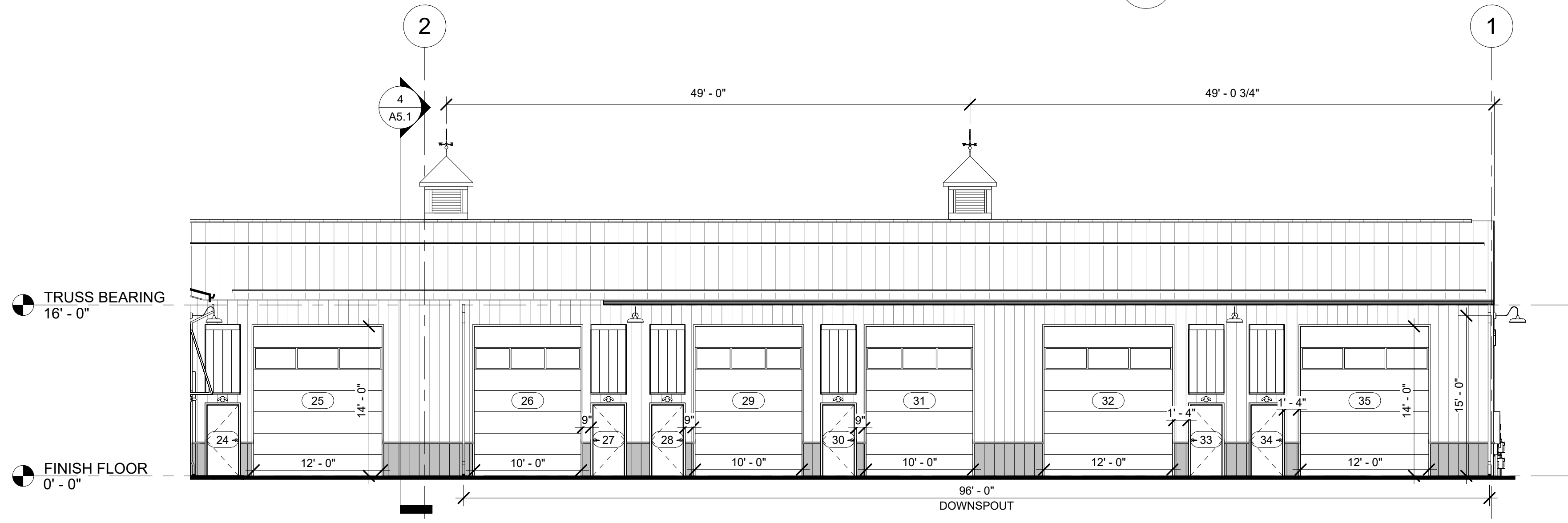
© COPYRIGHT 2024 BY MCCALL SHARP ARCHITECTURE LTD.



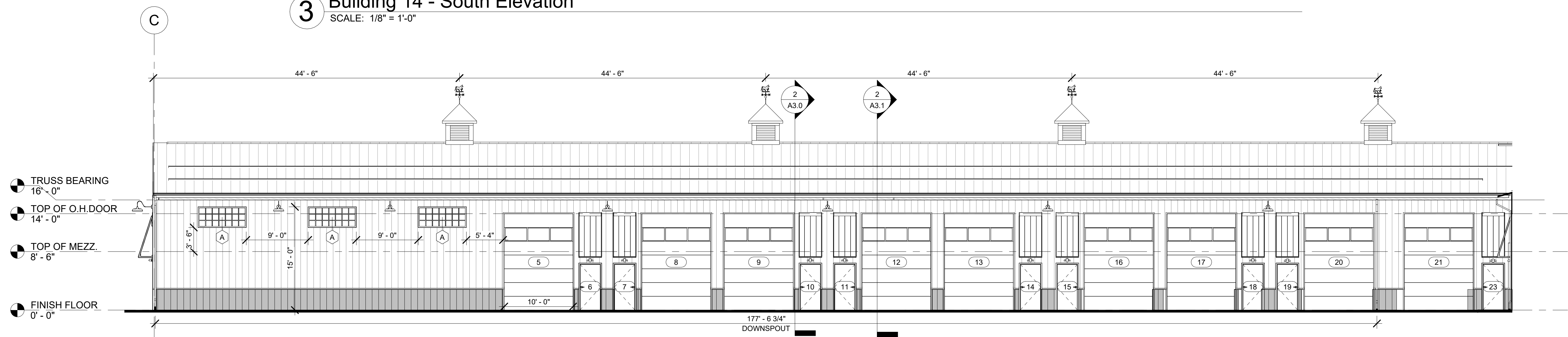
2 Building 14 - North Elevation
 SCALE: 1/8" = 1'-0"



4 Building 14 - West Elevation
 SCALE: 1/8" = 1'-0"



3 Building 14 - South Elevation
 SCALE: 1/8" = 1'-0"

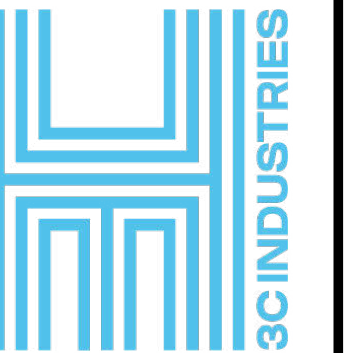


1 Building 14 - East Elevation
 SCALE: 1/8" = 1'-0"

NOT FOR CONSTRUCTION

REVISIONS

NO. DATE DESCRIPTION



McCall SHARP ARCHITECTURE
14 EAST MAIN STREET SUITE 201 SPRINGFIELD, OHIO 45422

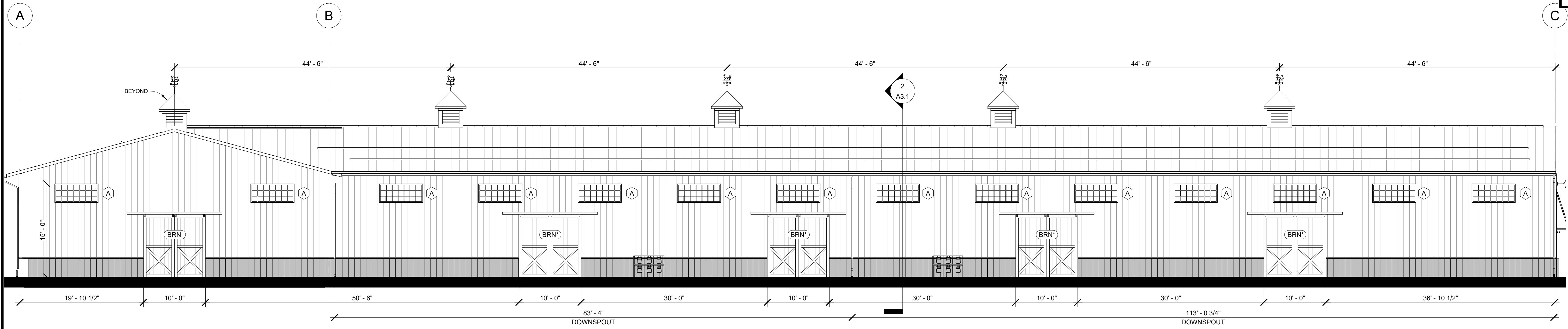
HORSEPOWER FARMS
FOR
POWELL CONDOS
4301 HOME ROAD, POWELL, OHIO 43065
BUILDING 14 EXT. ELEVATIONS

JOB NO: 2316

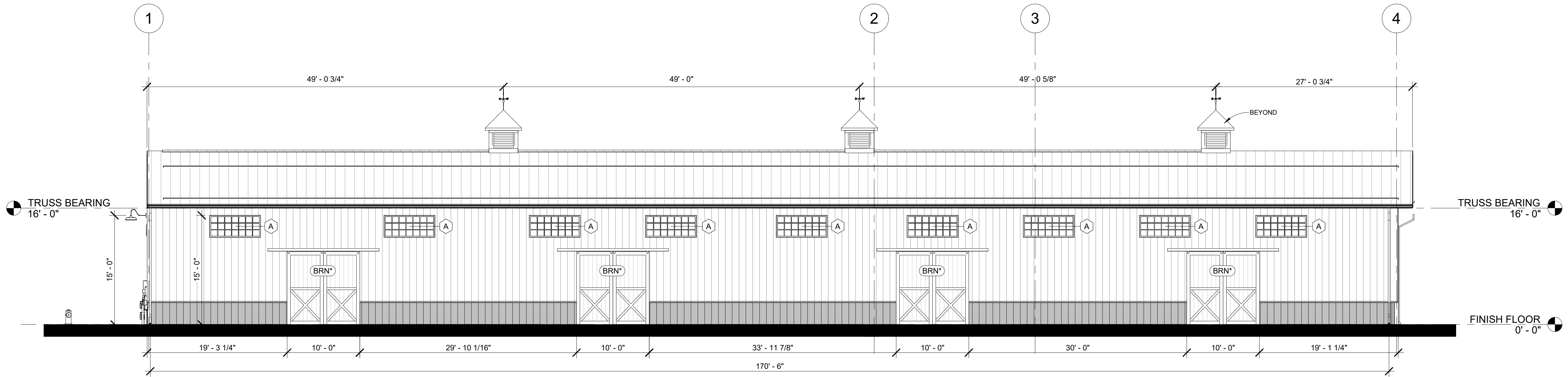
DRAWN BY: KJM
CHECKED BY: EEM
CONSTRUCTION DOCUMENTS

A9

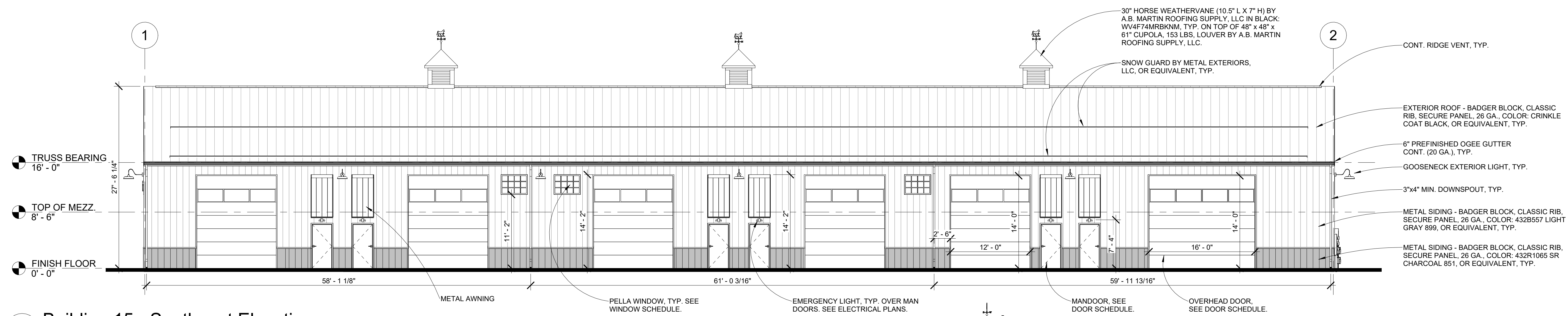
DATE: 01-25-2024



1 West Elevation - Rear
SCALE: 1/8" = 1'-0"

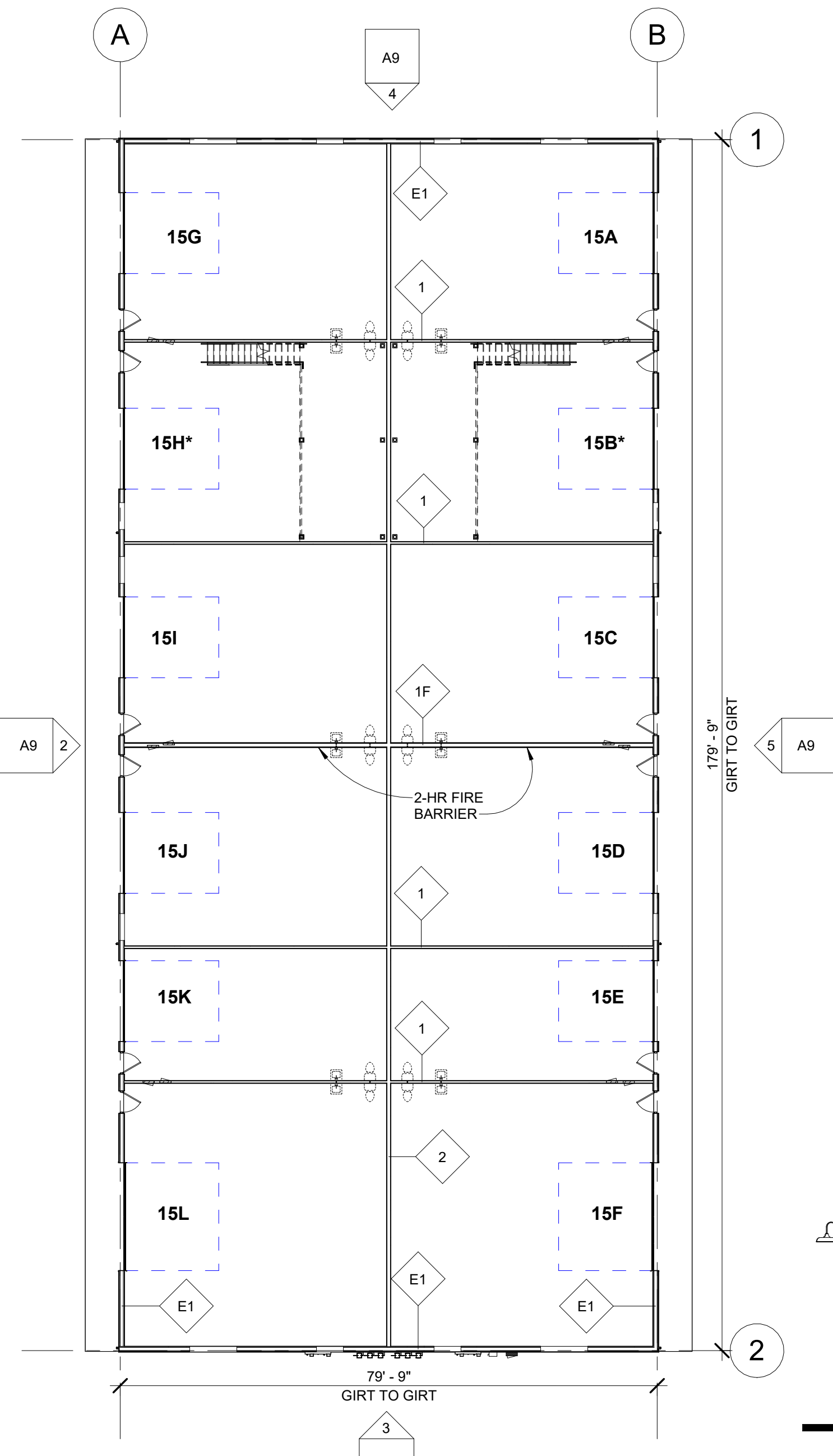


2 North Elevation - Rear
SCALE: 1/8" = 1'-0"

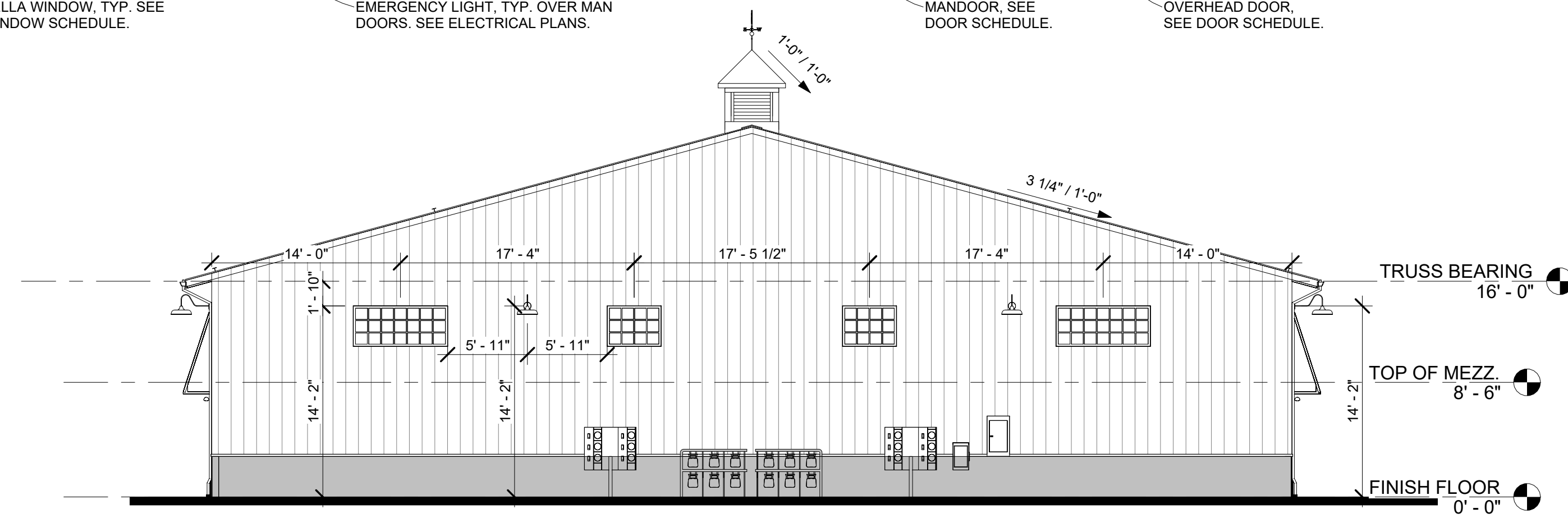


2 Building 15 - Southeast Elevation
SCALE: 1/8" = 1'-0"

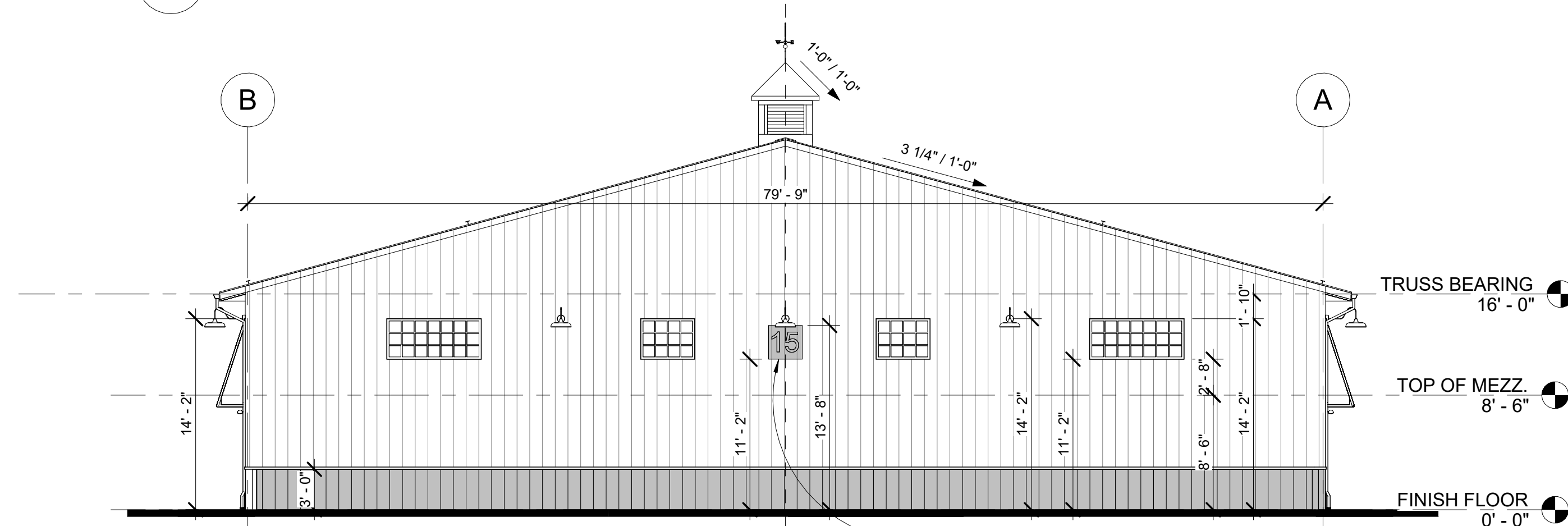
DIMENSION FLOOR PLAN NOTES
UNITS WITH AN ASTERISK (*)
SYMBOL TO HAVE FUTURE MEZZANINES



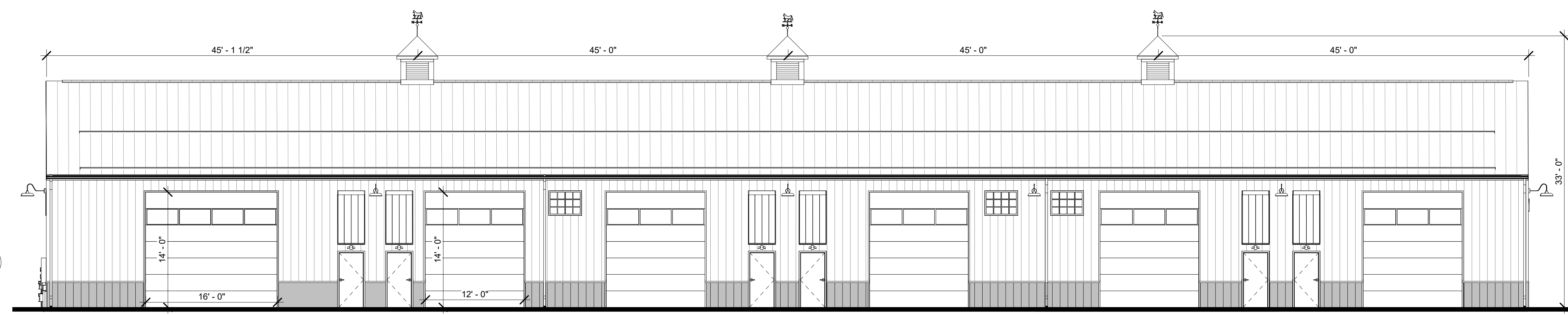
1 Floor Plan
SCALE: 1/16" = 1'-0"



3 Building 15 - Southwest Elevation
SCALE: 1/8" = 1'-0"



4 Building 15 - Northeast Elevation
SCALE: 1/8" = 1'-0"

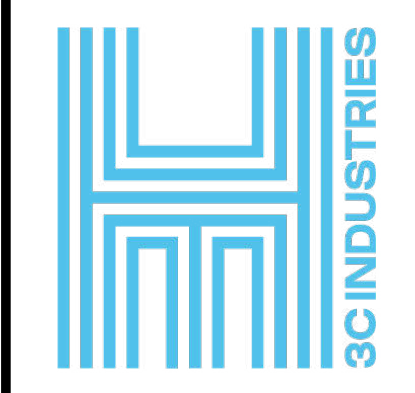


5 Building 15 - Northwest Elevation
SCALE: 1/8" = 1'-0"

NOT FOR CONSTRUCTION

REVISIONS

NO.	DATE	DESCRIPTION



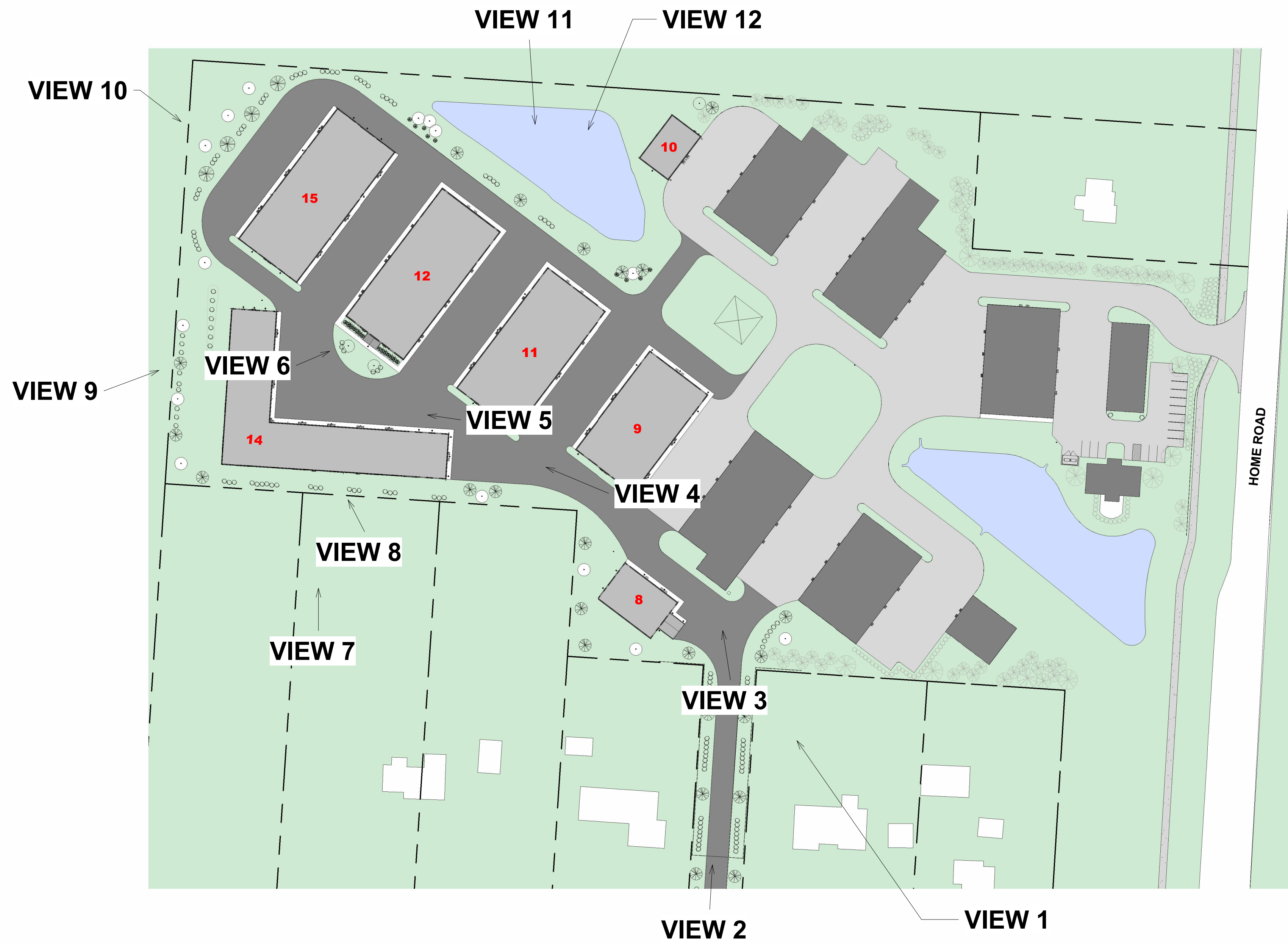
McCall SHARP ARCHITECTURE
14 EAST MAIN STREET SUITE 201 SPRINGFIELD, OHIO 45422

HORSEPOWER FARMS
FOR
POWELL CONDOS
4301 HOME ROAD, POWELL, OHIO 43065
BUILDING 15 FLOOR PLAN & EXT. ELEVATIONS

JOB NO: 2316

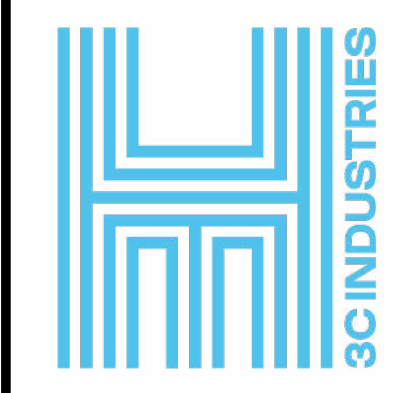
DRAWN BY: KJM
CHECKED BY: EEM
CONSTRUCTION DOCUMENTS

A10
DATE: 01-25-2024



NOT FOR CONSTRUCTION

REVISIONS	
NO.	DATE / DESCRIPTION



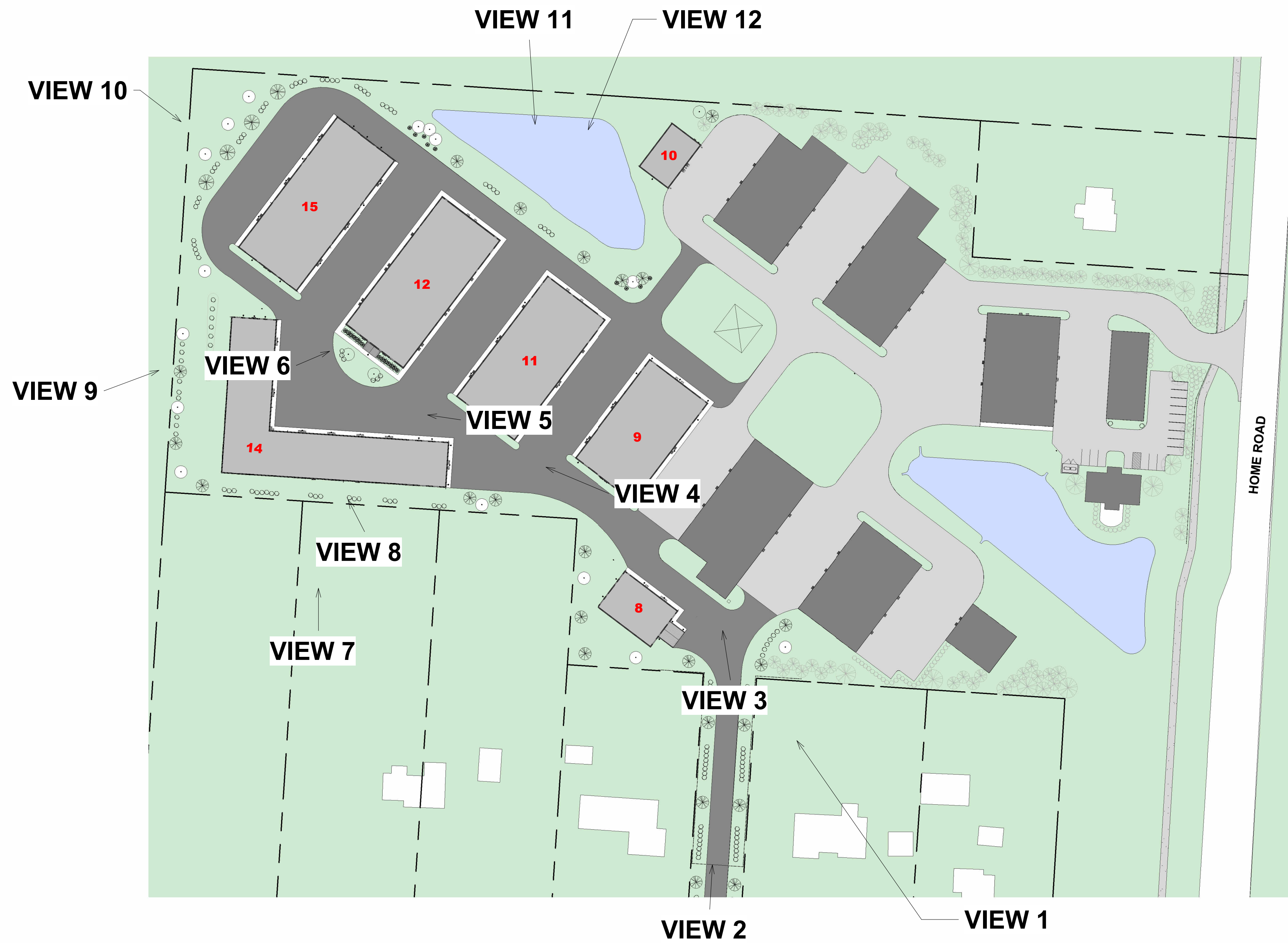
McCall SHARP ARCHITECTURE
14 EAST MAIN STREET SUITE 201, SPRINGFIELD, OHIO 45502

HORSEPOWER FARMS
 FOR
 POWELL CONDOS
 4301 HOME ROAD, POWELL, OHIO 43065
 RENDERINGS

JOB NO: 2316
 DRAWN BY: KJM
 CHECKED BY: EEM
 CONSTRUCTION DOCUMENTS
A11
 DATE: 01-25-2024



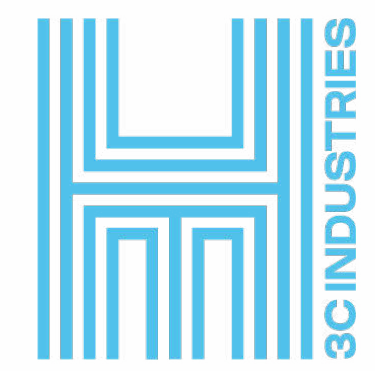
BUILDING 10 IS TO THE FAR LEFT & BUILDING 15 IS TO THE FAR RIGHT



NOT FOR CONSTRUCTION

REVISIONS

NO.	DATE	DESCRIPTION



McCall SHARP ARCHITECTURE
14 EAST MAIN STREET SUITE 201, SPRINGFIELD, OHIO 45502

HORSEPOWER FARMS
 FOR
 POWELL CONDOS
 4301 HOME ROAD, POWELL, OHIO 43065

JOB NO: 2316

DRAWN BY: KJM
 CHECKED BY: EEM
 CONSTRUCTION DOCUMENTS

A12

DATE: 01-25-2024

Statement of Compatibility

Background

Applicant owns and/or developed 15.81 +/- acres of real property located on the south side of Home Road, located west of Stietz Road, east of Triple Crown Xing, and north of Rutherford Road (the "Property"). A 9.575 acre portion of the Property was annexed into the City of Powell on November 20, 2007, and has remained in the FR-1, Farm Residence District, under the Liberty Township Zoning Resolution. The City of Powell Board of Zoning Appeals subsequently approved a Conditional Use Permit for "Sportsmen Club" in accordance with the standards and procedure of the Liberty Township Zoning Resolution. Applicant has constructed seven (7) garage condominium buildings and one (1) clubhouse on the Property for the storage of vehicles, boats, recreational vehicles, and accessory items. This unique real estate experience has sold fifty-two (52) customizable garage condominium units and has the demand for expansion.

Applicant recently purchased the remaining 6.357 acres of the Property and is in the process of annexing the land into the City of Powell. Applicant desires to rezone the Property to: (i) expand the Horsepower Farms operations, and (ii) provide one (1) comprehensive zoning district and development plan that is subject to the City of Powell Planning and Zoning Code. Applicant is proposing to construct seven (7) additional garage condominium buildings (consisting of sixty-seven (67) total units), accessory storage sheds (connected to units), landscaping, and an access drive connecting to Steitz Road. The new access drive will include an entry gate, decorative fencing, and landscaping. The proposed development will connect to, and complement, the existing development on the Property. The proposed landscaping will surround the new development on the Property and will screen and buffer the adjacent residential properties.

Compatibility

The Property is recommended for single-family residential development under the City of Powell Land Use Plan. Applicant offers a unique product that avoids the traffic, noise, and lighting issues caused by commercial uses. The proposed use is residential in nature and effectively functions as a garage without a principal structure. The traffic count and noise on site will be minimal. Further, the development will increase property tax revenue while providing zero (0) additional schoolchildren and minimal need for public services. Applicant is proposing a responsible extension of a thriving local product that provides a service to local residents. The surrounding properties will be screened by a twenty-five foot (25') building setback (code requires ten feet (10')) and significant landscaping. Buildings 8, 10A, and 14, which are closest to the adjacent properties, will not permit garage door openings on the side of the buildings facing the adjacent properties.

The proposed development is compatible with, and respectful to, the adjacent single-family residential properties. Most of the properties on Stietz Road contain significant rear yard setbacks. The proposed side yard setbacks on the Property are more than required by the City of Powell Zoning Code and will not injure the enjoyment or value of adjacent properties. The existing development has already enhanced the Home Road streetscape with the extension of the shared-use path on the Property.

HORSEPOWER FARMS DEVELOPMENT TEXT

Property Location: 15.81 +/- acres located at 4301 Home Road, Powell, Ohio 43065 (the “Property”).

Delaware County Auditor Tax Parcel Id. No.: See Exhibit A

Owners: See Exhibit A.

Applicant: Horsepower Farms LLC c/o Chip Vance

Present Zoning District: FR-1, Farm Residence District under the Liberty Township Zoning Resolution.

Proposed Zoning District: PRD, Planned Residence District.

Date of Text: 1/25/2024

Application Numbers:

I. BACKGROUND:

This Development Text (the “Text”) relates to the PR, Planned Residence District, Zoning Amendment Application and Final Development Plan Application filed by Horsepower Farms LLC and involving the Property, which is located on the south side of Home Road, west side of Stietz Road, east of Triple Crown Xing, and north of Rutherford Road. The Property is encumbered by a 150’ wide electric easement containing a high-voltage power pole and lines.

A 9.575 acre portion of the Property (note: some land has been dedicated as additional right-of-way) was annexed into the City of Powell on November 20, 2007. A Conditional Use Permit for a “Sportsmen Club” use on the Property was subsequently approved by the City of Powell Board of Zoning Appeals (in accordance with the Liberty Township Zoning Resolution). Applicant has constructed seven (7) garage condominium buildings and one (1) clubhouse/office building on the Property. The buildings consist of garage units that are sold to end-users for the storage of vehicles, boats, recreational vehicles, and accessory items.

Applicant is proposing to expand the current facilities by annexing and developing the 6.357 +/- acre portion of the Property located at 7560 Stietz Road, Powell, Ohio 43065. The new development will consist of seven (7) new condominium buildings with the same design and concept as the existing buildings. The new development will connect and interact with the existing development and provide additional access to Steitz Road.

II. GENERAL STANDARDS:

The development standards contained within this Text and the Final Development Plan that accompanies this application are intended to govern the proposed development. The PR, Planned Residence District, is being used as the base zoning category for development. In the event of a conflict between the standards in this Text and those found in the City of Powell Planning and Zoning Code (the “Zoning Code”), the standards in this Text shall govern. In the event a development standard is not otherwise provided for in this Text or the Final Development Plan, the applicable development standards set forth in Chapter 1145 (Supplementary Regulations), Chapter 1147 (Special Regulations), Chapter 1149 (Off-Street Parking and Loading, and Chapter 1151 (Signs) of the Zoning Code shall govern.

All references to the “City of Powell Planning and Zoning Code” or the “Zoning Code” are references to the City of Powell Planning and Zoning Code as of the date of the ordinance approving this Text.

III. PERMITTED USES:

- A. The following uses shall be permitted on the Property:
 - a. Parking lots or storage areas for vehicles, boats, and recreational vehicles;
 - b. General office;
 - c. Accessory storage (enclosed); and
 - d. Other uses similar to the enumerated uses in this Section III(A) which are approved by City Council.
 - e. All uses contained in the Zoning Code, Section 1143.13 – Planned Residence District, shall be permitted uses and conditional uses as outlined in the Code, except as otherwise permitted in this Development Text.
- B. All other uses not set forth in this Section III(A) or the Zoning Code shall be prohibited.

IV. DENSITY, LOT, AND SETBACK REQUIREMENTS:

- A. Density/Height.
 - a. Maximum lot coverage is 20% with a maximum building height of 35’.
- B. Setbacks.
 - a. Home Road: A minimum 60’ building setback shall be provided from the right-of-way.
 - b. Home Road: A minimum 15’ parking setback shall be provided from the right-of-way.
 - c. Minimum distance between buildings: A minimum distance of 35’ shall be provided between buildings on the Property.

V. TRAFFIC, CIRCULATION, AND PARKING REQUIREMENTS.

- A. Off-Street Parking. A minimum of sixteen (16) parking spaces shall be provided on the Property, as generally depicted on the Final Development Plan. Additionally, unit owners and their guests may park in front of their respective units.
- B. Sidewalks; Leisure Paths. A shared-use path has been provided along Home Road; therefore, sidewalks are not required to be installed on the Property.
- C. Vehicular Access. One (1) vehicular access to and from the Property shall be provided from and to Home Road. One (1) vehicular access to the Property shall be provided from and to Steitz Road.

VI. ARCHITECTURE.

- A. Architectural Character. The architectural character of the buildings to be constructed on the Property shall be consistent with the exhibits that accompany this Text.

VII. BUFFERING, LANDSCAPING, OPEN SPACE, AND SCREENING.

- A. Open Space. Subject to final engineering, the open space (non-impervious surface area excluding public easement areas) will consist of a minimum of 20% of the gross site area. All open space shall be passive landscaped areas, detention ponds, or a shared-use path.
- B. Parking Landscape Areas. Required parking lot landscaping includes one (1) deciduous tree within a planting bay per eight (8) parking spaces. The Final Development Plan includes two (2) trees within the parking field.
- C. Screening along Residential District. A landscape buffer shall be provided on the Property at locations generally depicted on the Final Development Plan and in accordance with the Landscape Plan included with this Text.
- D. Fencing. A three-rail horse fence was previously installed along Home Road. A new three-rail horse fence shall be installed along Steitz Road in accordance with the Final Development Plan.
- E. Gate. An entry gate shall be installed along the access drive connecting the Property to Steitz Road.

VIII. MISCELLANEOUS.

- A. Waste and Refuse. A common dumpster enclosure shall be provided on the Property, as generally depicted on the Final Development Plan.
- B. Utilities. All new utilities constructed or installed on the Property shall be underground.
- C. Minor Changes. Any minor deviation from the approved Final Development Plan may be reviewed and approved by the City of Powell Zoning Administrator. A “minor deviation” shall mean slight adjustments to the Final Development Plan to reflect engineering, topographical, or other data that arises after the approval of the Final Development Plan.

IX. DEVIATIONS

Below is a table detailing the development guidelines under the PR, Planned Residence District, as it relates to this development:

Zoning Code Standard	Zoning Code Requirement	Proposed	Meets Regulations?
Minimum street frontage	300'	Approx. 920'	Yes
Minimum distance between buildings	30'	35'	Yes
Minimum side yard setback	10'	25'	Yes
Minimum front yard setback	60' from ROW line	60'	Yes
Minimum rear yard setback	40'	60'	Yes
Maximum lot coverage	20%	20%	Yes
Maximum building height (principal building)	35'	35'	Yes
Minimum open space	Minimum 20%	20%	Yes
Landscaping in parking areas	In all parking areas with more than 10 parking spaces, there shall be at least 1 deciduous tree for every 8 parking spaces.	2 parking area landscaping trees and area.	Yes
Minimum parking lot aisle width	22'	24'	Yes
Minimum access drive width	20'	24'	Yes
Parking	Except for single-family and two-family residences, no parking shall be permitted in a required front yard.	The existing parking lot is approximately 15' from the Home Road right-of-way.	No (legal, non-conforming)
Minimum parking setback	15' from ROW line	15'	Yes



4301 Home Road
Powell Ohio 43065

Working with our design team, we made the following updates to our plans following the September 13, 2023 Sketch Plan Review with the City of Powell.

We have increased the required setbacks from 10' to 25' on the side and from 40' to 60' in the rear.

We have added mounding on the South and East side of the property.

We have lowered the roofline of the buildings on the perimeter of the development by 2 feet.

We have added rising temperature sensors to all buildings that will alert the fire department in the event of rapidly increasing temperature.

We have added additional decorative trim to the outward facing part of buildings in the form of "faux" doors that increase the "Farm Vibe" of the development creating 9 "door openings" on the backside of buildings.

All development lighting is downward and inward facing creating "0" lumens of light spilling over the property boundary.

We have added additional evergreen landscaping, well in excess of what is required by code.

We moved our member restroom to a more central location on Building

We have met with neighbors to gather input on boundary maintenance and grounds management adding sections of 3 rail cedar fencing to create a congruous border on the site between natural barriers. Neighbors to the West wanted the property line to be maintained where for many years it was a farm and was not mowed. We agreed to seed grass on the border and will keep the grass fertilized and cut.

From: [Elizabeth Bailik](#)
To: [Claudia Husak](#)
Subject: Fwd: Horsepower Farms Zoning Map Amendment hearing February 15, 2024
Date: Monday, February 5, 2024 9:44:47 PM

Claudia,

Please see the attached comments submitted for the February 15th P & Z meeting.

Thanks - Beth

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From: bailik@cityofpowell.us <bailik@cityofpowell.us>
Sent: Monday, February 5, 2024 9:42:42 PM
To: Diane <dcaukland@gmail.com>
Subject: Re: Horsepower Farms Zoning Map Amendment hearing February 15, 2024

Good evening, Diane,

Thank you for submitting comments for the **February 15th** Planning & Zoning Commission meeting. They will be included in the public comment file.

Please feel free to reach out if you have any additional comments or questions.

Sincerely,
Beth

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From: Diane <dcaukland@gmail.com>
Sent: Monday, February 5, 2024 1:19:22 PM
To: Bailik@cityofpowell.us <Bailik@cityofpowell.us>; macguidwin@cityofpowell.us <macguidwin@cityofpowell.us>; Herchenroether@cityofpowell.us <Herchenroether@cityofpowell.us>; Simpson@cityofpowell.us <Simpson@cityofpowell.us>; Lester@cityofpowell.us <Lester@cityofpowell.us>; Griffin@cityofpowell.us <Griffin@cityofpowell.us>; Ahmed@cityofpowell.us <Ahmed@cityofpowell.us>
Cc: W Robert <woskobnickrobert@gmail.com>
Subject: Horsepower Farms Zoning Map Amendment hearing February 15, 2024

We support the zoning amendment and development plan but are unable to attend the meeting.

I have attached a letter indicating our support.

Thank you,

Diane Clevenger and Bob Woskobnick

From: [Elizabeth Bailik](#)
To: [Claudia Husak](#)
Subject: Fwd: Horsepower Farms -Feb 15 Re-zoning Hearing- City of Powell
Date: Tuesday, February 6, 2024 10:17:00 PM

Claudia,

Please see the attached comments for the February 15th P&Z meeting.

Thanks - Beth

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From: bailik@cityofpowell.us <bailik@cityofpowell.us>
Sent: Tuesday, February 6, 2024 10:14 PM
To: Gydosh, Paul <paul.gydosh@Kensingtonwealth.com>
Subject: Re: Horsepower Farms -Feb 15 Re-zoning Hearing- City of Powell

Good evening, Paul,

Thank you for submitting comments for the **February 15th** Planning & Zoning Commission meeting. They will be included in the public comment file.

Please feel free to reach out if you have any additional comments or questions.

Sincerely,
Beth

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From: Gydosh, Paul <paul.gydosh@Kensingtonwealth.com>
Sent: Tuesday, February 6, 2024 4:45:56 PM
Subject: Horsepower Farms -Feb 15 Re-zoning Hearing- City of Powell

Madame Chair and other leaders of the City of Powell:

I write you in support of the zoning map amendment and preliminary/final development plan for Horsepower Farms.

I am a current owner in Horsepower Farms and believe that this zoning change from farm residential to residential is in the best interest of the City of Powell, the nearby property owners, and the owners of our development.

I am writing to you today as I am unable to attend the February 15th meeting in person.

Thank you, in advance, for your consideration and approval of the amendment.

Sincerely,

Paul Gydosh
Unit #3F
Horsepower Farms
4301 Home Rd
Powell, OH 43065

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From: [Elizabeth Bailik](#)
To: [Claudia Husak](#)
Subject: Fwd: Feb 3rd P&Z Meeting / update
Date: Monday, February 5, 2024 9:58:50 AM

Claudia,

Please see the attached comments for the February 15th P & Z meeting.

Thanks - Beth

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From: bailik@cityofpowell.us <bailik@cityofpowell.us>
Sent: Monday, February 5, 2024 9:55 AM
To: steve@southard.com <steve@southard.com>
Subject: Re: Feb 3rd P&Z Meeting / update

Good morning, Steve,

Thank you for submitting comments for the **February 15th** Planning & Zoning Commission meeting. They will be included in the public comment file.

Please feel free to reach out if you have any additional comments or questions.

Sincerely,

Beth

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From: steve@southard.com <steve@southard.com>
Sent: Monday, February 5, 2024 9:18 AM
To: Bailik@cityofpowell.us <Bailik@cityofpowell.us>; MacGuidwin@cityofpowell.us <MacGuidwin@cityofpowell.us>; Herchenroether@cityofpowell.us <Herchenroether@cityofpowell.us>; Simpson@cityofpowell.us <Simpson@cityofpowell.us>; Lester@cityofpowell.us <Lester@cityofpowell.us>; Griffin@cityofpowell.us <Griffin@cityofpowell.us>; Ahmed@cityofpowell.us <Ahmed@cityofpowell.us>
Subject: Feb 3rd P&Z Meeting

To Whom It May Concern

We are unable to attend Wednesday's review of Horsepower Farms ZONING MAP AMENDMENT and PRELIMINARY/FINAL DEVELOPMENT PLAN. We would like to express our support for this Zoning Map Amendment and the Preliminary/Final Development Plan for Horsepower Farms.

We have lived in Powell for many years and currently live just south of the development off Steitz Rd. It makes sense that agricultural property be rezoned as

residential before commercial especially since there is no commercial activity other than the library surrounding this property.

Thank you for your time and efforts for Powell.

Steve & Martha Southard

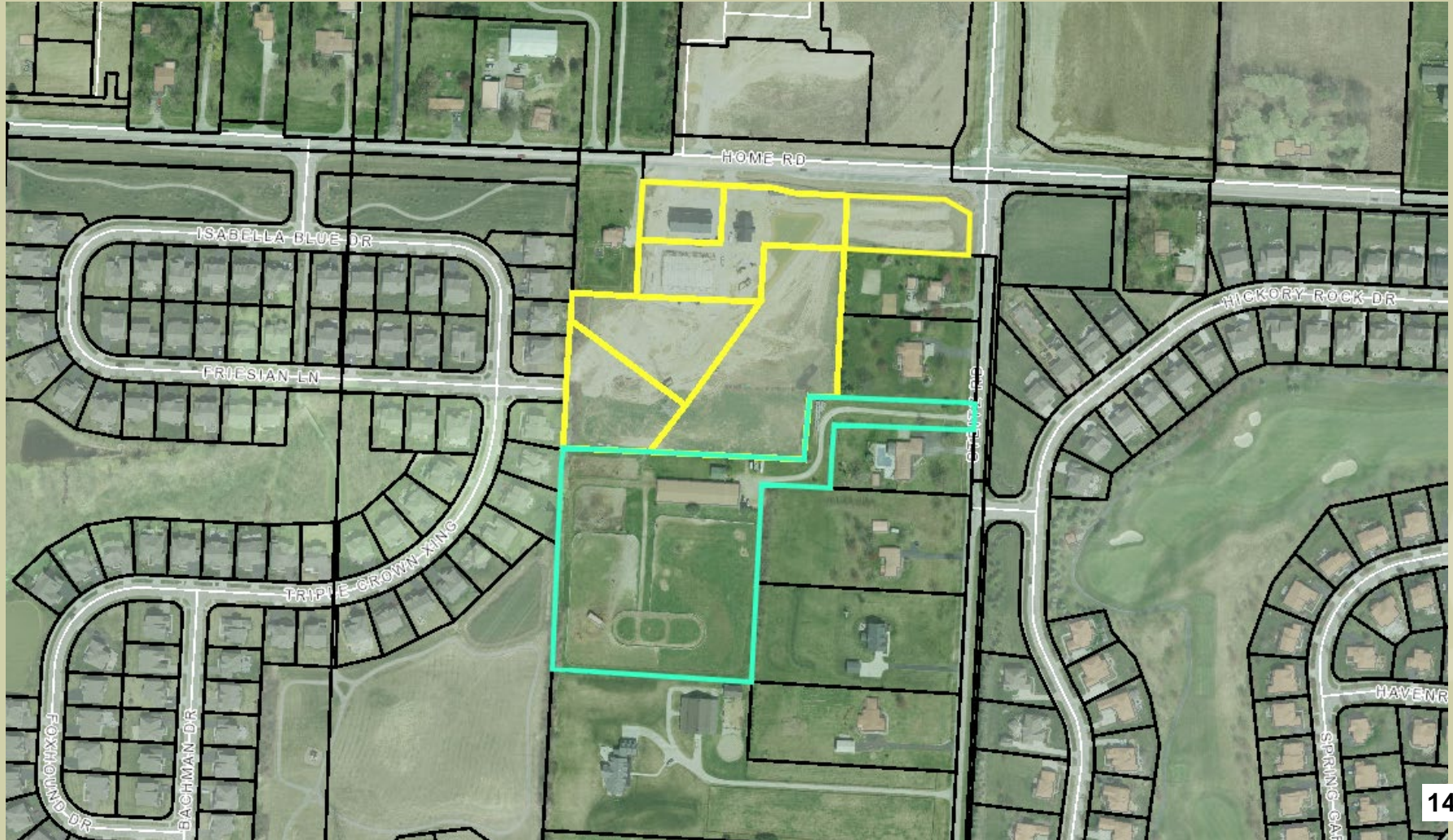


Powell

— OHIO —

City Council – Ord. 2024-07

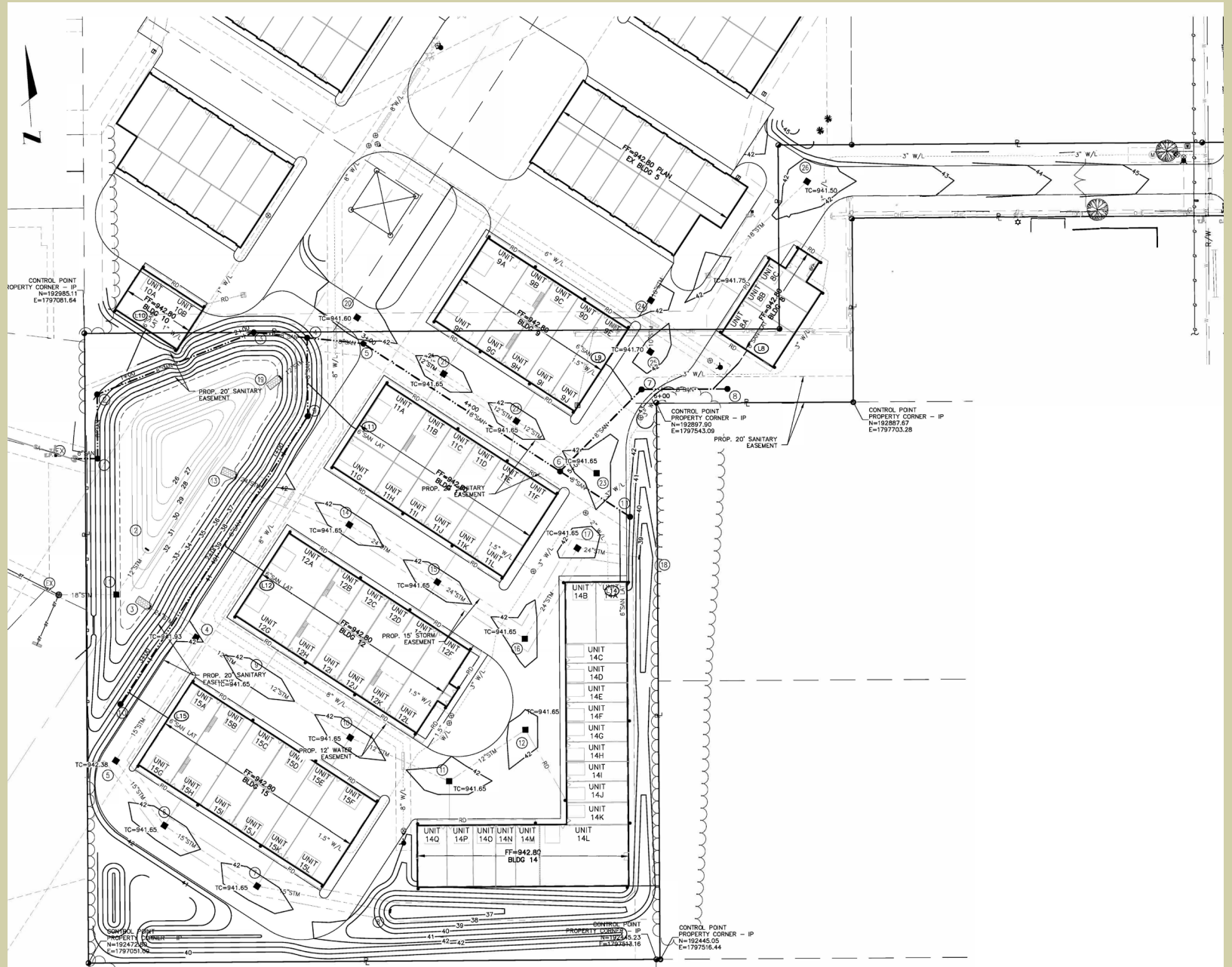
ZONING MAP AMENDMENT
PRELIMINARY/FINAL DEVELOPMENT PLAN
(Ord. 2024-07 - Case 2024-03Z/PDP/FDP)
4301 Home Road



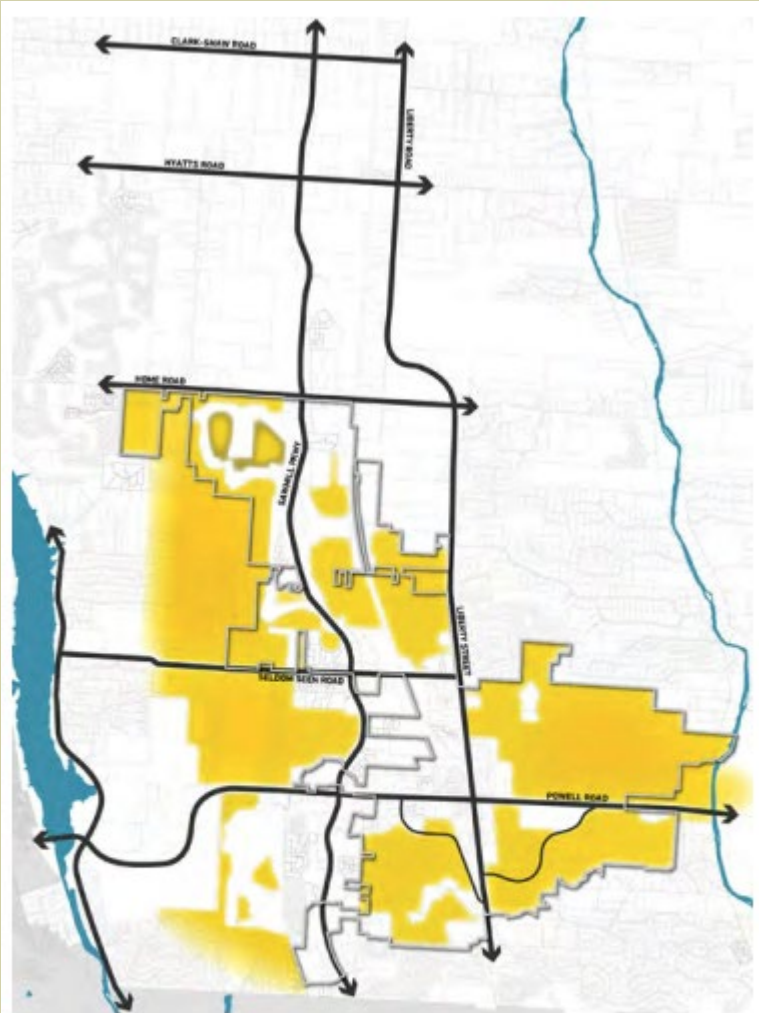
Horsepower Farms - Process/Timeline

- 09/13/2023
- P&Z Review of Sketch Plan & Certificate of Appropriateness (permitted demolition)
- 02/15/2024
- P&Z Review of Rezoning/PDP/FDP
- 03/05/2024
- Council Review (Introduction of Ordinance)
- Council Review of Annexation (Introduction of Ord.)
- 03/20/2024
- **City Council Review of Final Ordinances**

PROPOSED SITE PLAN



COMPREHENSIVE PLAN



- Single-family Residential Land Use
- PRD conditionally allows the proposed used
- Surrounding sites are residential and agricultural in nature and the intended use, given the architecture and existing example to the north, will fit within the character of the area.

Note: Locations of land use types depicted on this map are intended to be general in nature and do not necessarily depict specific parcel lines or boundary limits. Recommended future land use designations do not change current zoning for individual properties. Changes to zoning, if appropriate, will occur with future public review processes.

LANDSCAPE PLAN

ALL CONTRACTORS AND SUB-CONTRACTORS ARE RESPONSIBLE FOR ALL INFORMATION CONTAINED IN THE COMPLETE CONSTRUCTION DOCUMENT SET, INCLUDING SPECIFICATIONS, FRONT END, AND CONTRACTS. IF YOU HAVE AN INCOMPLETE SET CONTACT THE ARCHITECT. IF THERE IS A CONFLICT BETWEEN DRAWINGS, DETAILS, AND/OR SPECIFICATIONS CONTACT THE ARCHITECT FOR RESOLUTION. DO NOT SCALE DRAWINGS.

LANDSCAPE PLAN NOTES

1. ALL PLANTS SHALL MEET OR EXCEED STANDARDS SET IN THE USA STANDARD FOR NURSERY STOCK.
2. ALL PLANTING OPERATIONS SHALL ADHERE TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.
3. PLANT LOCATIONS AND BEDS SHALL BE LOCATED BY CONTRACTOR AND APPROVED BY THE OWNER PRIOR TO INSTALLATION.
4. PLANTING BEDS SHALL HAVE A MINIMUM 3" DEEP SHREDED HARDWOOD BARK MULCH. MULCH HEIGHTS IN A CONTINUOUS BED.
5. ALL PLANTING BEDS TO BE TILLED TO A MINIMUM DEPTH OF 12".
6. ALL PLANTING BEDS TO BE FERTILIZED WITH 10-10-10 OR APPROVED EQUAL.
7. SODDING / SEEDING BY LANDSCAPE CONTRACTOR.
8. ALL AREAS DISTURBED BY CONSTRUCTION ARE TO BE RESTORED, FINE GRADED AND SEDED/SODDED.
9. ALL EXISTING PLANT MATERIAL SHOWN ON THIS PLAN IS TO BE PRESERVED UNLESS SPECIFICALLY NOTED OTHERWISE.

SITE DATA

Total Site Area - 669,872.39 sf (15.814 acres)
 Buildings - 137,872 sf (19.99 % of site)
 Pavement - 226,214 sf (32.84 % of site)
 Total Impervious - 363,896 sf (52.83 % of site)
 Total Permeous - 324,986.38 sf (47.17 % of site)

LANDSCAPING LEGEND

- ⊗ Rhus Aromatica Gro-Low Sumac (lower bed shrub)
- Miscanthus Sinensis 'Gracillimus' (ornamental grass)
- Viburnum Dentatum 'Christom' (deciduous shrub - hedge style)
- Platanus X Acerifolia 'Bloodgood' (deciduous shade tree)
- Acer X Freemanii 'Sienna' (deciduous shade tree)
- Picea Abies (evergreen tree)
- Picea Glauca (evergreen tree)
- Three-rail Horse Fence, Painted Black (Decorative Fencing)
- ⊗ Existing Landscaping (half-toned)

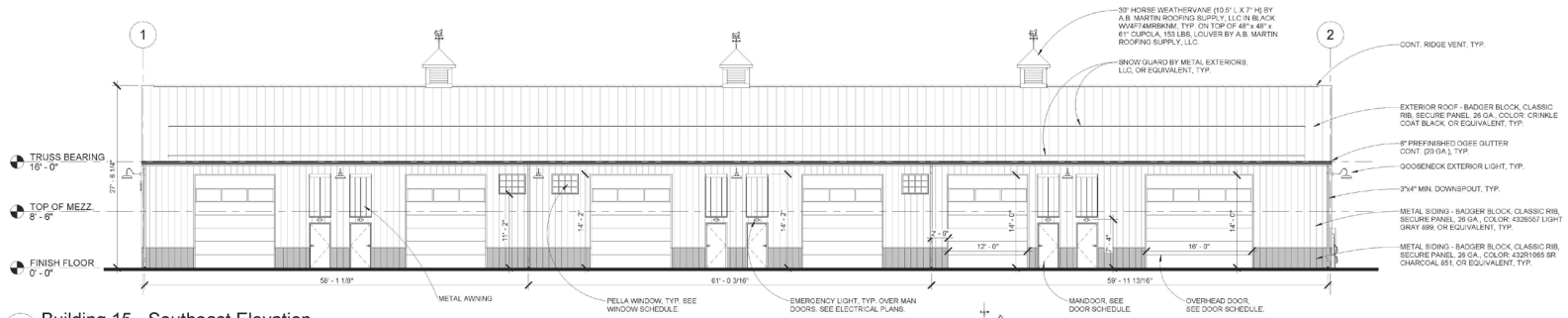
PLANT LIST

QTY	BOTANICAL NAME	COMMON NAME	SIZE
22	Rhus Aromatica Gro-Low Sumac	Fragrant Sumac	2' - 3' HGT.
54	Miscanthus Sinensis 'Gracillimus'	Chinese Silver Grass	3' - 7' HGT.
110	Viburnum Dentatum 'Christom'	Blue Muffin Arrowwood	5' - 7' HGT.
15	Platanus X Acerifolia 'Bloodgood'	Bloodgood London Plane Tree	2" CAL.
16	Acer X Freemanii 'Sienna'	Sienna Glen Maple	2" CAL.
8	Picea Abies	Norway Spruce	6' - 7' HGT.
12	Picea Glauca	White Spruce	6' - 7' HGT.



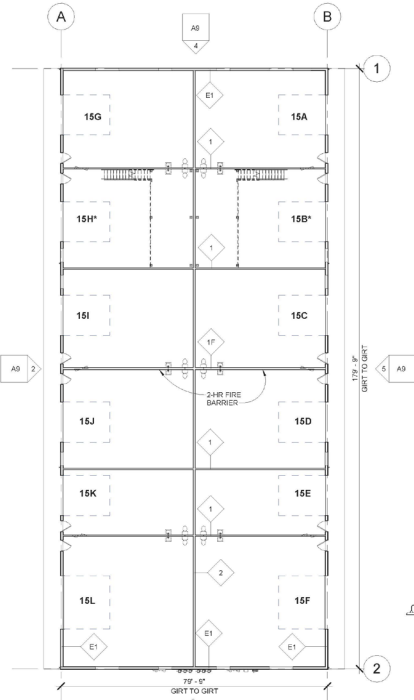
TYPICAL FAÇADE

ALL CONTRACTORS AND SUB-CRONTACTORS ARE RESPONSIBLE FOR ALL INFORMATION CONTAINED IN THE COMPLETE CONSTRUCTION DOCUMENT SET, INCLUDING SPECIFICATIONS, FRONT END, AND CONTRACTS. IF YOU HAVE AN INCOMPLETE SET CONTACT THE ARCHITECT. IF THERE IS A CONFLICT BETWEEN DRAWINGS, DETAILS, AND/OR SPECIFICATIONS CONTACT THE ARCHITECT FOR RESOLUTION. DO NOT SCALE DRAWINGS.

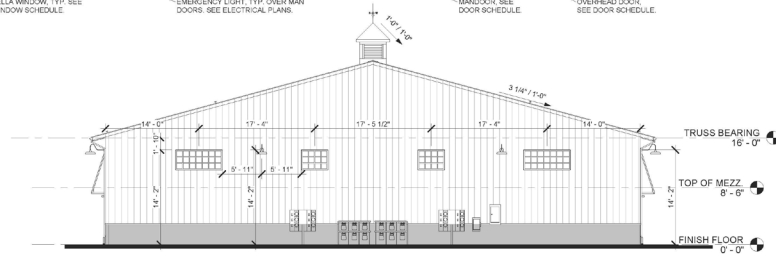


2 Building 15 - Southeast Elevation
SCALE: 1/8" = 1'-0"

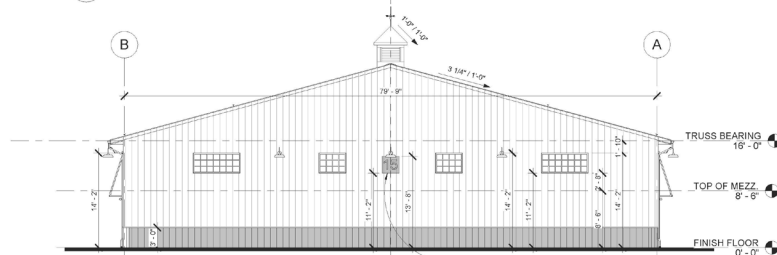
DIMENSION FLOOR PLAN NOTES
UNITS WITH AN ASTERISKS (*)
SYMBOL TO HAVE FUTURE MEZZANINES



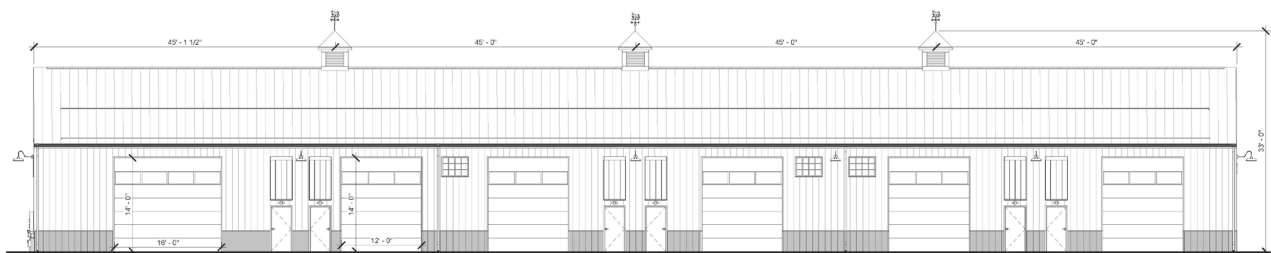
1 Floor Plan
SCALE: 1/16" = 1'-0"



3 Building 15 - Southwest Elevation
SCALE: 1/8" = 1'-0"



4 Building 15 - Northeast Elevation
SCALE: 1/8" = 1'-0"



5 Building 15 - Northwest Elevation
SCALE: 1/8" = 1'-0"



NOT FOR CONSTRUCTION

REVISIONS

NO.	DATE	DESCRIPTION



McCall
SHARP
ARCHITECTURE

HORSEPOWER FARMS
POWELL CONDOS
4301 HOME ROAD, POWELL, OHIO 43065

JOB NO: 2316

DRAWN BY: KJM
CHECKED BY: EEM
CONSTRUCTION DOCUMENTS

A11

DATE: 01-25-2024

RENDERINGS



BUILDING 10 IS TO THE FAR LEFT & BUILDING 15 IS TO THE FAR RIGHT



NOT FOR CONSTRUCTION

REVISIONS

NO.	DATE	DESCRIPTION



McCall
SHARP
ARCHITECTURE
ARCHITECTS & INTERIORS INC.

HORSEPOWER FARMS
POWELL CONDOS
4301 HOME ROAD, POWELL, OHIO 43065

JOB NO: 2316

DRAWN BY: KJM
CHECKED BY: EEM
CONSTRUCTION DOCUMENTS

A12
DATE: 01-25-2024

STAFF & P&Z RECOMMENDATION

Staff recommends the Planning and Zoning Commission recommend approval to City Council of this Zoning Map Amendment and Combined Preliminary and Final Development Plan with the following conditions at the second reading on March 20th, 2024

- 1) That the applicant combine all parcels as part of the permitting process;
- 2) That the applicant investigate the potential of increasing the height of the mound while ensuring required stormwater management and add additional split rail fencing along the rear of building 15, subject to staff approval;
- 3) That the applicant work with the property owner to the south to strategically place proposed landscaping should additional mounding be infeasible, subject to staff approval.



From: Andrew D. White, City Manager
To: City Council
Initiated By: Sean Hughes, Economic Development Administrator
Re: ORDINANCE 2024-11: AN ORDINANCE AUTHORIZING THE CITY MANAGER TO ENTER INTO A DEVELOPMENT AGREEMENT WITH CSD POWELL, LLC, AN OHIO LIMITED LIABILITY COMPANY AND DECLARING AN EMERGENCY.
Date: March 20, 2024

Summary:

City staff has negotiated with CSD Powell, LLC (dba COhatch) for them to lead phase one conceptual design and engineering for the Scioto St. Extension/Bartholomew Run Event Area and Public Parking that will happen to the north of the COhatch site from Liberty Street to Grace Drive. It is estimated that this first phase will have a maximum cost of \$430,000. CSD Powell will be utilizing their engineering firm Osborne Engineering to complete the conceptual design and engineering work and we will reimburse CSD Powell for this work.

Once, the conceptual design and engineering work is complete, it will inform us to how we need to complete the construction design and engineering and how we need to work with the private property owners to construct the road, event space and public parking in this area. It also will provide a better idea of potential costs for the next phase of engineering along with construction costs.

This ordinance allows City Manager Andrew White to enter into this agreement with CSD Powell, LLC to allow the first phase of work to begin.

Legal Review:

The Law Director has reviewed and approved as to form.

Financial Review:

The Finance Director has reviewed legislation, and the City is able to capitalize on the efficiencies of this private developer obtaining professional design and engineering services such that the reimbursement by the City for work done on its behalf does not fall under any requirement in the City's purchasing policy. The funds are part of the 2024-2028 CIP and in the process of being encumbered.

Recommendation:

City staff recommend passage of this ordinance with an emergency clause and suspension of rules.



ORDINANCE 2024-11

AN ORDINANCE AUTHORIZING THE CITY MANAGER TO ENTER INTO A DEVELOPMENT AGREEMENT WITH CSD POWELL, LLC, AN OHIO LIMITED LIABILITY COMPANY AND DECLARING AN EMERGENCY.

WHEREAS, the City desires to extend Scioto Street from Liberty Road to Grace Drive; and

WHEREAS, the City desires to reinvestment in the properties along the new extension of Scioto Street to create development opportunities and public benefits to City residents; and

WHEREAS, as part of this reinvestment efforts, the City desires to create additional public parking to serve the entire Downtown Powell district; and

WHEREAS, the City also desires to create a road that can be closed for events and activities in the downtown core; and

WHEREAS, CSD POWELL, LLC, an Ohio limited liability company ("COHatch") has purchased Delaware County Parcel Numbers 31942513055000 and 31942513056000 with plans to develop these parcels into a COhatch office building with rooftop bar, contingent upon certain off-site development and other improvements being completed; and

WHEREAS, to begin the process, the City and COHatch need preliminary design and engineering work for the COHatch project as well as the public infrastructure improvements on and around the COHatch parcels, and

WHEREAS, the public infrastructure improvements may include a road extension, lighting, public parking, utility extensions and relocation, stormwater improvements, public event space and park improvements; and

WHEREAS, COHATCH has committed to utilizing its design and engineering teams to complete the preliminary design and engineering of the public improvements, which shall be reviewed and approved by the City before any further action; and

WHEREAS, COHATCH wishes for the City to reimburse the costs associated with the preliminary design and engineering work as that work relates to the public improvements for the projects; and

WHEREAS, the City seeks to memorialize this partnership through a development agreement.

Development Agreement

This Development Agreement (the “Agreement”) is made by and between the **City of Powell, Ohio** (the “City”), a municipal corporation duly organized and validly existing under the Constitution and the laws of the State of Ohio and its Charter, with an office located at 47 Hall Street, Powell, Ohio 43065 and **CSD POWELL, LLC**, an Ohio limited liability company (“COHatch”). The City and COHatch may be referred to together as the “Parties” or individually as a “Party.”

WITNESSETH:

WHEREAS, COHatch owns the certain property identified as Delaware County parcel numbers 31942513056000 and 31942513055000, which has a physical address of 50 E Olentangy Street, Powell, Ohio 43065 (“COHatch Property”); and

WHEREAS, COHatch acquired the COHatch Property to renovate it with a proposed multiuse facility consistent with the attached Exhibit A (“Proposed Facility”) and with the intention to collaborate with the City and other private landowners to construct public parking facilities and other public utilities (together, the “Project”), which will result in the creation of entrepreneurial opportunities and economic development within the City; and

WHEREAS, more specifically, the Proposed Facility project includes, but is not limited to, the demolition of existing structures on the Property; construction, completion, and opening of the Proposed Facility; and

WHEREAS, the City and COHatch have separately entered into an Economic Incentive Agreement and a Community Reinvestment Area Agreement related to the Project; and

WHEREAS, the overall Project includes extending Scioto Street east to Grace Drive, construction of public parking facilities, necessary utilities, which would require the City to acquire certain property and property rights from private property owners (“Neighboring Parcels”) when the final design of those public improvements and utilities are finalized; and

WHEREAS, to facilitate the Project simultaneously with COHatch’s Proposed Facility, the Parties seek to work collaboratively for the efficient use of resources and exchange of consideration for the benefit of all Parties; and

WHEREAS, the City has determined that it would be in the best interest of the City and its residents to contract with COHatch to coordinate the preliminary engineering and design of the Project with the preliminary engineering and design of any private improvements in the area and to reimbursement COHatch for the same; and

WHEREAS, COHatch shall engage a design and engineering firm or consultants for the Project pursuant to a design contract that will be reviewed by the City for its approval (“Design Contract”); and

WHEREAS, this Agreement does not exempt COHatch from any requirement under the City’s entitlement process, Codified Ordinances, or any other applicable law, nor does it guarantee COHatch approval of any plan, permit, or other entitlement; and

WHEREAS, the Design Contract shall address comprehensive preliminary design and engineering for the entire northeast quadrant of the intersection of Powell Road and Liberty Street; and

WHEREAS, COHatch will facilitate the ideas and maintain and consider the best interest of the Parties and surrounding properties.

NOW THEREFORE, for good and valuable consideration received, the receipt and sufficiency of which is hereby acknowledged, the Parties agree as follows:

I. Design and Engineering.

COHatch will be responsible for the preliminary design and engineering of the (1) public parking facility on the Powell Liberty Property; (2) the extension of Scioto Street from the intersection of N Liberty Street, through the City's parcels (Delaware County Parcel numbers 31942513067000, 31942513065000, and 31942513066000), and the Neighboring Parcels (Delaware County Parcel numbers 31942513054001 and 31942513051001), connecting to Grace Drive, which will include the relocation of various utilities (including, but not limited to, public utilities and fiber optics) ("Scioto Street Extension"); (3) the regional stormwater infrastructure needed for anticipated growth and development in the area; (4) pedestrian facilities and lighting adjacent to the Scioto Street Extension; and (5) other related public infrastructure as outlined in Exhibit B ("Public Infrastructure Improvements").

The Public Infrastructure Improvements shall be separated into three phases. The three phases shall be: (i) the regional stormwater infrastructure needed for anticipated growth and development in the area; (ii) public parking facility; and (iii) the Scioto Street Extension, pedestrian facilities and lighting adjacent to the Scioto Street Extension, and other public infrastructure related specifically to the Scioto Street Extension.

COHatch shall be responsible for retaining a design and engineering firm ("Consultants") to preliminarily design and engineer the Public Infrastructure Improvements. The City has the ultimate authority, however, to approve the Consultants, which such approval shall not be unreasonably withheld.

The City shall have approval authority on the design and engineering of the Public Infrastructure Improvements and shall be consulted throughout the design and engineering process. COHatch or the Consultants shall provide the City preliminary design and engineering documents, which the City shall review and provide feedback. Once the preliminary design and engineering documents are completed to the City's reasonable satisfaction, the City shall approve the same, and the Consultants shall determine if it will proceed to a construction engineering and drawings phase.

II. List of Exhibits

- A. Project Rendering
- B. Description of Public Infrastructure Improvements
- C. Depiction of Public Infrastructure Improvements
- D. Design Contract between Consultants and COHatch

III. Reimbursement of Design and Engineering Costs. The design and engineering for the following Public Infrastructure Improvements shall be completed by COHatch or the Consultants, in conjunction with the Project as described in Exhibit B and shown generally on Exhibit C, subject to the reimbursement terms below.

IV. Reimbursement Amount. The City shall reimburse COHatch for the actual costs it incurs for the preliminary design and engineering of the Public Infrastructure Improvements with a reimbursement not to exceed **\$430,000.00**. If COHatch believes the actual costs for the preliminary design and engineering work may exceed **\$430,000.00**, COHatch may stop work and consult with the City for further direction. In no instance shall payment from the City to COHatch exceed **\$430,000.00** without prior written authorization from the City.

V. **Sources of Reimbursement.** The costs for design and engineering of the Public Infrastructure Improvements, which was identified in the City's Capital Improvement Plan (CIP), shall be reimbursed by the City using the available funds from the General Fund, or any other source the City deems acceptable.

VI. **Reimbursement Terms.**

- A. **Total Reimbursement.** Reimbursement for costs incurred by COHatch for the design and engineering of the Public Infrastructure Improvements shall be approved by the City, which such approval shall not be unreasonably withheld, conditioned, or delayed, and shall be in the amount of the actual costs. COHatch shall submit a request for reimbursement to the City on a monthly basis for the City's review and approval of the same.
- B. Request for reimbursement shall contain the following information:
 - a. Serial identifications of progress bills; *i.e.*, Progress Bill No. 1 for the first invoice, etc.;
 - b. The beginning and ending dates of the billing period;
 - c. A task summary containing the original contract amount, the amount of prior billings, the total due this period, the balance available under the Agreement, and the percentage of completion;
- C. The City shall make payments, based on invoices received, for services satisfactorily performed, and for authorized reimbursable costs incurred. The City shall have 30 days from the receipt of a request for reimbursement that complies with all of the requirements above to reimburse COHatch.
- D. In no instance shall payment to COHatch exceed the Maximum Reimbursement without prior written authorization from the City.
- E. **Limits of Reimbursement.** Under the terms of this Agreement, COHatch understands and agrees that the City will only reimburse COHatch for actual costs associated with the design and engineering of the Public Infrastructure Improvements, which COHatch must prove and certify to the City, up to and not to exceed the Maximum Reimbursement.

VII. **Access to Property.** COHatch agrees to allow the Consultant, the City, and City representatives to access the COHatch Property for purposes of the preliminary design and engineering phase of the Project. The Consultant will meet with the Parties through the process, and upon completion of the preliminary design and engineering work, the Consultant will advise the Parties of the work.

VIII. **General Provisions.**

A. **Breach and Opportunity to Cure.**

- 1. **Breach.** The Parties agree that any material violations of or noncompliance with any of the terms and conditions of this Agreement shall constitute a breach of contract, and, subject to the notification and cure provisions outlined below, the Parties shall have the right to stop work forthwith and seek any and all remedies available at law or equity.
- 2. **Opportunity to Cure.** Prior to any Party acting to stop its work in connection with an alleged breach of this Agreement, the non-breaching party shall provide a written notice to the breaching party, which written notice shall set forth the alleged material violations of, or noncompliance with, any material term(s) and condition(s) of this Agreement.

The breaching party shall have thirty (30) calendar days after receiving the written notice to cure the alleged breach. If the breach is not cured within that time period,

the non-breaching party may act to stop the breaching parties' work in connection with this Agreement and seek any and all remedies available at law or equity.

Notwithstanding the foregoing, if the nature of the breach is such that it cannot be reasonably cured within said thirty (30) calendar day period, then the breaching party may have a reasonable amount of time to cure, so long as the cure is commenced within said thirty (30) day period, is diligently prosecuted to completion thereafter, and provided that such additional time period is not averse to the general health, safety and welfare of the City as determined by the City Engineer.

- B. **Indemnification.** COHatch shall indemnify and hold harmless the City, and all of its elected officials, officers, employees and agents from and against all claims, losses, suits, actions and expenses (including reasonable attorneys' fees) that arise due to the wrongful or negligent performance or non-performance of COHatch, its contractors, subcontractors or its agents or employees, under the terms of this Agreement, including any and all proceedings which may originate from or on account of any death, injuries or damages to persons or property received or sustained as a consequence of any actions or omissions of any contractor, subcontractor or agent, from any material, including explosives, or any method used in said work or by or on account of any accident caused by negligence or any other act or omission of any contractor, subcontractor or its agents or employees. The Design Contract between Consultants and COHatch shall also include a similar provision wherein the Consultants shall indemnify and hold harmless the City, and all of its elected officials, officers, employees and agents.
- C. **Insurance.** COHatch shall require the Consultants to secure and maintain, at his/her/its own expense, errors and omissions insurance in an amount not less than One Million Dollars (\$1,000,000.00) per claim/annual aggregate to protect from any claim arising out of the performance of professional services and caused by negligent acts, omissions or negligent acts for which the Consultants may be legally negligent. The Consultants shall maintain said coverage for the entire contract period and for a minimum of one year after completion of the work under the Design Contract.
1. In addition to errors and omissions insurance, COHatch shall require the Consultants to secure and maintain, at its own expense, insurance for protection from claims under Worker's Compensation acts, claims for damages because of bodily injury including personal injury, sickness or disease or death of any and all employees or of any person other than such employees, and from claims or damages because of injury to or destruction of property including loss of use resulting therefrom, and any other insurance prescribed by laws, rules, regulations, ordinances, codes or orders.
 2. COHatch shall require the Consultants to secure and maintain, at its own expense, General Liability insurance in an amount not less than One Million Dollars (\$1,000,000.00) per occurrence.
 3. COHatch shall require the Consultants to secure and maintain, at the Consultants' own expense, property insurance for protection from claims or damages because of damage to or destruction of property including loss of use resulting therefrom in an amount not less than Five Hundred Thousand Dollars (\$500,000.00).
 4. The above referenced insurance shall be maintained in full force and effect during the life of this Agreement and the Design Contract and for one year beyond, where specified. The City may request that certificates showing that the Consultants is carrying the above referenced insurance in at least the above specified minimum at any time. All such Certificates, with the exception of those for Worker's

Compensation and Errors & Omissions coverage, shall clearly reflect that the City of Powell is an "Additional Insured".

- D. **Notices.** Any notices, statements, acknowledgements, consents, approvals, certificates or requests required to be given on behalf of either party to this Agreement shall be made in writing addressed as follows and sent by registered or certified mail, return receipt requested, and shall be deemed delivered when the return receipt is signed, refused or unclaimed:

If to the City to:

Andrew White, City Manager
City of Powell, Ohio
47 Hall Street
Powell, Ohio 43065
awhite@cityofpowell.us

With a copy to:

Frost Brown Todd LLP
Yaz Ashrawi, Law Director
One Columbus, Suite 2300
10 West Broad Street
Columbus, OH 43215
yashrawi@fbtlaw.com

If to COHatch to:

With Copy to:

or to any such other persons or addresses as may be specified by either party, from time to time, by prior written notification. Courtesy copies should also be sent via email to the email addresses included above.

- C. **Representations.** All representations and warranties of the Parties herein shall be binding upon the Parties, their successors and assignees, and shall survive the execution and delivery of this Agreement.

1. **COHatch Representations.** COHatch represents and warrants that the execution and delivery of this Agreement and the compliance by COHatch with all of the provisions herein (i) are within COHatch's authority and power; (ii) will not conflict with or result in any breach of any of the provisions of, or constitute default under, any agreement, its articles of organization or operating agreement, or other instrument to which COHatch, or any of its affiliates, is a party or by which it may be bound, or, to COHatch's knowledge, any license, judgment, decree, law, statute, order, rule or regulation or any court or governmental agency or body having jurisdiction over COHatch or any of its activities or properties; and (iii) have been duly authorized by all necessary action on COHatch's part.
2. **City Representations.** The City hereby represents and warrants that (i) execution of this Agreement has been authorized by Ordinance No. _____, passed by City

Council on _____ and (ii) the City has full power and authority to enter into this Agreement, to carry out its terms and to perform its obligations hereunder.

- D. **Waiver.** In the event that any covenant, agreement, or obligation under this Agreement is breached by any of the Parties and the breach is expressly waived thereafter by the non-breaching party, as the case may be, the waiver shall be limited to the particular breaches so waived and shall not be deemed to waive any other or any subsequent breach thereunder.
- E. **Severability.** In case any section or provision of this Agreement, or any covenant, agreement, obligation or action, or part thereof, made, assumed, entered into or taken, or any application thereof, is held to be illegal or invalid for any reason,
 - 1. that illegality or invalidity shall not affect the remainder hereof or thereof; any other section or provision hereof, or any other covenant, agreement, obligation or action, or part thereof, made, assumed, entered into or taken, all of which shall be construed and enforced as if the illegal or invalid portion were not contained herein or therein,
 - 2. the illegality or invalidity of any application hereof or thereof shall not affect any legal and valid application hereof or thereof; and
 - 3. each section, provision, covenant, agreement, obligation or action, or part thereof, shall be deemed to be effective, operative, made, assumed, entered into or taken in the manner and to the full extent permitted by law.
- F. **Assignment.** Except as otherwise provided in this Section, this Agreement may not be assigned by any party hereto without the written consent of the other party which consent shall not be unreasonably withheld, conditioned, or delayed and which consent, if granted, may include reasonable provisions to protect the interest of the non-assigning party.
- G. **Jurisdiction.** This Agreement shall be governed by and construed in accordance with the laws of the State of Ohio. All claims, counterclaims, disputes and other matters in question between the Parties, their agents, employees, contractors, and subcontractors arising out of or relating to this Agreement or its breach will be decided in a court of competent jurisdiction within Delaware County, Ohio.
- H. **Captions.** The captions and headings in this Agreement are for convenience only and in no way define, limit or describe the scope or intent of any provisions or sections in this Agreement.

IN WITNESS WHEREOF, the parties, each by a duly authorized representative, have executed this Agreement on the dates below. This Agreement is effective on the date signed by City Manager as identified below.

City of Powell, Ohio

CSD POWELL, LLC

Andrew White
City Manager

Date

Date: _____

Approved as to Form:

Yazan S. Ashrawi
Law Director

DRAFT

CERTIFICATE OF AVAILABILITY OF FUNDS

I certify that the money required to meet the obligations of the City of Powell hereunder has hereby been lawfully appropriated for such purpose and is in the treasury or in the process of collection to the credit of this fund, free from any previous obligation or certification as required by Ohio Revised Code §5705.01 to §5705.47.

Date

Rosa Ocheltree, Finance Director

DRAFT

Exhibit A

DRAFT

Exhibit B

DRAFT

Exhibit C

DRAFT





Exhibit D

DRAFT



Upcoming City Meetings & Events

MARCH 2024

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
					1	2
3	4	5 6:30 pm—Development 7:30 pm—City Council	6	7 10:00 am—Tax Incentive Review Meeting 6:30 pm—Board of Zoning Appeals - Cancelled	8	9
10	11	12 7 pm—Finance Committee	13 6:00pm—Planning & Zoning Commission – Note: Meeting Time Change	14	15 Third Friday: St. Patrick’s Pot of Gold	16
17 	18	19  Election Day	20 5:30 pm – Operations Committee 7:30 pm City Council – Note Date Change	21	22	23 Bunny Hop
24	25	26 6:30 pm—Powell Development Corp	27 6 pm—Historic Downtown Advisory Commission Note: Meeting Date Change	28	29	30
31						 166



Upcoming City Meetings & Events APRIL 2024



Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
	1	2 6:30 pm—Development 7:30 pm—City Council	3	4 6:30 pm—Board of Zoning Appeals	5	6
7	8	9 7 pm—Finance Committee	10 6:30pm—Planning & Zoning Commission	11	12	13
14	15	16 5:30 pm Operations Committee 7:30 pm City Council	17	18 6 pm—Historic Downtown Advisory Commission	19 Third Friday: Earth Day	20
21	22	23 6:30 pm—Powell Development Corp	24	25	26 Arbor Day Tree Planting	27 Beautify Powell
28	29	30				