

LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF FRANKLIN, STATE OF OHIO, AND IS DESCRIBED AS FOLLOWS:

Situated in the State of Ohio, County of Delaware, and in the Village of Powell:

Being in Range 19, Township 3, Section 4, Lot Number Thirty (30). Beginning in the center of the Powell Road; said point being South 87° 17' West, 307 feet from the West right-of-way line of the C. and O. Railroad, formerly the Hocking Valley Railroad; thence South 03° East, 691.7 feet to an iron pin in the South line of Lot Number Thirty (30) (passing over a stone at 27.75 feet from said center of Powell Road); thence South 88° 10' West, 158 feet; thence North 03° West, 689.3 feet to the center of the Powell Road; thence North 87° 17' East, 158 feet to the place of beginning, containing 2 1/2 acres, more or less.

EXCEPT THE FOLLOWING:

Situated in the State of Ohio, County of Delaware, City of Powell, being the south half of a 2.5 acre tract (2.506 by survey) conveyed to Patrick J. and Antonia C. Carter in Official Record 736, Page 1892, Delaware County Recorder's Office, and being more particularly described as follows:

Beginning, for reference, at the intersection of the west line of the CSX Railroad with the centerline of Olentangy Street (State Route 750, W. Powell Road);

Thence North 87° 38' 00" West 307.00 feet, in the centerline of Olentangy Street (State Route 750, W. Powell Road) to a point marking the northeast corner of said 2.5 acre tract and the northwest corner of a 1.35 acre tract conveyed to John W. Messmore Trustee in Official Record 685, Page 1062;

Thence South 02° 02' 42" East 345.77 feet, along the east line of said 2.5 acre tract and west line of said 1.35 acre tract, to an iron pin set marking the PRINCIPAL PLACE OF BEGINNING of the herein described tract;

Thence continuing South 02° 02' 42" West 345.32 feet, in the east line of said 2.5 acre tract and west line of said 1.35 acre tract and west line of a 5.72 acre tract also conveyed to John Messmore in Official Record 616, Page 523, to an 1 1/2" axel found marking the southeast corner of said 2.5 acre tract and the southwest corner of said 5.72 acre tract and in north line of MURPHY'S PARK SECTION 3, as delineated and recorded in Plat Cabinet 2, Slide 648;

Thence North 87° 23' 08" West 158.00 feet, in the south line of said 2.5 acre tract and the north line of said MURPHY'S PARK SECTION 3, to an iron pin found marking the southwest corner of said 2.5 acre tract and being the southeast corner of a 2.014 acre tract (Tract II) conveyed to Stovar-Nevitt Partners Inc. in Official Record 640, Page 24;

Thence North 02° 02' 42" East 345.32 feet, in the west line of said 2.5 acre tract and the east line of said 2.014 acre tract (Tract II), to an iron pin set;

Thence South 87° 23' 08" East 158.00 feet, across said 2.5 acre tract and parallel with the south line of said 2.5 acre tract, to the principal place of beginning, containing an area of 1.252 acres.

Subject to all easements, restrictions, and rights of way of record, if any.

Basis of bearings are assumed, based on the centerline of Powell Road being North 87° 30' 00" West.

A survey of the above described premises was done by Robert T. Patridge Jr. P.S. 7482, in February 2007. All iron pins set are 5/8" rebar, 30" long and are yellow capped "PATRIDGE SURVEYING".

All referenced documents are on file at the Delaware County Recorder's Office, Delaware, Ohio.

PRELIMINARY DEVELOPMENT SCHEDULE

2023	August	Approvals / Entitlements	Due Diligence	Capital Raise	Active Leasing
	September				
	October				
	November				
	December	C-Doc's			
	January	Bldg Permit			GMP Exec.
	February	Property / Financing Close			
	March	Shell Construction	Tenant Build-Out	Certificate of Occupancies Issued & Rent Start	
	April				
	May				
	June				
	July				
	August				
	September				
	October				
2024	November				
	December				
	January				
	February				
	March				
	April				
	May				
2025	June				
	July				
	August				
	September				
	October				
	November				
	December				
	January				
	February				

Newland Developments, LLC  
3765 Hampshire Ave., Powell, Ohio 43065  
614-292-7050 | newland@newlanddev.com

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[Mixed-Use Redevelopment & Restoration]

**Campbell Manor**  
173 West Olentangy Street  
Powell, Ohio 43065  
319-432-00-3000

# DATE DRAWN BY ISSUED FOR REQUESTED BY  
1 11/16/2023 Eric Newland Submitted for Sketch Plan Review

SEAL:  
ERIC R. NEWLAND  
LICENSE #15076  
EXPIRATION 12/31/2023

Project Information & Notes  
Date: 11/16/2023  
Drawing Type: Design Dev.  
Unit(s): Landlord Shell & Redevel.  
Sheet: CS0.1

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Newland Developments, LLC  
3125 Hargrave Ave. Powell, Ohio 43065  
614-753-7053 | Newland-Eng@gmail.com

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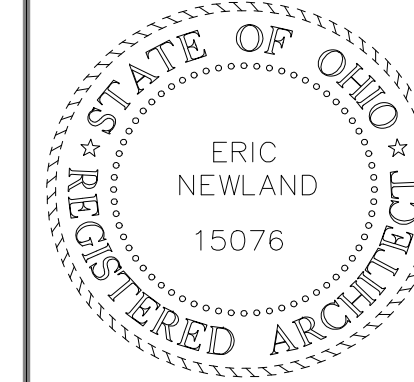
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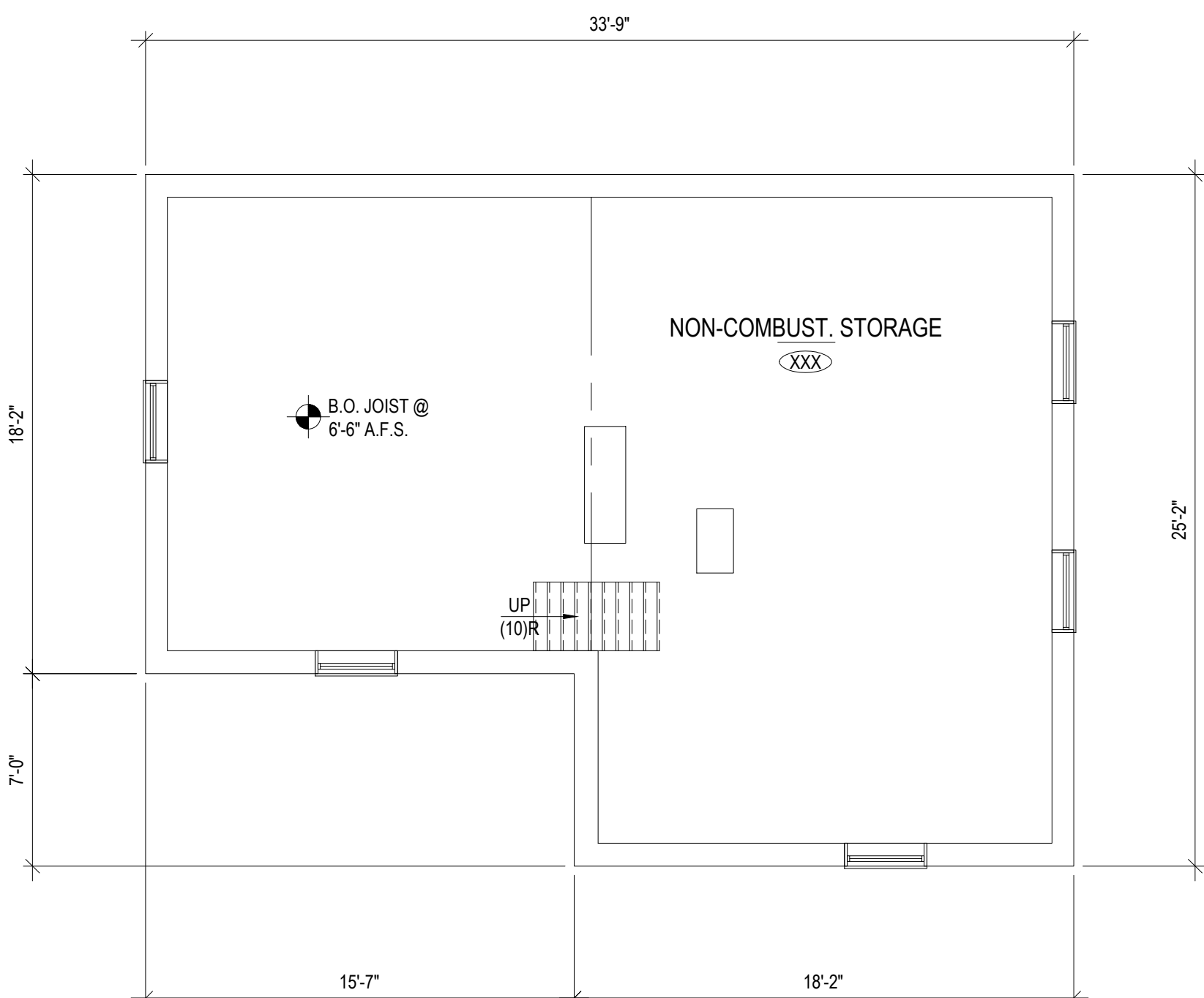
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### Existing Conditions Plans & Elevations

Date: 11.16.2023  
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# EX1.0

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Existing Basement Plan

Scale: 3/16" = 1'-0"



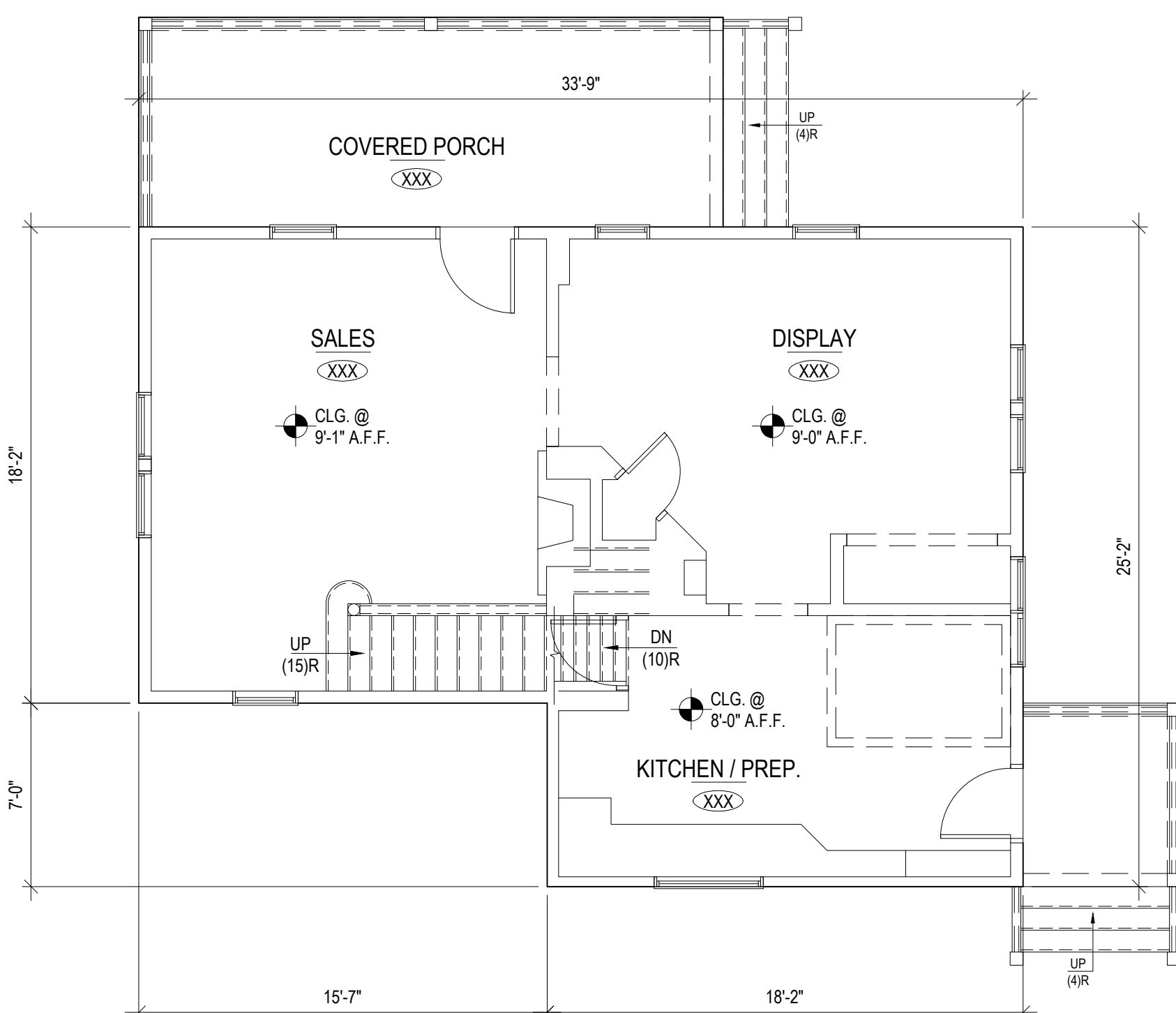
Existing Front (North) Elevation

Scale: 3/16" = 1'-0"



Existing Right (West) Elevation

Scale: 3/16" = 1'-0"



Existing First Floor Plan

Scale: 3/16" = 1'-0"



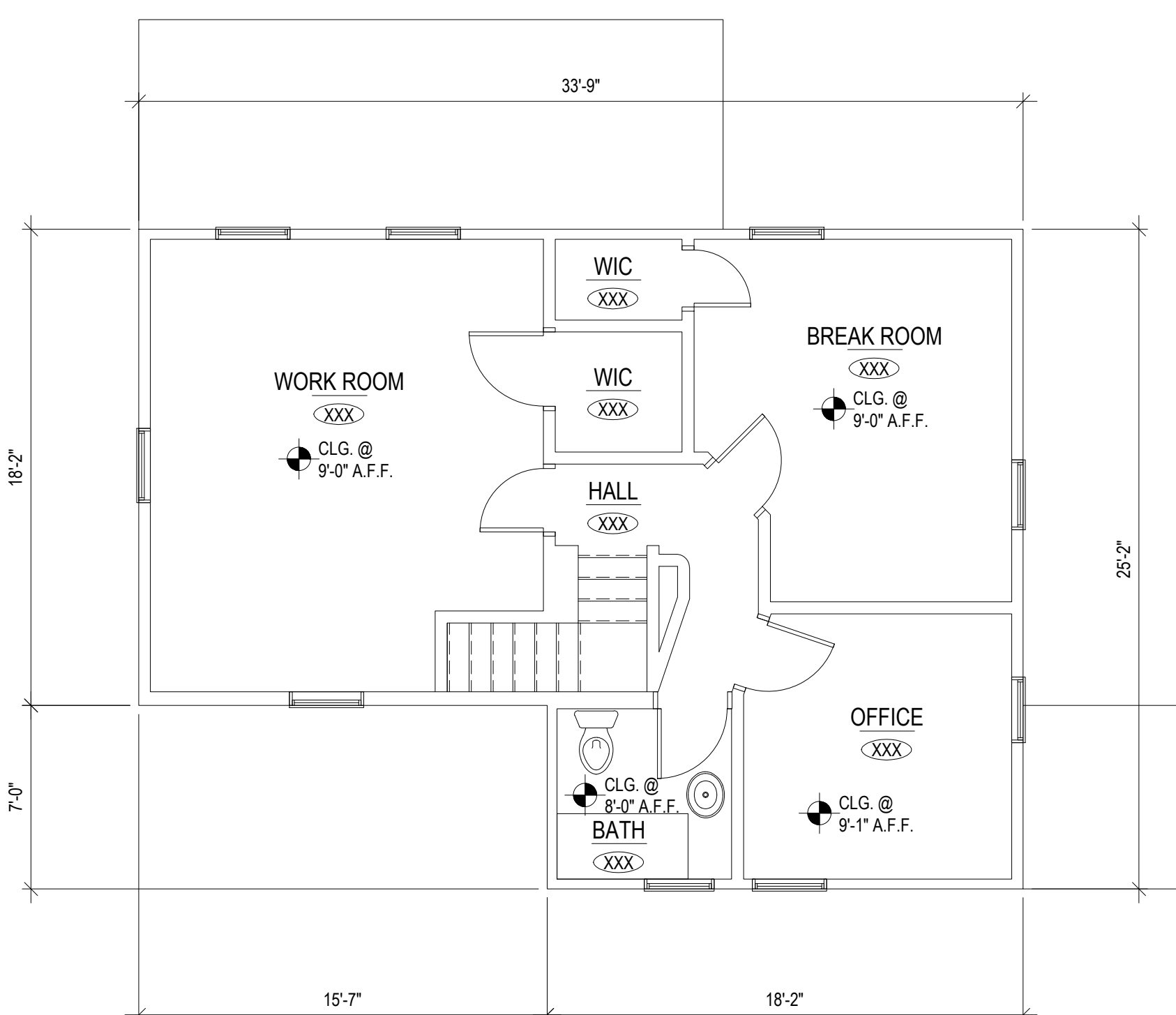
Existing Rear (South) Elevation

Scale: 3/16" = 1'-0"



Existing Left (East) Elevation

Scale: 3/16" = 1'-0"



Existing Second Floor Plan

Scale: 3/16" = 1'-0"



Existing (North) Perspective

Scale: n.t.s.



Existing (South) Perspective

Scale: n.t.s.







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## EX1.1

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Existing Overall Front (North) Elevation

Scale: 3/16" = 1'-0"



Proposed Overall Front (North) Elevation

Scale: 3/16" = 1'-0"



Proposed Overall Front (North) Elevation

Scale: 3/16" = 1'-0"

## ELEVATION NOTES

1. ALL MATERIALS & SYSTEMS TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS, TYP.
2. ELEVATION & MATERIAL PROFILES TO WRAP OUTSIDE CORNERS & EXTEND TO WALL, BEYOND, TYP. WHERE NOT SHOWN.
3. PROVIDE MASONRY CONTROL JOINTS AS SHOWN AND AT DOOR AND WINDOW LOCATIONS.
4. REFER TO BUILDING SECTIONS FOR ADDITIONAL MASONRY ACCT INFORMATION.
5. ALL MATERIALS NOT LABELED ARE TYPICAL FOR ALL SIMILAR LOCATIONS.
6. PROTECT/SHIELD MASONRY UNITS & PROJECTION/CHAMFERED COURSES FROM MORTAR DROPPINGS DURING CONSTRUCTION.

## MATERIAL LEGEND

SYMBOL	DESCRIPTION
STONE	RUSTIC FOUNDATION STONE: MANUFACTURER: TBD COLOR: TBD NOTES: SIZE, TEXTURE, COLOR, COURSING TO MATCH EXTG.
BRICK	4" BRICK VENEER: MANUFACTURER: BELDEN BRICK COLOR: HOMESTEAD BLEND SIZE: MODULAR, RUNNING BOND, U.N.O. NOTES: REFER TO ELEVATIONS NOTES FOR COURSING INFORMATION
SDNG-H	HORIZONTAL COMPOSITE SIDING MANUFACTURER: JAMES HARDIE BUILDING PRODUCTS / ALT. NATURAL WOOD COLOR: MATCH PT-1 EXPOSURE: 6 1/2"
SDNG-V	VERTICAL BOARD & BATTEN COMPOSITE SIDING MANUFACTURER: JAMES HARDIE BUILDING PRODUCTS / ALT. NATURAL WOOD COLOR: PT-3
SHAKE	SHAKE-STLYE SIDING MANUFACTURER: JAMES HARDIE BUILDING PRODUCTS / ALT. NATURAL WOOD COLOR: MATCH PT-1
TRIM-1	1x6 VERTICAL CORNER BOARD MANUFACTURER: JAMES HARDIE BUILDING PRODUCTS / ALT. NATURAL WOOD COLOR: PT-2
TRIM-2	1x10 BAND BOARD MANUFACTURER: JAMES HARDIE BUILDING PRODUCTS / ALT. NATURAL WOOD COLOR: PT-2
LF-1	GOOSENECK STYLE EXTERIOR LED LIGHTING FIXTURE NOTES: FINISH TO MATCH MTL-1. FINAL SELECTION BY ARCHITECT
SHNG	EXTG. LAMINATED 30-YR. ASPHALT SHINGLES W/ INTEGRAL RIDGE VENT SYSTEM MANUFACTURER: CERTAINTED, OR EQ. COLOR: LANDMARK PRO "WEATHERED WOOD"
SSMR	STANDING SEAM METAL ROOFING SYSTEM MANUFACTURER: PAC CLAD, OR EQ. COLOR: "MUSKET GRAY"
H-RAIL	WOOD RAILING SYSTEM MANUFACTURER: TBD COLOR: PT-2 BASE, PT-4 TOP RAIL
BRACKT	NEW FUNCTIONAL WOOD BRACKET COLOR: PT-2 NOTES: 16"H x 8"D x 5"W CONFIRM PROFILE SELECTION W/ ARCHITECT
WINDW	NEW WOOD WINDOWS MANUFACTURER: JELD-WEN OR EQ. COLOR: EXTERIOR & INTERIOR TO MATCH PT-4 NOTES: COORDINATE MUTTON/GRILL PATTERNS W/ EXTERIOR ELEVATIONS
FASCA	1x NOM. PAINTED FASCIA BOARD W/ APPLIED MANUFACTURER: AZEK, OR EQ. / ALT. NATURAL WOOD COLOR: PT-2
FRZE	1x10 NOM. PAINTED FRIEZE BOARD W/ 4" CROWN MANUFACTURER: AZEK, OR EQ. / ALT. NATURAL WOOD COLOR: PT-2
VENT-1	ATTIC VENT MANUFACTURER: AZEK, OR EQ. COLOR: PT-4 NOTES: REFER TO EXTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION
VENT-2	RIDGE VENT W/ INSECT SCREEN MANUFACTURER: CERTAINTED, OR EQ. COLOR: MATCH "SHNG-1" NOTES: REFER TO ROOF PLAN FOR ADDITIONAL INFORMATION
MAS-S	4" MAUF. STONE SILL MANUFACTURER: ROCKCAST OR EQ. COLOR: CHARLOTTE TAN NOTES: REFER TO EXTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION & PROFILE
CUPLA	PRE-FABRICATED CUPOLA MANUFACTURER: CAMPBELLSVILLE INDUSTRIES OR EQ. MODEL: RC-20B NOTES: PROVIDE CRUCIFORM FINIAL/WEATHERVANE. METAL ROOF TO MATCH "SSMR"
COL-1	WRAPPED, STRUCTURAL COLUMN COLOR: PT-2 NOTES: REFER TO DETAIL X1A.X FOR ADDITIONAL INFO.
SCRN-1	6x W/D. COW RAIL UNDER-DECK SCREEN / ALT. NATURAL WOOD LATTICE COLOR: PT-2 NOTES: REFER TO DETAIL X1A.X FOR ADDITIONAL INFO.
PT-1	EXTERIOR GRADE PAINT MANUFACTURER: SHERWIN WILLIAMS COLOR: SW 2822 "DOWNING SAND" NOTES: BASE PAINT. REFER TO EXTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION
PT-2	EXTERIOR GRADE PAINT MANUFACTURER: SHERWIN WILLIAMS COLOR: SW 2823 "CLASSICAL WHITE" NOTES: TRIM PAINT. REFER TO EXTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION
PT-3	EXTERIOR GRADE PAINT MANUFACTURER: SHERWIN WILLIAMS COLOR: SW 2814 "ROCKWOOD ANTIQUE GOLD" NOTES: ENTRY DOOR PAINT / ACCENT. REFER TO EXTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION
PT-4	EXTERIOR GRADE PAINT MANUFACTURER: SHERWIN WILLIAMS COLOR: TBD (GRAY/CHARCOAL) NOTES: SHUTTERS, GABLE VENTS, ACCENTS, SIGNAGE LETTERS. TO MATCH "MTL-1" VERIFY SELECTION W/ ARCHITECT
MTL-1	PRE-FINISHED ALUMINUM MANUFACTURER: PAC CLAD OR EQ. COLOR: MUSKET GRAY NOTES: METAL CORNINGS, ROOFING, AWNINGS. REFER TO EXTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION
MATERIAL	MANUFACTURER: COLOR
MORTAR	NATURAL GRAY
EXTERIOR CAULK/SEALANTS	TRENCO, OR EQ. MATCH ADJ. CONST.
CAP FLASHING / GUTTERS / DOWNSPOUTS	MATCH PT-1
UNDERSIDE, EXPOSED UNITS & SOFFITS	MATCH PT-2



Newland Developments, LLC  
3150 Hargrave Ave. P.O. Box 43065  
614-753-7000 | newland-dev.com

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[Mixed-Use Redevelopment & Restoration]

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Powell, Ohio 43065

319-432-02-00-3000

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Concept  
Redevelop.  
Schematic

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EX1.2

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WEST OLENTANGY STREET



Architectural Site Plan

Scale: n.t.s.

PROPOSED REDEVELOPMENT

ADDRESS 173 West Olentangy Street, Powell, Ohio 43065  
ACERAGE 1.248 AC.  
PPN 31943202003000  
AHJ City of Powell, Delaware County  
ZONING Downtown Business District w/ Historic Downtown Overlay District

DEVELOPMENT / ZONING CRITERIA	REQ. / ALLOW.	PROVIDED / PROPOSED	COMPLIANT	NOTES
PROJECT USES	Various	Various	YES	Permitted, conditional & supplemental uses as listed in 1143.16.2(b)
MAX. BUILDING HEIGHT	35'-0" Principal; 23'-0" Accessory	<35'-0" Principal; <23'-0" Accessory	YES	
MAX. LOT COVERAGE	20%	13.03% Building Footprint; 72.02% Impervious Surfaces	TBD	
FRONT YARD SETBACK	MIN. 20'-0"; MAX. 25'-0"	Approx. 65'-0"	NO	Maintains existing setback of historic structure on site
SIDE YARD SETBACK (EAST)	MIN. 5'-0"	>5'-0"	YES	
SIDE YARD SETBACK (WEST)	MIN. 5'-0"	>5'-0"	YES	
REAR YARD SETBACK	MIN. 5'-0"	>5'-0"	YES	
MIN. ON-SITE PARKING	By Use & Seating Capacity: Est. 54. 1 Accessible Space / 25 Spaces	75 Spaces; 3 Accessible	YES	Refer to Parking area matrix

PARKING AREA MATRIX

Unit	Use	SF	Parking Required	Parking Provided	Notes
100	Retail	920	2.30	3.00	1 per 400 SF Floor Area
110	Retail	1,600	4.00	4.00	1 per 400 SF Floor Area
120	Retail	1,500	3.75	4.00	1 per 400 SF Floor Area
130	Restaurant	2,600	25.00	25.00	25 Spaces or 1 per 3 Seats + 1 for each 2 Employees, whichever is larger
140	Landlord	60			
150	Jump Lobby	375			
200	Office	1,260	6.30	7.00	1 per 200 SF Floor Area
210	Office	860	4.30	4.00	1 per 200 SF Floor Area
220	Office	630	3.15	3.00	1 per 200 SF Floor Area
	Retail Surcharge		5.00	5.00	5 Space Retail Surcharge
	Subtotal	9,805	53.80	55.00	
	Add. Shared Parking			20.00	
	Total			75	Total Design Capacity



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[Mixed-Use Redevelopment & Restoration]

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Architectural  
Site Plan

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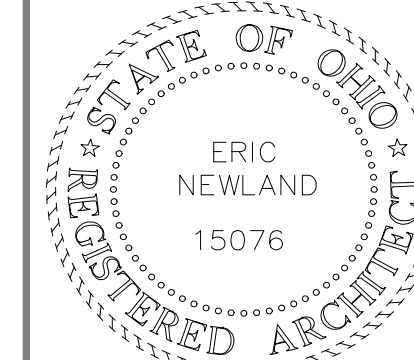
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Enlarged  
Architectural  
Site Plan

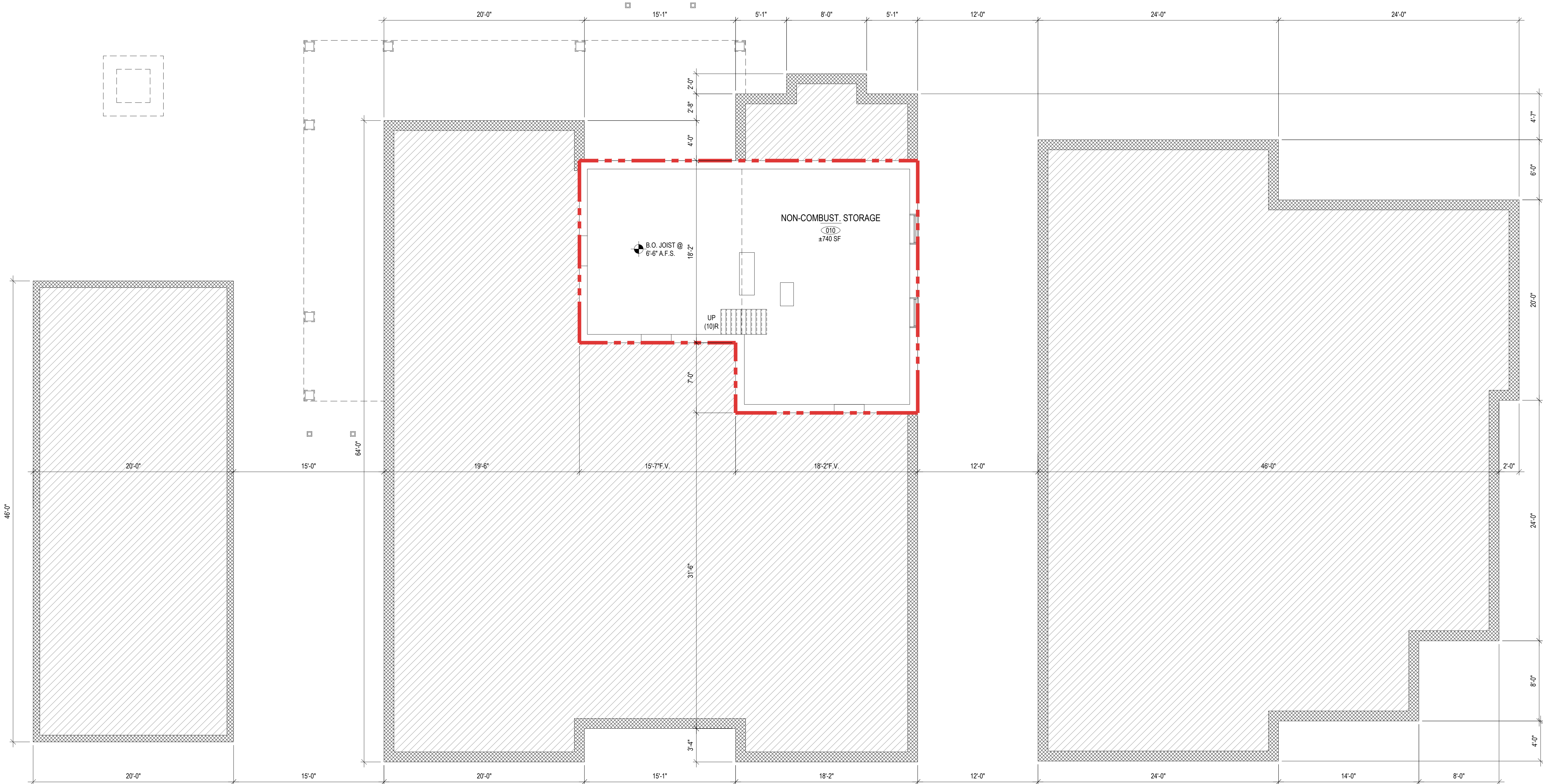
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AS1.1

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KEY NOTE LEGEND	
1.0	GENERAL DATA
2.0	SITE WORK
2.1	LANDSCAPE BED. REFER TO LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION
3.0	CONCRETE
3.1	FROST SLAB -REFER TO STRUCTURAL DRAWINGS, TYP.
3.2	5" CONCRETE SLAB. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
3.3	CONCRETE LEAVE-OUT FOR FUTURE TENANT UNDER-SLAB UTILITIES. PROVIDE FUTURE CONCRETE SUB-BASE PER STRUCTURAL DRAWINGS
3.4	ACCESSIBLE RAMP W/ COLOR CONTRACT & TEXTURE INDICATION. REFER TO CIVIL DRAWINGS FOR ADDITIONAL INFORMATION
4.0	MASONRY
4.1	MASONRY CONTROL JOINT. REFER TO ELEVATIONS & SPEC'S
5.0	METALS
5.2	
6.0	WOOD & PLASTICS
6.1	
7.0	THERMAL & MOISTURE PROTECTION
8.0	DOORS & WINDOWS
8.1	STOREFRONT ENTRY & WINDOW SYSTEM. REFER TO DOOR & WINDOW SCHEDULE FOR ADDITIONAL INFORMATION
9.0	FINISHES
10.0	SPECIALTIES
10.1	RECESSED KNOX BOX CENTERED WITHIN MASONRY. REFER TO EXTERIOR ELEVATION DETAILS. VERIFY LOCATION W/ FIRE MARSHALL PRIOR TO INSTALLATION.
10.2	4" DIA. EXTERIOR BOLLARD W/ YELLOW SLEEVE
10.3	EXTERIOR BIKE RACK BY KEYSTONE RIDGE DESIGNS "CREEKVIEW BIKE RACK" COLOR SELECTION FROM STANDARD COLOR PALETTE AS SELECTED BY OWNER/ARCHITECT TO MATCH/COMPLIMENT BUILDING FINISH METALS
10.4	FUTURE EXTERIOR PATIO RAIL BY TENANT. SELECTION, STYLE, EXTENTS, MATERIAL TBD
10.5	BOTTLE-MOUNTED FIRE EXTINGUISHER. VERIFY LOCATIONS & QUANTITIES W/ FIRE MARSHALL & FIXTURE PLAN PRIOR TO INSTALLATION. PROVIDE ADEQUATE BLOCKING. PROVIDE 18"x7" PLASTIC "3-WAY" SIGN ABOVE (EMEDCO 33586). PROVIDE EXTINGUISHER, SIZE & TYPE AS REQUIRED.
10.6	HANDICAP PARKING SIGNAGE AS REQUIRED BY AHJ IN REINFORCED BOLLARD. REFER TO CIVIL DRAWINGS FOR ADDITIONAL INFORMATION
10.7	ROOF ACCESS LADDER & HATCH W/ SECURITY HASP. REFER TO ROOF PLAN DETAILS FOR ADDITIONAL INFORMATION
10.8	AWNING, ABOVE. REFER TO REFLECTED CEILING PLAN, ROOF PLAN & EXTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION
11.0	EQUIPMENT
12.0	FURNISHINGS
12.1	8' EXTERIOR BENCH WITH BACK BY KEYSTONE RIDGE DESIGNS "CREEKVIEW BENCH WITH BACK" COLOR SELECTION FROM STANDARD COLOR PALETTE AS SELECTED BY OWNER/ARCHITECT TO MATCH/COMPLIMENT BUILDING FINISH METALS. VERIFY QUANTITY & LOCATION W/ OWNER
13.0	SPECIAL CONSTRUCTION
14.0	CONVEYING SYSTEMS
15.0	MECHANICAL
15.1	ROOF DRAIN LEADER. REFER TO PLUMBING PLANS
15.2	RTU CURB & UNIT, ABOVE. REFER TO ROOF PLAN & MECHANICAL PLANS FOR ADDITIONAL INFORMATION
15.3	GAS METER LOCATION PREFERENCE. REFER TO MECHANICAL/PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION. COORDINATE W. UTILITY PROVIDER
15.4	FIRE RISER. REFER TO MECHANICAL/PLUMBING AND/OR FIRE PROTECTION PLAN FOR ADDITIONAL INFORMATION
16.0	ELECTRICAL
16.1	ELECTRICAL EQUIPMENT. COORDINATE EQUIPMENT WITH ELECTRICAL DRAWINGS.
16.2	TRANSFORMER LOCATION PREFERENCE. REFER TO CIVIL UTILITY DRAWINGS & COORDINATE W/ UTILITY PROVIDER



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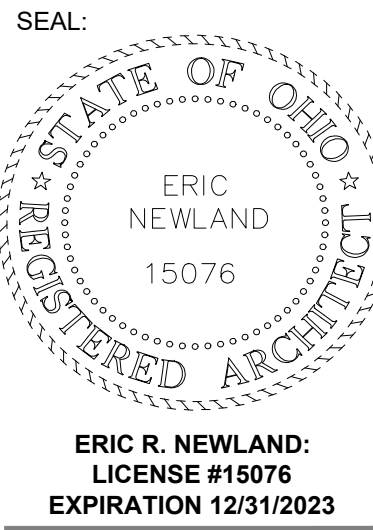
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**Foundation Plan**

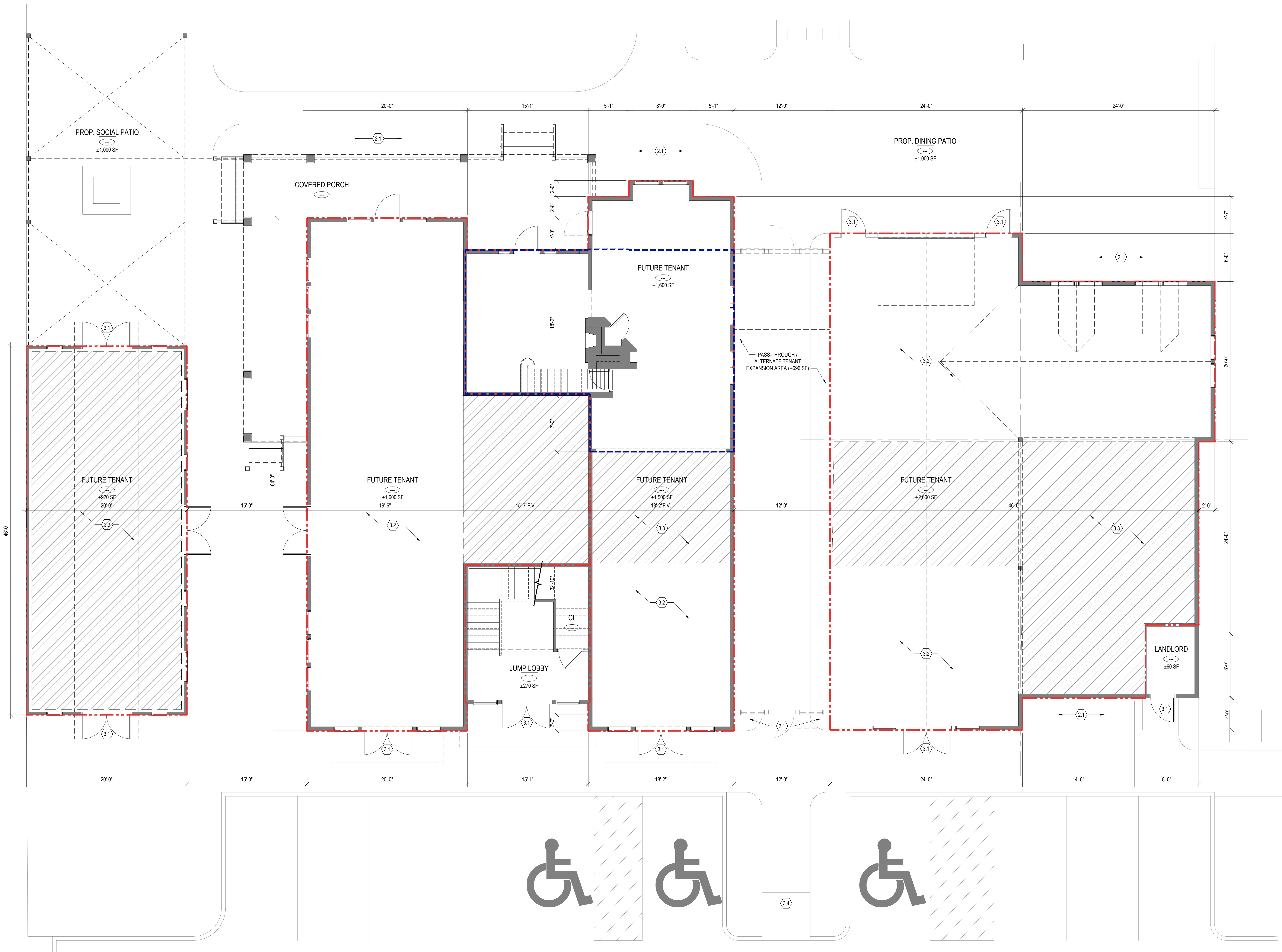
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Foundation & Existing Basement Plan  
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1.0	GENERAL DATA
2.0	SITE WORK
2.1	LANDSCAPE BED. REFER TO LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION
3.0	CONCRETE
3.1	FROST SLAB -REFER TO STRUCTURAL DRAWINGS, TYP.
3.2	5" CONCRETE SLAB. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
3.3	CONCRETE LEAVE-OUT FOR FUTURE TENANT UNDER-SLAB UTILITIES. PROVIDE FUTURE CONCRETE SUB-BASE PER STRUCTURAL DRAWINGS
3.4	ACCESSIBLE RAMP W/ COLOR CONTRAST & TEXTURE INDICATION. REFER TO CIVIL DRAWINGS FOR ADDITIONAL INFORMATION
4.0	MASONRY
4.1	MASONRY CONTROL JOINT. REFER TO ELEVATIONS & SPEC'S
5.0	METALS
5.2	
6.0	WOOD & PLASTICS
6.1	
7.0	THERMAL & MOISTURE PROTECTION
8.0	DOORS & WINDOWS
8.1	STOREFRONT ENTRY & WINDOW SYSTEM. REFER TO DOOR & WINDOW SCHEDULE FOR ADDITIONAL INFORMATION
9.0	FINISHES
10.0	SPECIALTIES
10.1	RECESSED KNOX BOX CENTERED WITHIN MASONRY. REFER TO EXTERIOR ELEVATION DETAILS. VERIFY LOCATION W/ FIRE MARSHALL PRIOR TO INSTALLATION.
10.2	4" DIA. EXTERIOR BOLLARD W/ YELLOW SLEEVE
10.3	EXTERIOR BIKE RACK BY KEYSTONE RIDGE DESIGNS "CREEKVIEW BIKE RACK" COLOR SELECTION FROM STANDARD COLOR PALETTE AS SELECTED BY OWNER/ARCHITECT TO MATCH/COMPLIMENT BUILDING FINISH METALS
10.4	FUTURE EXTERIOR PATIO RAIL BY TENANT. SELECTION, STYLE, EXTENTS, MATERIAL TBD
10.5	BOTTLE-MOUNTED FIRE EXTINGUISHER. VERIFY LOCATIONS & QUANTITIES W/ FIRE MARSHALL & FIXTURE PLAN PRIOR TO INSTALLATION. PROVIDE ADEQUATE BLOCKING. PROVIDE 18"x7" PLASTIC "3-WAY" SIGN ABOVE (EMEDCO 33586). PROVIDE EXTINGUISHER, SIZE & TYPE AS REQUIRED.
10.6	HANDICAP PARKING SIGNAGE AS REQUIRED BY AHJ IN REINFORCED BOLLARD. REFER TO CIVIL DRAWINGS FOR ADDITIONAL INFORMATION
10.7	ROOF ACCESS LADDER & HATCH W/ SECURITY HASP. REFER TO ROOF PLAN DETAILS FOR ADDITIONAL INFORMATION
10.8	AWNING, ABOVE. REFER TO REFLECTED CEILING PLAN, ROOF PLAN & EXTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION
11.0	EQUIPMENT
12.0	FURNISHINGS
12.1	8' EXTERIOR BENCH WITH BACK BY KEYSTONE RIDGE DESIGNS "CREEKVIEW BENCH WITH BACK" COLOR SELECTION FROM STANDARD COLOR PALETTE AS SELECTED BY OWNER/ARCHITECT TO MATCH/COMPLIMENT BUILDING FINISH METALS. VERIFY QUANTITY & LOCATION W/ OWNER
13.0	SPECIAL CONSTRUCTION
14.0	CONVEYING SYSTEMS
15.0	MECHANICAL
15.1	ROOF DRAIN LEADER. REFER TO PLUMBING PLANS
15.2	RTU CURB & UNIT, ABOVE. REFER TO ROOF PLAN & MECHANICAL PLANS FOR ADDITIONAL INFORMATION
15.3	GAS METER LOCATION PREFERENCE. REFER TO MECHANICAL/PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION. COORDINATE W. UTILITY PROVIDER
15.4	FIRE RISER. REFER TO MECHANICAL/PLUMBING AND/OR FIRE PROTECTION PLAN FOR ADDITIONAL INFORMATION
16.0	ELECTRICAL
16.1	ELECTRICAL EQUIPMENT. COORDINATE EQUIPMENT WITH ELECTRICAL DRAWINGS.
16.2	TRANSFORMER LOCATION PREFERENCE. REFER TO CIVIL UTILITY DRAWINGS & COORDINATE W/ UTILITY PROVIDER



Newland Developments, LLC  
3120 Hangerman Ave. Powell, Ohio 43065  
614.753.7053 | Newland-Eng@newland.com

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[Mixed-Use Redevelopment & Restoration]

**Campbell Manor**  
173 West Olentangy Street  
Powell, Ohio 43065  
319-432-02-00-3000

#	DATE	DRAWN BY	ISSUED FOR / REQUESTED BY
1	11.16.2023	Eric Newland	Submitted for Sketch Plan Review



**First Floor Plan**

Date: 11.16.2023  
Drawing Type: Design Dev.  
Unit(s): Landlord Shell & Redev.  
Sheet:

**A1.1**

First Floor Plan  
Scale: 3/16" = 1'-0"





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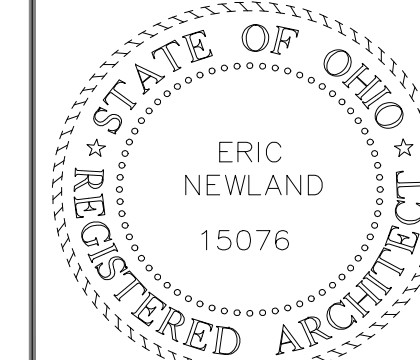
[Mixed-Use Redevelopment &amp; Restoration]

# Campbell Manor

173 West Olentangy Street  
Powell, Ohio 43065  
319-432-02-00-3000

[illegible]

SEAL



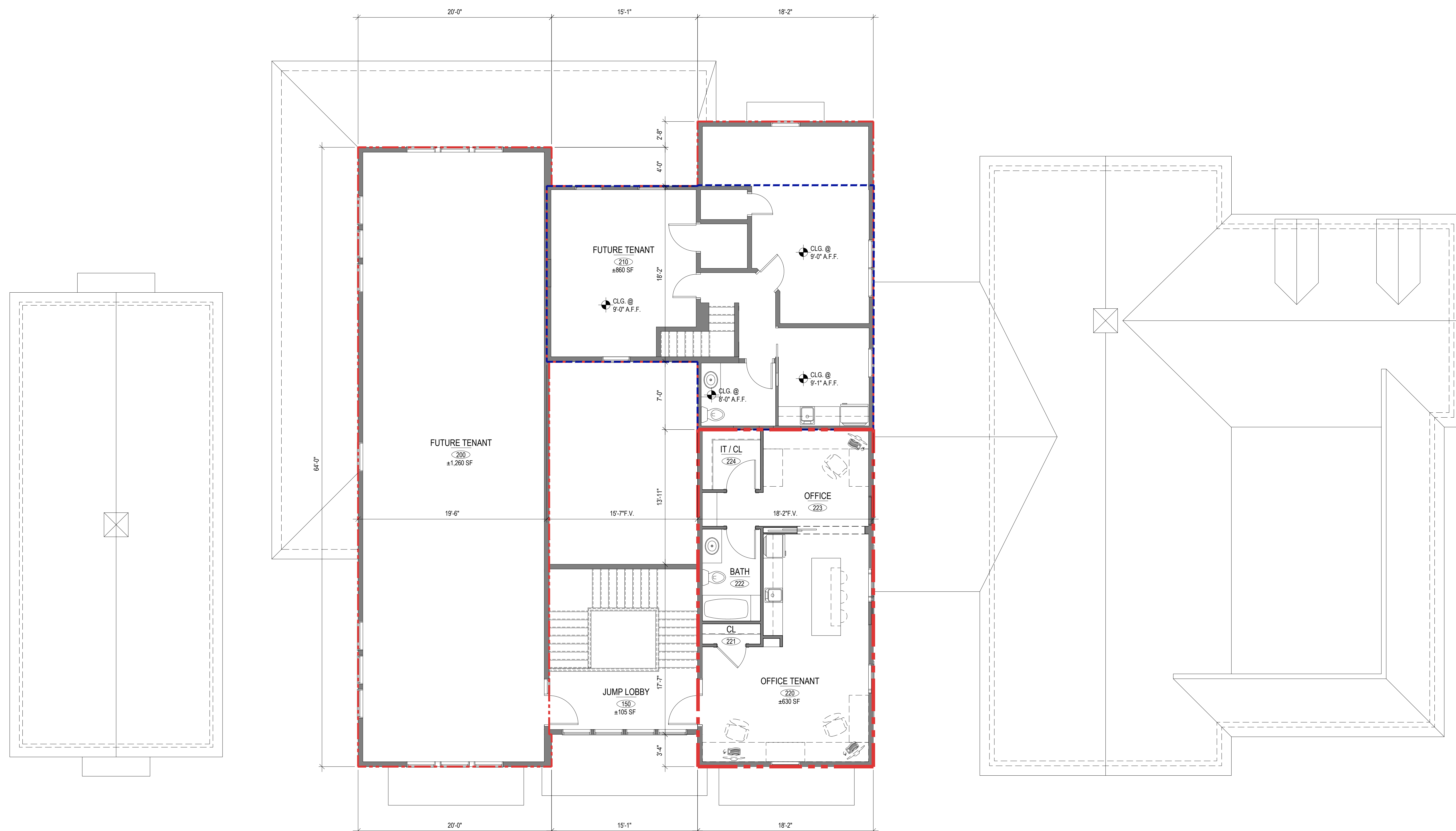
ERIC R. NEWLAND:  
LICENSE #15076  
EXPIRATION 12/31/2023

## Second Floor Plan

Date: 11.16.2023  
Drawing Type: Design Development  
Unit(s): Landlord Shell & Redevelopment  
Sheet:

## A1.2

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KEY NOTE LEGEND	
1.0	GENERAL DATA
2.0	SITE WORK
2.1	LANDSCAPE BED. REFER TO LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION
3.0	CONCRETE
3.1	FROST SLAB -REFER TO STRUCTURAL DRAWINGS, TYP.
3.2	5" CONCRETE SLAB. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
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3.4	ACCESSIBLE RAMP W/ COLOR CONTRACT & TEXTURE INDICATION. REFER TO CIVIL DRAWINGS FOR ADDITIONAL INFORMATION
4.0	MASONRY
4.1	MASONRY CONTROL JOINT. REFER TO ELEVATIONS & SPEC'S
5.0	METALS
5.1	
6.0	WOOD & PLASTICS
6.1	
7.0	THERMAL & MOISTURE PROTECTION
8.0	DOORS & WINDOWS
8.1	STOREFRONT ENTRY & WINDOW SYSTEM. REFER TO DOOR & WINDOW SCHEDULE FOR ADDITIONAL INFORMATION
9.0	FINISHES
10.0	SPECIALTIES
10.1	RECESSED KNOX BOX CENTERED WITHIN MASONRY. REFER TO EXTERIOR ELEVATION DETAILS. VERIFY LOCATION W/ FIRE MARSHALL PRIOR TO INSTALLATION.
10.2	4" DIA. EXTERIOR BOLLARD W/ YELLOW SLEEVE
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10.4	FUTURE EXTERIOR PATIO RAIL BY TENANT. SELECTION. STYLE, EXTENTS, MATERIAL TBD
10.5	BOTTLE-MOUNTED FIRE EXTINGUISHER. VERIFY LOCATIONS & QUANTITIES W/ FIRE MARSHALL & FIXTURE PLAN PRIOR TO INSTALLATION. PROVIDE ADEQUATE BLOCKING. PROVIDE 18"x7" PLASTIC "3-WAY" SIGN ABOVE (EMEDCO 33586). PROVIDE EXTINGUISHER, SIZE & TYPE AS REQUIRED
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16.0	ELECTRICAL
16.1	ELECTRICAL EQUIPMENT. COORDINATE EQUIPMENT WITH ELECTRICAL DRAWINGS.
16.2	TRANSFORMER LOCATION PREFERENCE. REFER TO CIVIL UTILITY DRAWINGS & COORDINATE W/ UTILITY PROVIDER

## Second Floor Plan

Scale: 3/16" = 1'-0"





Proposed Overall Front (North) Elevation

Scale: 3/16" = 1'-0"



Proposed Rendered Front (North) Elevation

Scale: 3/16" = 1'-0"



Proposed Overall Rear (South) Elevation

Scale: 3/16" = 1'-0"



Proposed Rendered Rear (South) Elevation

Scale: 3/16" = 1'-0"

ELEVATION NOTES

1. ALL MATERIALS & SYSTEMS TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS, TYP.
2. ELEVATION & MATERIAL PROFILES TO WRAP OUTSIDE CORNERS & EXTEND TO WALL, BEYOND, TYP. WHERE NOT SHOWN.
3. PROVIDE MASONRY CONTROL JOINTS AS SHOWN AND AT DOOR AND WINDOW LOCATIONS.
4. REFER TO BUILDING SECTIONS FOR ADDITIONAL MASONRY ACCT INFORMATION.
5. ALL MATERIALS NOT LABELED ARE TYPICAL FOR ALL SIMILAR LOCATIONS.
6. PROTECT/SHIELD MASONRY UNITS & PROJECTION/CHAMFERED COURSES FROM MORTAR DROPPINGS DURING CONSTRUCTION.

MATERIAL LEGEND

SYMBOL	DESCRIPTION
STONE	RUSTIC FOUNDATION STONE: MANUFACTURER: TBD COLOR: TBD NOTES: SIZE, TEXTURE, COLOR, COURSING TO MATCH EXTG.
BRICK	4" BRICK VENEER: MANUFACTURER: BELDEN BRICK COLOR: HOMESTEAD BLEND SIZE: MODULAR RUNNING BOND, U.N.O. NOTES: REFER TO ELEVATIONS NOTES FOR COURSING INFORMATION
SDNG-H	HORIZONTAL COMPOSITE SIDING MANUFACTURER: JAMES HARDIE BUILDING PRODUCTS / ALT. NATURAL WOOD COLOR: MATCH PT-1 EXPOSURE: 6 1/2"
SDNG-V	VERTICAL BOARD & BATTEN COMPOSITE SIDING MANUFACTURER: JAMES HARDIE BUILDING PRODUCTS / ALT. NATURAL WOOD COLOR: PT-3
SHAKE	SHAKE-STLYE SIDING MANUFACTURER: JAMES HARDIE BUILDING PRODUCTS / ALT. NATURAL WOOD COLOR: MATCH PT-1
TRIM-1	1x6 VERTICAL CORNER BOARD MANUFACTURER: JAMES HARDIE BUILDING PRODUCTS / ALT. NATURAL WOOD COLOR: PT-2
TRIM-2	1x10 BAND BOARD MANUFACTURER: JAMES HARDIE BUILDING PRODUCTS / ALT. NATURAL WOOD COLOR: PT-2
LF-1	GOOSENECK STYLE EXTERIOR LED LIGHTING FIXTURE NOTES: FINISH TO MATCH MTL-1. FINAL SELECTION BY ARCHITECT
SHNG	EXTG. LAMINATED 30-YR. ASPHALT SHINGLES W/ INTEGRAL RIDGE VENT SYSTEM MANUFACTURER: CERTAINTEED, OR EQ. COLOR: LANDMARK PRO "WEATHERED WOOD"
SSMR	STANDING SEAM METAL ROOFING SYSTEM MANUFACTURER: PAC CLAD, OR EQ. COLOR: "MUSKET GRAY"
H-RAIL	WOOD RAILING SYSTEM MANUFACTURER: TBD COLOR: PT-2 BASE; PT-4 TOP RAIL
BRACKT	NEW FUNCTIONAL WOOD BRACKET COLOR: PT-2 NOTES: 16"H x 8"D x 5"W CONFIRM PROFILE SELECTION W/ ARCHITECT
WINDW	NEW WOOD WINDOWS MANUFACTURER: JELD-WEN OR EQ. COLOR: EXTERIOR & INTERIOR TO MATCH PT-4 NOTES: COORDINATE MUTTON/GRILL PATTERNS W/ EXTERIOR ELEVATIONS
FASCA	1x NOM. PAINTED FASCIA BOARD W/ APPLIED MANUFACTURER: AZEK, OR EQ. / ALT. NATURAL WOOD COLOR: PT-2
FRZE	1x10 NOM. PAINTED FRIEZE BOARD W/ 4" CROWN MANUFACTURER: AZEK, OR EQ. / ALT. NATURAL WOOD COLOR: PT-2
VENT-1	ATTIC VENT MANUFACTURER: AZEK, OR EQ. COLOR: PT-4 NOTES: REFER TO EXTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION
VENT-2	RIDGE VENT W/ INSECT SCREEN MANUFACTURER: CERTAINTEED, OR EQ. COLOR: MATCH "SHNG-1" NOTES: REFER TO ROOF PLAN FOR ADDITIONAL INFORMATION
MAS-S	4" MAUF. STONE SILL MANUFACTURER: ROCKCAST OR EQ. COLOR: CHARLOTTE TAN NOTES: REFER TO EXTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION & PROFILE
CUPLA	PRE-FABRICATED CUPOLA MANUFACTURER: CAMPBELLSVILLE INDUSTRIES OR EQ. MODEL: RC-20B NOTES: PROVIDE CRUCIFORM FINIAL/WEATHERVANE. METAL ROOF TO MATCH "SSMR"
COL-1	WRAPPED, STRUCTURAL COLUMN COLOR: PT-2 NOTES: REFER TO DETAIL X/AX.X FOR ADDITIONAL INFO.
SCRN-1	6x WD. COW RAIL UNDER-DECK SCREEN / ALT. NATURAL WOOD LATTICE COLOR: PT-2 NOTES: REFER TO DETAIL X/AX.X FOR ADDITIONAL INFO.
PT-1	EXTERIOR GRADE PAINT MANUFACTURER: SHERWIN WILLIAMS COLOR: SW 2822 "DOWNING SAND" NOTES: BASE PAINT. REFER TO EXTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION
PT-2	EXTERIOR GRADE PAINT MANUFACTURER: SHERWIN WILLIAMS COLOR: SW 2829 "CLASSICAL WHITE" NOTES: TRIM PAINT. REFER TO EXTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION
PT-3	EXTERIOR GRADE PAINT MANUFACTURER: SHERWIN WILLIAMS COLOR: SW 2814 "ROCKWOOD ANTIQUE GOLD" NOTES: ENTRY DOOR PAINT / ACCENT. REFER TO EXTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION
PT-4	EXTERIOR GRADE PAINT MANUFACTURER: SHERWIN WILLIAMS COLOR: TBD (GRAY/CHARCOAL) NOTES: SHUTTERS, GABLE VENTS, ACCENTS, SIGNAGE LETTERS. TO MATCH "MTL-1" VERIFY SELECTION W/ ARCHITECT
MTL-1	PRE-FINISHED ALUMINUM MANUFACTURER: PAC CLAD OR EQ. COLOR: MUSKET GRAY NOTES: METAL CORNERS, ROOFING, AWNINGS. REFER TO EXTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION
MATERIAL	MANUFACTURER: COLOR
MORTAR	NATURAL GRAY
EXTERIOR CAULK/SEALANTS	TREMCO, OR EQ. MATCH ADJ. CONST.
CAP FLASHING / GUTTERS / DOWNSPOUTS	MATCH PT-1
UNDERSIDE, EXPOSED UNITS & SOFFITS	MATCH PT-2



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3125 Hargrave Ave. Powell, Ohio 43065  
614-750-7050 | newland-dev.com

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[Mixed-Use Redevelopment & Restoration]

**Campbell Manor**

173 West Olentangy Street  
Powell, Ohio 43065  
319-432-02-00-3000

#	DATE	DRAWN BY	ISSUED FOR / REQUESTED BY
1	11-16-2023	Eric Newland	Submitted for Sketch Plan Review

SEAL:



ERIC R. NEWLAND  
LICENSE #15076  
EXPIRATION 12/31/2023

**Exterior Elevations**

Date: 11-16-2023  
Drawing Type: Design Dev.  
Unit(s): Landlord Shell & Redev.  
Sheet:

**A2.0**

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- ### ELEVATION NOTES
1. ALL MATERIALS & SYSTEMS TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS, TYP.
  2. ELEVATION & MATERIAL PROFILES TO WRAP OUTSIDE CORNERS & EXTEND TO WALL, BEYOND, TYP. WHERE NOT SHOWN
  3. PROVIDE MASONRY CONTROL JOINTS AS SHOWN AND AT DOOR AND WINDOW LOCATIONS.
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SYMBOL	DESCRIPTION
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TRIM-1	1x6 VERTICAL CORNER BOARD MANUFACTURER: JAMES HARDIE BUILDING PRODUCTS / ALT. NATURAL WOOD COLOR: PT-2
TRIM-2	1x10 BAND BOARD MANUFACTURER: JAMES HARDIE BUILDING PRODUCTS / ALT. NATURAL WOOD COLOR: PT-2
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SSMR	STANDING SEAM METAL ROOFING SYSTEM MANUFACTURER: PAC CLAD, OR EQ. COLOR: "MUSKET GRAY"
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MAS-S	4" MAUF. STONE SILL MANUFACTURER: ROCKCAST OR EQ. COLOR: CHARLOTTE TAN NOTES: REFER TO EXTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION & PROFILE
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CAP FLASHING / GUTTERS / DOWNSPOUTS	MATCH PT-1
UNDERSIDE, EXPOSED LINTELS & SOFFITS	MATCH PT-2



Newland Developments, LLC  
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614-753-7053 | Newland-Eng@newland.com

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**Campbell Manor**  
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Powell, Ohio 43065  
319-432-02-00-3000

#	DATE	DRAWN BY	ISSUED FOR / REQUESTED BY
1	11.16.2023	Eric Newland	Submitted for Sketch Plan Review

SEAL:

STATE OF OHIO  
REGISTERED ARCHITECT  
ERIC NEWLAND  
15076

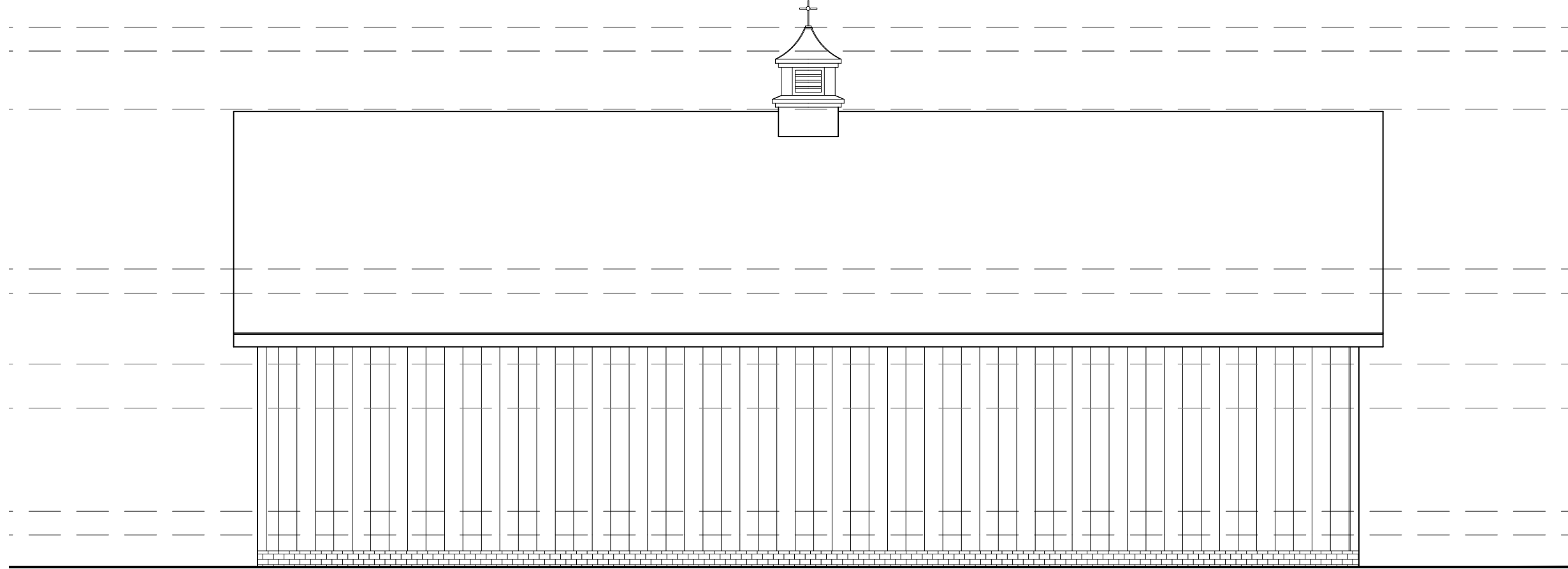
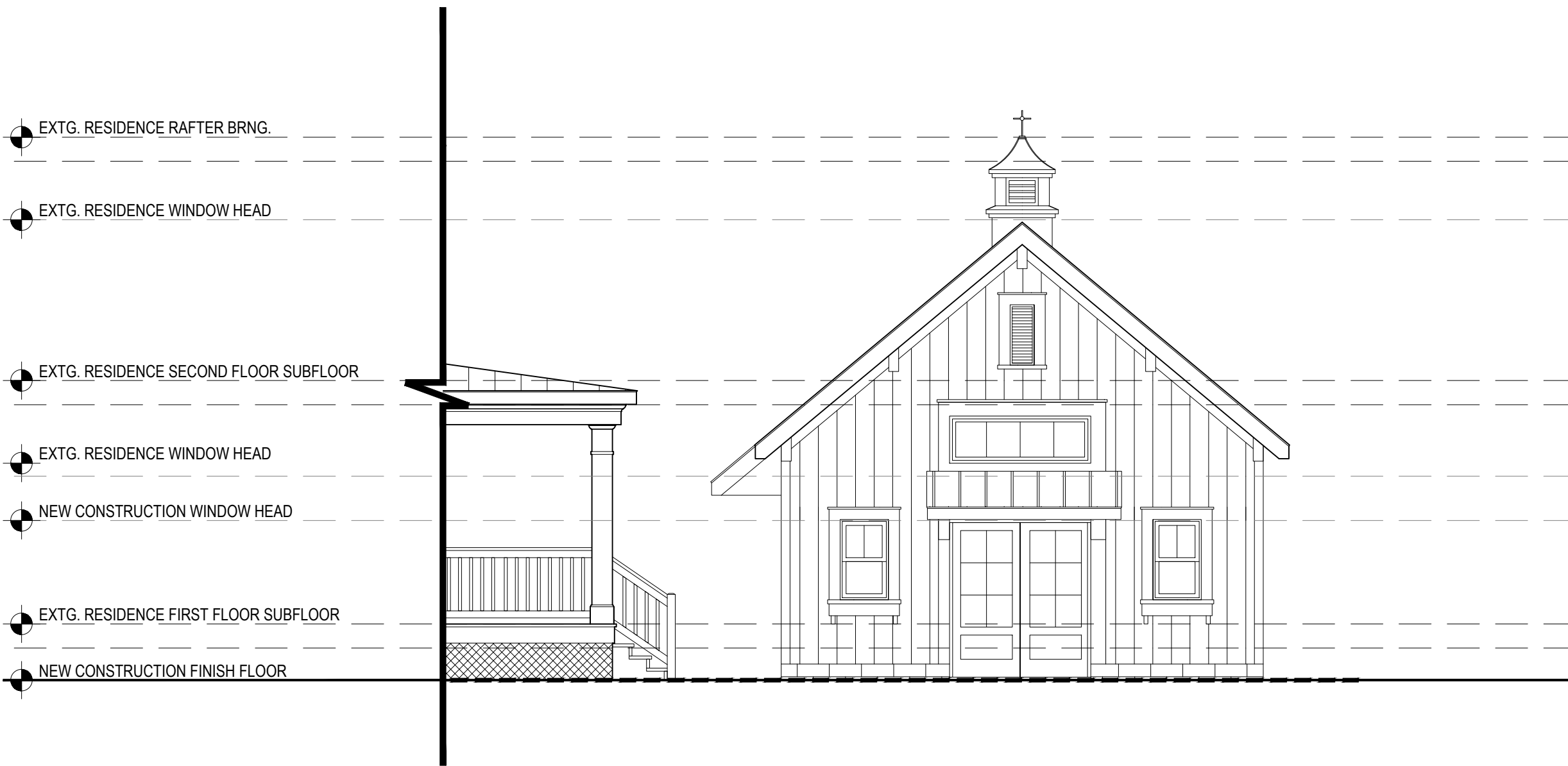
ERIC R. NEWLAND:  
LICENSE #15076  
EXPIRATION 12/31/2023

**Exterior Elevations**

Date: 11.16.2023  
Drawing Type: Design Dev.  
Unit(s): Landlord Shell & Redev.  
Sheet:

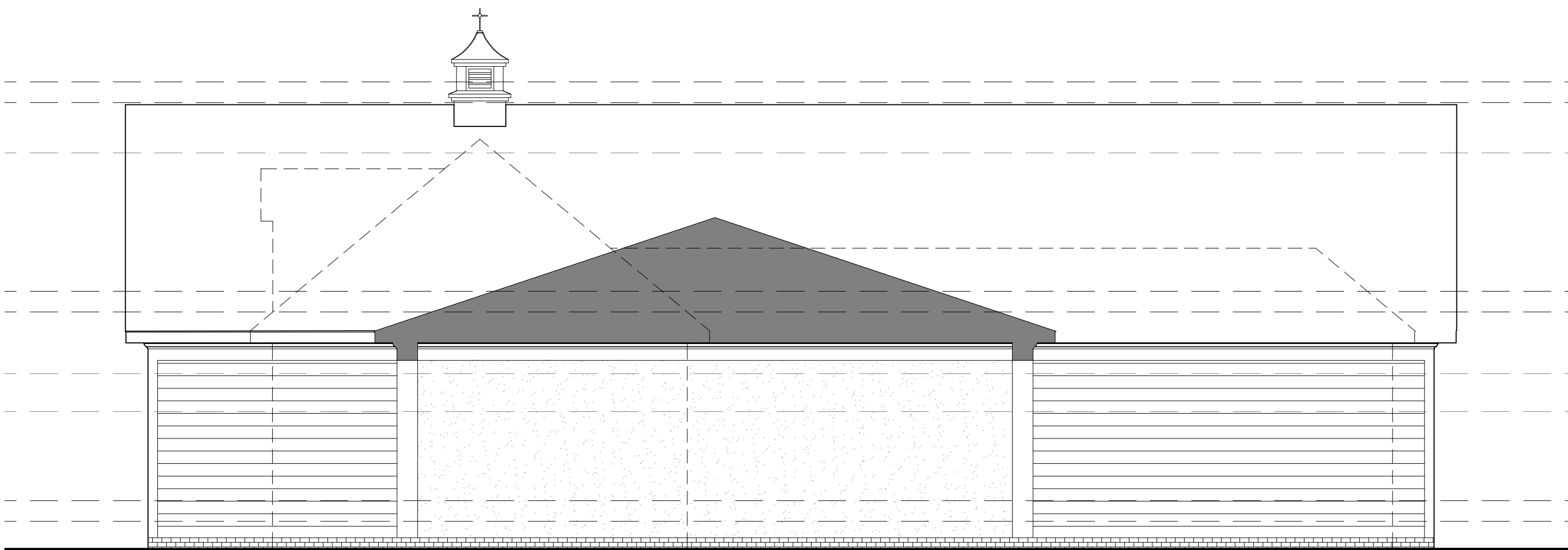
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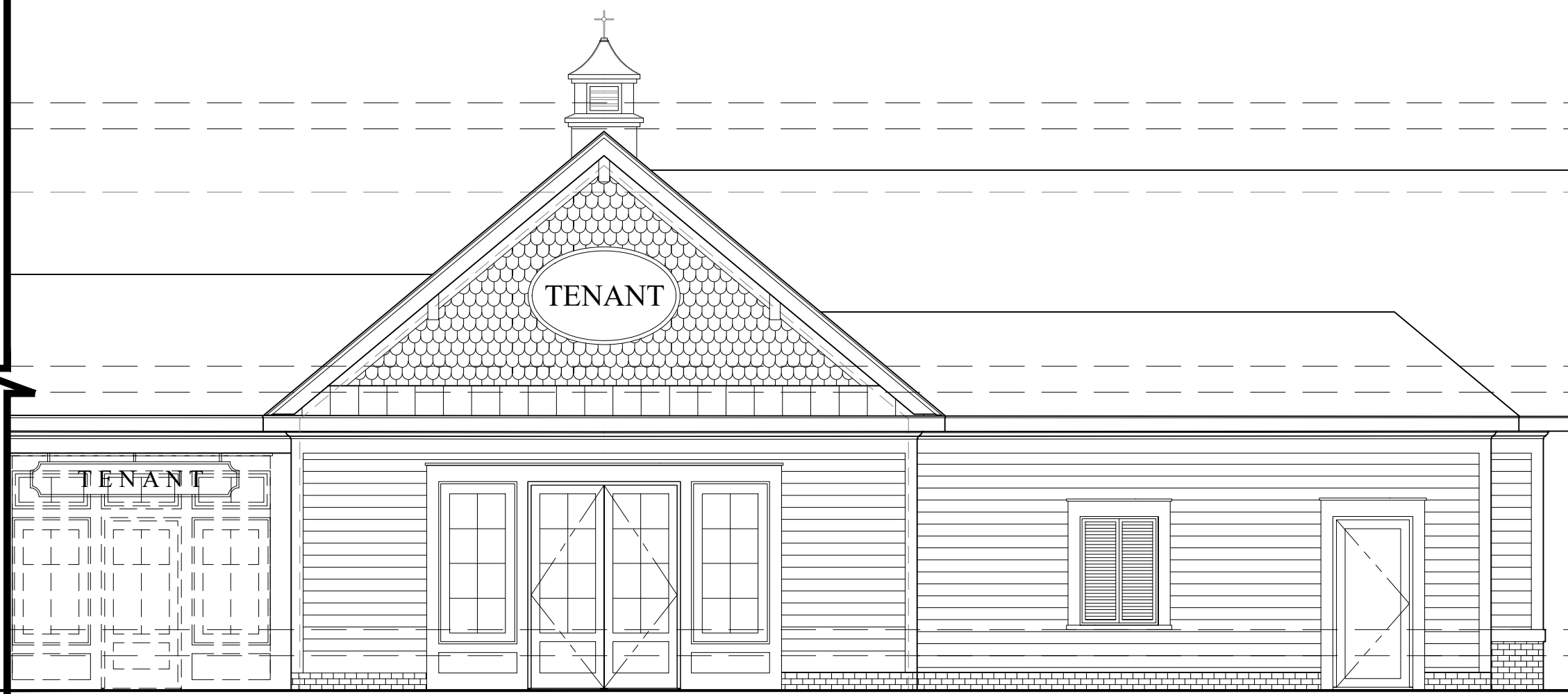
Proposed Partial Front (North) Elevation

Scale: 3/16" = 1'-0"



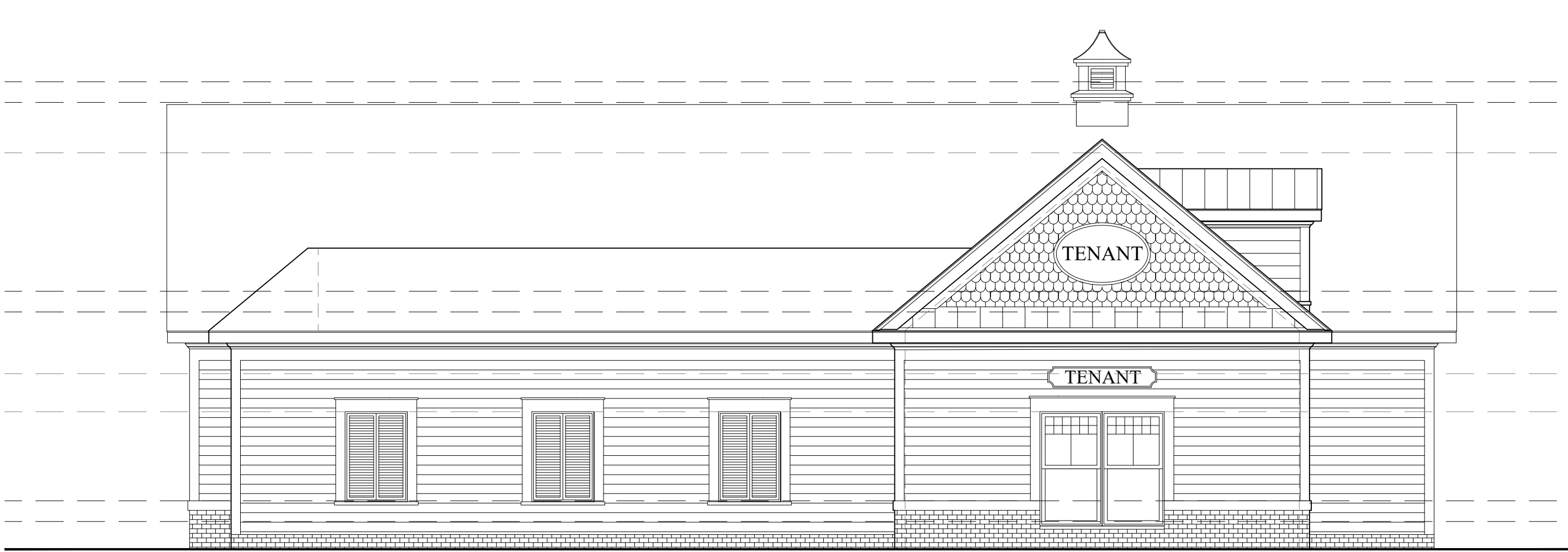
Proposed Partial Right (West) Elevation

Scale: 3/16" = 1'-0"



Proposed Partial Rear (South) Elevation

Scale: 3/16" = 1'-0"



Proposed Partial Left (East) Elevation

Scale: 3/16" = 1'-0"

## ELEVATION NOTES

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3. PROVIDE MASONRY CONTROL JOINTS AS SHOWN AND AT DOOR AND WINDOW LOCATIONS.
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## MATERIAL LEGEND

SYMBOL	DESCRIPTION
STONE	RUSTIC FOUNDATION STONE: MANUFACTURER: TBD COLOR: TBD NOTES: SIZE, TEXTURE, COLOR, COURSING TO MATCH EXTG.
BRICK	4" BRICK VENEER: MANUFACTURER: BELDEN BRICK COLOR: HOMESTEAD BLEND SIZE: MODULAR, RUNNING BOND, U.N.O. NOTES: REFER TO ELEVATIONS NOTES FOR COURSING INFORMATION
SDNG-H	HORIZONTAL COMPOSITE SIDING MANUFACTURER: JAMES HARDIE BUILDING PRODUCTS / ALT. NATURAL WOOD COLOR: MATCH PT-1 EXPOSURE: 6 1/2"
SDNG-V	VERTICAL BOARD & BATTEN COMPOSITE SIDING MANUFACTURER: JAMES HARDIE BUILDING PRODUCTS / ALT. NATURAL WOOD COLOR: PT-3
SHAKE	SHAKE-STLYE SIDING MANUFACTURER: JAMES HARDIE BUILDING PRODUCTS / ALT. NATURAL WOOD COLOR: MATCH PT-1
TRIM-1	1x6 VERTICAL CORNER BOARD MANUFACTURER: JAMES HARDIE BUILDING PRODUCTS / ALT. NATURAL WOOD COLOR: PT-2
TRIM-2	1x10 BAND BOARD MANUFACTURER: JAMES HARDIE BUILDING PRODUCTS / ALT. NATURAL WOOD COLOR: PT-2
LF-1	GOOSENECK STYLE EXTERIOR LED LIGHTING FIXTURE NOTES: FINISH TO MATCH MTL-1. FINAL SELECTION BY ARCHITECT
SHNG	EXTG. LAMINATED 30-YR. ASPHALT SHINGLES W/ INTEGRAL RIDGE VENT SYSTEM MANUFACTURER: CERTAINTEED, OR EQ. COLOR: LANDMARK PRO "WEATHERED WOOD"
SSMR	STANDING SEAM METAL ROOFING SYSTEM MANUFACTURER: PAC CLAD, OR EQ. COLOR: "MUSKET GRAY"
H-RAIL	WOOD RAILING SYSTEM MANUFACTURER: TBD COLOR: PT-2 BASE, PT-4 TOP RAIL
BRACKT	NEW FUNCTIONAL WOOD BRACKET COLOR: PT-2 NOTES: 16"H x 8"D x 5"W CONFIRM PROFILE SELECTION W/ ARCHITECT
WINDW	NEW WOOD WINDOWS MANUFACTURER: JELD-WEN OR EQ. COLOR: EXTERIOR & INTERIOR TO MATCH PT-4 NOTES: COORDINATE MUTTON/GRILL PATTERNS W/ EXTERIOR ELEVATIONS
FASCA	1x NOM. PAINTED FASCIA BOARD W/ APPLIED MANUFACTURER: AZEK, OR EQ. / ALT. NATURAL WOOD COLOR: PT-2
FRZE	1x10 NOM. PAINTED FRIEZE BOARD W/ 4" CROWN MANUFACTURER: AZEK, OR EQ. / ALT. NATURAL WOOD COLOR: PT-2
VENT-1	ATTIC VENT MANUFACTURER: AZEK, OR EQ. COLOR: PT-4 NOTES: REFER TO EXTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION
VENT-2	RIDGE VENT W/ INSECT SCREEN MANUFACTURER: CERTAINTEED, OR EQ. COLOR: MATCH "SHNG-1" NOTES: REFER TO ROOF PLAN FOR ADDITIONAL INFORMATION
MAS-S	4" MAUF. STONE SILL MANUFACTURER: ROCKCAST OR EQ. COLOR: CHARLOTTE TAN NOTES: REFER TO EXTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION & PROFILE
CUPLA	PRE-FABRICATED CUPOLA MANUFACTURER: CAMPBELLVILLE INDUSTRIES OR EQ. MODEL: RC-20B NOTES: PROVIDE CRUCIFORM FINIAL/WEATHERVANE. METAL ROOF TO MATCH "SSMR"
COL-1	WRAPPED, STRUCTURAL COLUMN COLOR: PT-2 NOTES: REFER TO DETAIL X/AX.X FOR ADDITIONAL INFO.
SCRN-1	6x WD. COW RAIL UNDER-DECK SCREEN / ALT. NATURAL WOOD LATTICE COLOR: PT-2 NOTES: REFER TO DETAIL X/AX.X FOR ADDITIONAL INFO.
PT-1	EXTERIOR GRADE PAINT MANUFACTURER: SHERWIN WILLIAMS COLOR: SW 2822 "DOWNING SAND" NOTES: BASE PAINT. REFER TO EXTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION
PT-2	EXTERIOR GRADE PAINT MANUFACTURER: SHERWIN WILLIAMS COLOR: SW 2823 "CLASSICAL WHITE" NOTES: TRIM PAINT. REFER TO EXTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION
PT-3	EXTERIOR GRADE PAINT MANUFACTURER: SHERWIN WILLIAMS COLOR: SW 2814 "ROCKWOOD ANTIQUE GOLD" NOTES: ENTRY DOOR PAINT / ACCENT. REFER TO EXTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION
PT-4	EXTERIOR GRADE PAINT MANUFACTURER: SHERWIN WILLIAMS COLOR: TBD (GRAY/CHARCOAL) NOTES: SHUTTERS, GABLE VENTS, ACCENTS, SIGNAGE LETTERS. TO MATCH "MTL-1" VERIFY SELECTION W/ ARCHITECT
MTL-1	PRE-FINISHED ALUMINUM MANUFACTURER: PAC CLAD OR EQ. COLOR: MUSKET GRAY NOTES: METAL COPINGS, ROOFING, AWNINGS. REFER TO EXTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION
MATERIAL	MANUFACTURER: COLOR
MORTAR	NATURAL GRAY
EXTERIOR CAULK/SEALANTS	TRENCO, OR EQ. MATCH ADJ. CONST.
CAP FLASHING / GUTTERS / DOWNSPOUTS	MATCH PT-1
UNDERSIDE, EXPOSED UNTELS & SOFFITS	MATCH PT-2



Newland Developments, LLC

3150 Hargrave Ave. Powell, Ohio 43065  
614-750-7000 | newland-dev@outlook.com

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[Mixed-Use Redevelopment & Restoration]

Campbell Manor

173 West Olentangy Street

Powell, Ohio 43065

319-432-02-00-3000

# DATE 1 11 16 2023

DRAWN BY Eric Newland

ISSUED FOR / REQUESTED BY Submitted for Sketch Plan Review

SEAL:



ERIC R. NEWLAND:  
LICENSE #15076  
EXPIRATION 12/31/2023

Exterior Elevations

Date: 11.16.2023  
Drawing Type: Design Dev.  
Unit(s): Landlord Shell & Redev.  
Sheet:

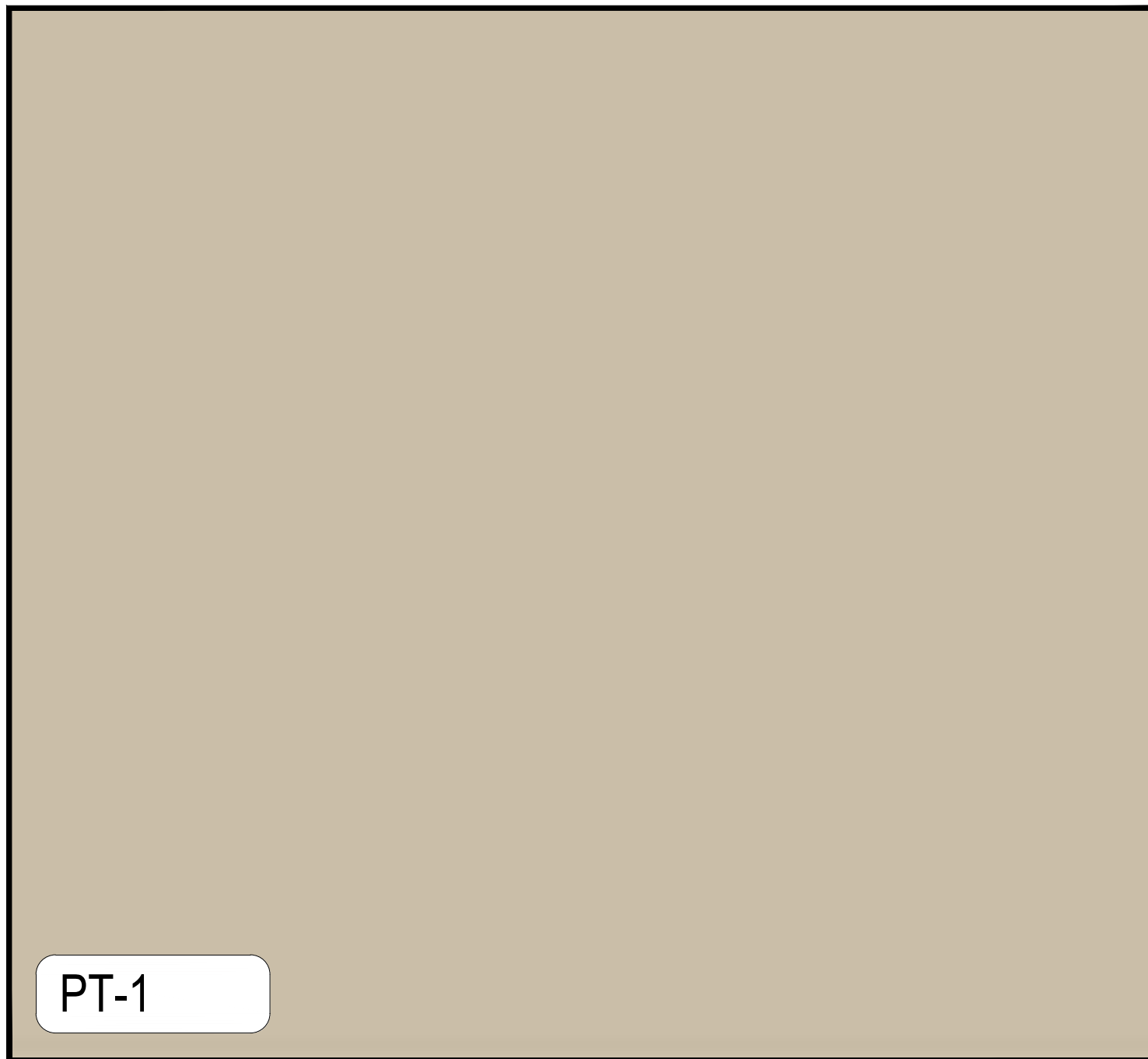
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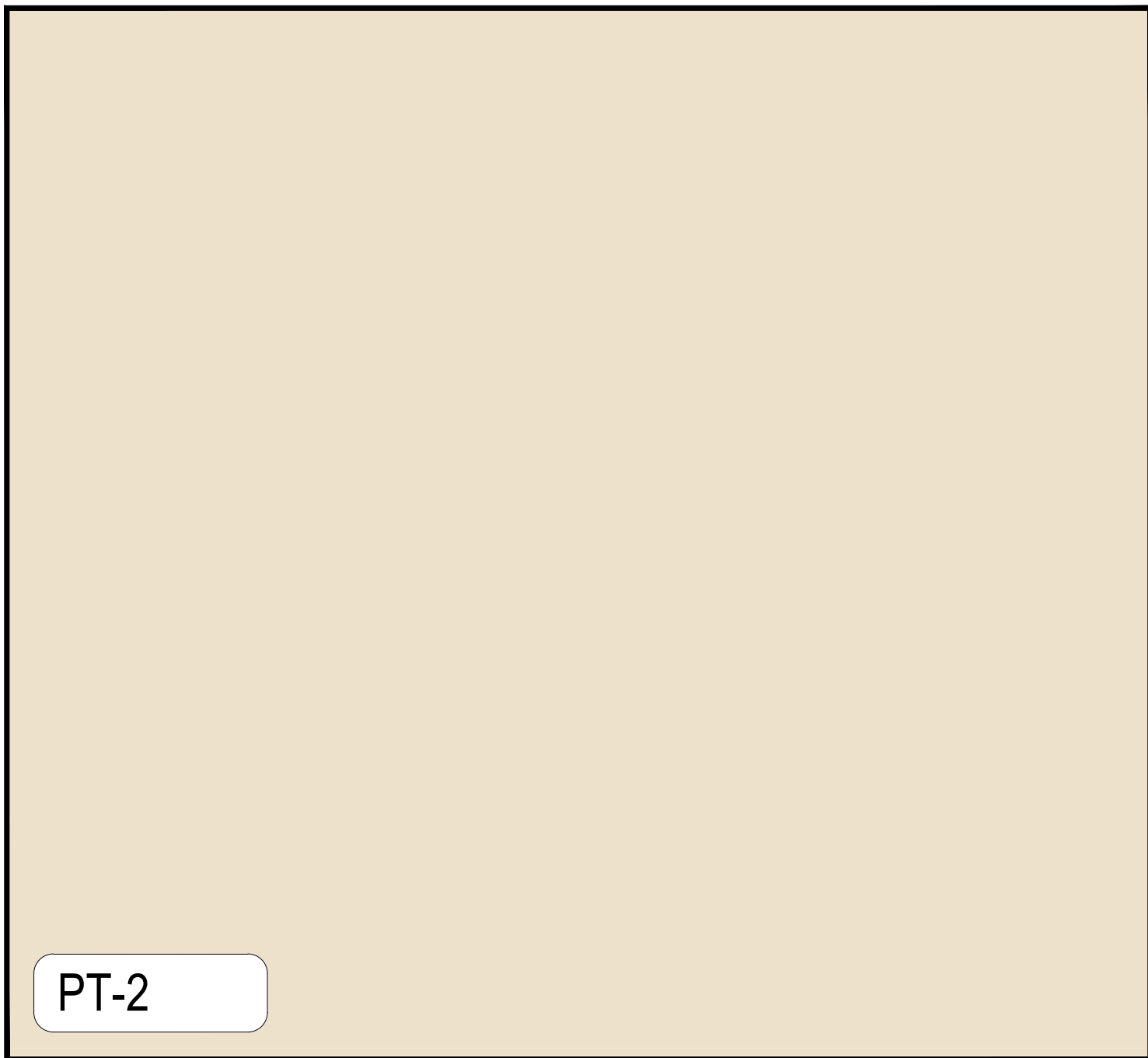




MTL-1; PT-4



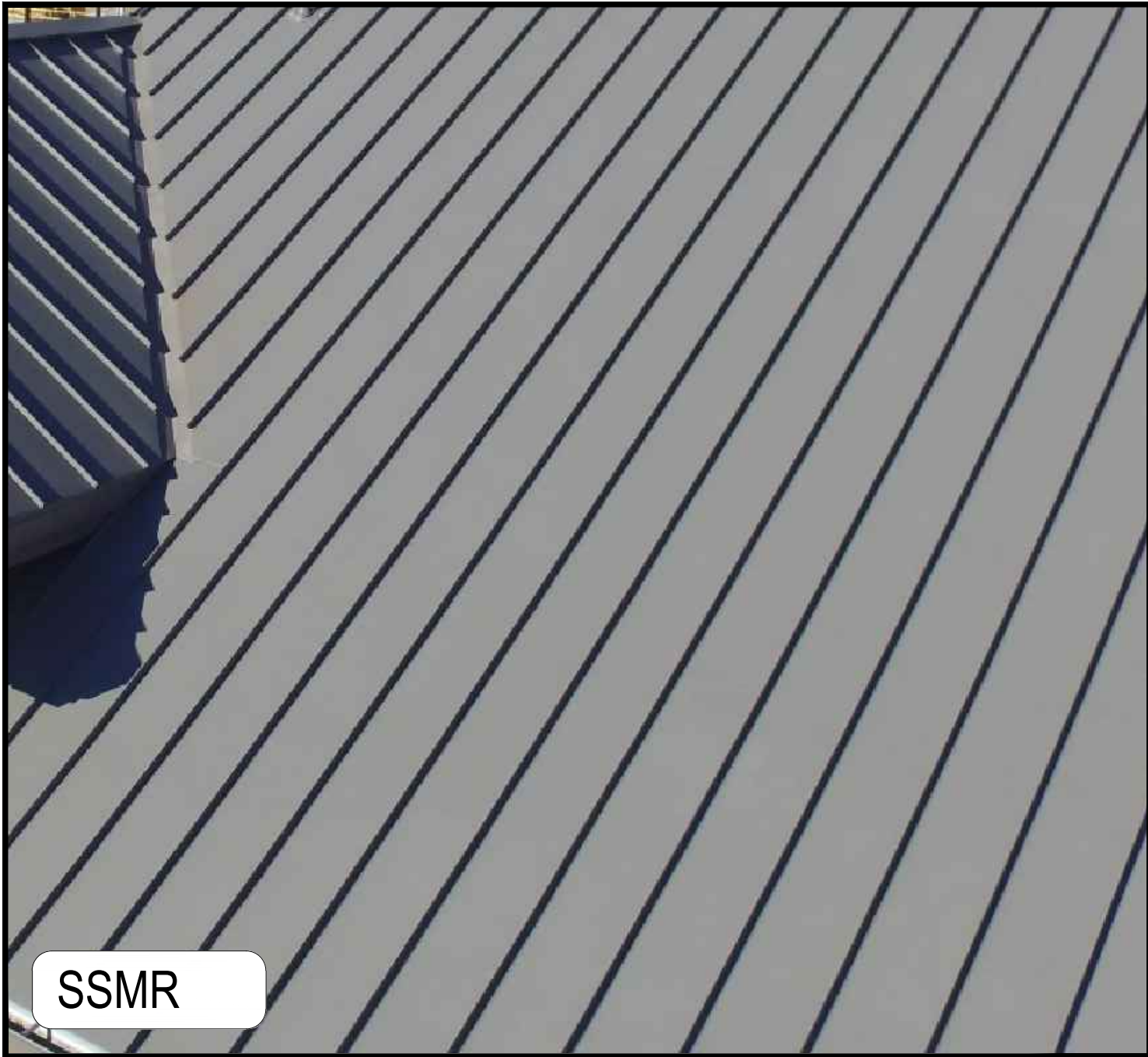
PT-1



PT-2



PT-3



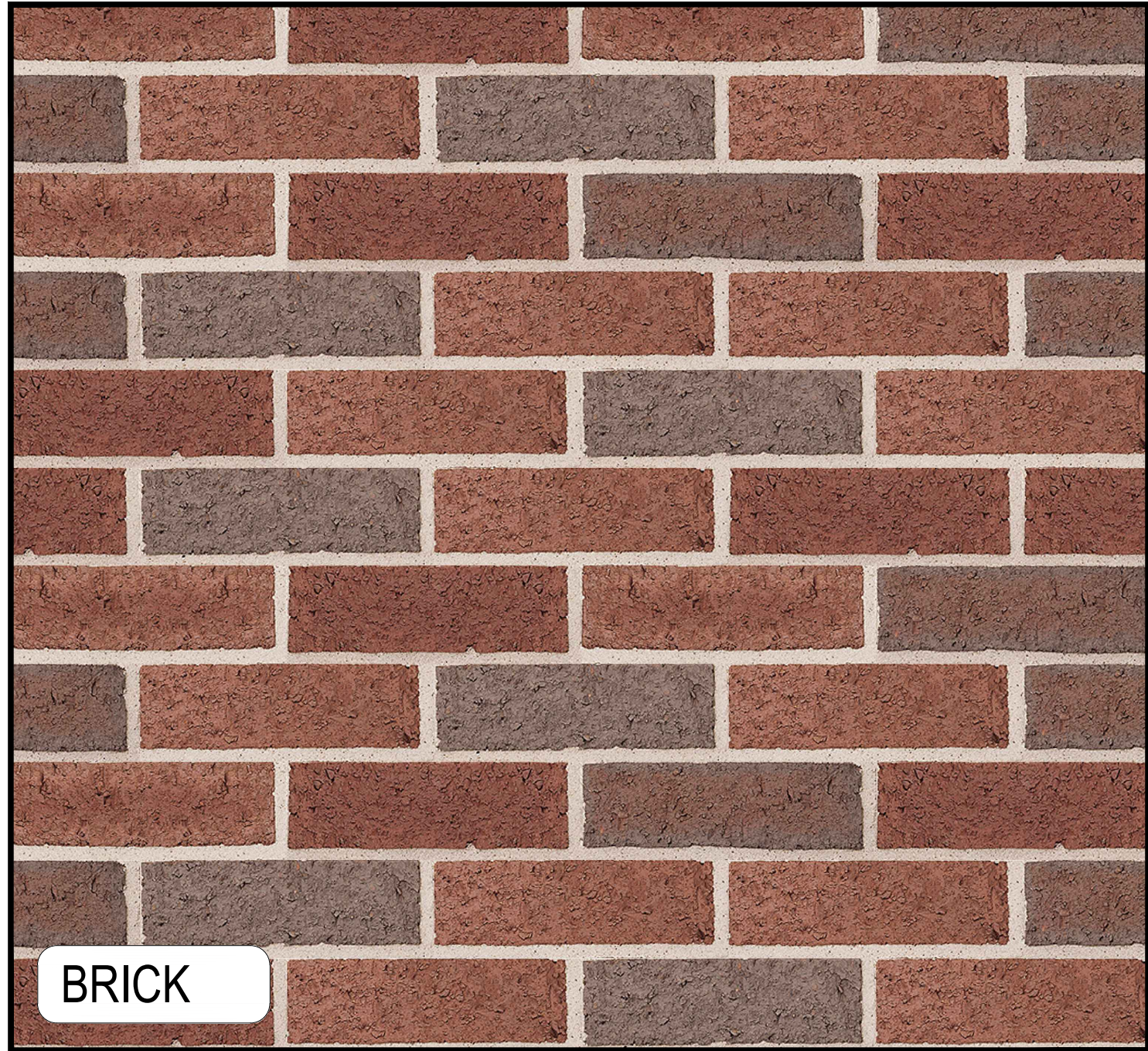
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SHNG



MAS-S



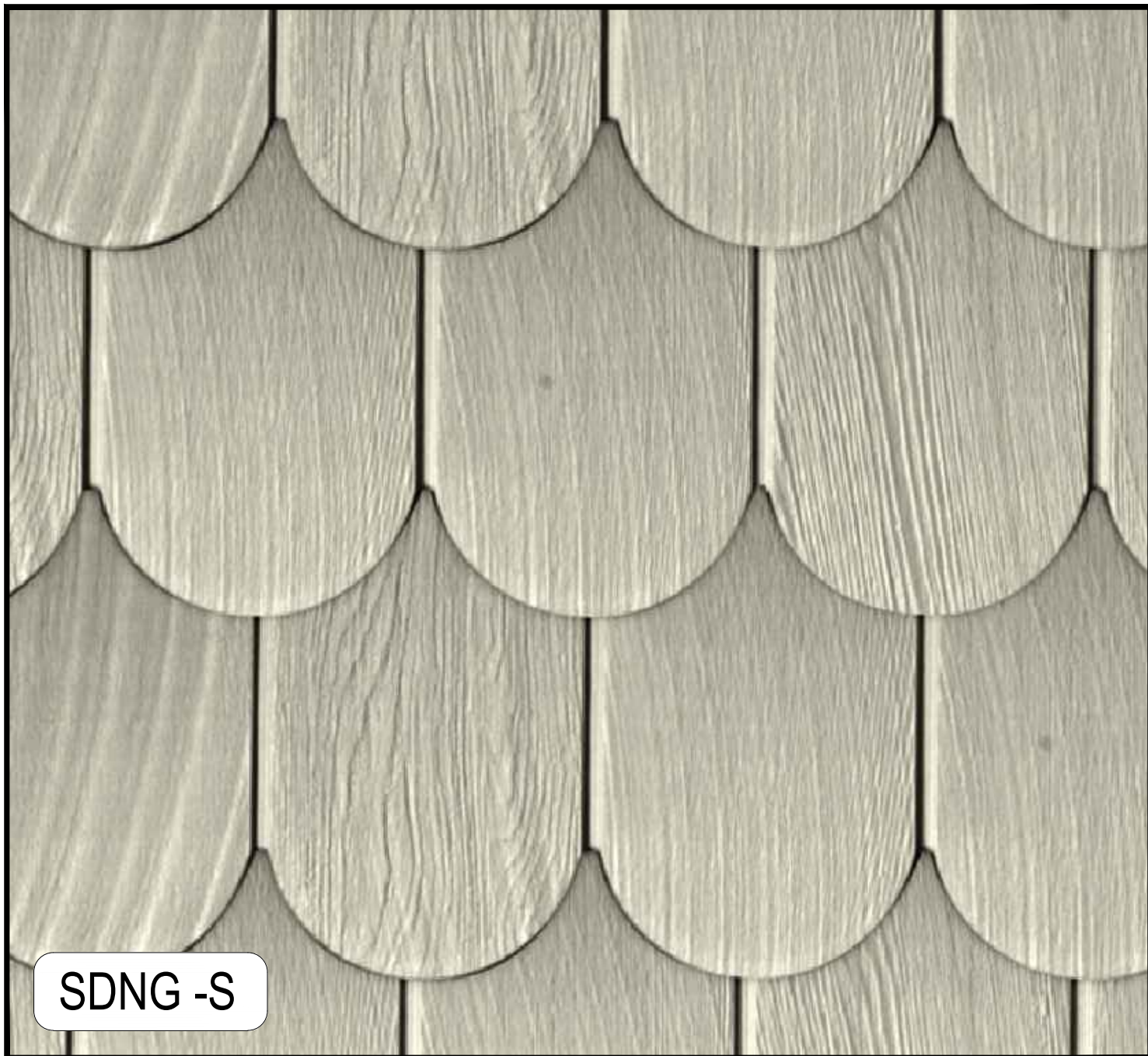
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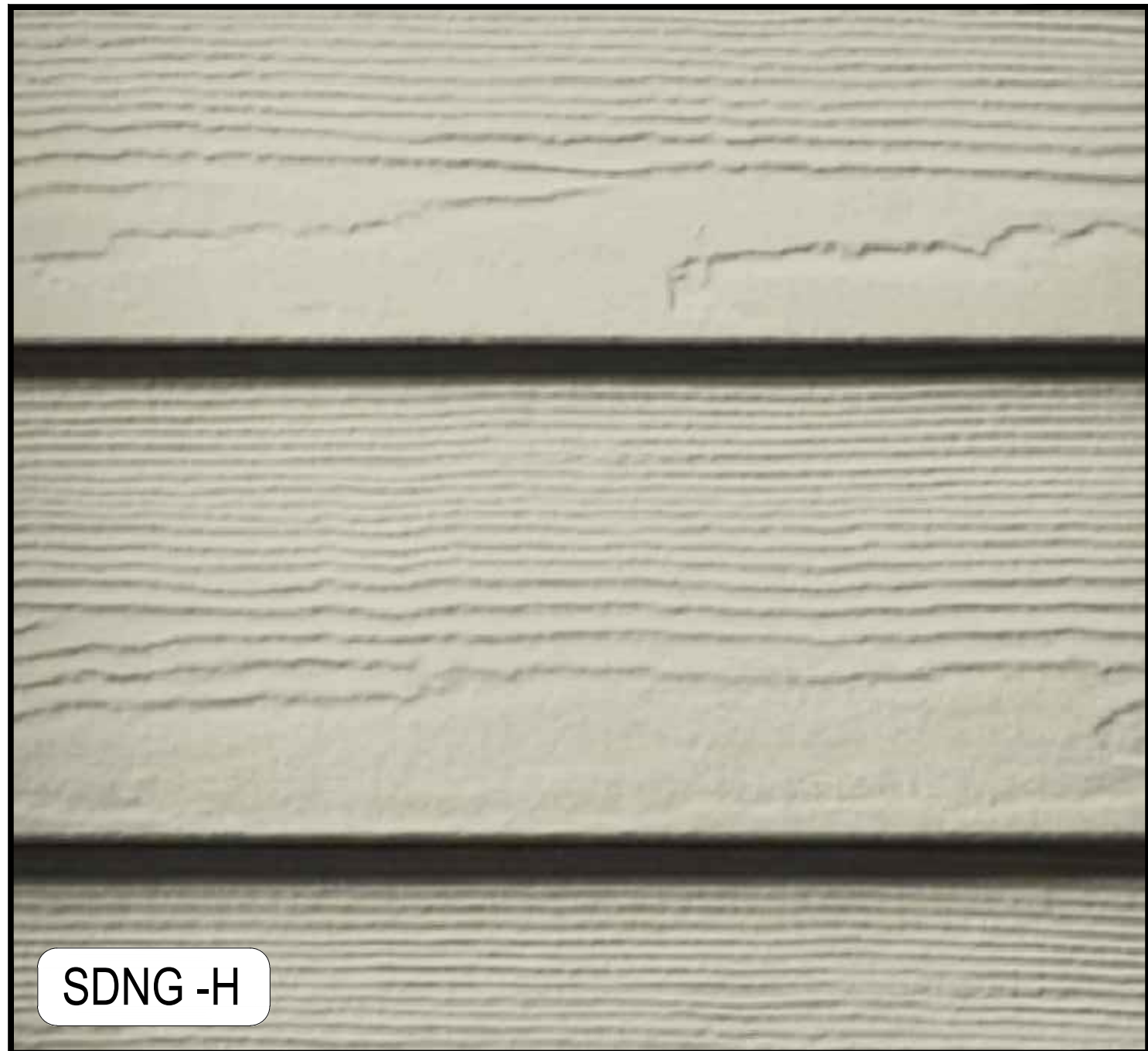
PAVR-1



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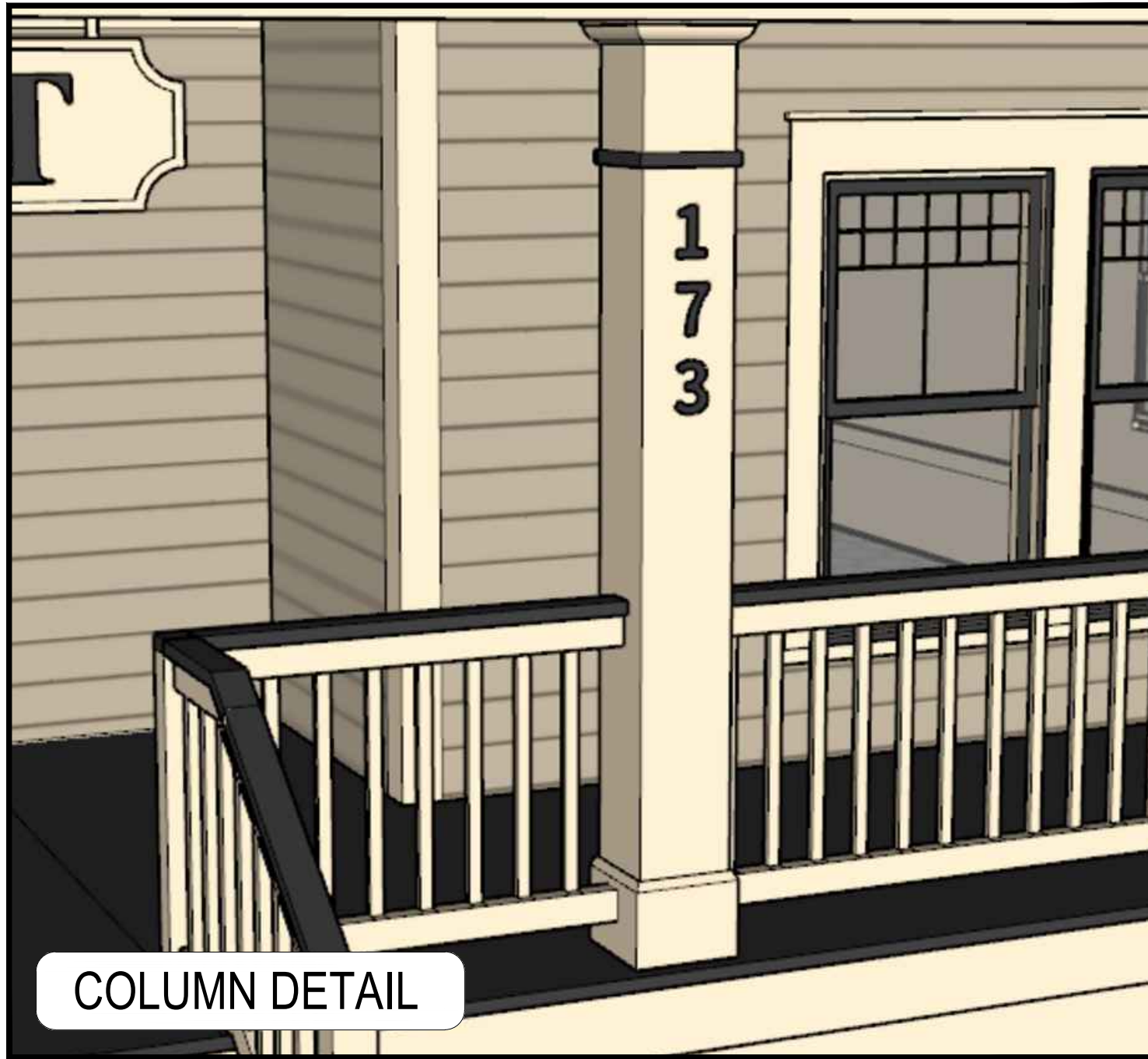
SDNG-S



SDNG-H



WINDOW DETAIL



COLUMN DETAIL



DORMER DETAIL



EAVE DETAIL

## ELEVATION NOTES

1. ALL MATERIALS & SYSTEMS TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS, TYP.
2. ELEVATION & MATERIAL PROFILES TO WRAP OUTSIDE CORNERS & EXTEND TO WALL, BEYOND, TYP. WHERE NOT SHOWN.
3. PROVIDE MASONRY CONTROL JOINTS AS SHOWN AND AT DOOR AND WINDOW LOCATIONS.
4. REFER TO BUILDING SECTIONS FOR ADDITIONAL MASONRY ACENT INFORMATION.
5. ALL MATERIALS NOT LABELED ARE TYPICAL FOR ALL SIMILAR LOCATIONS.
6. PROTECT/SHIELD MASONRY UNITS & PROJECTION/CHAMFERED COURSES FROM MORTAR DROPPINGS DURING CONSTRUCTION.

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Newland Developments, LLC  
3150 Hargrave Ave. Powell, Ohio 43065  
614-753-7055 | Newland-Eng@gnat.com

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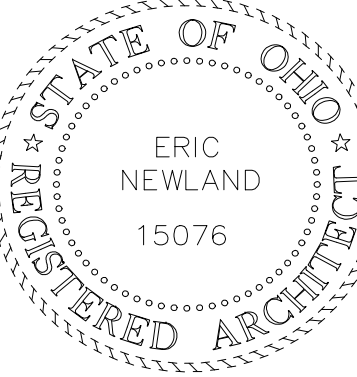
# DATE DRAWN BY ISSUED FOR / REQUESTED BY

1 11.16.2023

Eric Newland

Submitted for Sketch Plan Review

SEAL:



ERIC R. NEWLAND:  
LICENSE #15076  
EXPIRATION 12/31/2023

Exterior  
Materials  
& Details

Date: 11.16.2023  
Drawing Type: Design Dev.  
Unit(s): Landlord Shell & Redev.  
Sheet:

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Powell, Ohio 43065  
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1	11.16.2023	Eric Newland	Submitted for Sketch Plan Review



**Concept Perspectives**  
Date: 11.16.2023  
Drawing Type: Design Dev.  
Unit(s): Landlord Shell & Redev.  
Sheet: **PERSP-1**  
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