

Powell, Ohio

AMENDED FINAL DEVELOPMENT PLAN FOR

MIDDLEBURY CROSSING

Submitted On: September 22nd, 2023

Submitted By:



Contact: **Gary Smith, RLA|CLARB**
720 E. Broad Street, Suite 200
Columbus, Ohio 43215
614.583.9230



ADVANCED
CIVIL DESIGN
Contact: **Curtis Echelberry**
781 Science Boulevard
Gahanna, Ohio 43230
614.428.7750



Creating
Successful and
Sustainable Places

October 5, 2023

Elise Schellin
Senior Planner
47 Hall Street, Powell, OH 43065
Powell, OH 43065

Subject: Addendum to the Amended Final Development Plan for Middlebury Crossing Submitted on September 22nd, 2023

Dear Elise:

This addendum amends and supplements the Middlebury Crossing "Amended Final Development Plan" submitted on September 22nd, 2023. Please refer to the anticipated schedule outlined below to replace the anticipated schedule located on Page 3 of the Development Text:

FDP/Zoning Approval	Fall 2023
Final Engineering Approval	Fall/Winter 2023
Begin Site Construction	December 2023
Complete Site Construction	December 2024
Begin Building Construction	December 2023

In addition, please find attached supplemental Fire Truck Turning Exhibit.

Sincerely,

Dan Magly,
Senior Designer, G2 Planning & Design, LLC



PLANNING AND ZONING COMMISSION (P&Z) AMENDMENT TO APPROVED DEVELOPMENT PLAN APPLICATION

ALL ITEMS ON THIS APPLICATION MUST BE COMPLETED.

Application Fee: \$550.00
Per Fee Schedule

Applicant: The Cody Coughlin Company c/o Ted Tinkler

Address/City/State/Zip: 377 West Orange Road, Delaware, OH, 43015

Email Address: ted.tinkler@mmbuildings.com

Phone No: _____ Cell Phone No: 614-226-2874 Fax No: _____

Property Owner: CCC Home Road LLC

Address/City/State/Zip: 377 West Orange Road, Delaware, OH, 43015

Email Address: _____

Phone No: _____ Cell Phone No: _____ Fax No: _____

Architect/Designer for Applicant: G2 Planning and Design c/o Gary Smith

Address/City/State/Zip: 720 East Broad Street Suite 200

Email Address: gsmith@G2planning.com

Phone No: 614-583-9230 Cell Phone No: _____ Fax No: _____

Property Address: Home Road, Powell OH, 43065

Lot Number/Subdivision: N/A Existing Use: Planned Commercial Proposed Use: Planned Commercial

Reason for Administrative Review (attach necessary documents):

Amendment to the final development plan.

Checklist:

- ☐ Legal description of the property
 - ☐ Vicinity Map
 - ☐ Written Text explaining nature of amendment being requested.
 - ☐ Amended Final Development Plan drawing(s) (site plan, elevation drawings, etc.) needed to show proposed amendment.
 - ☐ Provide any other information that may useful to the Planning and Zoning Commission or City Staff in the space below or attach additional pages.
 - ☐ **5 copies** of all drawings, text, any other items, and application
 - ☐ **1 digital copy** (CD, USB, Email) of the complete application packet.
 - ☐ Attach the required fee - \$550.00
 - ☐ Post a public notice sign at least (10) days prior to a public hearing or public meeting, pursuant to ordinance 1107.035
- Public notice sign details found [here](#).

(See Over)

**APPROVAL SHALL EXPIRE AND MAY BE REVOKED IF CONSTRUCTION DOES NOT BEGIN
WITHIN TWO (2) YEARS FROM THE DATE OF ISSUANCE OF APPROVAL.**

I agree to grant the City Staff, the Commission, Board or Council considering this application access to the property that is the subject of this application for the purposes of reviewing this application and posting public notice for this application.

Signature of Applicant: _____ Date: _____

Office Use
Received

Office Use
Type/Date: _____
Base Fee: _____ \$550.00
Prepared by: _____
Reviewed by: _____
PAYOR: _____
RECIEPT # _____

City of Powell · 47 Hall Street · Powell, Ohio 43065 · (614) 885-5380 · (614) 885-5339 fax· www.cityofpowell.us

Introduction

The Middlebury Crossing Planned Commercial Development was designed to be a fully mixed commercial and residential community incorporating a library, select retail and commercial uses, and multi-family residential dwelling units, all within a walkable and interconnected site. The site was originally zoned in 3 distinct subareas being Subarea 'A' which is now the Library, Subarea 'B' which is the proposed commercial / retail subarea, and Subarea 'C' which is the multi-family residential subarea. This application seeks to amend the Final Development Plan approved by the City of Powell for Subarea 'C' only. It is not the intent of this application to amend any prior approvals as they relate to the development of Subarea 'A', or Subarea 'B' specifically.

In the time since the approval of the original Final Development Plans in 2019, the market conditions have changed considerably as it relates to residential development. Dramatically rising costs, changing demographics, and increasing rent structures, have made the development of "for rent" townhomes considerably less feasible and desirable on this site. As a result, the developer is filing this amendment in an effort to re-configure the multi-family development by removing the proposed townhomes, and replacing them with more of the garden apartment units already approved for the site.

This amendment will not modify the approved zoning text for the site, affect the permitted uses, increase the permitted number of dwelling units, or reduce the approved site setbacks in any way. The proposed change will reduce the total number of multi-family structures from a total of 7 as previously approved, down to 4 as designed in this application, and the total number of dwelling units will remain 62 as previously approved. The change will result in reduced building coverage on the site, and as a result will have the effect of increasing the open area. Buildings will be centered in the site, as shown on the revised Final Development Plan exhibits, which will further increase the separation from existing homes to the east and west of the property.

The garden apartment buildings will remain the attractive and high-quality structures approved by the City previously. Building height will remain 2-story, and all perimeter landscaping and buffering commitments will be retained as part of this Amended Final Development Plan application. The pool and pool building included in the previous application will be replaced by a more active and popular amenity, pickleball.

The applicant humbly requests the City's consideration and approval of this application for Amended Final Development plan, and believes that such an approval will not substantially alter the zoning, or the intended quality of the development, and will result in a more viable and leasable project for the Developer and the City of Powell.

DEVELOPMENT TEXT
for
MIDDLEBURY CROSSING

April 2019

- (1) Name, address, and phone number of applicant;

Applicant/Developer

John C. Wicks
Home Steitz, LLC
267 N. Liberty Street
Powell, OH 43065
614-323-7800
john.wicks@rpddllc.com

- (2) Name, address, and phone number of registered surveyor, registered engineer and/or urban planner assisting in the preparation of the preliminary development plan;

Planning Professional

Gary B. Smith RLA/CLARB
G2 Planning and Design
720 E. Broad Street, Ste. 200
Columbus, OH 43215
614-390-6149

Engineering Professional

Tom Warner, P.E.
Advanced Civil Design
422 Beecher Road
Gahanna, OH 43230
614-428-7750

Surveying Professional

Douglas R. Hock, P.S.
Advanced Civil Design
422 Beecher Road
Gahanna, OH 43230
614-428-7750

Architectural Professional (Retail and Garden Apartments)

Pete Scott, AIA/CDT
Meyers & Associates
232 N. Third Street, Ste. 300
Columbus, OH 43215
614-221-9433

Architectural Professional (Townhomes)

Joe Sullivan, AIA
Sullivan Bruck Architects, Inc.
8 South Grant Avenue
Columbus, OH 43215
614-464-9800

- (3) A list containing the names and mailing addresses of all owners of property contiguous to, directly across the street from and within 250 feet of the property in question. **see *Adjacent Property Owners***
- (4) Legal description of the property; **see *Annexation/Boundary Survey and Legal Description***
- (5) A description of present use(s) on and of the land; ***The property is presently being farmed with no other uses.***
- (6) Draft of a proposed Ordinance, prepared with the advice and counsel of the Director Law, establishing this specific Development Plan as an additional effective zoning control over the land in question, consistent with the continuing authorities of the current Planned District zoning in these areas provided for elsewhere in this Zoning Ordinance. ***Will be submitted by the City of Powell***
- (7) A vicinity map at a scale approved by the Zoning Inspector showing all property lines, existing streets and alleys, approved future streets and land uses on adjacent Planned District areas, transportation and land use elements of the Municipality's adopted Comprehensive Plan, current zoning classifications and boundaries, and current land uses on the site of the proposed Planned District development and in the surrounding areas to the physical extent deemed necessary by the Zoning Inspector, but no less than 250 feet beyond the limits of the proposed Planned District Development Plan. ***See Development Plan***
- (8) A final development plan at a scale approved by the Zoning Administrator illustrating: ***See Development Plan***
 - A. The property line definition and dimensions of the perimeter of the site;
 - B. Right-of-ways and paving widths of all existing, currently platted, and previously approved Planned District streets and alleys adjacent to, on, or abutting the site;
 - C. The area of the site and its subareas in acres;
 - D. The topography of the site and abutting areas at no more than five foot contour intervals;
 - E. Existing surface drainageways and surface sheet flow patterns;
 - F. Flood plain areas, ravine-bottom areas, and areas of ground slope in excess of six percent;
 - G. Existing vegetation on the site with specific tree spots for all trees six inches in diameter or greater, measured 24 inches from the ground.
 - H. Existing easements on the site with notations as to their type, extent, and nature;
 - I. The location and dimensions of existing utilities on and adjacent to the site, including the nearest sanitary sewer, with manhole invert elevations;
 - J. Calculation of the maximum residential units permitted on the site under the terms of this Zoning Ordinance, including delineation of the subdistricts of the site upon which these calculations have been made;
 - K. A final plan for the first, or next, phase of site development illustrating:
 - 1. New street centerlines, right-of-ways, and street classification types;
 - 2. Names of existing and proposed streets;

3. Generalized lot and block layouts, indicating and illustrating property lines, minimum lot areas, minimum building setbacks and yards, location and extent of major off-street parking areas, etc.;
4. Subareas of the site to be developed, by land use type, housing types, and housing densities, including subarea statistics;
5. All proposed structures shall be located showing square footage, tenant or user types, and expected entranceways and service or loading areas;
6. Common open areas, public lands, and natural scenic easements, including the area of each;
7. Proposed landscape treatment of the site;
8. Proposed utility patterns and provisions, including sanitary sewer, individual waste disposal systems, storm sewer, trash collection systems, outdoor lighting, and water supply, including relevant easements and engineering feasibility studies or other evidences of reasonableness;
9. Provisions for accommodating surface drainage runoff;
10. Proposed architectural design criteria;
11. Proposed pedestrian/jogging/bicycle pathways and equestrian paths, including locations, dimensions, landscape and construction, including relationships of such pathways to existing and proposed future pathways on surrounding property;
12. Overall site development statistics comparing this plan for development with requirements of this Zoning Ordinance and with the comprehensive plan and indicating that all requirements of this Zoning Ordinance and the comprehensive plan have been met in this preliminary plan and will be met in final development.

- L. Projected development schedule by subareas of the entire planned development site, and for the first, or next, phase of development, including land uses, public areas, natural and scenic reserves, streets, buildings, utilities, and other facilities, indicating the relationship of the proposed development to existing and probable uses of surrounding areas during the development timetable; ***Below is the anticipated schedule for the planning, design and construction of Subareas B and C of the proposed development. Building construction will begin as close to the completion of infrastructure construction as possible.***

***FDP/Zoning Approval
Final Engineering Approval
Begin Site Construction
Complete Site Construction
Begin Building Construction***

***Spring 2019
Summer 2019
Summer/Fall 2019
Fall/Winter 2019/2020
Spring 2020***

Subarea A will be submitted as a separate FDP by a different Applicant.

- M. An overall traffic scheme, illustrating points of access, parking areas, including the number of parking spaces and indicating visitor, employee and service traffic flow, illustrating calculated peak hour traffic use for residents and employees as well as deliveries and other transport and the effect of this traffic on the community traffic ways. ***see Traffic Impact Study***

- N. If to be developed in phases, the entire site development shall be described in outline and diagrammatic plan form, and in a complementing detailed text in a manner calculated to assure City officials that Planned Development requirements and other requirements of this Zoning Ordinance shall be met in the detailed development of the phases to follow, and that the entire Planned Development area will meet all of the requirements of this Zoning Ordinance, such diagrams and descriptive texts being accepted with, and becoming a part of the extended zoning plan for the entire site; **See Development Plan**
- (9) Evidences of the ability of the applicant to carry forth its plan by control of the land and the engineering feasibility of the plan, and that the applicant has sufficient control over the land and financing to initiate the proposed development plan phase within two (2) years. **See Agency Letter for evidence of control over the property. Applicant shall provide financing evidence to City of Powell prior to the approval of Final Engineering.**
- (10) Evidence of the applicant's ability to post a bond if the plan is approved. **Applicant shall provide financing evidence to City of Powell prior to the approval of Final Engineering.**
- (11) Verification by the owner of the property that all the information in the application is true and correct to the best of his knowledge. **The Landowner and Applicant have reviewed the included information in the FDP submittal and believe it to be true and accurate to the best of their knowledge.**
- (12) A statement of the character and nature of the development including the cost range or rent levels for housing in residential development and the general types of business or industrial and commercial developments. **Developer's intended use of the Property is a neighborhood commercial development including but not limited to the following uses: Retail Sales; Convenience Business; Commercial Establishments; Civic Facilities including public library; Office Uses; General Business; Office Type Business; Office Research Centers; Services Business; Personal Services; Child Daycare; Agriculture; Restaurants; Medical or Dental Office Facilities; Hospitals and Clinics; Multi-family Residential housing.**

The following uses shall be prohibited: Nuisance or hazardous materials of any kind whatsoever; Automotive Fuel, Repair or Service Stations; Automotive Sales, New or Used as a primary business; Nightclubs; Adult Entertainment or Bookstores; Storage facilities.

Residential rents are projected to be between \$1,050 and \$1,600 per month

Retail rents are projected to be between \$22 and \$28 per square foot.

All rents are subject to market conditions and construction costs.

- (13) A statement of the general impact the development will have on the infrastructure, municipality and schools including projected demographics, a traffic impact study and a fiscal impact analysis may be required by the Planning and Zoning Commission. **The Traffic Impact Study (TIS) outlines the public road improvements required for this this project. The impact to schools from multifamily residential homes at 0.15 students per unit is significantly less than the impact from single family residential homes at approximately 1.0 students per unit. This development would likely generate 9 to 10 students based on this formula.**

- (14) A fee as established by ordinance. A check in the amount of \$1,855.50 has been submitted with this application

Below are the Divergence Requests for deviations from zoning district standards which were approved with the Preliminary Development Plan:

The proposed Middlebury Crossing is a neighborhood mixed-use development which contains three different uses within one zoning application. As such, the project does not fully comply with the Planned Commercial (PC) development standards. The following Divergences to the PC standards are being requested in order to provide the different uses proposed with Middlebury Crossing.

1. **Rear Yard Setback.** The PC code requires a minimum 30' rear yard setback. This project proposes a 25' perimeter setback for all residential buildings. The 25' setback is necessary due to the geometric restrictions of the site. Dense landscaping within the setback is proposed within the setback for maximum screening to adjacent properties.
2. **Building Separation.** The PC code requires a minimum of 50' between structures. The Planned Residential (PR) code requires a minimum of 30' between structures. This project proposes 20' between the townhome buildings in 2 locations due to the geometric restrictions of the site. The 20' provided is greater than the minimum 10' distance required by the Ohio Fire Code and is a customary building separation within multi-family developments. The retail buildings are proposed to be constructed as one structure with a continuous roof with breezeway, so no building separation divergence is requested.
3. **Sign Setbacks.** Per the zoning code, Joint Identification Signs (JIS) are required to be located 25' behind the right-of-way, and Freestanding Signs (FS) are required to be located 15' behind the right-of-way. This project proposes that the "Primary" JIS located at the intersection of Home and Steitz Roads to be 18' from the right-of-way, and the remaining signs on Home Road to be located 5' from the right-of-way. Considering Home Road's 100' right-of-way designation, combined with the fact that the centerline of the pavement is located south of the centerline of the right-of-way, the distance between the edge of pavement and the signs would be much greater than typical, making the signs difficult to see. The reduced sign setbacks will locate the signs approximately 40 feet from the edge of pavement which falls well outside the safety clear-zone requirements and places them in a more conventional location with respect to the road.
4. **Parking in Front of Retail Buildings.** The intent of the PC district is to place buildings close to the front setback providing parking in the rear. Due to the 150' overhead powerline easement, placing the retail buildings closer to Home Road is impractical and would create internal traffic circulation problems. With the site layout as proposed, the approved access locations function very well, providing excellent internal traffic circulation and cross-access between the different uses within the project.

NICHOLAS SANDERSON AND EMILY
CARPENTER
4320 HOME RD
POWELL, OH, 43065

SCIOTO RESERVE MASTER
ASSOCIATION INC
ISABELLA BLUE DR,
POWELL, OH 43065

DEBRA BAPES TRUSTEE
4301 HOME ROAD UNIT 2D
POWELL, OH, 43065

JOSEPH E DOODAN
7514 STEITZ RD
POWELL, OH, 43065

JONATHAN AND LORI BRLAS
21050 RAYMOND ROAD
MARYSVILLE, OH, 43040

DREW AND ALLISON SCOTKA
1326 GOLDENROD COURT
POWELL, OH, 43065

ALEXANDER AND JULIANN GROSS
4330 HOME RD
POWELL, OH, 43065

TRACIE A JENKINS
4319 HOME RD
POWELL, OH, 43065

6E LLC
4301 HOME ROAD
POWELL, OH, 43065

KAYLAN AND ADRIANNE NITTALA
4146 HICKORY ROCK DR
POWELL, OH, 43065

LIBERTY GRAND III LLC
LIBERTY GRAND BLVD
POWELL, OH, 43065

DAS MAMATMA AND SWAIN AJIT
7312 GOLDEN ROD COURT
POWELL, OH, 43065

POWELL AUTO CLUB LLC
4346 HOME RD,
POWELL, OH, 43065

SEAN ADKINS
4301 HOME ROAD
POWELL, OH, 43065

HORSEPOWER FARMS LLC
4301 HOME ROAD
POWELL, OH, 43065

GOLF VILLAGE PROPERT OWNERS
ASSOCIATION
STEITZ RD
POWELL, OH, 43065

PATIL AND RUPALI NEELESH
7340 GOLDENROD COURT
POWELL, OH,

Annexation Description
11.555 Acres
North side of Home Road (C.R. 124)
West side of Steitz Road (C.R. 125)

-1-

Situated in the State of Ohio, County of Delaware, Township of Liberty, Farm Lots 15 and 16, Quarter 2, Township 3, Range 19, being a 11.555 acre tract, said 11.555 acre tract being part of Parcel No. 2 as conveyed to TLK Development, LLC of record in Official Record 666, Page 198 and part of a 10.006 acre tract conveyed to Howard R. Vance of record in Official Record 1491, Page 2826 and more particularly described as follows:

Beginning at a northeasterly corner of said Parcel No. 2, being the northwesterly corner of a tract of land conveyed to Jack A Price and Eula Gay Price of record in Official Record 243, Page 481, being in the northerly line of Farm Lot 16 and the southerly line of Farm Lot 30;

Thence **S 03° 26' 31" W**, along an easterly line of said Parcel No. 2, **160.00 feet** to a northeasterly corner thereof;

Thence **S 87° 01' 02" E**, along a northerly line of said Parcel No. 2, **109.50 feet** to a northeasterly corner thereof;

Thence **S 03° 22' 58" W**, along an easterly line of said Parcel No. 2, **150.05 feet** to a northeasterly corner thereof;

Thence **S 87° 00' 57" E**, along a northerly line of said Parcel No. 2, **245.30 feet** to a point, said point being in the westerly right-of-way line of Steitz Road as shown on (Del. C.R. 124-2.77) state Right-of-Way plans;

Thence across said Parcel No. 2 and along said westerly right-of-way line, the following four (4) courses;

S 03° 27' 51" W, 81.77 feet;

S 07° 16' 41" W, 150.34 feet;

S 03° 27' 51" W, 199.99 feet;

S 27° 31' 34" W, 60.83 feet to a point in the northerly right-of-way line of said Home Road as shown on (Del. C.R. 124-2.77);

Thence **S 03° 04' 35" W**, across said Parcel No. 2, across said 10.006 acre tract and across said Home Road, **75.00 feet** to a City of Powell Annexation Line (O.R. 826, Pg. 1463, Ord. No. 2007-58)

Thence **N 86° 55' 25" W**, across said 10.006 acre tract, with the northerly line of said City of Powell Annexation line, **715.53 feet** to a point in the westerly line of said 10.006 acre tract;

Thence **N 04° 02' 05" E**, along the westerly line of said 10.006 acre tract, **30.00 feet** to a northwesterly corner thereof, to the centerline of said Home Road and a common line of said Farm Lot 14 and said Farm Lot 15;

Thence **S 86° 55' 25" E**, along the center line of said Home Road and the common line of said Farm Lot 14 and said Farm Lot 15, **59.27 feet** to a point;

Thence **N 03° 26' 18" E**, across said 10.006 acre tract, across said Home Road and along the westerly line of said Parcel No. 2, **841.02 feet** to a northwesterly corner thereof, being in the northerly line of said Farm Lot 16 and the southerly line of Farm Lot 30;

Annexation Description
11.555 Acres
North side of Home Road (C.R. 124)
West side of Steitz Road (C.R. 125)

-2-

Thence **S 87° 00' 57" E**, along a northerly line of said Parcel No. 2 and along the common line of said Farm Lot 16 and Farm Lot 30, **335.57 feet** to the **True Point of Beginning**, and containing **11.555 acres**, more or less.

Subject, however, to all legal highways, easements, and restrictions. The above description was prepared by Advanced Civil Design, Inc. on April 23, 2018 and is based on existing records from the Delaware County Auditor's and Recorder's Office. A drawing of the above description is attached hereto and made a part thereof.

This description is to be used for annexation purposes only and not to be used in the transfer of land.

The total length of the annexation perimeter is 3214.17 feet, of which 715.53 feet are contiguous with existing City of Powell Corporation lines, being 22% contiguous.

This annexation does not create any islands of township property.

All references used in this description can be found at the Recorder's Office, Delaware County, Ohio.


ADVANCED CIVIL DESIGN, INC.

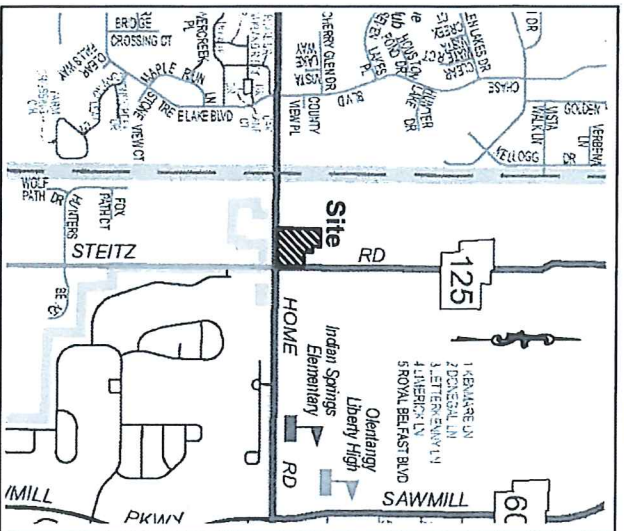

Douglas R. Hock, P.S. 7661

5/9/18
Date:

Z:\17-0005-579\survey\11.555 ac annexation desc (rev 04-23-18).doc



County Engineer Delaware County, Ohio
I hereby certify the within to be a true copy of the document that is on file in the Map Department.
CHRIS E. BAUSERMAN, P.E., P.S. County Engineer
By  Date <u>5/29/18</u>



Map of Territory to be
Annexed to the City of Powell

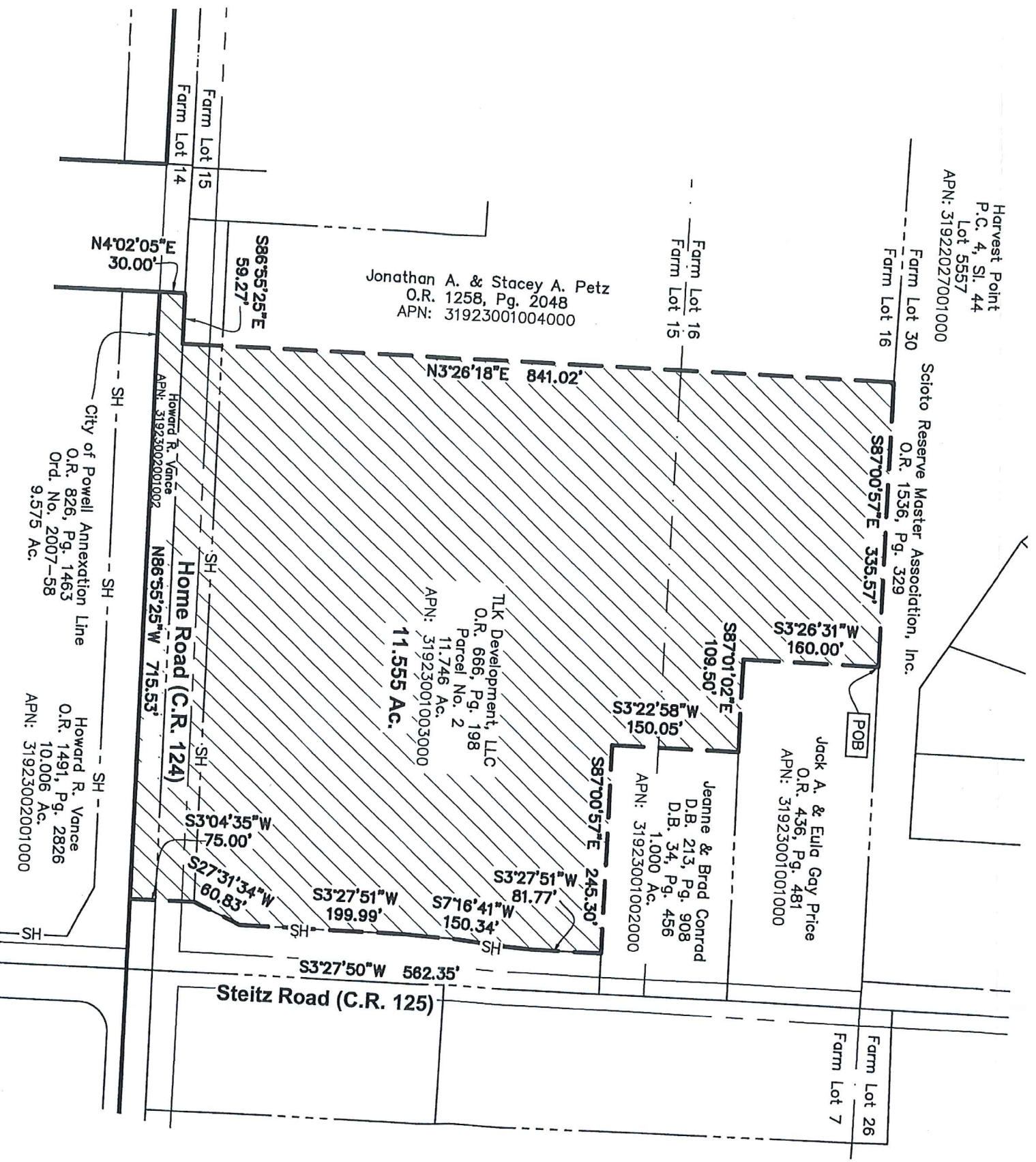
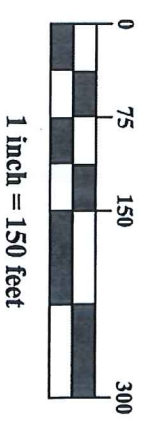
**11.555 ACRE ANNEXATION
TO THE CITY OF POWELL
FROM TOWNSHIP OF
LIBERTY EXPEDITED
TYPE II ANNEXATION
UNDER ORC §709.021
AND §709.023**

Township of Liberty, Delaware County, Ohio
Farm Lots 15 & 16, Section 2,
Township 3, Range 19,
United States Military District

LEGEND

- Area to be Annexed
- Existing Corp Line
- Proposed Corp Line

GRAPHIC SCALE



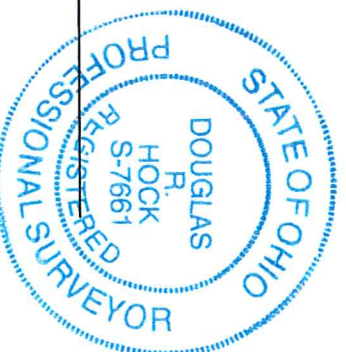
Notes:

- 1.) The number of owners in the territory sought to be annexed is one.
- 2.) TLK Development LLC, C/O Kim E. Kelsik is located at 5751 Kolb Road, Tucson, Arizona, 85750 and is the petitioner for said proposed annexation.
- 3.) No islands of unincorporated areas are created by this annexation as defined in ORC 709.023(E)(5).
- 4.) 715.53' of lined feet of Home Road (C.R. 124) will be annexed into the City of Powell.

Bearings are based on the Ohio State Plane Coordinate System, North Zone, NAD83 (NSRS2007). Said bearings were derived from GPS observation and determine a portion of the existing centerline of Home Road as having a bearing of N86°55'25"W.

This drawing is based on the existing records from the Delaware County Auditor's office and Delaware County Recorder's office and an actual field survey by Advanced Civil Design, Inc. in April of 2018. A boundary survey for this property has been approved and is on file in the Delaware County Map Department's office.

Length of Contiguity: 715.53 feet
Total Length of Perimeter: 3214.17 feet
Percentage of Contiguity : 22%



Douglas R. Hock, P.S. 7661
Advanced Civil Design, Inc
422 Beecher Road
Gahanna, OH 43230
Phone 614-428-7750

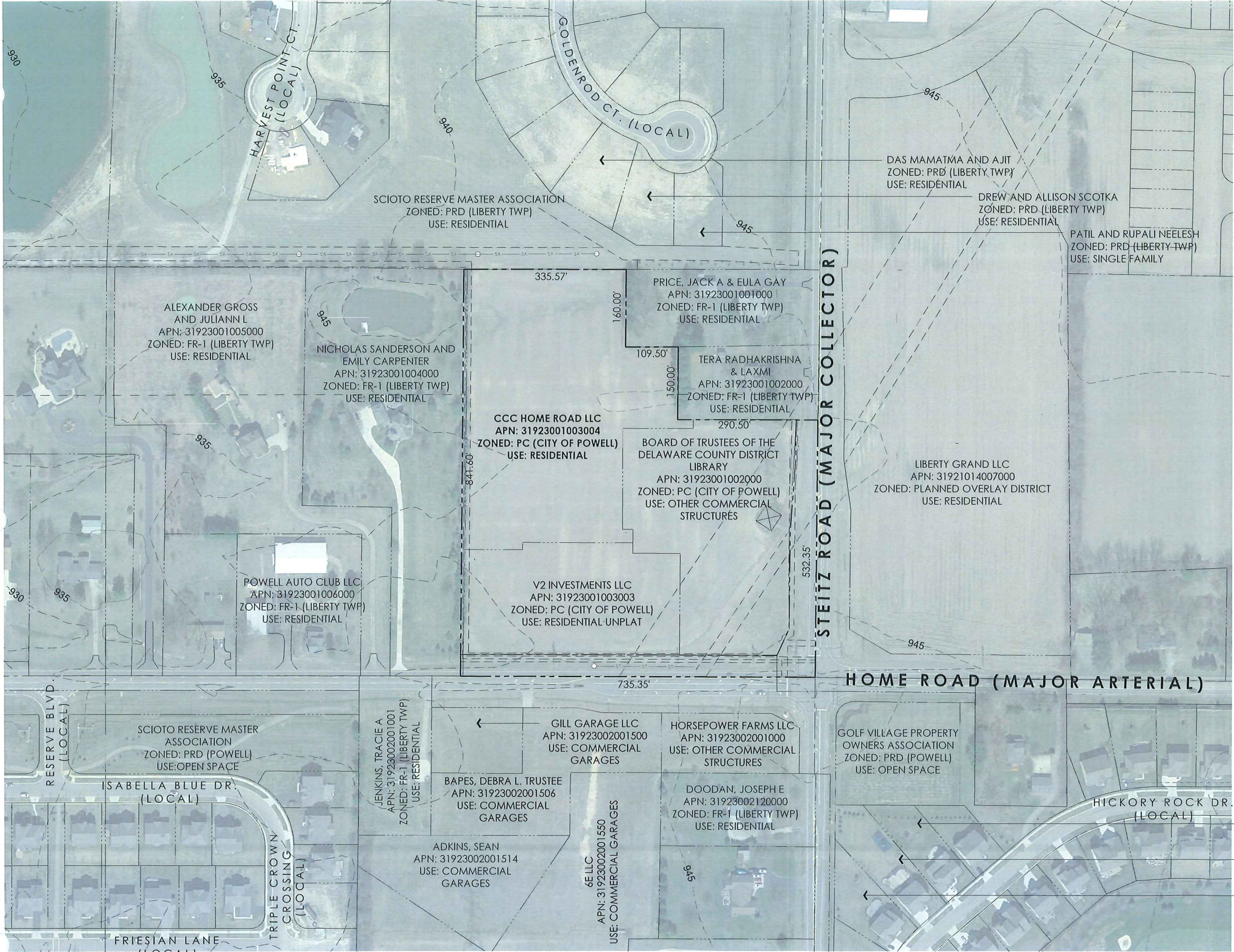
Job No.: 17-0005-579 Date: 04/23/2018

**DELAWARE COUNTY ENGINEER
Map Department**

I hereby certify the within to be a true
copy of the original on file in the Map Department

**Chris E. Bauserman, P.E., P.S.,
County Engineer**

Supervisor Date 5/29/18

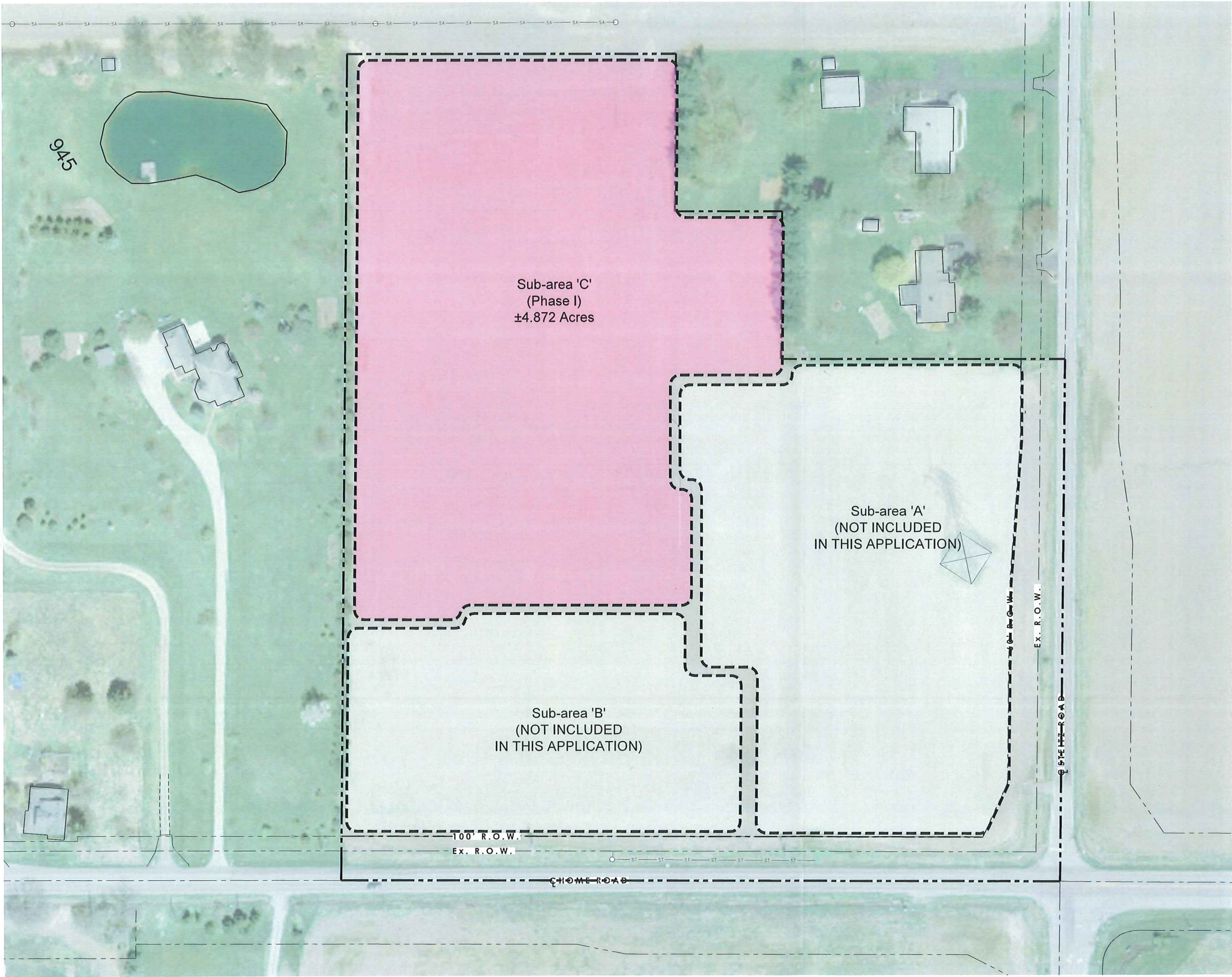


SITE DATA

Existing Conditions

Gross Acreage	± 11.739 Acres
- R.O.W. (Home and Steitz Roads)	± 1.20 Acres
Net Acreage	± 10.539 Acres





SITE DATA

Planned Commercial District Sub-Areas

Sub-Area 'A' - Delaware County Library Branch (NOT INCLUDED)

± 3.945 Acres

Sub-Area 'B' - Commercial Establishments or Office (NOT INCLUDED)

± 2.968 Acres

Sub-Area 'C' - Multi-Family Residences

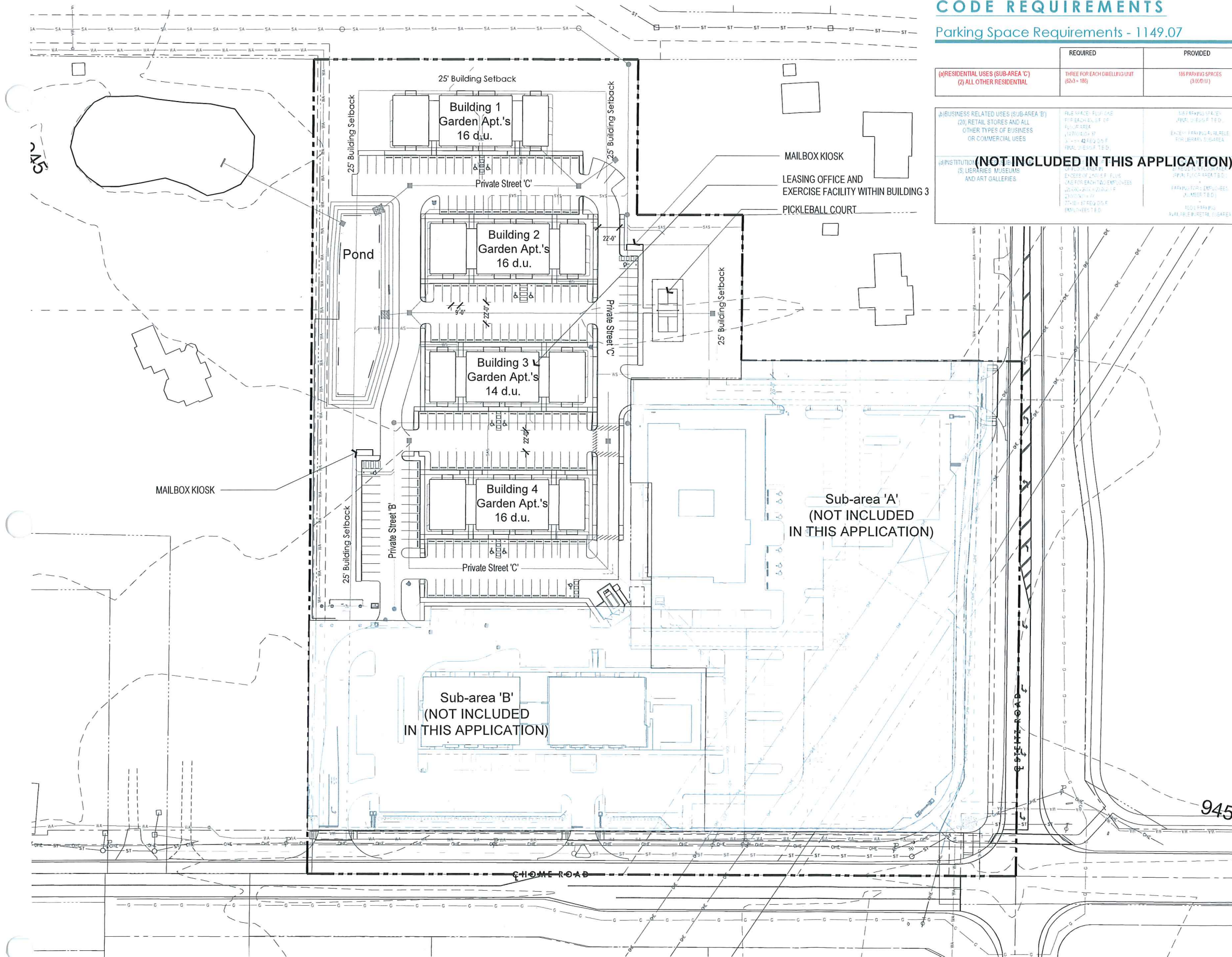
± 4.872 Acres
62 Dwelling Units

Residential Density per 1143.09(c)(10)(C)

Dwelling Units	62 D.U.
Total Acreage Sub-Area C acreage (4.872 Ac.) + Sub-Area A&B Open Space/Public Use (3.715 Ac.)	± 8.587 Acres
	± 7.22 D.U./Acre

Residential Units Permitted by Zoning Ordinance

Maximum dwelling units per acre	9 D.U.
Total Acreage Sub-Area C acreage (4.872 Ac.) + Sub-Area A&B Open Space/Public Use (3.715 Ac.)	± 8.587 Acres
	77 D.U.



CODE REQUIREMENTS

Parking Space Requirements - 1149.07

	REQUIRED	PROVIDED
(a) RESIDENTIAL USES (SUB-AREA 'C') (2) ALL OTHER RESIDENTIAL	THREE FOR EACH DWELLING UNIT (62x3 = 186)	186 PARKING SPACES (3,000 S.F.)
(b) BUSINESS RELATED USES (SUB-AREA 'B') (20) RETAIL STORES AND ALL OTHER TYPES OF BUSINESS OR COMMERCIAL USES	FIVE THOUSAND SQUARE FEET FOR EACH 10,000 S.F. OF FLOOR AREA (10,000 S.F. x 42,000 S.F. FLOOR AREA = 420,000 S.F.)	10,000 SQUARE FEET (10,000 S.F. x 42,000 S.F. FLOOR AREA = 420,000 S.F.)
(c) INSTITUTIONAL USES (SUB-AREA 'A') (5) LIBRARIES, MUSEUMS, AND ART GALLERIES	THREE THOUSAND SQUARE FEET FOR EACH 10,000 S.F. OF FLOOR AREA (10,000 S.F. x 3,000 S.F. FLOOR AREA = 30,000 S.F.)	3,000 SQUARE FEET (3,000 S.F. x 42,000 S.F. FLOOR AREA = 126,000 S.F.)

(NOT INCLUDED IN THIS APPLICATION)

SITE DATA

Preliminary Development Plan

Gross Acreage	± 11.739 Acres
- R.O.W. (Home and Steitz Roads)	± 1.20 Acres
Net Acreage	± 10.539 Acres

Commercial/Institutional Uses (NOT INCLUDED)

Library (Sub-Area 'A')	± 25,000 Square Feet 98 Parking Spaces
Commercial (Sub-Area 'B')	± 14,700 Square Feet 108 Parking Spaces

Residential Uses (Sub-Area 'C')

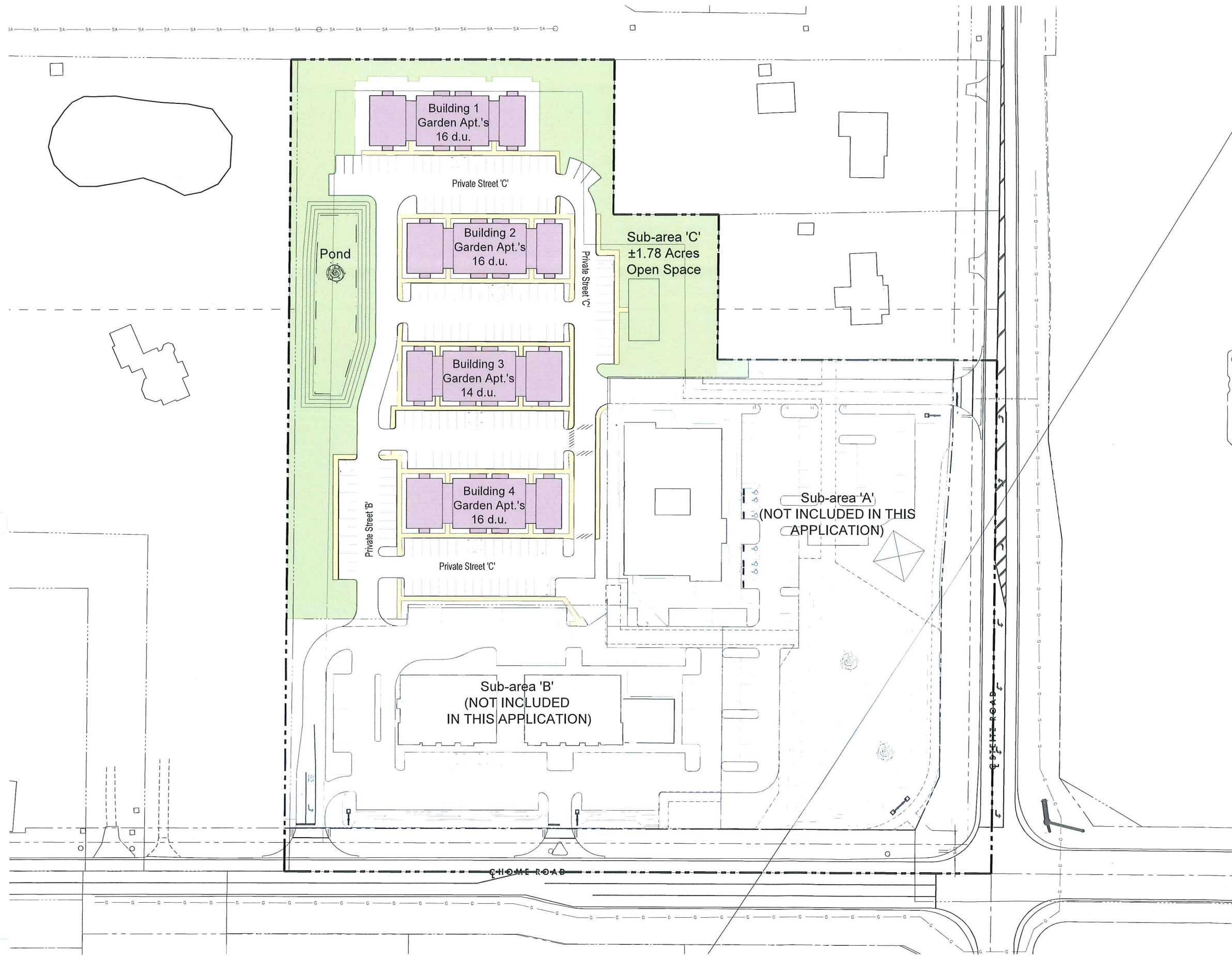
2-Story Garden Units	62 Dwelling Units
Residential Parking	186 Parking Spaces

Total Open Space/Public Use

Sub-Area 'A'	± 3.245 Acres
Sub-Area 'B' (NOT INCLUDED IN THIS APPLICATION)	± .47 Acres
Sub-Area 'C'	± 1.78 Acres
	5.50 Acres (52.2%)

Total Impervious Cover

Sub-Area 'A'	± 1.81 Acres
Sub-Area 'B' (NOT INCLUDED IN THIS APPLICATION)	± 1.60 Acres
Sub-Area 'C'	± 3.08 Acres
	6.49 Acres (51.4%)



SITE DATA

Open Space/Public Use

Gross Acreage	± 11.739 Acres
- R.O.W. (Home and Steitz Roads)	± 1.20 Acres
Net Acreage	± 10.539 Acres

Total Open Space/Public Use

Sub-Area 'A'	±3.30 Acres
Sub-Area 'B'	±.54 Acres
Sub-Area 'C'	±1.78 Acres
5.50 Acres (52.2%)	

Plan Key

Sidewalk Hatch	
Open Space Hatch	
Building Hatch	

PLANT LIST (Contractor is responsible for all plant material shown on plan)

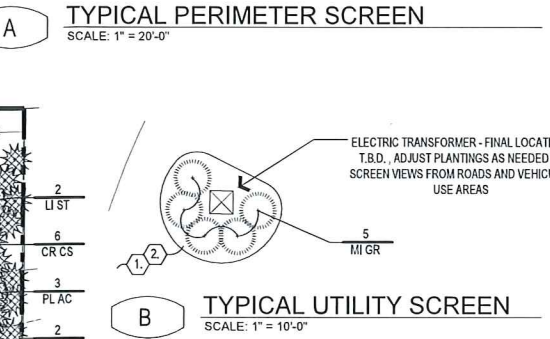
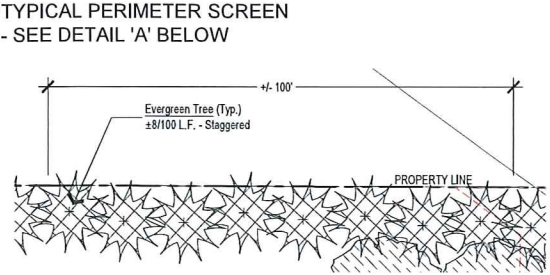
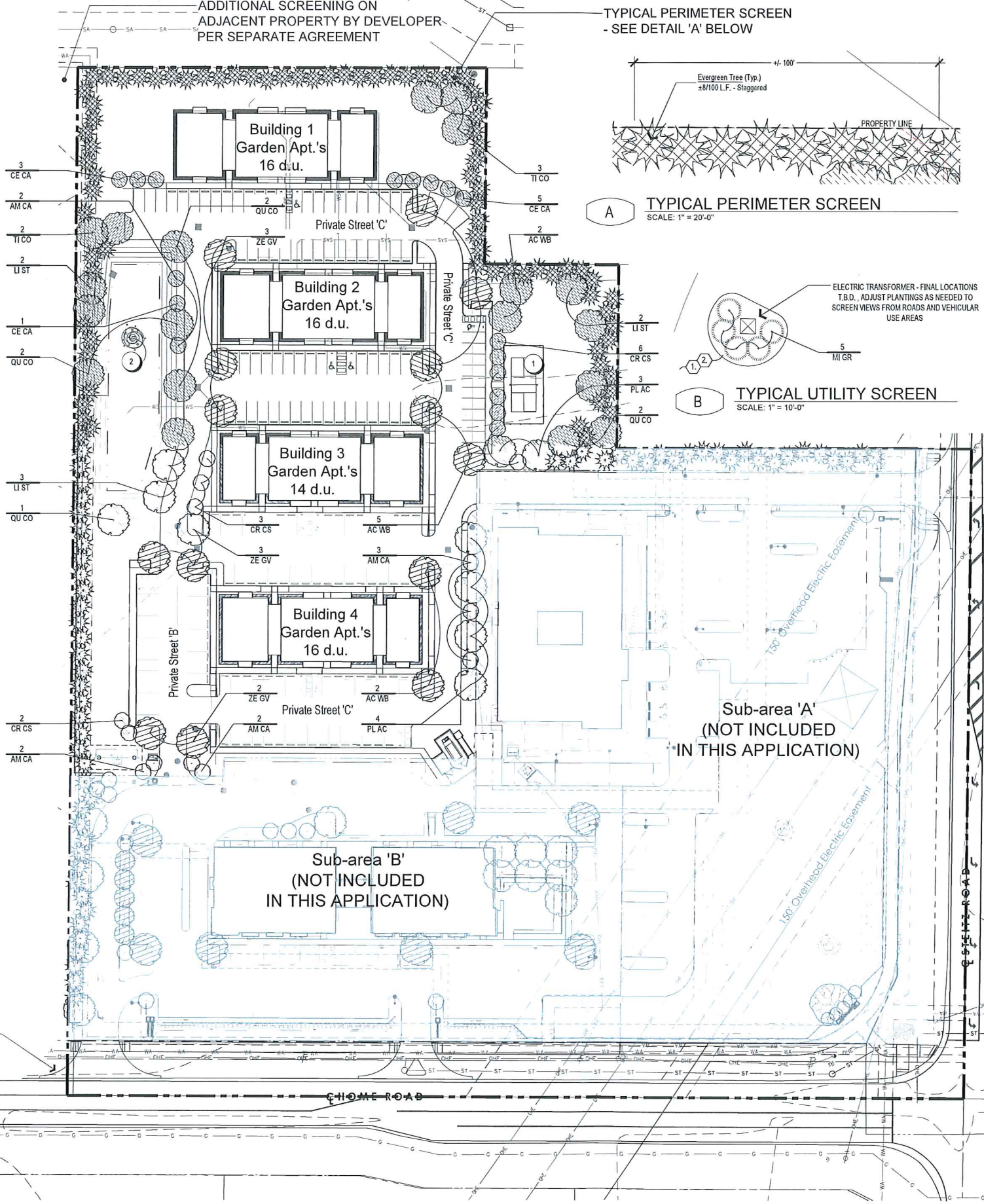
QTY.	CODE	BOT. NAME/COMMON NAME	SIZE	COND.	SPACING	NOTES
DECIDUOUS SHADE TREES / STREET TREES						
9	AC V/B	Acer saccharum 'Vigint Brothers'	2.5" CAL.	B&B	AS SHOWN	Match Form
7	LI ST	Liquidambar styraciflua 'Moraine'	2.5" CAL.	B&B	AS SHOWN	Match Form
7	PL AC	Platanus acerifolia 'Bloodgood'	2.5" CAL.	B&B	AS SHOWN	Match Form
7	QU CO	Quercus coccinea	2.5" CAL.	B&B	AS SHOWN	Match Form
5	TI CO	Tilia cordata 'Green Spire'	2.5" CAL.	B&B	AS SHOWN	Match Form
8	ZE GV	Zelkova serrata 'Green Vase'	2.5" CAL.	B&B	AS SHOWN	Match Form
SMALL / ORNAMENTAL TREES						
9	AM CA	Amelanchier canadensis 'Glenn Form'	1.5" CAL.	B&B	AS SHOWN	Tree Form
9	CE CA	Cercis canadensis 'Eastern Redbud'	1.5" CAL.	B&B	AS SHOWN	Tree Form
11	CR CS	Crataegus crus-galli var. inermis	1.5" CAL.	B&B	AS SHOWN	Tree Form
EVERGREEN TREES (SCREENING/BUFFERING)						
141	AB CO	Abies concolor	6' HT.	B&B	PER PLAN	*Use a minimum of 4 different species from the plant list. Maximum of 7 consecutive of same species. No single species shall constitute more than 33% of total planting in buffer. See detail 'A', this sheet for more information.
	PI AB	Picea abies	6' HT.	B&B	PER PLAN	
	PI DE	Picea glauca 'Densata'	6' HT.	B&B	PER PLAN	
	PI OM	Picea omorika	6' HT.	B&B	PER PLAN	
	PI ST	Pinus strobus	6' HT.	B&B	PER PLAN	
GRASSES, PERENNIALS, GROUNDCOVERS, & VINES						
	MI GR	Miscanthus sinensis 'Gracillimus'		#3 Cont.	Plant @ 42" O.C.	As needed for transformer screen. See detail 'B', this sheet.

PLANT LABEL KEY: $\frac{1}{XX XX} \left(\begin{matrix} \text{QUANTITY} \\ \text{CODE} \end{matrix} \right)$

NOTE: FIELD VERIFY LOCATION AND DEPTHS OF ALL UTILITIES. HAND EXCAVATE ALL PLANTING PITS.
ADDITIONAL PLANTING NOTES
1. ALL GROUNDCOVERS AND PERENNIALS TO BE PLANTED DURING THE SPRING PLANTING WINDOW. FALL GROUNDCOVER AND PERENNIAL PLANTINGS WILL NOT BE ACCEPTED. COORDINATE PLANTING TIMES WITH OWNERS REPRESENTATIVE TO INCREASE SUCCESS OF GROUNDCOVER AND PERENNIAL PLANTINGS

CODED LAYOUT & MATERIALS NOTES

KEY	ITEM	REFERENCE	NOTES
1	PICKLEBALL COURT	X XX XX	
2	POND AERATOR	X XX XX	FOUNTAIN: AQUAMASTER "WIDE GEYSER" (OR OWNER-APPROVED EQUAL) 2 HP, 240 VOLT, 60 HERTZ, 1 PHASE. AVAILABLE THROUGH FOUNTTECH, 1-614-539-4570.



Minimum Required Trees - 1145.30

(a) MINIMUM TREES	REQUIRED	PROVIDED
THE FOLLOWING MINIMUMS ARE REQUIRED, BASED UPON TOTAL COVERAGE SQUARE FOOTAGE. (1) ALL RESIDENCES AND RESIDENTIAL LAND USES, PER DWELLING UNIT: 1/2" IN TRUNK DIAMETER FOR EVERY 150 S.F. OR FRACTION THEREOF OF BUILDING GROUND COVERAGE. (2) ALL COMMERCIAL STRUCTURES, INCLUDING COMMERCIAL-RELATED PARKING, LOADING AND TRASH STORAGE AREAS: C. OVER 50,000 S.F. - A TOTAL TRUNK DIA. OF 53", PLUS 2" OF TRUNK DIAMETER FOR EVERY 4,000 S.F. OVER 50,000 S.F. OR FRACTION THEREOF	A TOTAL OF 116" FOR 434,727 S.F. OF GROUND COVERAGE (SUB-AREA 'C') A TOTAL OF 59" FOR 185 PARKING SPACES (SUB-AREA 'B')	A TOTAL OF 116.5" IN TRUNK DIAMETER ACHIEVED WITH 28 TREES @ 2.5" CAL. AND 31 TREES @ 1.5" CAL. A TOTAL OF 59" IN TRUNK DIAMETER ACHIEVED WITH 14 TREES @ 2.5" CAL. AND 16 TREES @ 1.5" CAL.

Parking Area Landscaping - 1145.31

PARKING LOT PLANTING BAYS/TREES	REQUIRED	PROVIDED
IN ALL PARKING AREAS IN WHICH MORE THAN TEN PARKING SPACES ARE REQUIRED, THERE SHALL BE ONE PARKING BAY (SPACE) LEFT UNPAVED, BUT CONCRETE CURBED, FILLED WITH SODDED GRASS, AND CONTAINING NO LESS THAN ONE DECIDUOUS TREE OF ONE AND ONE-HALF INCH TRUNK DIAMETER OR MORE, MEASURED 24 INCHES FROM THE GROUND, FOR EVERY EIGHT PARKING SPACES, OR PORTION THEREOF, PROVIDED.	23 TREES @ 1 1/2" CAL. FOR 185 PARKING SPACES (SUB-AREA 'C' ONLY)	14 TREES @ 2 1/2" CAL. (SUB-AREA 'C' ONLY)

Building Foundation Landscaping - 1145.32

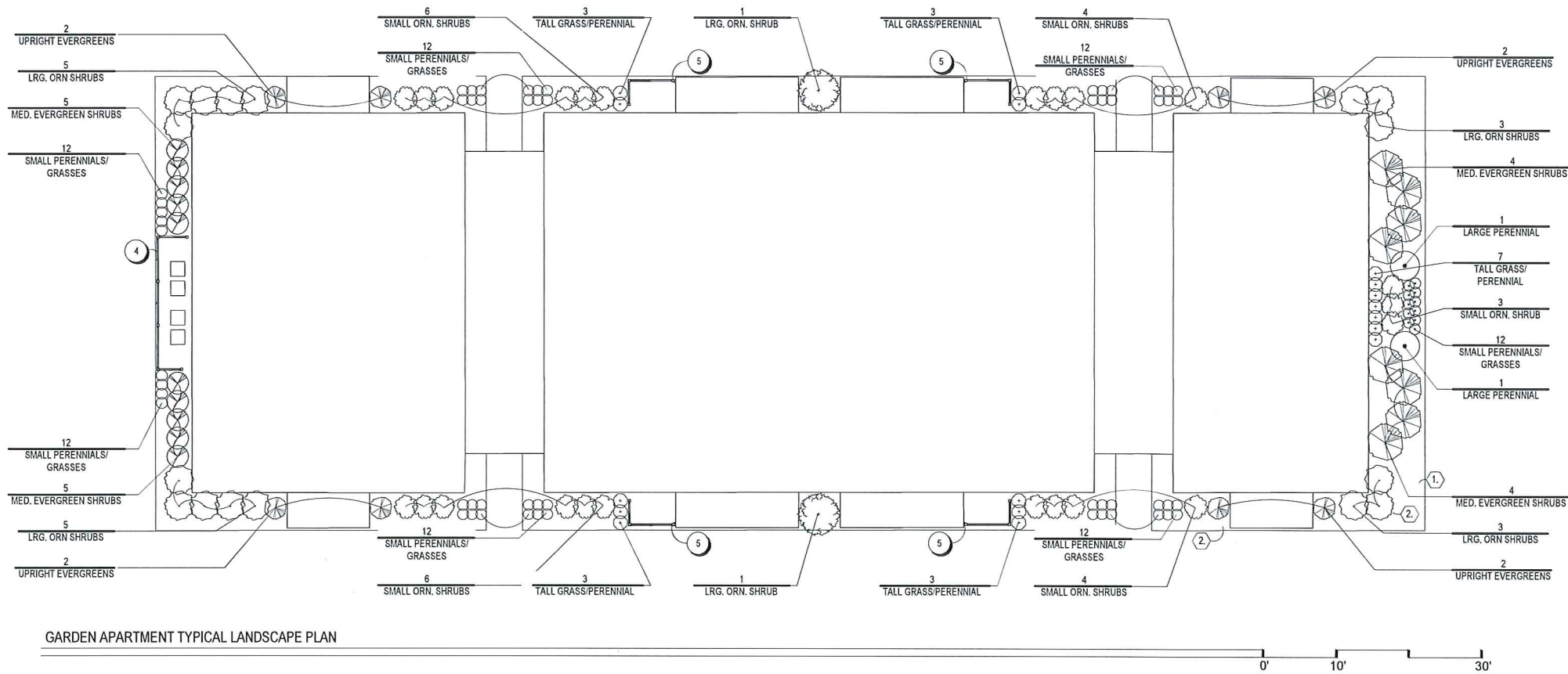
REQUIRED LANDSCAPING AROUND BUILDING FOUNDATIONS	REQUIRED	PROVIDED (SUB-AREA 'B')
IN ALL COMMERCIAL, OFFICE AND INDUSTRIAL ZONING DISTRICT, AS WELL AS NONRESIDENTIAL BUILDINGS IN RESIDENTIAL ZONING DISTRICTS, AT LEAST 70 PERCENT OF THE LINEAL FOOTAGE AROUND THE PERIMETER OF A STRUCTURE SHALL BE LANDSCAPED. A MINIMUM OF FIVE SHRUBS SHALL BE PLANTED IN EVERY 40 FEET OF LINEAL BUILDING PERIMETER. A MINIMUM OF TEN PERENNIAL OR ANNUAL PLANTS AND/OR FLOWERS SHALL BE PLANTED IN EVERY 40 FEET OF LINEAL BUILDING PERIMETER.	MINIMUM: 70% PLANTED 5 SHRUBS/40 L.F. PERIMETER 10 PERENNIALS OR ANNUALS/40 L.F. PERIMETER	MINIMUM: 70% PLANTED MIN. 85 SHRUBS FOR 650 L.F. MIN. 170 PERENNIALS OR ANNUALS FOR 650 L.F.

Screening - 1145.33

SCREENING OR BUFFERING	REQUIRED	PROVIDED
(a) FOR ANY PERMITTED OR CONDITIONALLY PERMITTED NON-RESIDENTIAL USES WHICH ADJUT ANY RESIDENTIAL DISTRICT, OR CURRENT RESIDENCE, IN ADDITION TO SETBACK AND YARD REQUIREMENTS PROVIDED ELSEWHERE IN THE ORDINANCE. (1) SCREENING SHALL BE PROVIDED FOR ONE OR MORE OF THE FOLLOWING PURPOSES: A. A VISUAL BARRIER TO PARTIALLY OR COMPLETELY OBSTRUCT THE VIEW OF STRUCTURES OR ACTIVITIES. B. AN ACOUSTIC SCREEN TO AID IN ABSORBING OR DEFLECTING NOISE. C. A PHYSICAL BARRIER TO CONTAIN DEBRIS AND LITTER	VISUAL SCREENING WALLS, FENCES, PLANTINGS, MOUNDS OR A COMBINATION OF THESE ELEMENTS SHALL BE A MINIMUM OF FIVE AND ONE-HALF FEET HIGH IN ORDER TO ACCOMPLISH THE DESIRED SCREENING EFFECT. PLANTINGS SHALL BE A MINIMUM OF FOUR FEET IN HEIGHT AT THE TIME OF PLANTING.	6' HT. AT INSTALLATION EVERGREEN TREES

PC - Planned Commercial District - 1143.15

(b) SUPPLEMENTAL REGULATIONS FOR THE PLANNED COMMERCIAL DISTRICT	REQUIRED	PROVIDED
(1) ALL PARKING AREAS ARE TO BE INTERIOR TO BUILDING GROUPS, OR BEHIND THREE-OR-FOUR RAIL NATURAL SPLIT-RAIL FENCES, OR THREE-OR-FOUR RAIL WHITE OR BLACK BOARD FENCES, OR OTHERWISE HIDDEN BY EARTH MOUNDING, SCREEN WALLS, OR DENSE SHRUBBERY FROM SIGHT FROM ADJACENT SITES AND FROM NEARBY PUBLIC ROADS, AND DESIGNED AND LOCATED FOR MINIMUM IMPACT ON ADJACENT RESIDENTIAL AREAS.	VISUAL SCREENING WALLS, FENCES, PLANTINGS, MOUNDS OR A COMBINATION OF THESE ELEMENTS.	COMBINATION OF 4'-2" HT. EARTH MOUND, 2'-3" HT. EVERGREEN HEDGE, 3'-RAIL BOARD FENCE, & ORNAMENTAL GRASSES.



GARDEN APARTMENT TYPICAL LANDSCAPE PLAN



D POOL LIGHT: TRZP-LED BY LIGHTWAY
OR OWNER-APPROVED EQUAL WITH SIMILAR LIGHT OUTPUT, DISTRIBUTION, AND COLOR TEMPERATURE

C AREA LIGHT: MILAN BY NLS
OR OWNER-APPROVED EQUAL WITH SIMILAR LIGHT OUTPUT, DISTRIBUTION, AND COLOR TEMPERATURE

BUILDING TYPICAL PLANT LIST B (Northern and Eastern Exposures)

CODE	BOT. NAME/COMMON NAME	SIZE	COND.	SPACING	NOTES
UPRIGHT EVERGREENS					
	Thuja occidentalis 'Hortmating'	30' HT.	B&B	PER PLAN	
MEDIUM EVERGREEN SHRUBS					
	Buxus x Green Velvet	18' HT.	B&B	PER PLAN	
	Taxus x media 'Densiformis'	24' HT.	B&B	PER PLAN	
LOW EVERGREEN SHRUBS					
	Microbiota decussata 'Celtic Pride'	24" SPRD.	B&B	PER PLAN	
LARGE ORNAMENTAL / DECIDUOUS SHRUBS					
	Hydrangea quercifolia 'Snow Queen'	36' HT.	#5 Cont.	PER PLAN	
SMALL ORNAMENTAL / DECIDUOUS SHRUBS					
	Fothergilla x Mount Airy	24' HT.	#3 Cont.	PER PLAN	
	Hydrangea quercifolia 'Ruby Slippers'	24' HT.	#3 Cont.	PER PLAN	
TALL GRASSES & PERENNIALS					
	Callamagrostis acutiflora 'Karl Foerster'	-	#2 Cont.	Plant @ 18" O.C.	
	Polygonatum multiflorum	-	#2 Cont.	Plant @ 18" O.C.	
LARGE GRASSES & PERENNIALS					
	Hosta 'Sun Power'	-	#3 Cont.	Plant @ 36" O.C.	
	Osmundastrum cinnamomeum	-	#3 Cont.	Plant @ 36" O.C.	
SMALL GRASSES, PERENNIALS, GROUNDCOVERS, & VINES					
	Heuchera 'Sweet Tea'	-	#1 Cont.	Plant @ 18" O.C.	
	Liriodendron 'Big Blue'	-	#1 Cont.	Plant @ 15" O.C.	

BUILDING TYPICAL PLANT LIST A (Southern and Western Exposures)

CODE	BOT. NAME/COMMON NAME	SIZE	COND.	SPACING	NOTES
UPRIGHT EVERGREENS					
	Juniperus chinensis 'Spartan'	30' HT.	B&B	PER PLAN	
LARGE EVERGREEN SHRUBS					
	Juniperus chinensis 'Sea Green'	36' HT.	B&B	PER PLAN	
MEDIUM EVERGREEN SHRUBS					
	Buxus x Green Velvet	18' HT.	B&B	PER PLAN	
	Thuja occidentalis 'Bobczam'	24' HT.	B&B	PER PLAN	
	Juniperus chinensis 'Sea Spray'	18' HT.	#3 Cont.	Plant @ 42" O.C.	DO NOT SUBSTITUTE 'SEA GREEN'
LOW EVERGREEN SHRUBS					
	Juniperus conferta 'Blue Pacific'	24" SPRD.	B&B	PER PLAN	
LARGE ORNAMENTAL / DECIDUOUS SHRUBS					
	Viburnum cerasi	36' HT.	B&B	PER PLAN	
SMALL ORNAMENTAL / DECIDUOUS SHRUBS					
	Rosa x Radzio	30' HT.	#3 Cont.	PER PLAN	
	Spiraea japonica 'Goldmound'	30' HT.	#3 Cont.	PER PLAN	
TALL GRASSES & PERENNIALS					
	Callamagrostis acutiflora 'Karl Foerster'	-	#2 Cont.	Plant @ 18" O.C.	
	Echinacea purpurea 'Magnus'	-	#2 Cont.	Plant @ 18" O.C.	
LARGE GRASSES & PERENNIALS					
	Miscanthus sinensis 'Gracillimus'	-	#3 Cont.	Plant @ 4.5' O.C.	
	Perovskia atriplicifolia 'Little Spire'	-	#3 Cont.	Plant @ 30" O.C.	
SMALL GRASSES, PERENNIALS, GROUNDCOVERS, & VINES					
	Hemerocallis 'Tussockilla Tigress'	-	#1 Cont.	Plant @ 18" O.C.	
	Pennisetum alopecuroides 'Hameln'	-	#1 Cont.	Plant @ 18" O.C.	

NOTE:
THE PLAN AS SHOWN IS CONCEPTUAL IN NATURE AND IS PROVIDED TO ILLUSTRATE THE DESIRED LAYOUT AND QUALITY OF THE PROJECT.

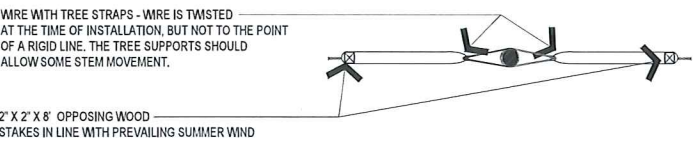
FIELD VERIFY LOCATION AND DEPTHS OF ALL UTILITIES. HAND EXCAVATE ALL PLANTING PITS.

PLANT LABEL KEY: $\frac{1}{XX XX}$ (QUANTITY CODE)

PLANTING NOTES
1. ALL GROUNDCOVERS AND PERENNIALS TO BE PLANTED DURING THE SPRING PLANTING WINDOW. FALL GROUNDCOVER AND PERENNIAL PLANTINGS WILL NOT BE ACCEPTED. COORDINATE PLANTING TIMES WITH OWNERS REPRESENTATIVE TO INCREASE SUCCESS OF GROUNDCOVER AND PERENNIAL PLANTINGS

CODING LAYOUT & MATERIALS NOTES

KEY	ITEM	REFERENCE	NOTES
4	AC CONDENSER SCREEN FENCE 'A'	A EX. E3	OPAQUE STAIN TO MATCH BUILDING TRIM - PROVIDE SAMPLES FOR OWNER APPROVAL.
5	AC CONDENSER SCREEN FENCE 'B'	B EX. E3	OPAQUE STAIN TO MATCH BUILDING TRIM - PROVIDE SAMPLES FOR OWNER APPROVAL.



STAKING PLAN DETAIL

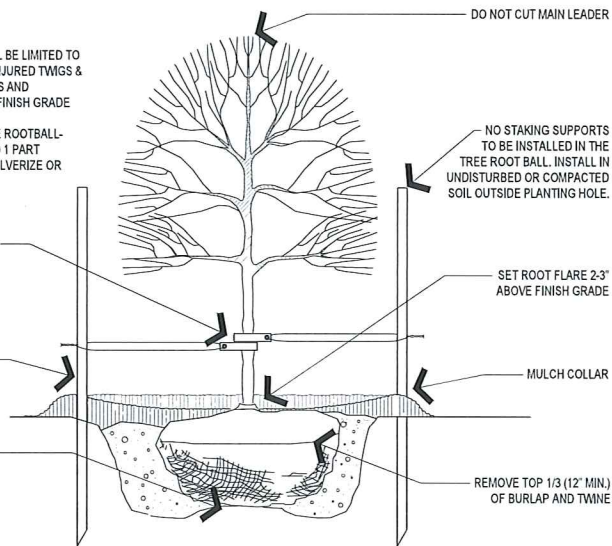
NOTES:
THE AMOUNT OF TREE AND SHRUB PRUNING SHALL BE LIMITED TO THE MINIMUM NECESSARY TO REMOVE DEAD OR INJURED TWIGS & BRANCHES. RETAIN NORMAL SHAPE. PLANT TREES AND EVERGREENS SO THE ROOT FLARE IS 2'-3" ABOVE FINISH GRADE

*DIG PLANTING HOLE TWICE THE DIAMETER OF THE ROOTBALL- BACKFILL WITH MIXTURE 4 PARTS NATIVE SOIL AND 1 PART ORGANIC SOIL CONDITIONER (LEAF COMPOST). PULVERIZE OR CHOP SOIL TO REMOVE CLODS AND CLUMPS

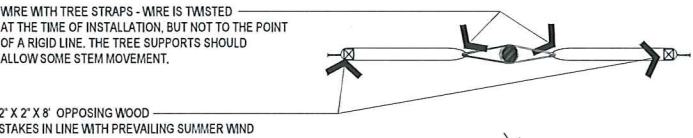
WIRE WITH TREE STRAPS. TWO STRAPS PER TREE. ATTACH 1/3 OF THE DISTANCE FROM GROUND TO FIRST BRANCH - SEE PLAN DETAIL ABOVE

2" X 2" X 8' WOOD STAKE, - SEE PLAN DETAIL ABOVE

SET ROOT BALL ON RAISED PEDESTAL OF COMPACTED OR UNDISTURBED SOIL



C DECIDUOUS TREE
SCALE: 1/2" = 1'-0"



STAKING PLAN DETAIL

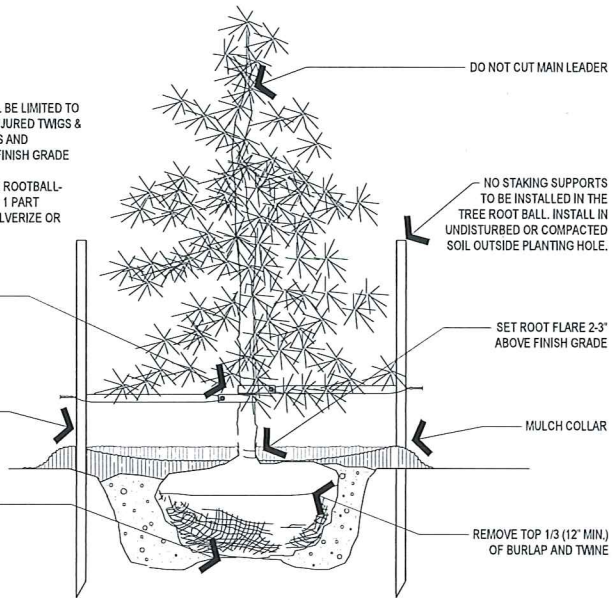
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*DIG PLANTING HOLE TWICE THE DIAMETER OF THE ROOTBALL- BACKFILL WITH MIXTURE 4 PARTS NATIVE SOIL AND 1 PART ORGANIC SOIL CONDITIONER (LEAF COMPOST). PULVERIZE OR CHOP SOIL TO REMOVE CLODS AND CLUMPS

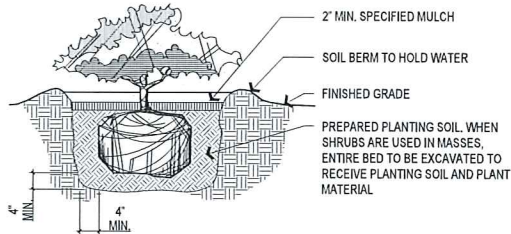
WIRE WITH TREE STRAPS. TWO STRAPS PER TREE. ATTACH AT 1/3 THE HEIGHT OF TREE

2" X 2" X 8' WOOD STAKE, - SEE PLAN DETAIL ABOVE

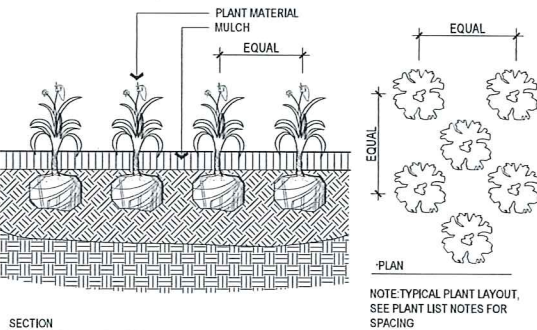
SET ROOT BALL ON RAISED PEDESTAL OF COMPACTED OR UNDISTURBED SOIL



D EVERGREEN TREE
SCALE: 1/2" = 1'-0"



E SHRUB
SCALE: 1/2" = 1'-0"



SECTION

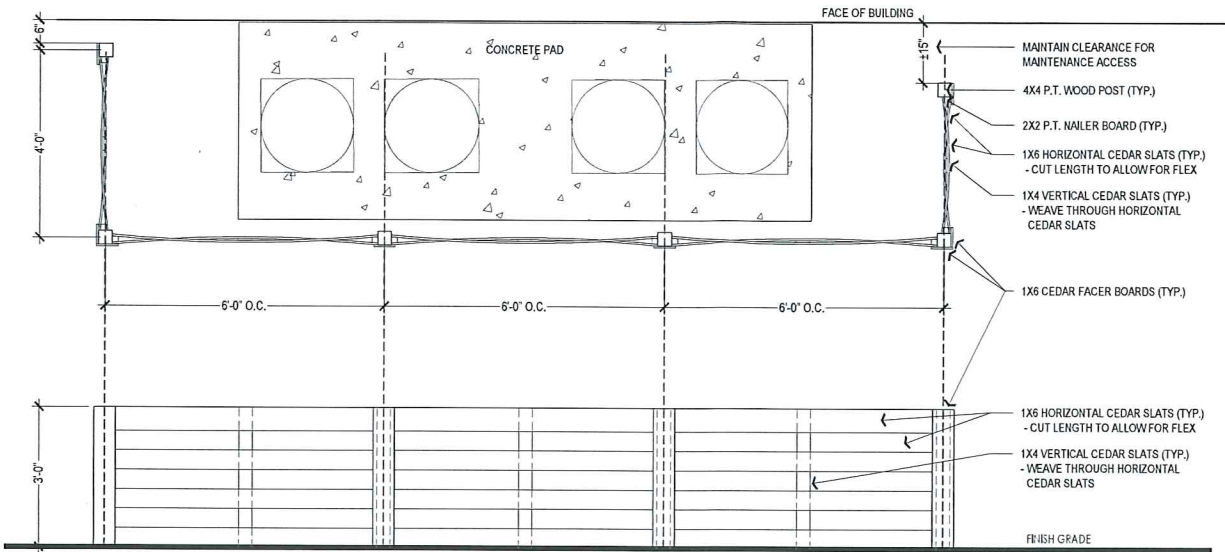
F PERENNIALS & GROUNDCOVERS
SCALE: 1" = 1'-0"

NOTES:
POSTS SHALL BE SOUND, STRAIGHT AND FREE FROM KNOTS, SPLITS, AND SHAKES, AND PEELED THEIR ENTIRE LENGTH. BOTH ENDS SHALL BE DOUBLE TRIMMED AND SAWED SQUARE

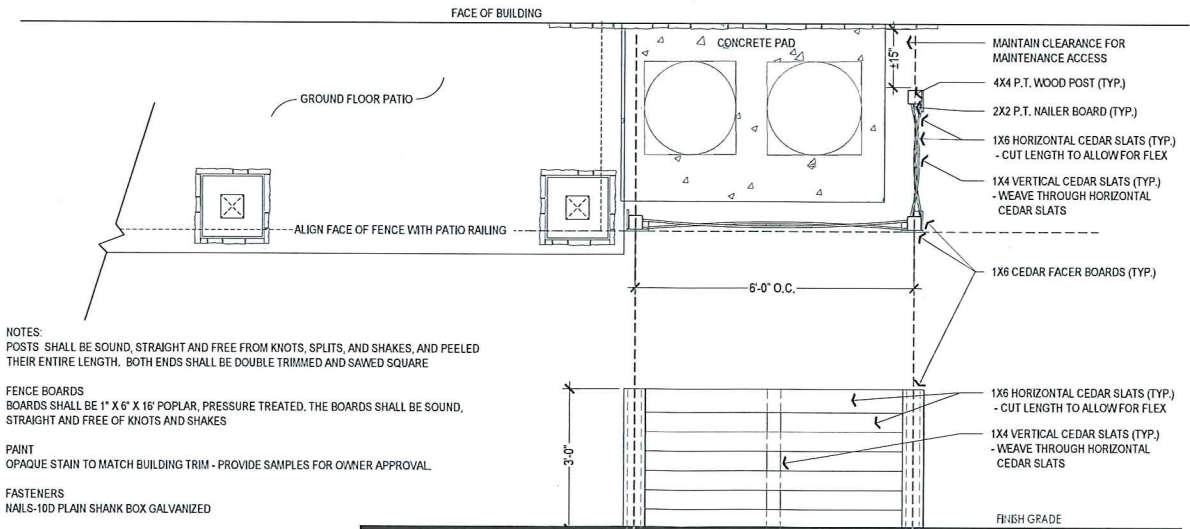
FENCE BOARDS
BOARDS SHALL BE 1" X 6" X 16' POPLAR, PRESSURE TREATED. THE BOARDS SHALL BE SOUND, STRAIGHT AND FREE OF KNOTS AND SHAKES

PAINT
OPAQUE STAIN TO MATCH BUILDING TRIM - PROVIDE SAMPLES FOR OWNER APPROVAL

FASTENERS
NAILS-10D PLAIN SHANK BOX GALVANIZED



A AC CONDENSER SCREEN FENCE 'A'
SCALE: 1/2" = 1'-0"



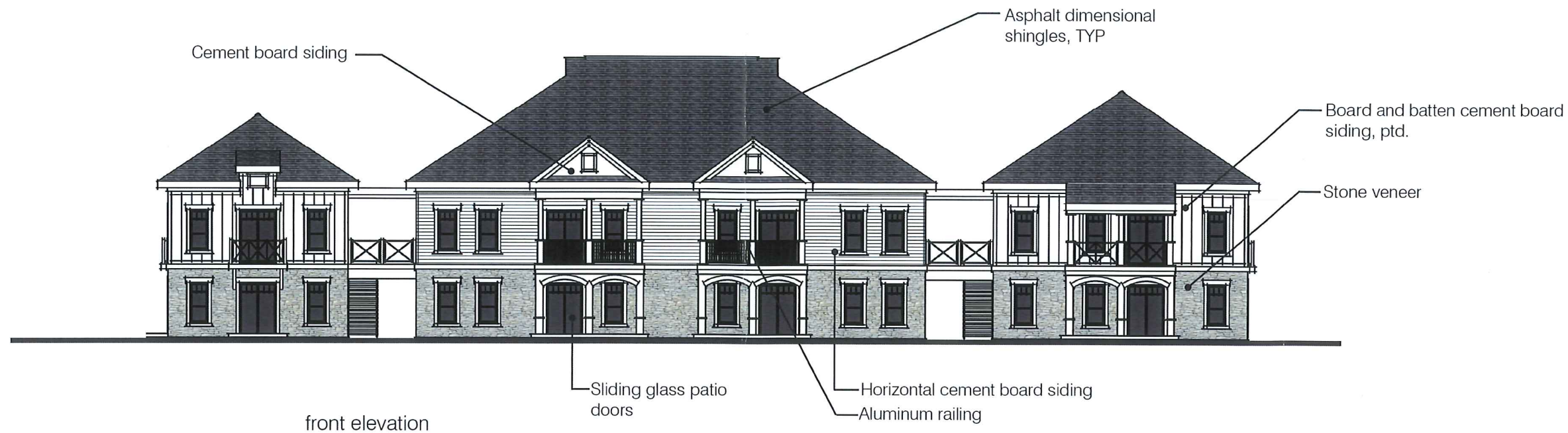
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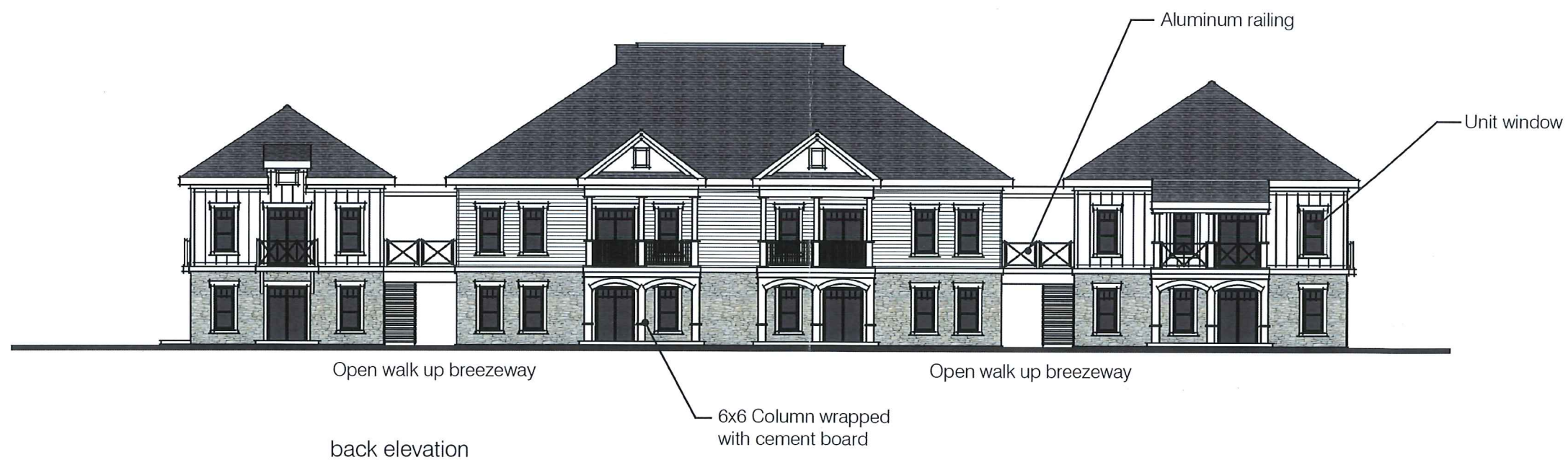
PAINT
OPAQUE STAIN TO MATCH BUILDING TRIM - PROVIDE SAMPLES FOR OWNER APPROVAL

FASTENERS
NAILS-10D PLAIN SHANK BOX GALVANIZED

B AC CONDENSER SCREEN FENCE 'B'
SCALE: 1/2" = 1'-0"



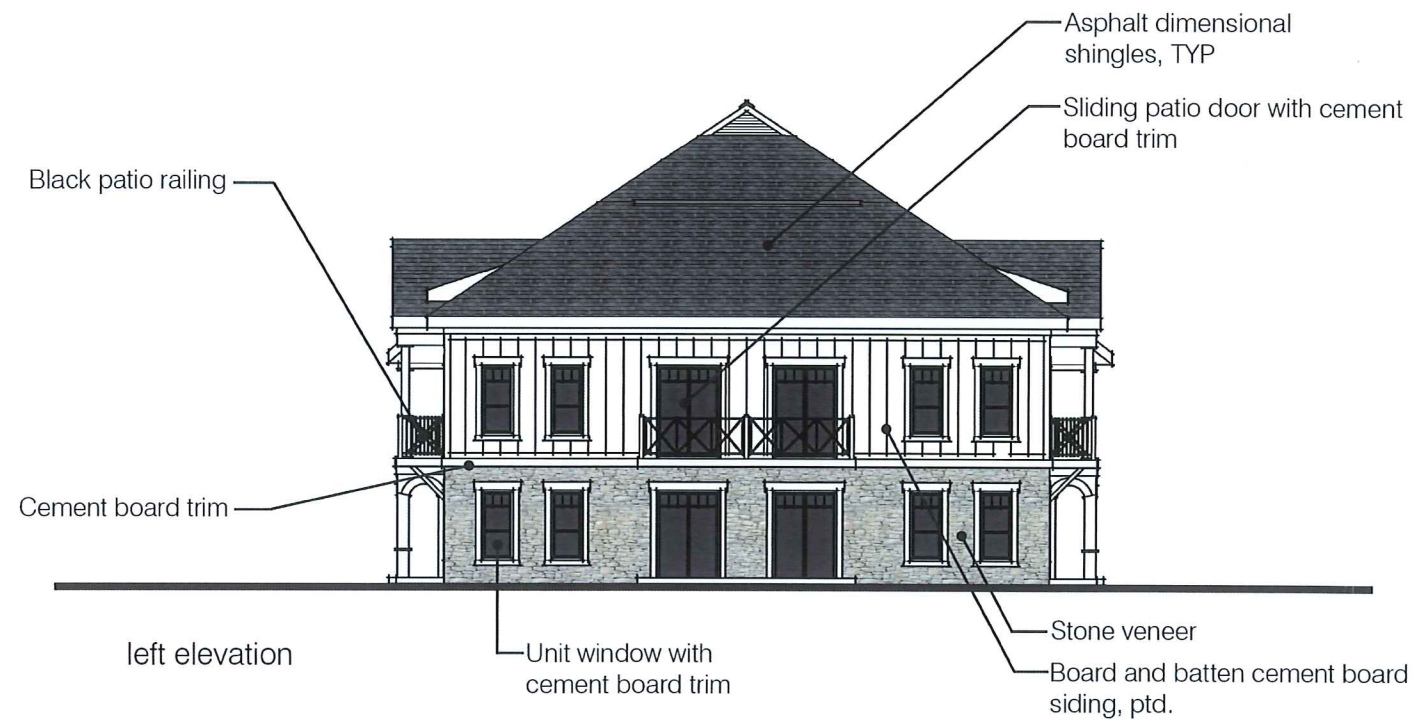
E MULTI-FAMILY FRONT ELEVATION
SCALE: N.T.S.



F MULTI-FAMILY REAR ELEVATION
SCALE: N.T.S.

Middlebury Crossing Retail Buildings - May 25, 2023

meyers+associates
ARCHITECTURE · INTERIOR DESIGN



Cement board siding



Exterior sconce light



Balcony Railings



Heavy timber stairs



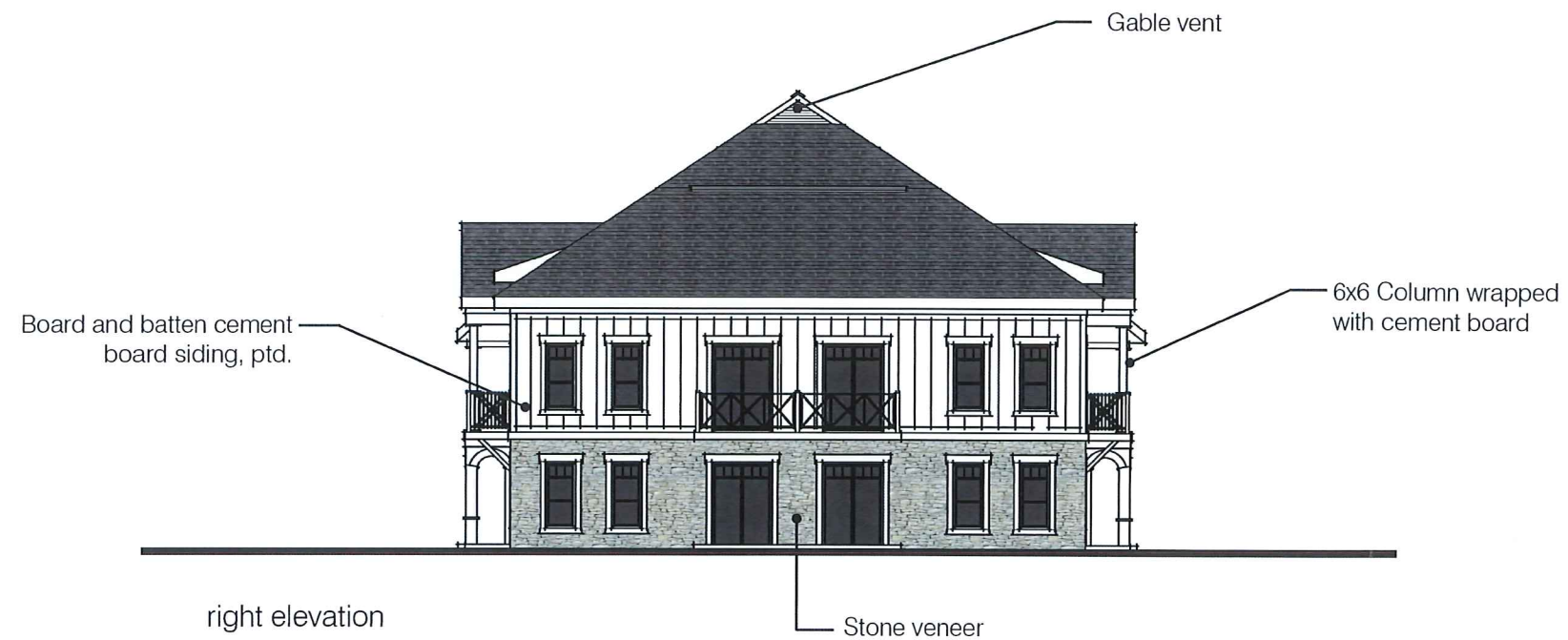
Stone veneer



Asphalt dimensional shingle



H MATERIAL PALLETTE
SCALE: N.T.S.

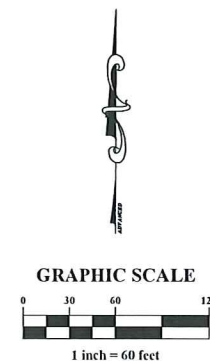
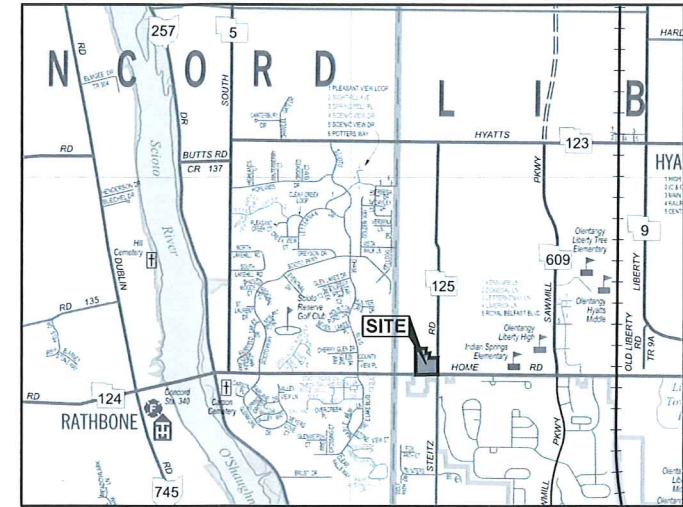
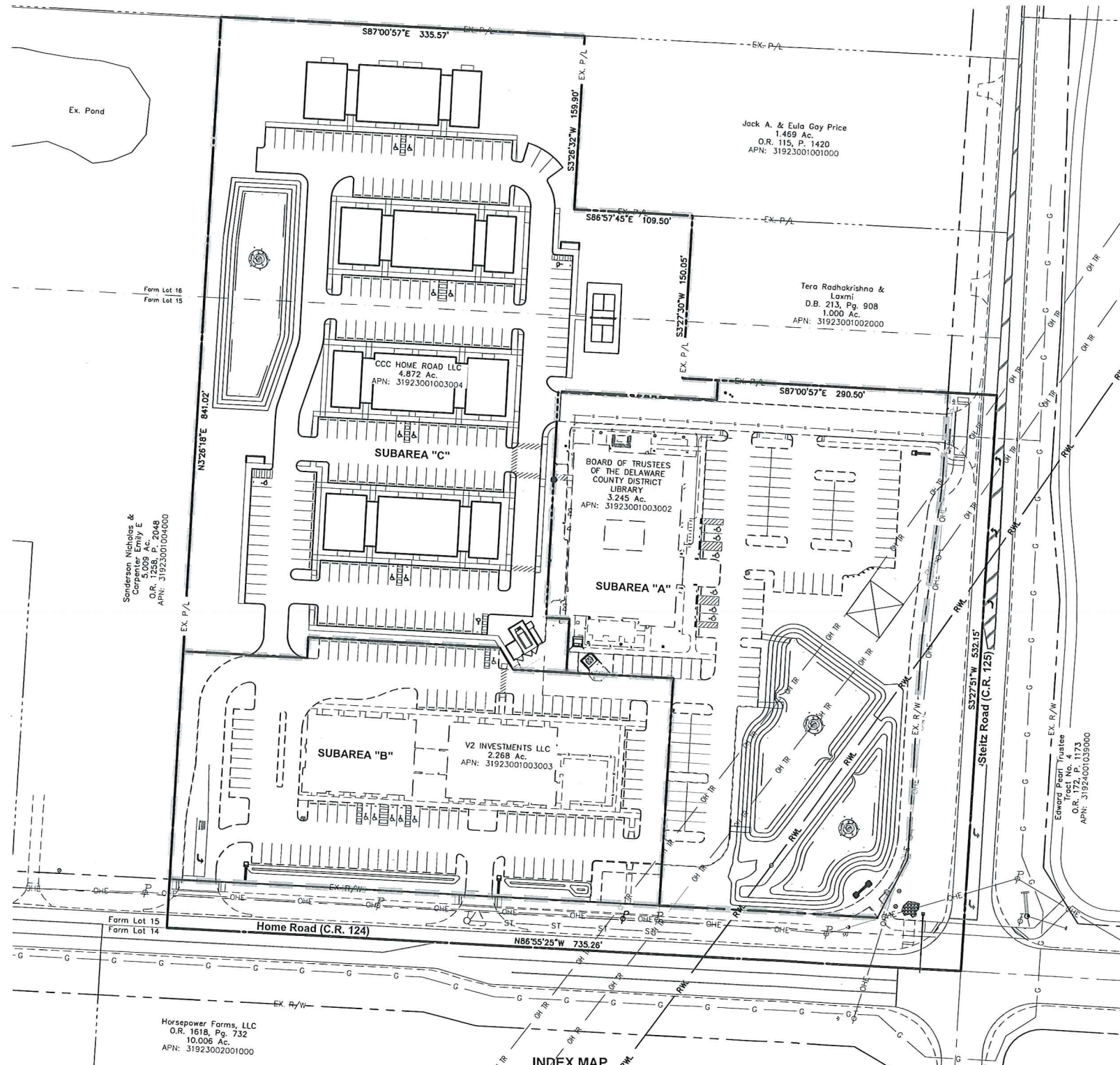


G MULTI-FAMILY SIDE ELEVATION
SCALE: N.T.S.

Middlebury Crossing Multi-Family Building Elevations and Materials Palette- May 25, 2023

AMENDED FINAL DEVELOPMENT PLAN FOR MIDDLEBURY CROSSING

LIBERTY TOWNSHIP, DELAWARE COUNTY, OHIO
FARM LOTS 15 & 16, SECTION 2, TOWNSHIP 3, RANGE 19, USML
2023



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DEVELOPER

CODY COUGHLIN COMPANY
C/O CODY COUGHLIN
377 WEST ORANGE ROAD
DELAWARE, OH 43015
PHONE: (740) 417-6764
CODYCOUGHLIN@GMAIL.COM

OWNER

CCC HOME ROAD LLC
C/O CODY COUGHLIN
377 WEST ORANGE ROAD
DELAWARE, OH 43015
PHONE: (740) 417-6764
CODYCOUGHLIN@GMAIL.COM

LANDSCAPE ARCHITECT

G2 PLANNING AND DESIGN
C/O GARY SMITH
720 E. BROAD STREET, SUITE 200
COLUMBUS, OH 43215
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ENGINEER/SURVEYOR

ADVANCED CIVIL DESIGN, INC.
C/O TOM WARNER
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SITE STATISTICS

SITE LOCATION:	HOME ROAD & STEITZ ROAD, DELAWARE COUNTY, OHIO
PARCEL NUMBER:	31923001003000
GROSS ACREAGE:	±11.739 AC.
RIGHT-OF-WAY:	±120 AC.
NET ACREAGE:	±10.55 AC.
SUBAREA "A" - EXISTING DELAWARE COUNTY LIBRARY BRANCH	
NET ACREAGE:	3.245 AC.
SUBAREA "B" - COMMERCIAL ESTABLISHMENTS OR OFFICE	
NET ACREAGE:	2.268 AC.
SUBAREA "C" - MULTI-FAMILY RESIDENCES	
NET ACREAGE:	4.872 AC. 62 DWELLING UNITS

INDEX MAP
SCALE: 1" = 60'

GENERAL NOTES SUBDIVISION

STREET AND STORM SEWER

1. THE REQUIREMENTS OF THE CITY OF POWELL, TOGETHER WITH SPECIFICATIONS OF THE STATE OF OHIO, DEPARTMENT OF TRANSPORTATION (ODOT), THE OHIO ENVIRONMENTAL PROTECTION AGENCY (OEPA) PERMIT NO. OHC 000004, CITY OF COLUMBUS (C.O.C.) CONSTRUCTION AND MATERIAL SPECIFICATIONS 2012 (CMSC), OR LATEST EDITIONS, SHALL GOVERN ALL MATERIALS AND WORKMANSHIP INVOLVED IN THE IMPROVEMENTS SHOWN ON THESE PLANS, UNLESS OTHERWISE NOTED.
2. ALL CONTRACTORS SHALL INVESTIGATE AND LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION.
3. ALL CONTRACTORS SHALL NOTIFY THE CITY ENGINEER'S OFFICE SEVENTY TWO (72) HOURS PRIOR TO THE START OF ANY CONSTRUCTION.
4. CONTRACTOR SHALL POST "CONSTRUCTION TRAFFIC 25 MPH" SIGNS AND PROVIDE PERIODIC STREET SWEEPING, OR AS REQUIRED BY THE CITY ENGINEER.
5. THE PROPOSED ELEVATIONS AND LOCATIONS OF INLETS, CATCH BASINS, PIPES AND ESTIMATED LENGTHS OF PIPE MAY BE ADJUSTED BY THE ENGINEER DURING THE ENTIRE IMPROVEMENT OF THIS PROJECT. BASIS OF PAYMENT FOR POSSIBLE ADJUSTMENTS SHALL BE INCLUDED IN THE UNIT PRICE BID FOR VARIOUS STORM SEWERS TO BE ADJUSTED. ALL REVISIONS TO THIS PLAN SHALL BE APPROVED IN WRITING BY THE CITY OF POWELL ENGINEER PRIOR TO CONSTRUCTION.
6. PIPE SPECIFICATIONS FOR THE PLAN IMPROVEMENTS MAY BE IN ACCORDANCE WITH THE FOLLOWING (EXCEPT AS DESIGNATED WITHIN THE PROFILES) OR AS LISTED ON THE CITY OF COLUMBUS APPROVED SEWER PIPE CONSIGNMENT LIST, LATEST EDITION.
7. REINFORCED CONCRETE PIPE ASTM C-76 (CMSC 706.02). CONCRETE CLASSIFICATION SHALL BE IN CONFORMANCE WITH THE FOLLOWING UNLESS OTHERWISE REFERENCED BY THE PROFILES.
12" - 15" DIAMETER PIPE, CLASS IV
18" - 24" DIAMETER PIPE, CLASS III
27" - GREATER DIAMETER PIPE, CLASS II
8. ALL BEDDING SHALL BE IN ACCORDANCE WITH STANDARD DRAWING AA-S151 AND AA-S152 FOR RIGID PIPE SEWER.
9. TRANSVERSE STORM SEWER AND UTILITY LINES WITHIN THE PAVEMENT AREA SHALL BE BACKFILLED WITH C.O.C. ITEM 912 IN ACCORDANCE WITH BACKFILL NOTES ON THIS SHEET. SHOULD WEATHER CONDITIONS EXIST THAT PREVENT THE CONTRACTOR FROM MEETING THE COMPACTION REQUIREMENTS OF C.O.C. ITEM 912, THE DEVELOPER'S CONSTRUCTION MANAGER MAY OPT TO USE FLOWABLE CONTROLLED DENSITY FILL (CDF) (PER C.O.C. ITEM 613) IN PLACE OF C.O.C. ITEM 912, OR SHUT DOWN CONSTRUCTION.
10. LONGITUDINAL STORM SEWERS AND UTILITY LINES UNDER PAVEMENT, OR WITHIN INFLUENCE OF PAVEMENT, DRIVEWAYS OR SIDEWALK SHALL BE BACKFILLED WITH COMPACTED GRANULAR MATERIAL, PER ITEM 912 OR FCDP, PER ITEM 613, AND ALL OTHER REMAINING LENGTHS TO BE BACKFILLED AS PER ITEM 203 OUTSIDE RIGHT-OF-WAY (R/W) WITH SUITABLE MATERIAL TO BE APPROVED BY THE CITY ENGINEER. ALL STRUCTURES AND PIPE WITHIN R/W OUTSIDE OF PAVEMENT AREAS SHALL BE BACKFILLED WITH SUITABLE EXCAVATED MATERIAL COMPACTED TO THE C.O.C., ITEM 911, UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER.
11. STORM STRUCTURES ARE TO BE PRECAST ONLY. GRATES AND CASTINGS MUST BE FACTORY PAINTED WITH ASPHALTIC BLACK PAINT.
12. THE CONTRACTOR SHALL INCLUDE IN THE UNIT PRICE BID FOR ITEM 901 ALL TRENCHING, BACKFILLING AS PER PLAN, AND THE REMOVAL AND DISPOSAL OF BRUSH, TREES, AND STUMPS WITHIN THE AREA OF EXCAVATION OF THE TRENCH.
13. THE CONTRACTOR SHALL INCLUDE IN THE UNIT PRICE BID FOR ITEM 203 EXCAVATION THE REMOVAL AND DISPOSAL OF ALL TREES, BRUSH AND STUMPS WITHIN THE LIMITS OF THE R/W.
14. ALL UTILITIES SHALL BE INSTALLED UNDER EXISTING PAVED STREETS BY BORING OR JACKING UNLESS OPEN CUTTING IS SPECIFICALLY APPROVED BY THE CITY ENGINEER IN WRITING.
15. CONSTRUCTION LAYOUT: ALL CONSTRUCTION LAYOUT SHALL BE PERFORMED BY A SURVEYOR, REGISTERED IN THE STATE OF OHIO, AT NO COST TO THE CITY. CUT SHEETS SHALL BE PREPARED FOR ALL SEWERS AND WATERLINES FOLLOWING THE FORMAT ACCEPTABLE TO THE CITY. AT LEAST ONE (1) COPY OF ALL CUT SHEETS SHALL BE DELIVERED TO THE CITY OF POWELL ENGINEER TWO (2) WORKING DAYS PRIOR TO BEGINNING ANY WORK. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING LAYOUT STAKES DURING CONSTRUCTION. ALL DISTURBED STAKES SHALL BE REPLACED BY A REGISTERED SURVEYOR PRIOR TO ANY CONSTRUCTION ACTIVITY. COST FOR RESTAKING SHALL BE THE CONTRACTORS RESPONSIBILITY.
16. PAVEMENT CROSSING SLEEVES FOR THE ELECTRIC, GAS AND TELEPHONE CO. SERVICES SHALL BE SUPPLIED BY THE UTILITY CONCERNED AND INSTALLED BY THE EXCAVATING CONTRACTOR PRIOR TO INSTALLATION OF THE PAVEMENT ITEMS. COST OF THIS WORK SHALL BE INCLUDED IN THE PRICE BID FOR THE VARIOUS ITEMS.
17. LOCATION OF SLEEVES SHALL BE AS FOLLOWS:
A. 36" DEPTH FROM TOP OF CONCRETE CURB & GUTTER TO TOP OF SLEEVE.
B. ALL SLEEVES SHALL EXTEND A MINIMUM OF 4' BEYOND BACK OF CURB.
C. ALL SLEEVES SHALL BE INSTALLED PRIOR TO THE CONSTRUCTION OF THE PAVEMENTS.
D. BACKFILL SHALL BE CONTROLLED DENSITY FILL PER CITY OF COLUMBUS ITEM 636 (K-CRETE).
E. FOR COLUMBIA GAS, FERGUSON ENTERPRISES WILL PROVIDE ALL NECESSARY SLEEVES AND DELIVER THESE TO THE JOB SITE. THE CONTRACTOR SHOULD CONTACT PAT SHAU, AT (614) 876-8555 AT LEAST SEVEN (7) DAYS PRIOR TO WHEN THE SLEEVES ARE NEEDED.
18. CONSTRUCTION TRAFFIC: NO NON-RUBBER TIRED VEHICLES MAY BE MOVED ON ANY PUBLIC ROAD OR STREET UNLESS APPROVED, IN WRITING, BY THE CITY. DETAILS TO PROTECT PUBLIC ROADS OR STREETS SHALL BE SUBMITTED TO THE CITY FOR REVIEW AND APPROVAL BY THE CONTRACTOR.
19. NO TRAFFIC WILL BE PERMITTED ON CONCRETE BASE FOR SEVEN (7) DAYS AND NO TRAFFIC WILL BE PERMITTED ON NEW ASPHALT SURFACE FOR TWO (2) DAYS.
20. PROJECT MAINTENANCE: DURING CONSTRUCTION, THE DEVELOPER WILL BE RESPONSIBLE FOR MAINTAINING THE PROJECT SITE IN A CLEAN AND ORDERLY MANNER, I.E. KEEPING THE OVERALL SITE FREE OF CONSTRUCTION DEBRIS WITH PARTICULAR ATTENTION BEING GIVEN TO THE DEVELOPED AREA AND MINIMIZING THE AMOUNT OF DIRT ON STREETS VIA A STREET CLEANING PROGRAM AS REQUIRED BY CITY ENGINEER. ANY PILE OF DEBRIS MUST BE REMOVED FROM THE SITE WITHIN 30 DAYS OR AS DIRECTED BY THE CITY OF POWELL.
21. THE DEVELOPER WILL PRESERVE AS MANY EXISTING TREES AS POSSIBLE DURING THE COURSE OF CONSTRUCTION. TO PREVENT MECHANICAL OR COMPACTION INJURY TO EXISTING TREES NOT EXEMPT UNDER SEC. 1145.29 (C) - PER CITY OF POWELL ZONING CODE, THE DEVELOPER WILL REQUIRE THE CONTRACTOR AND BUILDERS TO INSTALL SNOW FENCING OR BARRIER AROUND A TREE OR GROUP OF TREES TO PROTECT THE TREES AND FOREST FLOOR. TREE PROTECTION SHALL BE PLACED BEFORE ANY CONSTRUCTION OR GRADING IS BEGUN AND SHALL BE MAINTAINED IN REPAIR DURING CONSTRUCTION. THE FENCING SHALL BE LOCATED AS FAR OUT FROM THE TRUNK AS THE DRIPLENE TO RESTRICT CONSTRUCTION WITHIN THAT AREA.
22. ALL DISTURBED SURFACE AREAS NOT COVERED BY STRUCTURES OR A HARD SURFACE IMPROVEMENT SHALL BE COVERED WITH STONE OR SHALL BE SEEDED OR SODDED, IN ACCORDANCE WITH OEPA PERMIT NO. OCH 000004 AND CITY REGULATIONS, AND SLOPED TO DRAIN. ALL GRASS OR STONE AREAS SHALL HAVE A MINIMUM SLOPE OR GRADE OF ONE PERCENT; EXCEPT THAT THE GROUND NEXT TO BUILDINGS SHALL SLOPE AWAY FROM THE BUILDING AT A FIVE PERCENT GRADE FOR A MINIMUM OF TEN FEET.
23. IN ADDITION TO ALL OF THE ABOVE, THE CONTRACTOR SHALL READ PART ELEVEN, TITLE ONE OF THE CITY OF POWELL'S DEVELOPMENT REGULATIONS, AND ABIDE BY REQUIRED SPECIFICATIONS LISTED IN SAME.

PIPE UNDERDRAIN

1. UNDERDRAINS SHALL BE INSTALLED AND BACKFILLED TO SUB-GRADE ELEVATIONS IMMEDIATELY PRIOR TO CONSTRUCTION OF THE SUBBASE.
2. HOWEVER, WHERE SUBSURFACE CONDITIONS ARE SUCH THAT IMPROVEMENT OF UNSTABLE SUB-GRADE CAN BE ACCOMPLISHED THROUGH DRYING ACTION OF UNDERDRAINS, THE ENGINEER MAY AUTHORIZE OR REQUIRE THE CONTRACTOR TO DELAY CONSTRUCTION OF THE SUBBASE AS NECESSARY.
3. IMMEDIATELY PRIOR TO THE CONSTRUCTION OF CURBS, THE MATERIAL LOCATED ABOVE AND WITHIN THE UNDERDRAIN TRENCH SHALL BE REMOVED TO A DEPTH NECESSARY TO EXPOSE CLEAN STONE. BACKFILL THE TRENCH SO THE EXCAVATED AREA SHALL BE BACKFILLED WITH CLEAN STONE.
4. REINFORCED ENDS SHALL BE PROVIDED FOR THE EXPOSED ENDS OF ALL CORRUGATED METAL TYPE "F" USED FOR ALL UNDERDRAIN OUTLETS IF THE EXPOSED PIPE ENDS ARE UNPROTECTED BY HEADWALLS, CATCH BASINS OR MANHOLES.
5. PAYMENT FOR REINFORCED ENDS SHALL BE INCLUDED IN THE PRICE BID FOR THE PERTINENT PIPE ITEMS.

SEEDING

1. THE SEEDING (EITHER PERMANENT OR TEMPORARY) SHALL BE COMVENED WITHIN 7 DAYS AFTER THE OVERLAND STREET AND LOT GRADING IS COMPLETED.
2. BASED ON CONSTRUCTION START UP DATE, AND CONTRACTOR'S SCHEDULE OF EVENTS, THE SEEDING MIXTURE AND SEDIMENT CONTROL MAY BE CHANGED BY THE CITY ENGINEER, DUE TO A NONGROWING SEASON AT TIME OF START UP.

SURVEY

1. SOURCES OF RECORDED SURVEY DATA ARE THE RECORDS OF THE DELAWARE COUNTY, OHIO, RECORDER REFERENCED IN THE PLAN AND TEXT OF THIS PLAN.
2. IRON PINS, WHERE INDICATED ON THE PLAT, UNLESS OTHERWISE NOTED, ARE TO BE SET AND ARE THIRTEEN SIXTEENTHS (13/16) INCH I.D., THIRTY-SIX (36) INCHES LONG WITH A PLASTIC PLUG PLACED IN THE TOP BEARING THE INITIALS ACD.
3. PERMANENT MARKERS, WHERE INDICATED ON THE PLAT, UNLESS OTHERWISE NOTED, ARE TO BE SET AND ARE ONE (1) INCH I.D., THIRTY-SIX (36) INCHES LONG, BURIED ONE (1) FOOT IN DEPTH WITH A PLASTIC PLUG PLACED IN THE TOP BEARING THE INITIALS ACD.

BACKFILL

1. ALL TRENCHES UNDER PAVEMENT WITHIN PUBLIC R/W OR WHERE THE FRONT FACE OF TRENCHES, PARALLELING THE PAVEMENT ARE LOCATED WITHIN THE PAVEMENT INFLUENCE SHALL BE BACKFILLED WITH COMPACTED GRANULAR MATERIAL AS PER C.O.C. CMSC, ITEM 912, OR FCDP AS PER C.O.C. CMSC, ITEM 613 UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER.
2. THE FIRST 36" OF BACKFILL ABOVE THE TOP OF PIPE SHALL BE FILLED WITH A MATERIAL MEETING THE FOLLOWING GRADATION:
TOTAL PASSING % BY WEIGHT
SIEVE
1" 100
NO.8 3-5
OR FCDP PER C.O.C. CMSC, ITEMS 912.02, AND 613.
3. ELSEWHERE WITHIN THE R/W AND OUTSIDE OF THE PAVEMENT INFLUENCE LINE, BACKFILL SHALL BE AS PER C.O.C. CMSC, ITEM 911.
4. WHERE COMPACTED BACKFILL IS SHOWN, BACKFILL SHALL BE COMPACTED TO A DENSITY AT LEAST EQUAL TO THAT OF THE ADJACENT UNDISTURBED SOIL IN THE AREA. GRANULAR MATERIAL SHALL BE USED ABOVE THE TOP OF PIPE TO A SUFFICIENT DEPTH TO ACHIEVE COMPACTION WITHOUT CRUSHING THE PIPE. COMPACTED GRANULAR MATERIAL, ITEM 912, OR FCDP ITEM 613 SHALL BE USED UNDER PAVEMENT CROSSING AS SHOWN ON THE STORM SEWER PROFILES, UNLESS OTHERWISE APPROVED, IN WRITING, BY THE CITY ENGINEER.
5. THE CONTRACTOR SHALL BE REQUIRED TO SUBMIT TESTING RESULTS FOR BACKFILL COMPACTION AND STREET SUBGRADE TO THE CITY ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION OF ROADWAY BASE. TESTING SHALL BE PERFORMED IMMEDIATELY AFTER COMPACTION HAS BEEN COMPLETED. TESTING SHALL BE CONDUCTED PER C.O.C. STANDARDS.

EXISTING UTILITIES

1. ANY EXISTING FIELD TILE ENCOUNTERED DURING CONSTRUCTION SHALL BE PROPERLY RE-ROUTED TO DRAIN (REPAIRED IF NECESSARY), OR CONNECTED TO THE STORM SEWER SYSTEM. THE CITY OF POWELL ENGINEERING DEPARTMENT SHALL BE NOTIFIED IMMEDIATELY WHEN A FIELD TILE IS ENCOUNTERED. AT NO TIME IS THE EXISTING FIELD TILE ALLOWED TO BE TAPPED INTO THE SANITARY SEWER SYSTEM.
2. THE IDENTITY AND LOCATION OF THE EXISTING UNDERGROUND UTILITY FACILITIES KNOWN TO BE LOCATED IN THE CONSTRUCTION AREA HAVE BEEN SHOWN ON THE PLANS AS LOCATIONS AS PROVIDED BY THE OWNER OF THE UTILITY. THE DELAWARE COUNTY ENGINEER, CITY OF POWELL ENGINEER AND/OR THE DESIGN ENGINEER ASSUMES NO RESPONSIBILITY AS TO THE ACCURACY OF THE LOCATIONS OR THE DEPTHS OF THE UNDERGROUND FACILITIES SHOWN ON THE PLANS.
3. SUPPORT, PROTECTION AND RESTORATION OF ALL EXISTING UTILITIES AND APPURTENANCES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE COST OF THIS WORK SHALL BE INCLUDED IN THE PRICE BID FOR THE VARIOUS ITEMS.
4. THE CONTRACTOR SHALL CAUSE NOTICE TO BE GIVEN TO THE OHIO UTILITIES PROTECTION SERVICE (OUPS) (PHONE 800-362-2764 - TOLL FREE) AND TO OWNERS OF UTILITY FACILITIES SHOWN ON THE PLANS WHO ARE NOT MEMBERS OF A REGISTERED UNDERGROUND PROTECTION SERVICE, IN ACCORDANCE WITH SECTION 153.64 OF THE REVISED CODE. NOTICE SHALL BE GIVEN AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO START OF CONSTRUCTION.

PAVEMENT MARKING AND TRAFFIC SIGNAGE

1. PAVEMENT MARKINGS SHALL BE INSTALLED AT LOCATIONS SHOWN ON THE PLANS PER O.D.O.T. CONSTRUCTION AND MATERIAL SPECIFICATIONS (C.M.S.) ITEMS 640, 641 AND 644. TRAFFIC SIGNAGE SHALL BE INSTALLED AT THE LOCATIONS SHOWN ON THE PLANS PER O.D.O.T. C.M.S. ITEM 630 AND THE OHIO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (OMUTCD) PARTS 2 & 6.

PRE-CONSTRUCTION MEETING

1. A PRE-CONSTRUCTION CONFERENCE SHALL BE HELD AT THE CITY ENGINEER'S OFFICE AT LEAST 15 CALENDAR DAYS BEFORE ANY WORK IS BEGUN. REPRESENTATIVES OF THE OWNER, DESIGN ENGINEER, AND CONTRACTOR SHALL BE IN ATTENDANCE. A SCHEDULE OF SEQUENCE OF EVENTS, DURING CONSTRUCTION, MUST BE SUBMITTED FOR REVIEW AT LEAST 3 DAYS PRIOR TO THIS MEETING.

AS-BUILT PLAN

1. THE DEVELOPER/OWNER SHALL PROVIDE THE CITY OF POWELL WITH AN AS-BUILT SURVEY OF IMPROVEMENTS, INCLUDING THE STORM WATER MANAGEMENT SYSTEM (INCLUDING RETENTION POND AND APPURTENANCES) AND ALL CRITICAL SPOT ELEVATIONS DEPICTING THAT THE OVERLAND MAJOR STORM ROUTINGS FUNCTION PER APPROVED PLAN AND AS INTENDED.

TRAFFIC MAINTENANCE

1. ALL TRAFFIC CONTROL DEVICES SHALL BE FURNISHED, ERECTED, MAINTAINED AND REMOVED BY THE CONTRACTOR IN ACCORDANCE WITH THE OMUTCD FOR CONSTRUCTION AND MAINTENANCE OPERATIONS (CURRENT EDITION), COPIES OF WHICH ARE AVAILABLE FROM THE OHIO DEPARTMENT OF TRANSPORTATION, 1980 WEST BROAD STREET, COLUMBUS, OHIO 43223.
2. THE SAFETY OF PEDESTRIAN TRAFFIC SHALL BE CONSIDERED AT ALL TIMES IN THE PROVISION OF THE TRAFFIC CONTROL DEVICES REQUIRED BY THESE PLANS AND NOTES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE LIGHTS, SIGNS, BARRICADES, AND OTHER DEVICES TO WARN OF, AND PHYSICALLY SEPARATE THE PEDESTRIAN FROM, HAZARDS INCIDENTAL TO THE CONSTRUCTION OPERATIONS SUCH AS ANCHOR BOLTS, OPEN EXCAVATIONS, ETC.
3. ALL TRENCHES SHALL BE BACKFILLED OR SECURELY PLATED DURING NON-WORKING HOURS. STEADY-BURNING TYPE "C" LIGHTS SHALL BE REQUIRED ON ALL BARRICADES, DRUMS, AND SIMILAR TRAFFIC CONTROL DEVICES IN USE AT NIGHT.
4. VEHICULAR AND PEDESTRIAN ACCESS TO ALL PROPERTY PARCELS ABUTTING THE PROJECT SHALL BE MAINTAINED AT ALL TIMES.
5. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE CONSTRUCTION ACTIVITIES WITH THE CITY ENGINEER AND WITH THE OWNERS OF ABUTTING PROPERTIES IN ADVANCE OF ANY OPERATIONS WHICH AFFECT ACCESS.
6. PAYMENT FOR ALL TRAFFIC MAINTENANCE ITEMS SHALL BE INCLUDED WITH THE LUMP SUM PRICE BID FOR ITEM 614, MAINTENANCE OF TRAFFIC.
7. THE CONTRACTOR SHALL NOTIFY POLICE, FIRE AND SCHOOL OFFICIALS ON ANY LANE CLOSURES ON HOME ROAD.
8. ACCESS TO ALL ADJOINING PROPERTIES SHALL BE MAINTAINED AT ALL TIMES.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND SAFE MOVEMENT OF PEDESTRIANS THROUGH, AROUND, AND AWAY FROM THE CONSTRUCTION SITE.
10. ALL TRENCHES WITHIN PUBLIC R/W SHALL BE BACKFILLED ACCORDING TO THE APPROVED CONSTRUCTION DRAWINGS OR SECURELY PLATED DURING NON-WORKING HOURS. TRENCHES OUTSIDE THESE AREAS SHALL BE BACKFILLED OR SHALL BE PROTECTED BY APPROVED TEMPORARY FENCING OR BARRICADES DURING NON-WORKING HOURS. CLEAN-UP SHALL FOLLOW CLOSELY BEHIND THE TRENCHING OPERATION.
11. AT LEAST TWO-WAY, ONE-LANE TRAFFIC SHALL BE MAINTAINED ON ALL ROADS DURING CONSTRUCTION OPERATIONS, IN ACCORDANCE WITH PAGE C-18 OF THE OHIO MANUAL. A LAW ENFORCEMENT OFFICER(S) SHALL BE SUBSTITUTED FOR EACH FLAGPERSON SHOWN ON THIS PAGE AND SUCH OFFICERS SHALL BE PRESENT WHENEVER TWO-WAY, ONE-LANE TRAFFIC IS IN EFFECT. CONTACT THE CITY OF POWELL POLICE AT (614) 885-5005, LT. STEVE HRYTZIK, AT LEAST FORTY EIGHT (48) HOURS IN ADVANCE TO ARRANGE FOR SPECIAL DUTY OFFICERS.
12. ALL TRAFFIC LANS SHALL BE FULLY OPEN TO TRAFFIC ON ALL ROADS FROM 6:00 TO 9:00 A.M. AND 4:00 TO 7:00 P.M. ONE LANE MAY BE CLOSED TO TRAFFIC DURING WORKING HOURS.

DEL-CO WATER COMPANY

GENERAL NOTES FOR WATER LINE CONSTRUCTION
REVISED: JANUARY 17, 2020

1. GENERAL NOTES AS MODIFIED BY DEL-CO AND SHOWN ON THE APPROVED CONSTRUCTION DRAWINGS SHALL SUPERSEDE THE REQUIREMENTS OF THE DEL-CO WATER COMPANY CONSTRUCTION STANDARDS MANUAL WHEREVER DISCREPANCIES OCCUR.
2. STANDARD GENERAL NOTES:
a. WATER LINE DESIGN, MATERIALS, AND INSTALLATION METHODS SHALL CONFORM TO APPLICABLE SECTIONS OF RECOMMENDED STANDARDS FOR WATER LINES, AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARDS, AND THE DEL-CO WATER COMPANY CONSTRUCTION STANDARDS MANUAL. CONTRACTOR SHALL OBTAIN A COPY OF THE STANDARDS AND HAVE IN THEIR POSSESSION AT ALL TIMES DURING CONSTRUCTION.
b. DEL-CO'S SIGNATURE ON THIS PLAN SIGNIFIES ONLY CONCURRENCE WITH THE GENERAL PURPOSE AND LOCATION OF THE PROPOSED WATER LINE IMPROVEMENTS. ALL TECHNICAL DETAILS REMAIN THE RESPONSIBILITY OF THE PROFESSIONAL ENGINEER WHO PREPARED AND CERTIFIED THESE PLANS. DEL-CO WATER COMPANY TAKES NO RESPONSIBILITY FOR ANY ERRORS OR OMISSIONS, INCLUDING REVISIONS, REGARDING ERRORS IN THIS PLAN.
c. CORRECTION OF ERRORS SHALL BE TO THE APPLICABLE DEL-CO WATER COMPANY STANDARD, AND THE SOLE RESPONSIBILITY OF THE DEVELOPER. ALL CORRECTIONS, OR REVISIONS THAT AFFECT DEL-CO'S WATER LINE PLANS, DIRECTLY OR INDIRECTLY SHALL BE SUBMITTED TO, AND APPROVED BY DEL-CO WATER COMPANY PRIOR TO REVISIONS BEING ISSUED.
d. GPS COORDINATES SHALL BE PROVIDED TO DEL-CO WATER AT THE COMPLETION OF THE WATERLINE INSTALLATION. THESE COORDINATES SHALL INCLUDE ALL MATERIALS, EQUIPMENT AND LABOR NECESSARY TO OBTAIN HORIZONTAL AND VERTICAL (NORTHING, EASTING AND ELEVATION) SURVEY COORDINATES FOR THE WATER MAIN IMPROVEMENTS. THE SURVEY COORDINATES SHALL BE OBTAINED AT THE COMPLETION OF THE WATER MAIN INSTALLATION AND SHALL INCLUDE ALL VALVES, TEES, FIRE HYDRANTS, BENDS, PLUGS, REDUCERS, TAPPED TEES, CURB STOPS, AIR RELEASES, 2" END OF LINE FIRE HYDRANTS, ENDS OF CASING PIPE, SERVICE SADDLES AND CORPORATIONS. ADDITIONAL GPS COORDINATES ARE REQUIRED ON THE WATER MAIN EVERY 200' WHERE NO FITTINGS OR SERVICE SADDLES ARE TO BE INSTALLED.
e. GPS COORDINATES SHALL BE REFERENCED TO THE APPLICABLE COUNTY ENGINEER'S MONUMENTS AND SHALL BE BASED ON THE NORTH AMERICAN DATUM OF 1983 (NAD 83 WITH THE NRSR2007 ADJUSTMENT, WITH FURTHER REFERENCE MADE TO THE OHIO STATE PLANE NORTH COORDINATE SYSTEM, NORTH ZONE, WITH ELEVATIONS BASED ON NAVD 88 DATUM. ALL COORDINATES (NORTHING, EASTING AND ELEVATION) SHALL BE REFERENCED TO THE NEAREST HUNDRETH. ALL SURVEY COORDINATES SHALL BE ACCURATE TO WITHIN 0.6 FOOT OR LESS HORIZONTAL AND VERTICAL.
f. THE GPS COORDINATES SHALL BE SUBMITTED TO THE DEL-CO WATER ENGINEERING DEPARTMENT IN DIGITAL SPREADSHEET FORM AND SHALL INCLUDE THE APPLICABLE ITEM, STATION, NORTHING, EASTING AND ELEVATION COORDINATES. THE ABOVE LISTED GPS COORDINATE INFORMATION SHALL BE SUBMITTED TO THE DEL-CO WATER ENGINEERING DEPARTMENT AS PART OF THE AS-BUILT DRAWING SUBMISSION.
g. AS-BUILT DRAWINGS ARE REQUIRED FOLLOWING THE COMPLETION OF CONSTRUCTION. ONE SET OF DRAWINGS MARKED "AS-BUILT" SHALL BE SUBMITTED BY THE DEVELOPER TO DEL-CO'S INSPECTION DEPARTMENT FOR REVIEW AND APPROVAL. WATER MAINS CANNOT RECEIVE A FINAL ACCEPTANCE UNTIL AS-BUILT DRAWINGS HAVE BEEN APPROVED. PLEASE NOTE: TAPS MAY NOT BE PURCHASED NOR INSTALLED UNTIL WATER LINES HAVE RECEIVED A FINAL ACCEPTANCE.
h. WATER MAINS SHALL BECOME THE OWNERSHIP OF DEL-CO WATER UPON FINAL ACCEPTANCE.
i. WATER LINE CONSTRUCTION PLANS ARE APPROVED FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE APPROVAL LETTER OR SIGNED PLANS. IF CONSTRUCTION HAS NOT STARTED WITHIN ONE YEAR OF THE DATE OF APPROVAL, PLANS SHALL BE RESUBMITTED TO DEL-CO WATER COMPANY FOR APPROVAL.
3. WATER LINE CONSTRUCTION:
a. WATER LINES SHALL BE NSF 61 APPROVED, AND COMPLIANT WITH ASTM D2241 & OHIO EPA ENG-08-002 STANDARDS.
b. USE THE FOLLOWING TYPE AND CLASS OF PIPE UNLESS OTHERWISE INDICATED ON THE DRAWINGS:
i. 2-INCH WATER LINE PIPE: CLASS 200 SDR 21 YELLOWNE PVC (RESTRAINED JOINT).
ii. 4-INCH WATER LINE PIPE: CLASS 200 SDR 21 PVC.
iii. 6-INCH WATER LINE PIPE: CLASS 200 SDR 21 PVC.
iv. 8-INCH TO 12-INCH WATER LINE PIPE: CLASS 160 SDR 26 PVC.
v. 16-INCH AND LARGER WATER LINE PIPE: AWWA C151 CLASS 52 DIP.
vi. 4-INCH PIPE AND LARGER USED FOR FIRE SERVICE: AWWA C900 OR 18 (150 PSI) PVC.
vii. ALL SIZES OF DEL-CO-OWNED WATER LINES USED ON MASTER METER PROJECTS: CLASS 200 SDR 21 PVC.
viii. ALL SIZES OF DUCTILE IRON PIPE SHALL BE INSTALLED WITH POLYETHYLENE ENCASEMENT.
d. ALL FITTINGS SHALL BE MECHANICAL JOINT CONFORMING TO AWWA C153.
e. CROSSES SHALL NOT BE USED WITHOUT APPROVAL OF DEL-CO WATER COMPANY.
f. ALL VALVES SHALL BE MECHANICAL JOINT CONFORMING TO AWWA WITH AISI 304 STAINLESS STEEL EXTERNAL HARDWARE. VALVES 12-INCH AND SMALLER SHALL BE RESILENT-SEATED GATE VALVES PER AWWA C509 AND VALVES 16-INCH AND LARGER SHALL BE PRATT GROUNDCUT BUTTERFLY VALVES PER AWWA C504.
g. PROVIDE HEAVY-DUTY VALVE BOXES ON ALL HOT-TAPS AND AT VALVES LOCATED UNDER GRAVEL OR PAVEMENT SURFACES.
h. TOP OF VALVE BOX SHALL BE FLUSH WITH FINISHED GRADE IN PAVED AREAS, AND 4 INCHES ABOVE FINISHED GRADE IN NON-PAVED AREAS.
i. MAINTAIN A MINIMUM 10-FOOT HORIZONTAL AND 1.5-FOOT VERTICAL SEPARATION BETWEEN WATER LINES AND SANITARY AND STORM SEWER.
j. ALL OTHER BURIED UTILITIES SHALL MAINTAIN A MINIMUM 5-FOOT HORIZONTAL SEPARATION, AND 2-FOOT VERTICAL SEPARATION FROM THE CENTERLINE OF WATER LINES AS FINALLY LAID AND CONSTRUCTED.
k. PROVIDE CONCRETE OR SCOTCH SUPER 88 HEAVY DUTY GRADE ELECTRICAL TAPES.
l. BURY WATER LINES A MINIMUM DEPTH OF 48-INCHES TO THE TOP OF PIPE.
m. ALL ENGINEERED FILL TO BE PLACED OVER OR UNDER DEL-CO WATER LINES SHALL BE IN PLACE PRIOR TO THE CONSTRUCTION OF WATER LINES.
n. PLACE A 5-FOOT STEEL FENCE POST OR 4"x4" WOOD POST AT VALVES AND THE ENDS OF LINES, PAINT BLUE.
o. TRACER WIRE:
i. INSTALL COPPERHEAD® OR EQUAL 12-GAUGE HIGH STRENGTH 452LB BREAK STRENGTH 30 MIL HOPE JACKET, COPPER-CLAD, STEEL REINFORCED TRACER WIRE ON ALL WATER MAINS AND SERVICE LINES INSTALLED BY TRENCHING METHODS.
ii. INSTALL COPPERHEAD® OR EQUAL 12-GAUGE EXTRA HIGH STRENGTH 1150LB BREAK STRENGTH 45 MIL HOPE JACKET, COPPER-CLAD, STEEL REINFORCED TRACER WIRE ON ALL WATER MAINS AND SERVICE LINES INSTALLED BY BORING METHODS.
iii. FASTEN WIRE TO PIPE IN TWO PLACES PER PIPE SECTION. EXTEND TRACER WIRE TO GROUND SURFACE AT ALL VALVES AND HYDRANTS AS SHOWN IN THE DEL-CO STANDARD DETAIL. SPLICE WIRES USING BUNDY COPPER SPLIT BOLT KS-15. THOROUGHLY WRAP THE CONNECTOR AND BARE WIRES WITH 3M TEXFLEX 2155 RUBBER SPLICING TAPE, COVER ENTIRE CONNECTION WITH SCOTCH SUPER 88 HEAVY DUTY GRADE ELECTRICAL TAPE.
iv. CONNECT ALL SERVICE LINE WIRES TO MAIN LINE WIRES USING BUNDY COPPER SPLIT BOLT KS-15. THOROUGHLY WRAP THE CONNECTOR AND BARE WIRES WITH 3M TEXFLEX 2155 RUBBER SPLICING TAPE, COVER ENTIRE CONNECTION WITH SCOTCH SUPER 88 HEAVY DUTY GRADE ELECTRICAL TAPE.
v. CONTRACTOR SHALL TEST THE CONTINUITY OF ALL WIRE USING A THIRD-PARTY TESTER.
i. CONTRACTOR SHALL CONTACT DEL-CO'S INSPECTION DEPARTMENT A MINIMUM OF 24 HOURS PRIOR TO TEST.
ii. TESTER SHALL SEND A SIGNED REPORT TO DEL-CO WATER INSPECTION DEPARTMENT AFFIRMING ALL WIRE HAS CONTINUITY.
iii. CONTRACTOR SHALL REPAIR ALL DEFICIENCIES.
4. WATER SERVICE CONSTRUCTION (BETWEEN MAIN LINE AND METER PIT):
a. ALL WATER SERVICES SHALL BE CONSTRUCTED AND INSTALLED PER AWWA C600.
b. FOR METERS 1-INCH AND SMALLER, USE 1-INCH CLASS 200 SDR 7 IRON PIPE SIZE (IPS) POLYETHYLENE PIPE.
c. CONNECTIONS TO PVC PIPE SHALL BE MADE WITH APPROVED TAPPING SADDLE AND CORPORATION STOP PER DEL-CO SUBDIVISION CONSTRUCTION STANDARDS MANUAL.
d. CONNECTIONS TO DIP SHALL BE BY DIRECT TAP OR SADDLE AND APPROVED CORPORATION STOP PER DEL-CO SUBDIVISION CONSTRUCTION STANDARDS MANUAL.
e. PROVIDE A CURB STOP WITH 1-INCH FEMALE IRON PIPE THREADS ON THE CUSTOMER SIDE AT THE END OF SERVICE LINES. LOCATE AT ROW, BUT A MINIMUM OF FIVE FEET FROM EDGE OF SIDEWALK UNLESS OTHERWISE APPROVED OR DIRECTED BY DEL-CO.
f. ALL SERVICE LINE VALVES 1½-INCH AND LARGER SHALL BE MECHANICAL JOINT GATE VALVES, RESTRAINED WITH DUCT-LUGS AND GALVANIZED ALL THREAD ROD, OR ANCHOR TEES WHERE APPLICABLE.
g. MINIMUM DEPTH OF COVER SHALL BE 48 INCHES.
h. PLACE A 5-FOOT STEEL FENCE POST OR 4"x4" WOOD POST AT THE ENDS OF ALL SERVICE LINES, PAINT BLUE.
i. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SPECIAL BACKFILL MATERIAL FOR ALL LINES, INCLUDING THOSE INSTALLED BY DEL-CO WATER COMPANY, WHERE REQUIRED BY THE COUNTY OR CITY ENGINEER.
5. FIRE HYDRANTS:
a. FIRE HYDRANTS SHALL CONFORM TO AWWA C502 FOR DRY BARREL HYDRANTS.
b. MAIN VALVE: 5.5- INCH COMPRESSION.
c. NOZZLES:
i. THREADING: CONFORM TO NFPA NATIONAL STANDARD FIRE HOSE THREADS.
ii. 4.5-INCH STEAMER, EXCEPT IN THE FOLLOWING LOCATIONS PROVIDE AN INTEGRAL STORZ CONNECTION: HARRINGTON HHSSD OR EQUAL: BERSKSHIRE, BERLIN, CONCORD, GENOA, KINGSTON, LIBERTY, ORANGE, PORTER, TRENTON, AND SCOTIO TOWNSHIPS; CITY OF POWELL; AND THE VILLAGES OF SUNBURY AND GALENA.
iii. TWO 2.5-INCH HOSE CONNECTIONS.
iv. INLET CONNECTION: 6-INCH MECHANICAL JOINT.
v. OPERATING NUT: 1.5-INCH PENTAGON, TURN COUNTERCLOCKWISE TO OPEN.
vi. PLACEMENT OF HYDRANT: 2 FEET FROM THE BACK OF CURB OR 8 FEET FROM THE EDGE OF PAVEMENT ON NON-CURBED STREETS.
vii. EXTENSIONS AND PARTS: SHALL BE MANUFACTURED BY THE ORIGINAL EQUIPMENT MANUFACTURER.
viii. APPROVED MANUFACTURERS: MUELLER SUPER CENTURION 200, AMERICAN FLOW CONTROL B-84-B, CLOW MEDALLION, MAH MODEL 128M, AIKY NOSTALGIC 2780, OR KENNEDY GUARDIAN KB10.
ix. PAINTING: REPAINT ALL HYDRANTS AFTER INSTALLATION PER DEL-CO SUBDIVISION CONSTRUCTION STANDARDS MANUAL SECTION 02731, PART 2.05.
i. LIBERTY TOWNSHIP, POWELL, AND VILLAGE OF SUNBURY: SAFETY RED.
ii. OTHER TOWNSHIPS: SAFETY YELLOW.
iii. FIRE HYDRANTS LOCATED ON PRIVATE WATER LINES SHALL BE PAINTED INDUSTRIAL GREEN.
6. DISINFECT ALL WATER LINES IN ACCORDANCE WITH AWWA C651 AND DEL-CO SPECIFICATIONS.
7. ALL PIPE INSTALLATION AND PRESSURE TESTING SHALL BE IN ACCORDANCE WITH AWWA C600 FOR DUCTILE IRON PIPE AND C605 FOR PLASTIC PIPE AND C606 FOR PLASTIC PIPE AND DEL-CO SPECIFICATIONS.
a. CONTRACTOR SHALL PROVIDE ALL EQUIPMENT NECESSARY TO PERFORM PRESSURE TEST.
b. SCHEDULE TEST BETWEEN 8:00 AM AND 2:00 PM WEEKDAYS. NOTIFY DEL-CO 24 HOURS PRIOR TO TEST.
8. OBTAIN WRITTEN APPROVAL OF MATERIAL AND MANUFACTURERS LIST FROM DEL-CO WATER PRIOR TO BEGINNING CONSTRUCTION.
9. PROVIDE CASING PIPE FOR ALL ROAD CROSSINGS UNLESS OTHERWISE APPROVED BY DEL-CO. CASING PIPE SHALL BE STEEL PIPE WITH 0.375-INCH WALL THICKNESS, OR PVC C900 FOR WATER LINES.
12-INCH DIA. OR LESS. CASINGS FOR WATER LINES LARGER THAN 12-INCH DIA. MAY BE AWWA C905.
10. EASEMENTS SHALL BE PROVIDED TO DEL-CO WATER BEFORE PERMISSION WILL BE GIVEN TO MAKE NEW SERVICE LINE CONNECTIONS.

11. CONNECTIONS TO EXISTING WATER LINES WILL BE MADE BY DEL-CO WATER AT THE CONTRACTOR'S EXPENSE OR PERFORMED BY CONTRACTORS WHO ARE APPROVED FOR MAKING CONNECTIONS. NOTIFY ALL PROPERTY OWNERS, AND DEL-CO WATER, IN WRITING 48 HOURS BEFORE STARTING CONSTRUCTION.
12. CONTRACTOR SHALL EXCAVATE TO DETERMINE THE LOCATION AND DEPTH OF EXISTING WATER LINES WHEREVER COVER OVER THE WATER LINES IS BEING REDUCED. IF THE FINAL DEPTH OF THE WATERLINE WILL BE BELOW DEL-CO WATER STANDARDS, CONTRACTOR SHALL SUBMIT A RELOCATION PLAN FOR APPROVAL BY DEL-CO WATER, AND RELOCATE THE WATER LINE AT THEIR EXPENSE.
13. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING THE WATER LINE PRIOR TO FINAL ACCEPTANCE BY DEL-CO WATER, AND REPAIRING ALL DAMAGES FROM CONSTRUCTION ACTIVITY.
14. DO NOT FILL NEW WATER LINES UNTIL APPROVED BY DEL-CO WATER CO.
15. BOOSTER PUMPS ARE NOT ALLOWED ON INDIVIDUAL SERVICES.
16. ALL WATER MAINS, INCLUDING THOSE NOT DESIGNED TO PROVIDE FIRE PROTECTION, SHALL BE SIZED FOLLOWING AN ANALYSIS BASED ON FLOW DEMANDS, AND PRESSURE REQUIREMENTS. THE SYSTEM SHALL BE DESIGNED TO MAINTAIN A MINIMUM PRESSURE OF 20 PSI AT GROUND LEVEL AT ALL POINTS IN THE DISTRIBUTION SYSTEM UNDER ALL DESIGNED FLOW CONDITIONS. NORMAL WORKING PRESSURE IN THE DISTRIBUTION SYSTEM SHALL NOT BE LESS THAN 35 PSI.

PLAN PREPARED BY:
CITY OF POWELL, DELAWARE COUNTY, OHIO

PLAN PREPARED FOR:
CODY COUGHLIN COMPANY
377 WEST ORANGE ROAD
DELAWARE, OHIO 43015
CONTACT: CODY COUGHLIN
PHONE: (740) 471-8764
EMAIL: CODYCOUGHLIN@GMAIL.COM

AMENDED FINAL DEVELOPMENT PLAN
FOR
MIDDLEBURY CROSSING
APARTMENT DEVELOPMENT
GENERAL NOTES

No.	Revision	Date	Approved

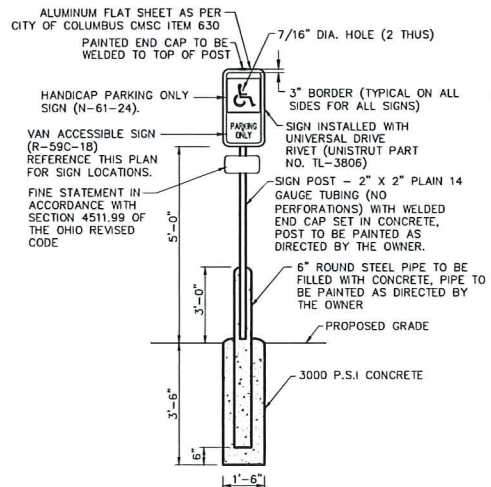
Date: 09/22/2023
Scale: AS NOTED

Drawn By: CLE
Checked By: ODD

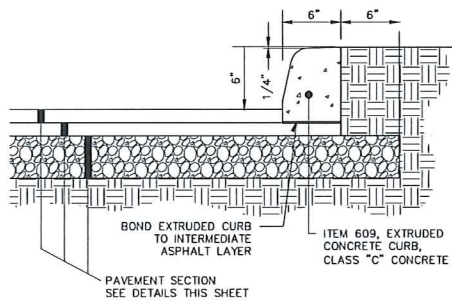
Project Number:
23-0001-1356

Drawing Number:
2 / 7

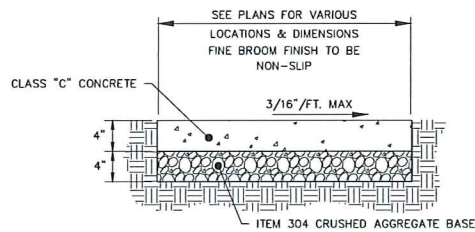
781 Solonville Blvd., Suite 100
Columbus, Ohio 43230
PH 614.428.7750
FAX 614.428.7755
ADVANCED
CIVIL ENGINEERS
SURVEYORS



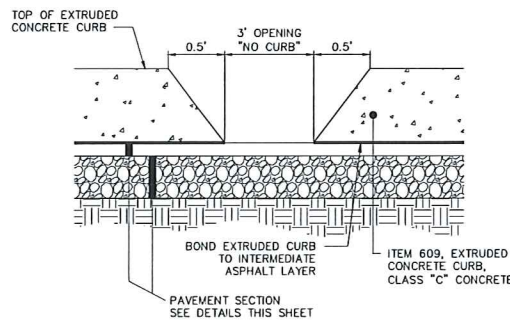
ACCESSIBLE PARKING SIGN DETAIL
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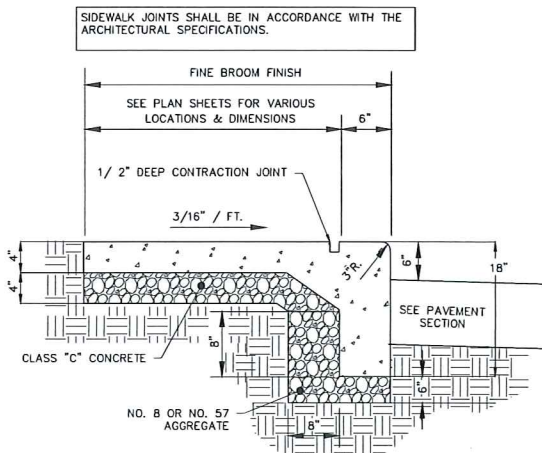
EXTRUDED CONCRETE CURB
NO SCALE



CONCRETE SIDEWALK SECTION
NO SCALE



CURB OPENING DETAIL
NO SCALE

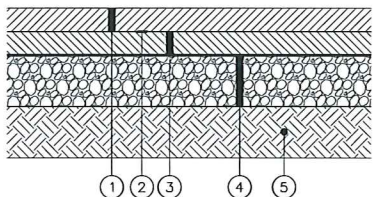


COMBINED CURB AND WALK
NO SCALE

- 1 ITEM 451, 8" REINFORCED P.C. CONCRETE PAVEMENT (CLASS C)
2 ITEM 304, 6" CRUSHED AGGREGATE BASE
3 ITEM 204, SUBGRADE COMPACTION

- NOTES:
1. ALL PAVEMENT MATERIAL SHALL CONFORM TO THE STATE OF OHIO DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIAL SPECIFICATIONS.
2. THE PAVEMENT SECTIONS ARE A RECOMMENDATION ASSUMING SUITABLE SOIL CONDITIONS. ACD RECOMMENDS THAT A GEOTECHNICAL ENGINEER REVIEWS THE SOIL CONDITIONS AND MAKES A FINAL RECOMMENDATION FOR THE SUBGRADE AND PAVEMENT SECTION.

CONCRETE DUMPSTER PAD SECTION
NO SCALE



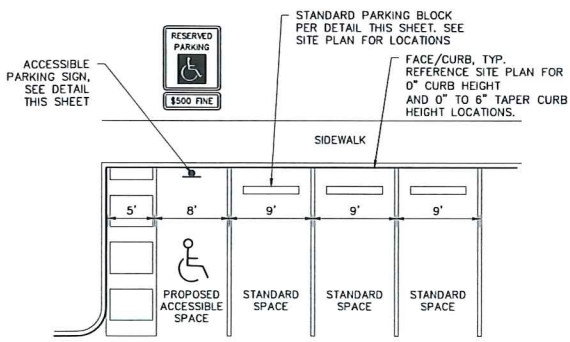
- 1 ITEM 441, 1-1/2" ASPHALT CONCRETE SURFACE COURSE, MEDIUM TRAFFIC, PG64-22 (448)
2 ITEM 407, TACK COAT (0.15-0.20 GAL/SQ. YD.)
3 ITEM 441, 1-1/2" ASPHALT CONCRETE INTERMEDIATE COURSE, MEDIUM TRAFFIC, PG64-22 (448)
4 ITEM 304, 8" CRUSHED AGGREGATE BASE
5 ITEM 204, SUBGRADE COMPACTION
- 1 ITEM 441, 1-1/2" ASPHALT CONCRETE SURFACE COURSE, MEDIUM TRAFFIC, PG64-22 (448)
2 ITEM 407, TACK COAT (0.15-0.20 GAL/SQ. YD.)
3 ITEM 441, 2-1/2" ASPHALT CONCRETE INTERMEDIATE COURSE, MEDIUM TRAFFIC, PG64-22 (448)
4 ITEM 304, 10" CRUSHED AGGREGATE BASE
5 ITEM 204, SUBGRADE COMPACTION

LIGHT DUTY (LD)

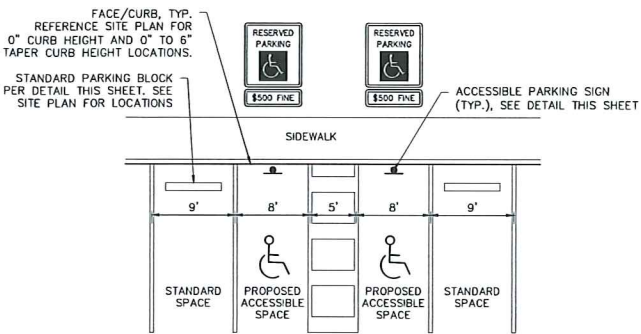
HEAVY DUTY (HD)

- NOTES:
1. THE TACK COAT MAY BE ELIMINATED IF THE INTERMEDIATE COURSE IS CLEAN AND THE SURFACE IS PLACED IMMEDIATELY FOLLOWING THE PLACEMENT OF THE INTERMEDIATE COURSE.
2. ALL PAVEMENT MATERIAL SHALL CONFORM TO THE STATE OF OHIO DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIAL SPECIFICATIONS.
3. THE PAVEMENT SECTIONS ARE A RECOMMENDATION ASSUMING SUITABLE SOIL CONDITIONS. ACD RECOMMENDS THAT A GEOTECHNICAL ENGINEER REVIEWS THE SOIL CONDITIONS AND MAKES A FINAL RECOMMENDATION FOR THE SUBGRADE AND PAVEMENT SECTION.

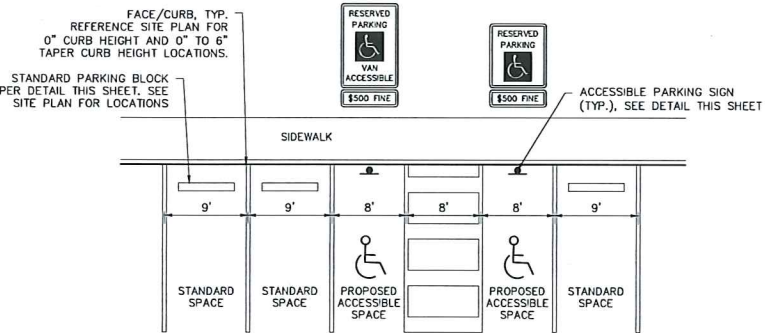
PAVEMENT SECTION
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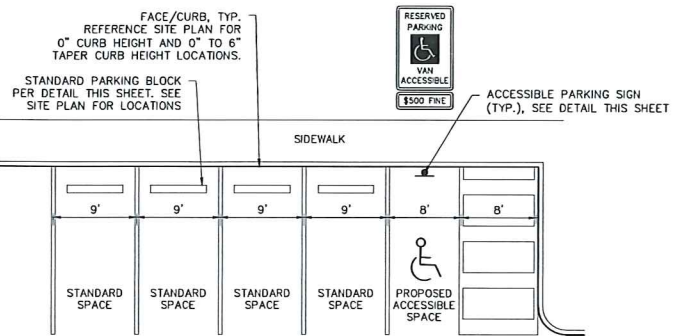
ACCESSIBLE PARKING DETAIL, TYPICAL OF 2
NO SCALE



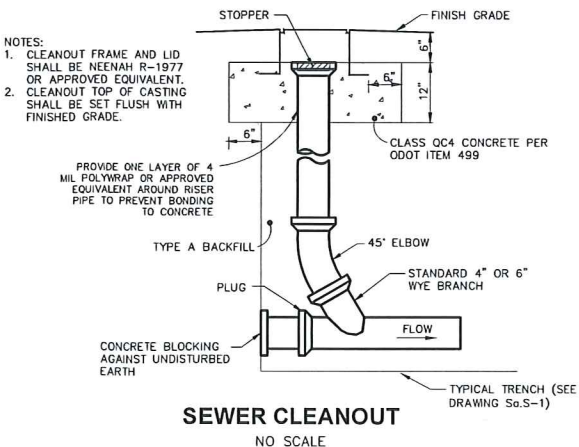
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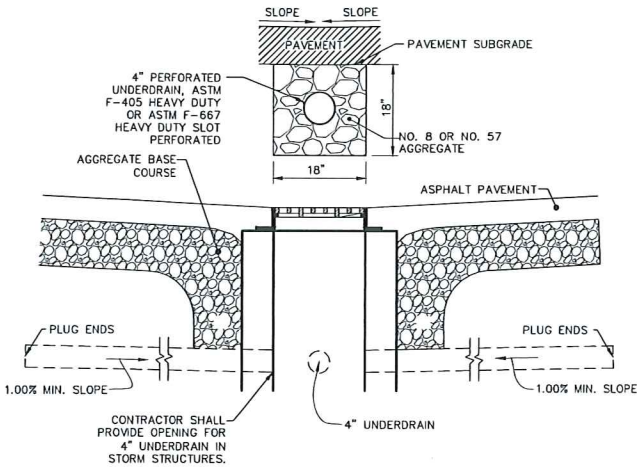
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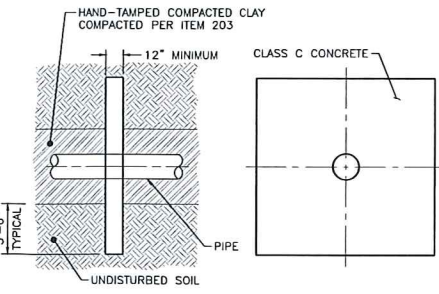
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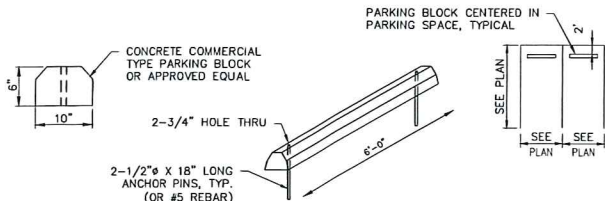
SEWER CLEANOUT
NO SCALE



4" UNDERDRAIN AT CATCH BASIN DETAIL
NO SCALE

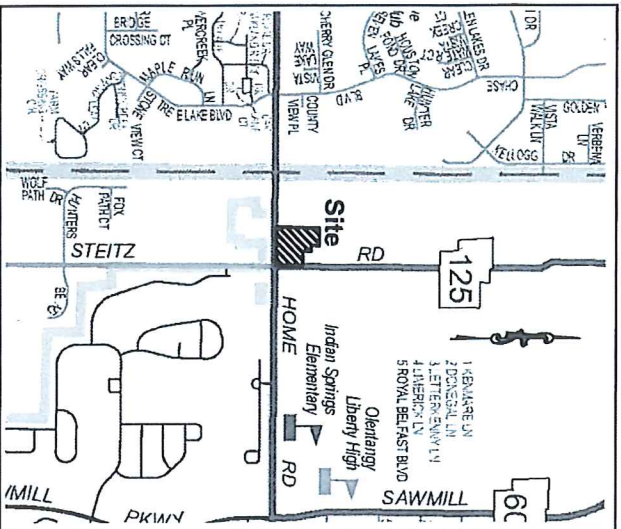


ANTI-SEEP CONCRETE COLLAR DETAIL
NO SCALE



STANDARD PARKING BLOCK DETAIL
NO SCALE

No.	Revision	Date	Approved



Location Map - NTS

Map of Territory to be
Annexed to the City of Powell

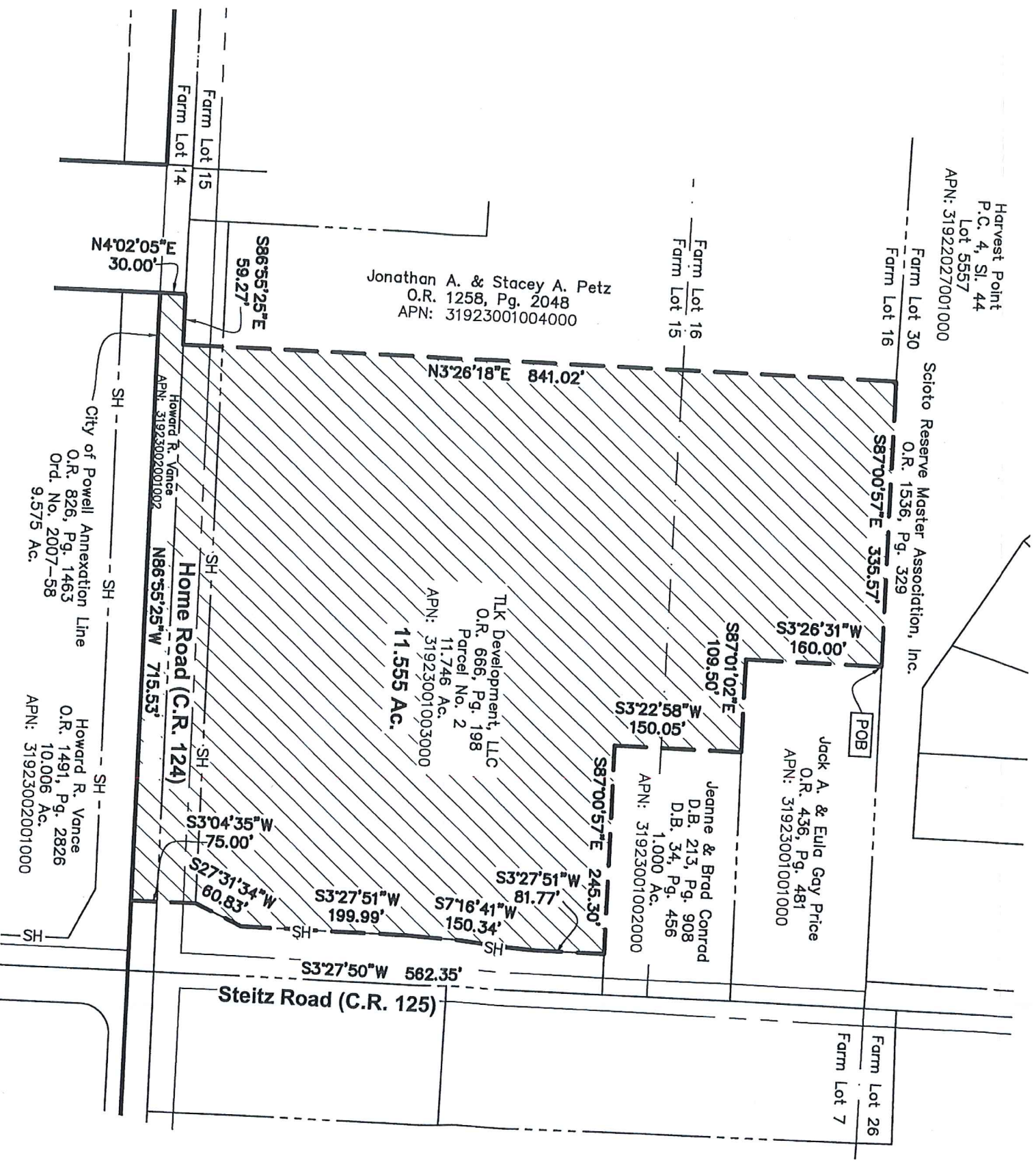
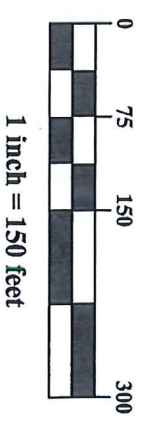
**11.555 ACRE ANNEXATION
TO THE CITY OF POWELL
FROM TOWNSHIP OF
LIBERTY EXPEDITED
TYPE II ANNEXATION
UNDER ORC §709.021
AND §709.023**

Township of Liberty, Delaware County, Ohio
Farm Lots 15 & 16, Section 2,
Township 3, Range 19,
United States Military District

LEGEND

- Area to be Annexed
- Existing Corp Line
- Proposed Corp Line

GRAPHIC SCALE



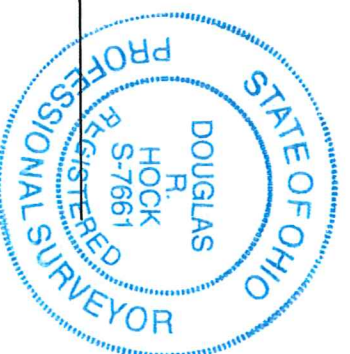
Notes:

- 1.) The number of owners in the territory sought to be annexed is one.
- 2.) TLK Development LLC, C/O Kim E. Kelsik is located at 5751 Kolb Road, Tucson, Arizona, 85750 and is the petitioner for said proposed annexation.
- 3.) No islands of unincorporated areas are created by this annexation as defined in ORC 709.023(E)(5).
- 4.) 715.53' of lined feet of Home Road (C.R. 124) will be annexed into the City of Powell.

Bearings are based on the Ohio State Plane Coordinate System, North Zone, NAD83 (NSRS2007). Said bearings were derived from GPS observation and determine a portion of the existing centerline of Home Road as having a bearing of N86°55'25"W.

This drawing is based on the existing records from the Delaware County Auditor's office and Delaware County Recorder's office and an actual field survey by Advanced Civil Design, Inc. in April of 2018. A boundary survey for this property has been approved and is on file in the Delaware County Map Department's office.

Length of Contiguity: 715.53 feet
Total Length of Perimeter: 3214.17 feet
Percentage of Contiguity : 22%



Douglas R. Hock, P.S. 7661
Advanced Civil Design, Inc
422 Beecher Road
Gahanna, OH 43230
Phone 614-428-7750

Job No.: 17-0005-579 Date: 04/23/2018

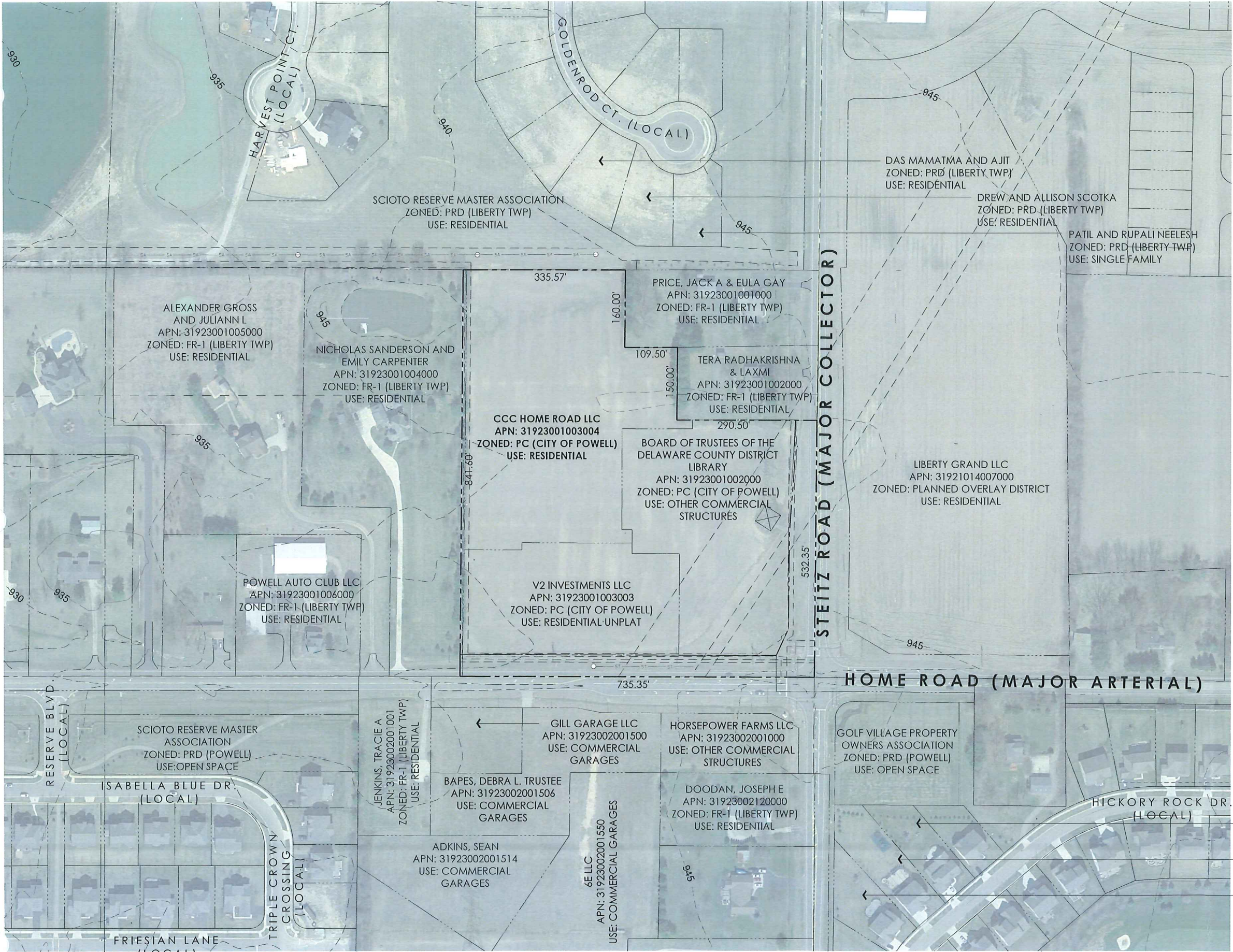
DELAWARE COUNTY ENGINEER
Map Department

I hereby certify the within to be a true
copy of the original on file in the Map Department

Chris E. Bauserman, P.E., P.S.,
County Engineer

Supervisor

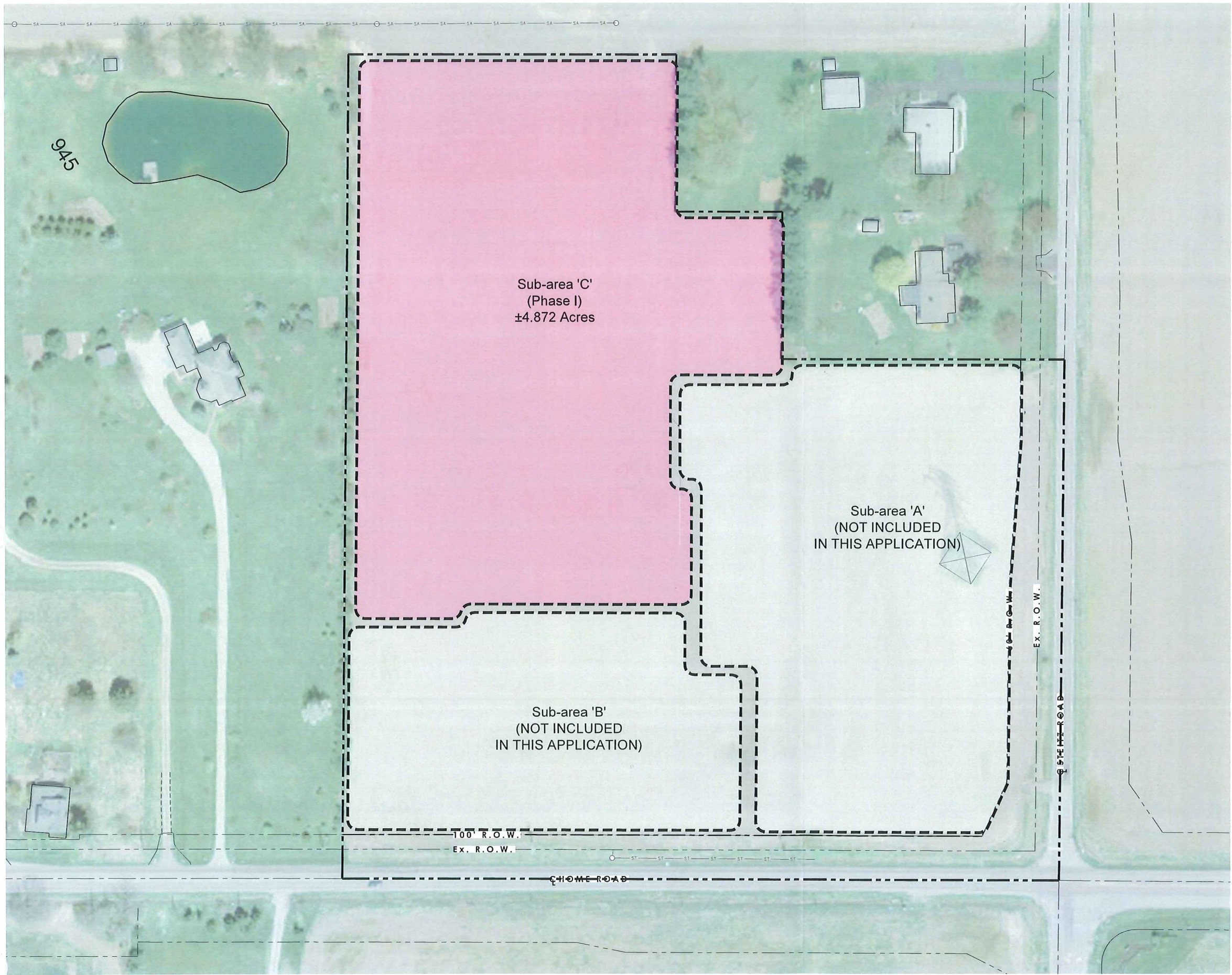
Date 5/29/18



SITE DATA

Existing Conditions

Gross Acreage	± 11.739 Acres
- R.O.W. (Home and Steitz Roads)	± 1.20 Acres
Net Acreage	± 10.539 Acres



SITE DATA

Planned Commercial District Sub-Areas

Sub-Area 'A' - Delaware County Library Branch (NOT INCLUDED)

± 3.945 Acres

Sub-Area 'B' - Commercial Establishments or Office (NOT INCLUDED)

± 2.968 Acres

Sub-Area 'C' - Multi-Family Residences

± 4.872 Acres

62 Dwelling Units

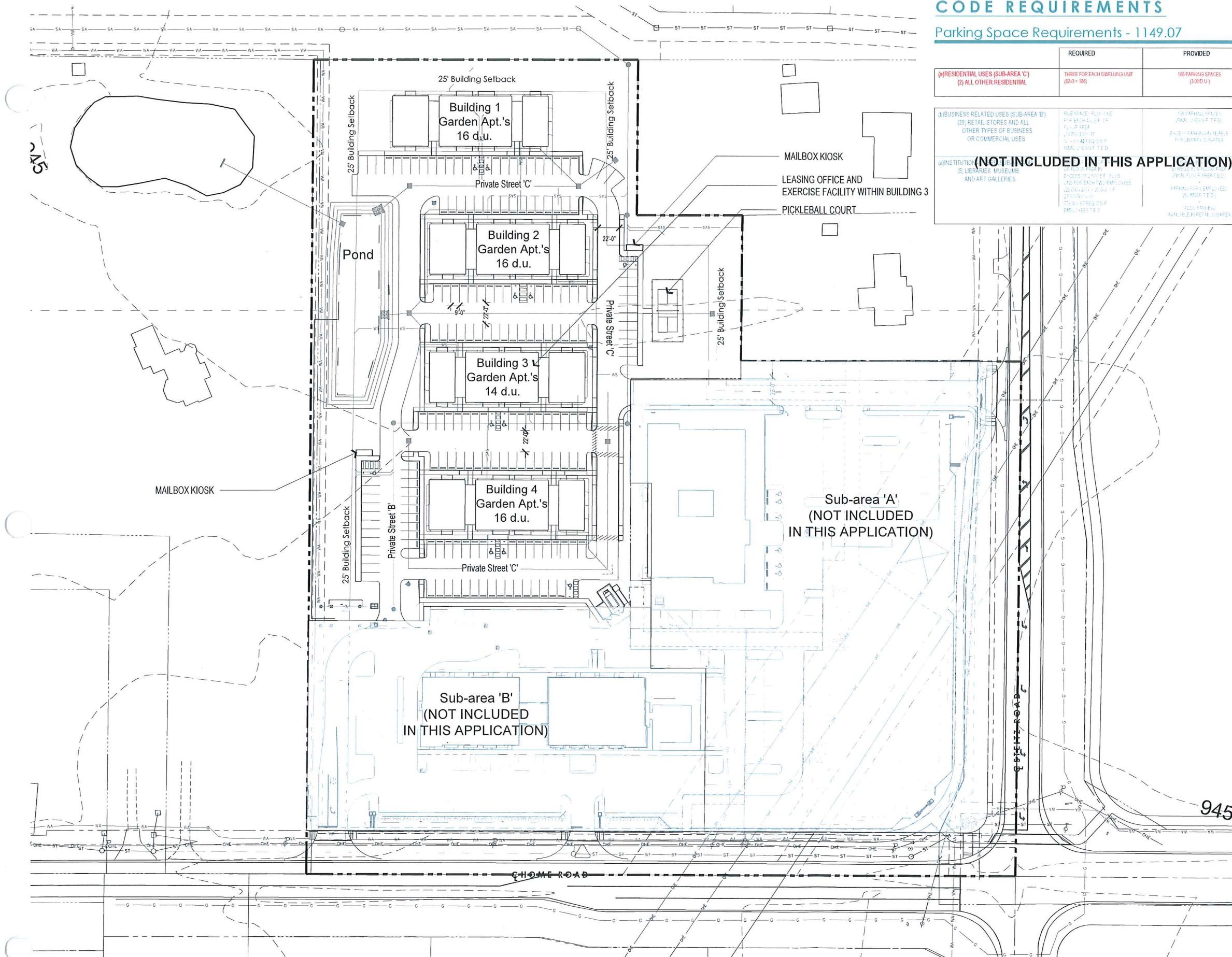
Residential Density per 1143.09(c)(10)(C)

Dwelling Units	62 D.U.
Total Acreage Sub-Area C acreage (4.872 Ac.) + Sub-Area A&B Open Space/Public Use (3.715 Ac.)	± 8.587 Acres
	± 7.22 D.U./Acre

Residential Units Permitted by Zoning Ordinance

Maximum dwelling units per acre	9 D.U.
Total Acreage Sub-Area C acreage (4.872 Ac.) + Sub-Area A&B Open Space/Public Use (3.715 Ac.)	± 8.587 Acres
	77 D.U.





CODE REQUIREMENTS

Parking Space Requirements - 1149.07

	REQUIRED	PROVIDED
(a) RESIDENTIAL USES (SUB-AREA 'C') (2) ALL OTHER RESIDENTIAL	THREE FOR EACH DWELLING UNIT (824 = 186)	186 PARKING SPACES (3,000 S.F.)
(b) BUSINESS RELATED USES (SUB-AREA 'B') (20) RETAIL STORES AND ALL OTHER TYPES OF BUSINESS OR COMMERCIAL USES	FIVE SPACE, FIFTY-ONE FOR EACH 1,000 S.F. OF FLOOR AREA (1,000 S.F. OF FLOOR AREA = 20 PARKING SPACES) 42 TOTAL REQUIRED	108 PARKING SPACES (3,000 S.F. OF FLOOR AREA) = 108 PARKING SPACES (3,000 S.F. OF FLOOR AREA)
(c) INSTITUTIONAL USES (SUB-AREA 'A') (5) LIBRARIES, MUSEUMS, AND ART GALLERIES	ONE SPACE FOR EACH 1,000 S.F. OF FLOOR AREA (1,000 S.F. OF FLOOR AREA = 1 SPACE) 21 TOTAL REQUIRED	21 PARKING SPACES (3,000 S.F. OF FLOOR AREA) = 21 PARKING SPACES (3,000 S.F. OF FLOOR AREA)

(NOT INCLUDED IN THIS APPLICATION)

SITE DATA

Preliminary Development Plan

Gross Acreage	± 11.739 Acres
- R.O.W. (Home and Steitz Roads)	± 1.20 Acres
Net Acreage	± 10.539 Acres

Commercial/Institutional Uses (NOT INCLUDED)

Library (Sub-Area 'A')	± 25,000 Square Feet 98 Parking Spaces
Commercial (Sub-Area 'B')	± 14,700 Square Feet 108 Parking Spaces

Residential Uses (Sub-Area 'C')

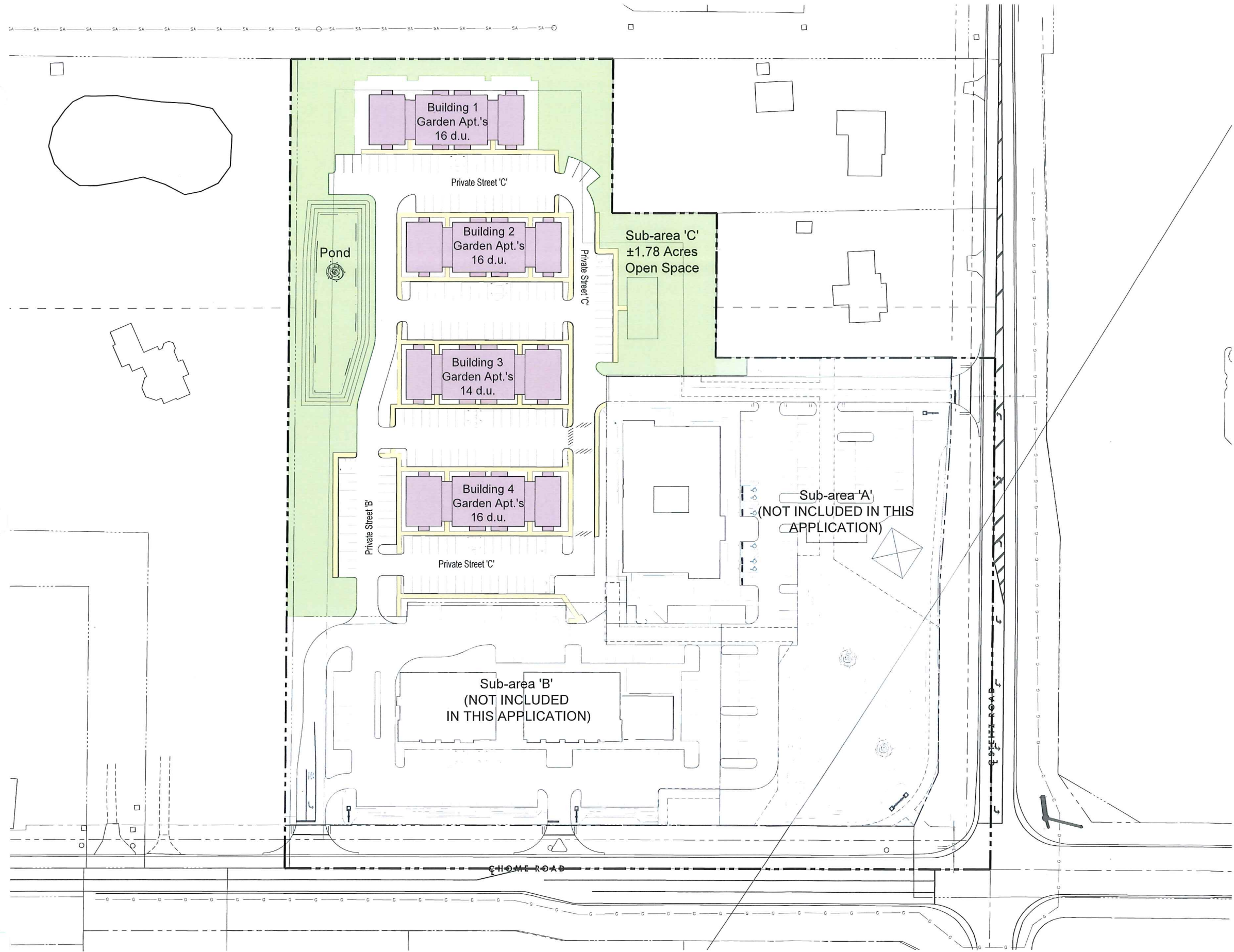
2-Story Garden Units	62 Dwelling Units
Residential Parking	186 Parking Spaces

Total Open Space/Public Use

Sub-Area 'A'	± 3.245 Acres
Sub-Area 'B' (NOT INCLUDED IN THIS APPLICATION)	± .47 Acres
Sub-Area 'C'	± 1.78 Acres
	5.50 Acres (52.2%)

Total Impervious Cover

Sub-Area 'A'	± 1.81 Acres
Sub-Area 'B' (NOT INCLUDED IN THIS APPLICATION)	± 1.60 Acres
Sub-Area 'C'	± 3.08 Acres
	6.49 Acres (51.4%)



SITE DATA

Open Space/Public Use

Gross Acreage	± 11.739 Acres
- R.O.W. (Home and Steitz Roads)	± 1.20 Acres
Net Acreage	± 10.539 Acres

Total Open Space/Public Use

Sub-Area 'A'	±3.30 Acres
Sub-Area 'B' (NOT INCLUDED IN THIS APPLICATION)	±.54 Acres
Sub-Area 'C'	±1.78 Acres
	5.50 Acres (52.2%)

Plan Key

Sidewalk Hatch	
Open Space Hatch	
Building Hatch	

PLANT LIST (Contractor is responsible for all plant material shown on plan)

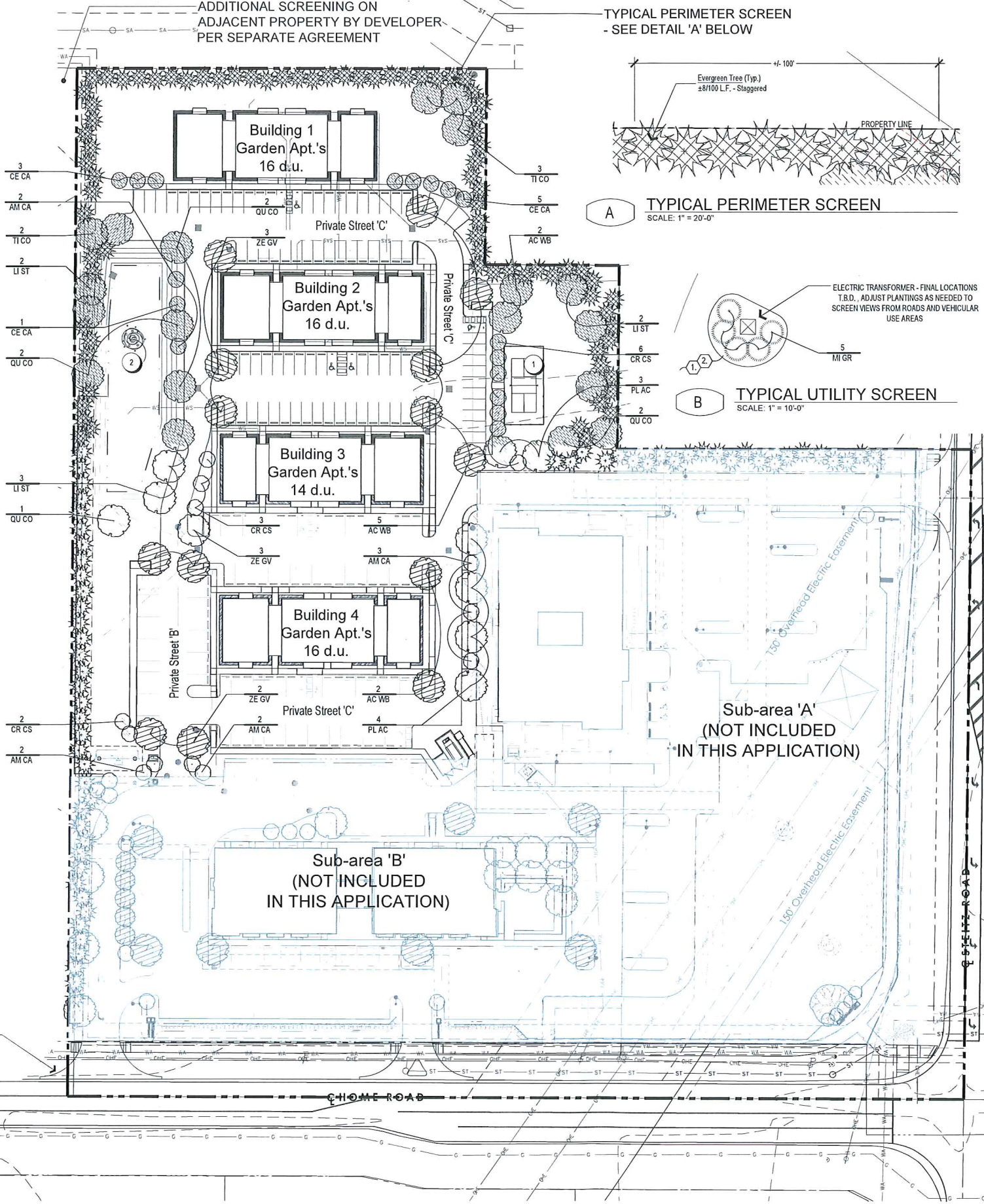
QTY.	CODE	BOT. NAME/COMMON NAME	SIZE	COND.	SPACING	NOTES
DECIDUOUS SHADE TREES / STREET TREES						
9	AC VB	Acer saccharum 'Wright Brothers' Wright Brothers Sugar Maple	2.5" CAL.	B&B	AS SHOV'N	Match Form
7	LI ST	Liquidambar styraciflua 'Moraine' Moraine Sweetgum	2.5" CAL.	B&B	AS SHOV'N	Match Form
7	PL AC	Platanus acerifolia 'Bloodgood' Bloodgood London Plane/tree	2.5" CAL.	B&B	AS SHOV'N	Match Form
7	QU CO	Quercus coccinea Scarlet Oak	2.5" CAL.	B&B	AS SHOV'N	Match Form
5	TI CO	Tilia cordata 'Green Spire' Green Spire Little Leaf Linden	2.5" CAL.	B&B	AS SHOV'N	Match Form
8	ZE GV	Zelkova serrata 'Green Vase' Green Vase Zelkova	2.5" CAL.	B&B	AS SHOV'N	Match Form
SMALL / ORIENTAL TREES						
9	AM CA	Amelanchier canadensis 'Glenn Form' Rainbow Pillar Serviceberry	1.5" CAL.	B&B	AS SHOV'N	Tree Form
9	CE CA	Cercis canadensis Eastern Redbud	1.5" CAL.	B&B	AS SHOV'N	Tree Form
11	CR CS	Crataegus crus-galli var. inermis Cockspur Thornless Hawthorn	1.5" CAL.	B&B	AS SHOV'N	Tree Form
EVERGREEN TREES (SCREENING/BUFFERING)						
141'	AB CO	Abies concolor White Fir	6' HT.	B&B	FER PLAN	*Use a minimum of 4 different species from the plant list. Maximum of 7 consecutive of same species. No single species shall constitute more than 33% of total planting in buffer. See detail 'A', this sheet for more information.
	PI AB	Picea abies Norway Spruce	6' HT.	B&B	FER PLAN	
	PI DE	Picea glauca 'Densata' Black Hills Spruce	6' HT.	B&B	FER PLAN	
	PI OM	Picea omorika Serbian Spruce	6' HT.	B&B	FER PLAN	
	PI ST	Pinus strobus White Pine	6' HT.	B&B	FER PLAN	
GRASSES, PERENNIALS, GROUNDCOVERS, & VINES						
	MI GR	Miscanthus sinensis 'Gracillimus' Gracillimus Maiden Grass	-	#3 Cont.	Plant @ 42" O.C.	As needed for transformer screen See detail 'B', this sheet

PLANT LABEL KEY: 1 XX XX (QUANTITY CODE)

NOTE: FIELD VERIFY LOCATION AND DEPTHS OF ALL UTILITIES. HAND EXCAVATE ALL PLANTING PITS.
ADDITIONAL PLANTING NOTES
1. ALL GROUNDCOVERS AND PERENNIALS TO BE PLANTED DURING THE SPRING PLANTING WINDOW. FALL GROUNDCOVER AND PERENNIAL PLANTINGS WILL NOT BE ACCEPTED.
COORDINATE PLANTING TIMES WITH OWNERS REPRESENTATIVE TO INCREASE SUCCESS OF GROUNDCOVER AND PERENNIAL PLANTINGS

CODED LAYOUT & MATERIALS NOTES

KEY	ITEM	REFERENCE	NOTES
1	PICKLEBALL COURT	X XX XX	
2	POND AERATOR	X XX XX	FOUNTAIN: AQUAMASTER "WIDE GEYSER" (OR OWNER-APPROVED EQUAL) 2 HP, 240 VOLT, 60 HERTZ, 1 PHASE. AVAILABLE THROUGH FOUNTTECH, 1-614-539-4670.



Minimum Required Trees - 1145.30

(a) MINIMUM TREES	REQUIRED	PROVIDED
THE FOLLOWING MINIMUMS ARE REQUIRED, BASED UPON TOTAL COVERAGE SQUARE FOOTAGE. (1) ALL RESIDENCES AND RESIDENTIAL LAND USES, PER DWELLING UNIT: 1/2" IN TRUNK DIAMETER FOR EVERY 150 S.F. OR FRACTION THEREOF OF BUILDING GROUND COVERAGE. (2) ALL COMMERCIAL STRUCTURES, INCLUDING COMMERCIAL-RELATED PARKING, LOADING AND TRASH STORAGE AREAS. C. OVER 50,000 S.F. - A TOTAL TRUNK DIA. OF 53", PLUS 2" OF TRUNK DIAMETER FOR EVERY 4,000 S.F. OVER 50,000 S.F. OR FRACTION THEREOF	A TOTAL OF 116" FOR +34,727 S.F. OF GROUND COVERAGE (SUB-AREA 'C') A TOTAL OF 59" FOR +39,854 S.F. OF GROUND COVERAGE (SUB-AREA 'B')	A TOTAL OF 116.5" IN TRUNK DIAMETER ACHIEVED WITH 28 TREES @ 2.5" CAL. AND 31 TREES @ 1.5" CAL. A TOTAL OF 59" IN TRUNK DIAMETER ACHIEVED WITH 14 TREES @ 2.5" CAL. AND 16 TREES @ 1.5" CAL.

Parking Area Landscaping - 1145.31

PARKING LOT PLANTING BAYS/TREES	REQUIRED	PROVIDED
IN ALL PARKING AREAS IN WHICH MORE THAN TEN PARKING SPACES ARE REQUIRED, THERE SHALL BE ONE PARKING BAY (SPACE) LEFT UNPAVED, BUT CONCRETE CURBED, FILLED WITH SODDED GRASS, AND CONTAINING NO LESS THAN ONE DECIDUOUS TREE OF ONE AND ONE-HALF INCH TRUNK DIAMETER OR MORE, MEASURED 24 INCHES FROM THE GROUND, FOR EVERY EIGHT PARKING SPACES, OR PORTION THEREOF, PROVIDED.	23 TREES @ 1 1/2" CAL. FOR 165 PARKING SPACES (SUB-AREA 'C' ONLY)	14 TREES @ 2 1/2" CAL. (SUB-AREA 'C' ONLY)

Building Foundation Landscaping - 1145.32

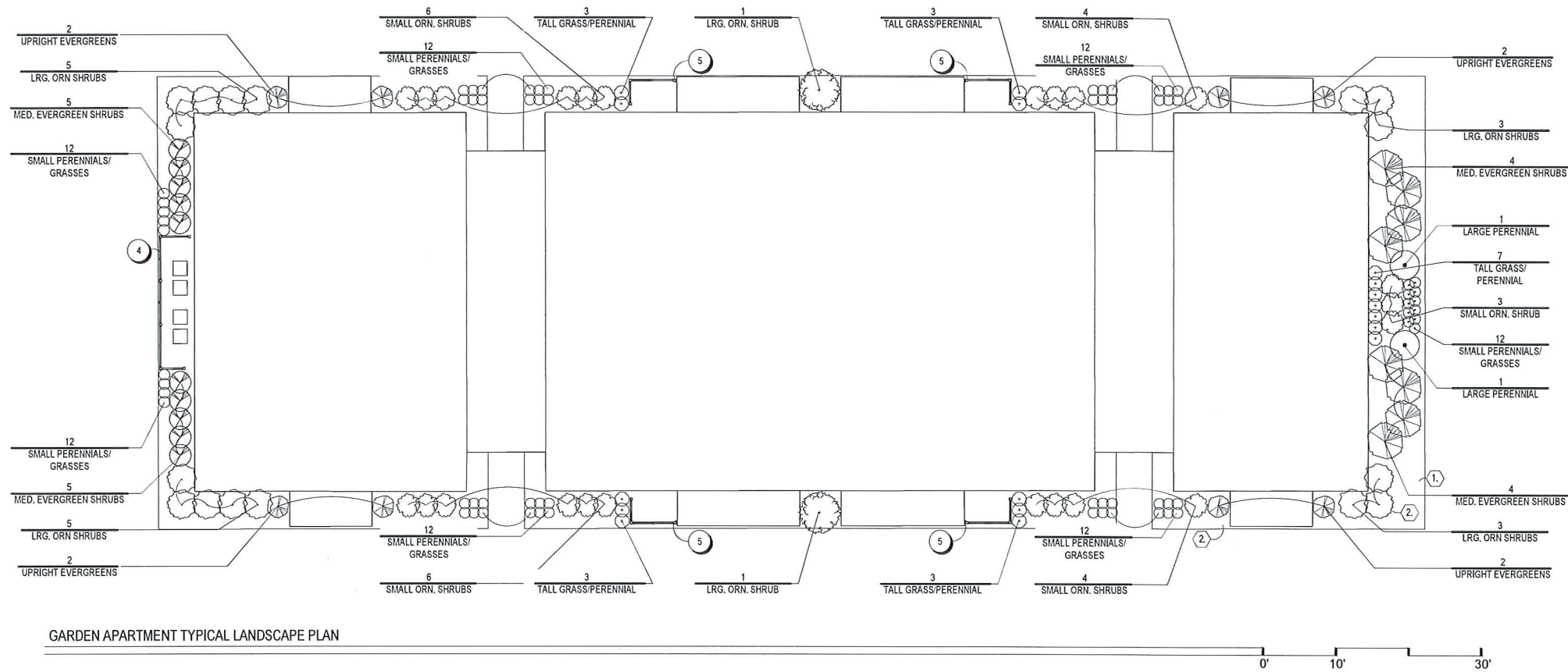
REQUIRED LANDSCAPING AROUND BUILDING FOUNDATIONS	REQUIRED	PROVIDED (SUB-AREA 'B')
IN ALL COMMERCIAL, OFFICE AND INDUSTRIAL ZONING DISTRICT, AS WELL AS NONRESIDENTIAL BUILDINGS IN RESIDENTIAL ZONING DISTRICTS, AT LEAST 70 PERCENT OF THE LINEAL FOOTAGE AROUND THE PERIMETER OF A STRUCTURE SHALL BE LANDSCAPED. A MINIMUM OF FIVE SHRUBS SHALL BE PLANTED IN EVERY 40 FEET OF LINEAL BUILDING PERIMETER. A MINIMUM OF TEN PERENNIAL OR ANNUAL PLANTS AND/OR FLOWERS SHALL BE PLANTED IN EVERY 40 FEET OF LINEAL BUILDING PERIMETER.	MINIMUM: 70% PLANTED 5 SHRUBS/40 LF. PERIMETER 10 PERENNIALS OR ANNUALS/40 LF. PERIMETER	MINIMUM: 70% PLANTED MIN. 85 SHRUBS FOR 650 LF. MIN. 170 PERENNIALS OR ANNUALS FOR 650 LF.

Screening - 1145.33

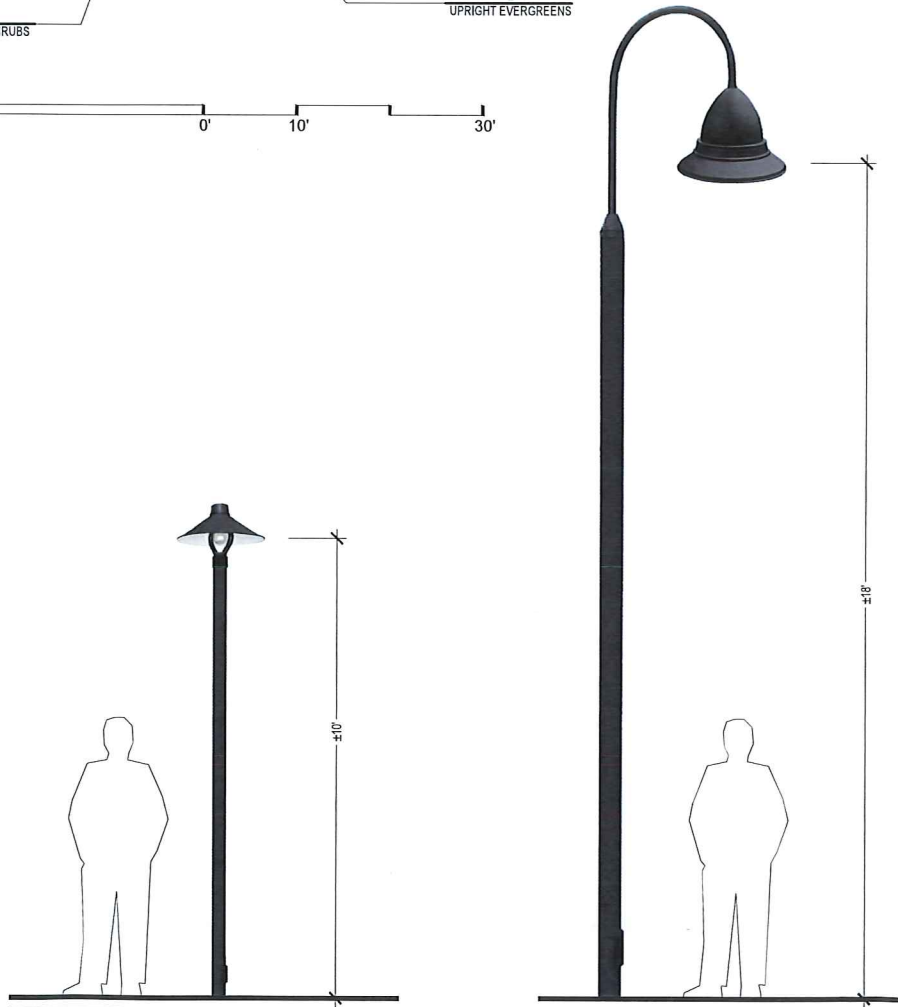
SCREENING OR BUFFERING	REQUIRED	PROVIDED
(a) FOR ANY PERMITTED OR CONDITIONALLY PERMITTED NON-RESIDENTIAL USES WHICH ADJUT ANY RESIDENTIAL DISTRICT, OR CURRENT RESIDENCE, IN ADDITION TO SETBACK AND YARD REQUIREMENTS PROVIDED ELSEWHERE IN THE ORDINANCE. (1) SCREENING SHALL BE PROVIDED FOR ONE OR MORE OF THE FOLLOWING PURPOSES: A. A VISUAL BARRIER TO PARTIALLY OR COMPLETELY OBSTRUCT THE VIEW OF STRUCTURES OR ACTIVITIES. B. AN ACOUSTIC SCREEN TO AID IN ABSORBING OR DEFLECTING NOISE. C. A PHYSICAL BARRIER TO CONTAIN DEBRIS AND LITTER	VISUAL SCREENING WALLS, FENCES, PLANTINGS, MOUNDS OR A COMBINATION OF THESE ELEMENTS SHALL BE A MINIMUM OF FIVE AND ONE-HALF FEET HIGH IN ORDER TO ACCOMPLISH THE DESIRED SCREENING EFFECT. PLANTINGS SHALL BE A MINIMUM OF FOUR FEET IN HEIGHT AT THE TIME OF PLANTING.	6' HT. AT INSTALLATION EVERGREEN TREES

PC - Planned Commercial District - 1143.15

(b) SUPPLEMENTAL REGULATIONS FOR THE PLANNED COMMERCIAL DISTRICT	REQUIRED	PROVIDED
(10) ALL PARKING AREAS ARE TO BE INTERIOR TO BUILDING GROUPS, OR BEHIND THREE-OR-FOUR RAIL NATURAL SPLIT-RAIL FENCES, OR THREE-OR-FOUR RAIL WHITE OR BLACK BOARD FENCES, OR OTHERWISE HIDDEN BY EARTH MOUNDING, SCREEN WALLS, OR DENSE SHRUBBERY FROM SIGHT FROM ADJACENT SITES AND FROM NEARBY PUBLIC ROADS, AND DESIGNED AND LOCATED FOR MINIMUM IMPACT ON ADJACENT RESIDENTIAL AREAS.	VISUAL SCREENING WALLS, FENCES, PLANTINGS, MOUNDS OR A COMBINATION OF THESE ELEMENTS.	COMBINATION OF +4.2' HT. EARTH MOUND, 2-3' HT. EVERGREEN HEDGE, 3-RAIL BOARD FENCE, & ORNAMENTAL GRASSES.



GARDEN APARTMENT TYPICAL LANDSCAPE PLAN



D POOL LIGHT: TRZP-LED BY LIGHTWAY
OR OWNER-APPROVED EQUAL WITH SIMILAR LIGHT OUTPUT, DISTRIBUTION,
AND COLOR TEMPERATURE

C AREA LIGHT: MILAN BY NLS
OR OWNER-APPROVED EQUAL WITH SIMILAR LIGHT OUTPUT,
DISTRIBUTION, AND COLOR TEMPERATURE

BUILDING TYPICAL PLANT LIST B (Northern and Eastern Exposures)

CODE	BOT. NAME/COMMON NAME	SIZE	COND.	SPACING	NOTES
UPRIGHT EVERGREENS					
	Thuja occidentalis 'Holmsup'	30' HT.	B&B	PER PLAN	
MEDIUM EVERGREEN SHRUBS					
	Buxus x Green Velvet	18' HT.	B&B	PER PLAN	
	Taxus x media 'Densaformis'	24' HT.	B&B	PER PLAN	
LOW EVERGREEN SHRUBS					
	Monarda decussata 'Celtic Pride'	24' SPRD.	B&B	PER PLAN	
LARGE ORNAMENTAL / DECIDUOUS SHRUBS					
	Hydrangea quercifolia 'Snow Queen'	36' HT.	#5 Cont.	PER PLAN	
SMALL ORNAMENTAL / DECIDUOUS SHRUBS					
	Fothergilla x 'Mount Airy'	24' HT.	#3 Cont.	PER PLAN	
	Hydrangea quercifolia 'Ruby Slippers'	24' HT.	#3 Cont.	PER PLAN	
TALL GRASSES & PERENNIALS					
	Callamagrostis acutiflora 'Karl Foerster'	-	#2 Cont.	Plant @ 18" O.C.	
	Polygonatum multiflorum	-	#2 Cont.	Plant @ 18" O.C.	
LARGE GRASSES & PERENNIALS					
	Hosta 'Sun Power'	-	#3 Cont.	Plant @ 36" O.C.	
	Osmunda cinnamomeum	-	#3 Cont.	Plant @ 36" O.C.	
SMALL GRASSES, PERENNIALS, GROUNDCOVERS, & VINES					
	Heuchera 'Sweet Tea'	-	#1 Cont.	Plant @ 18" O.C.	
	Liriope muscari 'Big Blue'	-	#1 Cont.	Plant @ 15" O.C.	

BUILDING TYPICAL PLANT LIST A (Southern and Western Exposures)

CODE	BOT. NAME/COMMON NAME	SIZE	COND.	SPACING	NOTES
UPRIGHT EVERGREENS					
	Juniperus chinensis 'Spartan'	30' HT.	B&B	PER PLAN	
LARGE EVERGREEN SHRUBS					
	Juniperus chinensis 'Sea Green'	36' HT.	B&B	PER PLAN	
MEDIUM EVERGREEN SHRUBS					
	Buxus x Green Velvet	18' HT.	B&B	PER PLAN	
	Thuja occidentalis 'Bobczam'	24' HT.	B&B	PER PLAN	
	Juniperus chinensis 'Sea Spray'	18' HT.	#3 Cont.	Plant @ 42" O.C.	DO NOT SUBSTITUTE 'SEA GREEN'
LOW EVERGREEN SHRUBS					
	Juniperus conferta 'Blue Pacific'	24' SPRD.	B&B	PER PLAN	
LARGE ORNAMENTAL / DECIDUOUS SHRUBS					
	Viburnum cerasiifolium	36' HT.	B&B	PER PLAN	
SMALL ORNAMENTAL / DECIDUOUS SHRUBS					
	Rosa x 'Radio'	30' HT.	#3 Cont.	PER PLAN	
	Spiraea japonica 'Goldmound'	30' HT.	#3 Cont.	PER PLAN	
TALL GRASSES & PERENNIALS					
	Callamagrostis acutiflora 'Karl Foerster'	-	#2 Cont.	Plant @ 18" O.C.	
	Echinacea purpurea 'Magnus'	-	#2 Cont.	Plant @ 18" O.C.	
LARGE GRASSES & PERENNIALS					
	Monarda chinensis 'Gracillimus'	-	#3 Cont.	Plant @ 45" O.C.	
	Perovskia atriplicifolia 'Little Spire'	-	#3 Cont.	Plant @ 30" O.C.	
SMALL GRASSES, PERENNIALS, GROUNDCOVERS, & VINES					
	Hemerocallis 'Tussockilla Tigress'	-	#1 Cont.	Plant @ 18" O.C.	
	Pennisetum alopecuroides 'Hameln'	-	#1 Cont.	Plant @ 18" O.C.	

NOTE:
THE PLAN AS SHOWN IS CONCEPTUAL IN NATURE AND IS PROVIDED TO ILLUSTRATE THE
DESIRED LAYOUT AND QUALITY OF THE PROJECT.

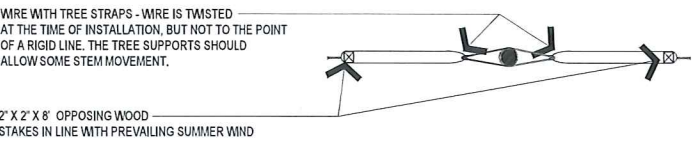
FIELD VERIFY LOCATION AND DEPTHS OF ALL UTILITIES. HAND
EXCAVATE ALL PLANTING PITS.

PLANT LABEL KEY: $\frac{1}{XX XX} \left(\begin{matrix} \text{QUANTITY} \\ \text{CODE} \end{matrix} \right)$

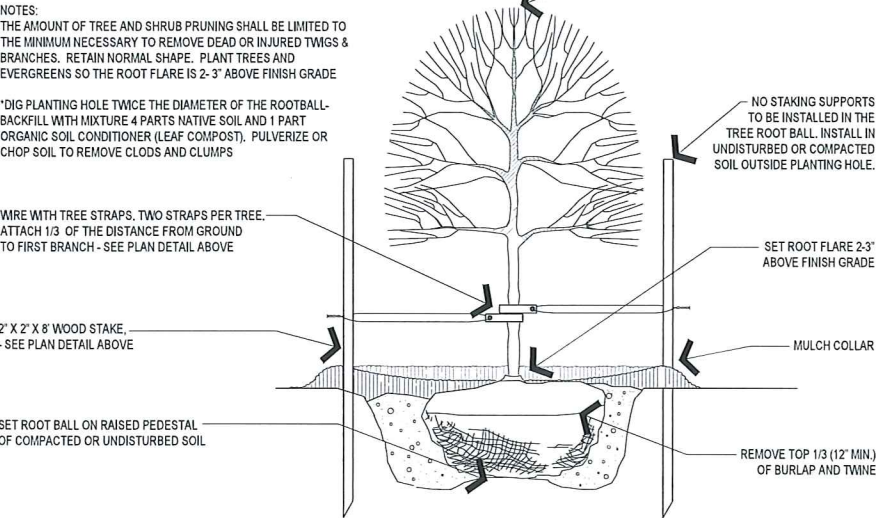
PLANTING NOTES
1. ALL GROUNDCOVERS AND PERENNIALS TO BE PLANTED DURING THE SPRING
PLANTING WINDOW. FALL GROUNDCOVER AND PERENNIAL PLANTINGS WILL NOT
BE ACCEPTED. COORDINATE PLANTING TIMES WITH OWNERS REPRESENTATIVE
TO INCREASE SUCCESS OF GROUNDCOVER AND PERENNIAL PLANTINGS

CODING LAYOUT & MATERIALS NOTES

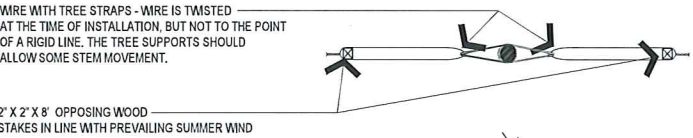
KEY	ITEM	REFERENCE	NOTES
4	AC CONDENSER SCREEN FENCE 'A'	A EX. E3	OPAQUE STAIN TO MATCH BUILDING TRIM - PROVIDE SAMPLES FOR OWNER APPROVAL.
5	AC CONDENSER SCREEN FENCE 'B'	B EX. E3	OPAQUE STAIN TO MATCH BUILDING TRIM - PROVIDE SAMPLES FOR OWNER APPROVAL.



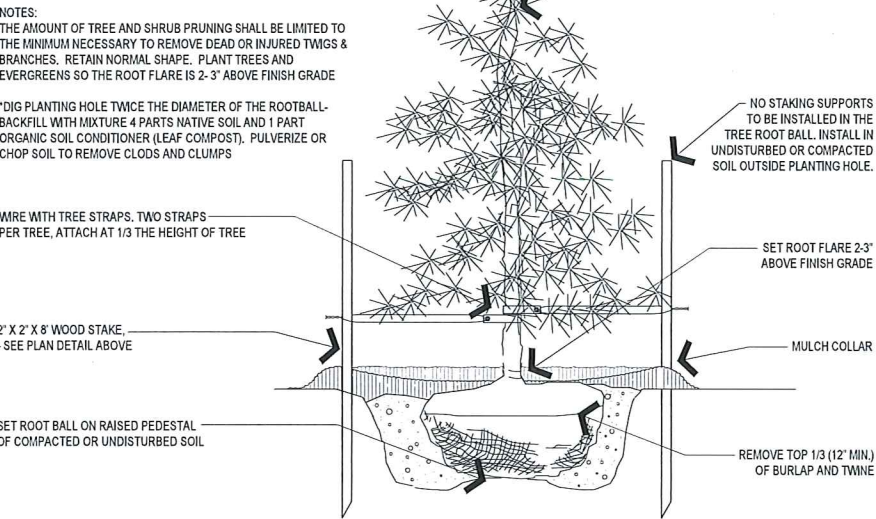
STAKING PLAN DETAIL



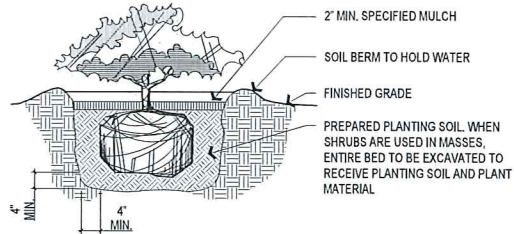
C DECIDUOUS TREE
SCALE: 1/2" = 1'-0"



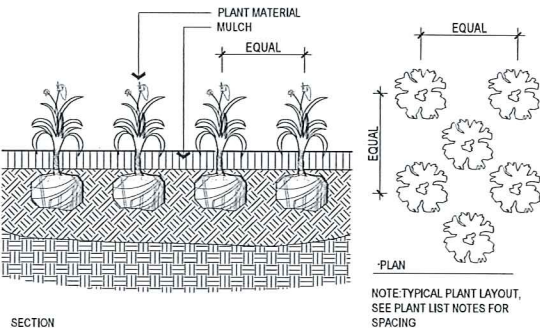
STAKING PLAN DETAIL



D EVERGREEN TREE
SCALE: 1/2" = 1'-0"

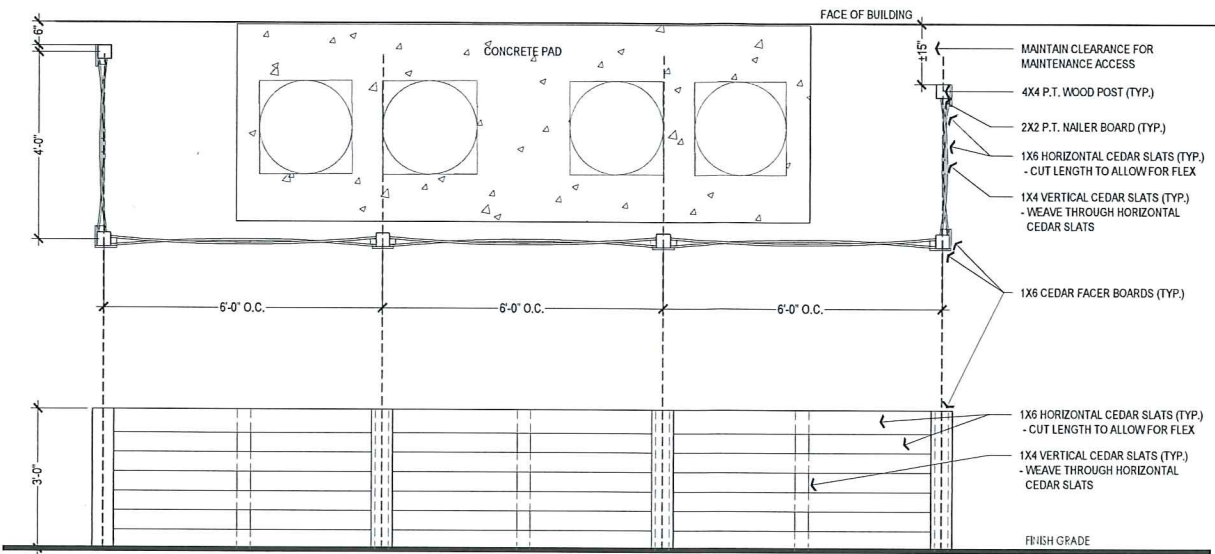


E SHRUB
SCALE: 1/2" = 1'-0"

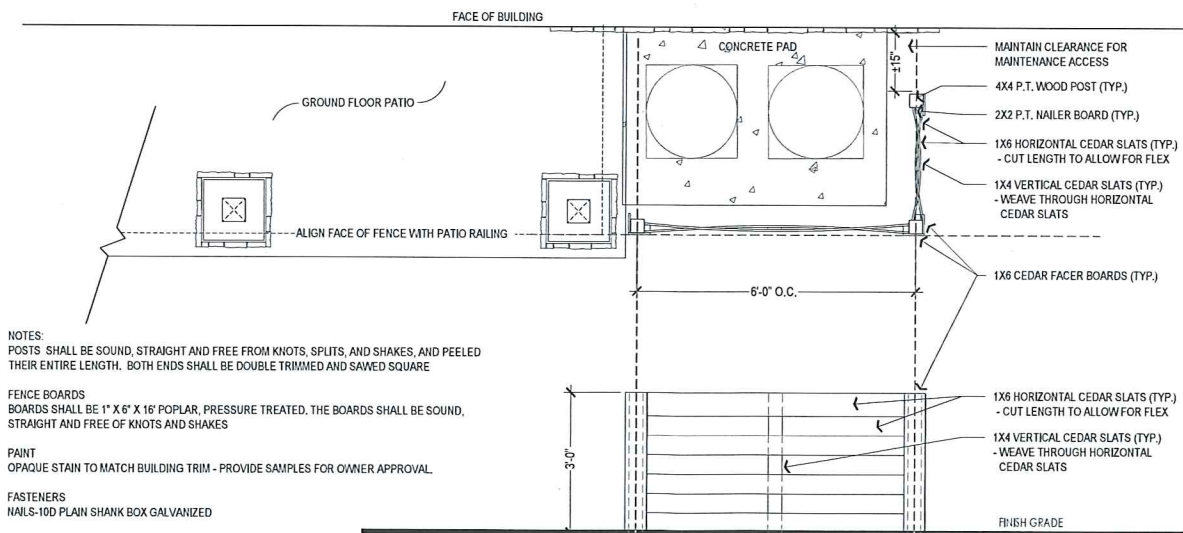


F PERENNIALS & GROUNDCOVERS
SCALE: 1" = 1'-0"

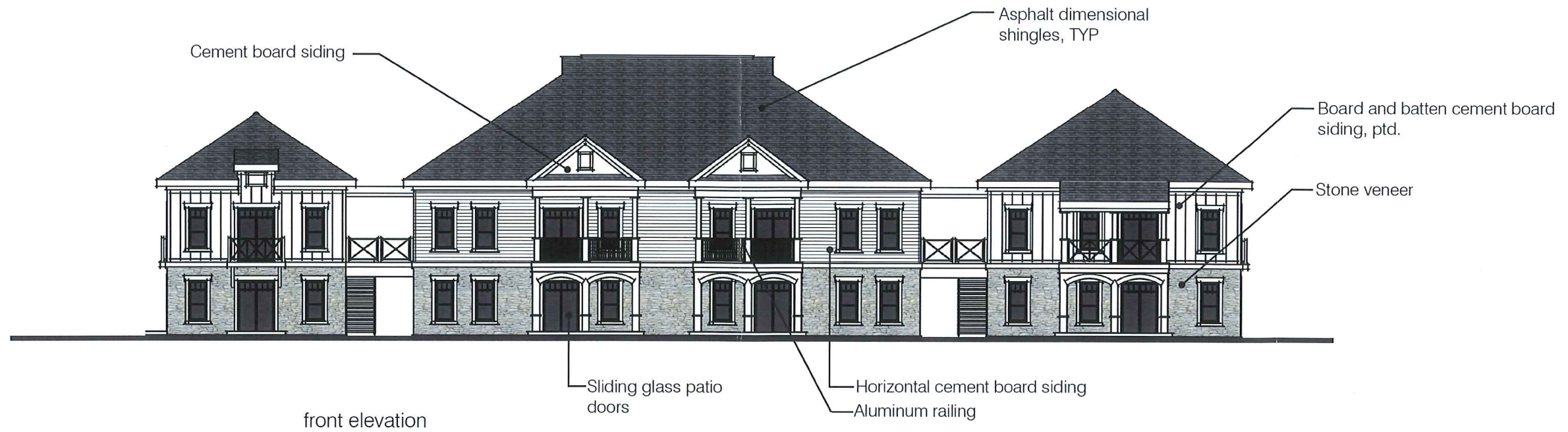
NOTES:
POSTS SHALL BE SOUND, STRAIGHT AND FREE FROM KNOTS, SPLITS, AND SHAKES, AND PEELED THEIR ENTIRE LENGTH. BOTH ENDS SHALL BE DOUBLE TRIMMED AND SAILED SQUARE
FENCE BOARDS
BOARDS SHALL BE 1" X 6" X 16' POPLAR, PRESSURE TREATED. THE BOARDS SHALL BE SOUND, STRAIGHT AND FREE OF KNOTS AND SHAKES
PAINT
OPAQUE STAIN TO MATCH BUILDING TRIM - PROVIDE SAMPLES FOR OWNER APPROVAL
FASTENERS
NAILS-10D PLAIN SHANK BOX GALVANIZED



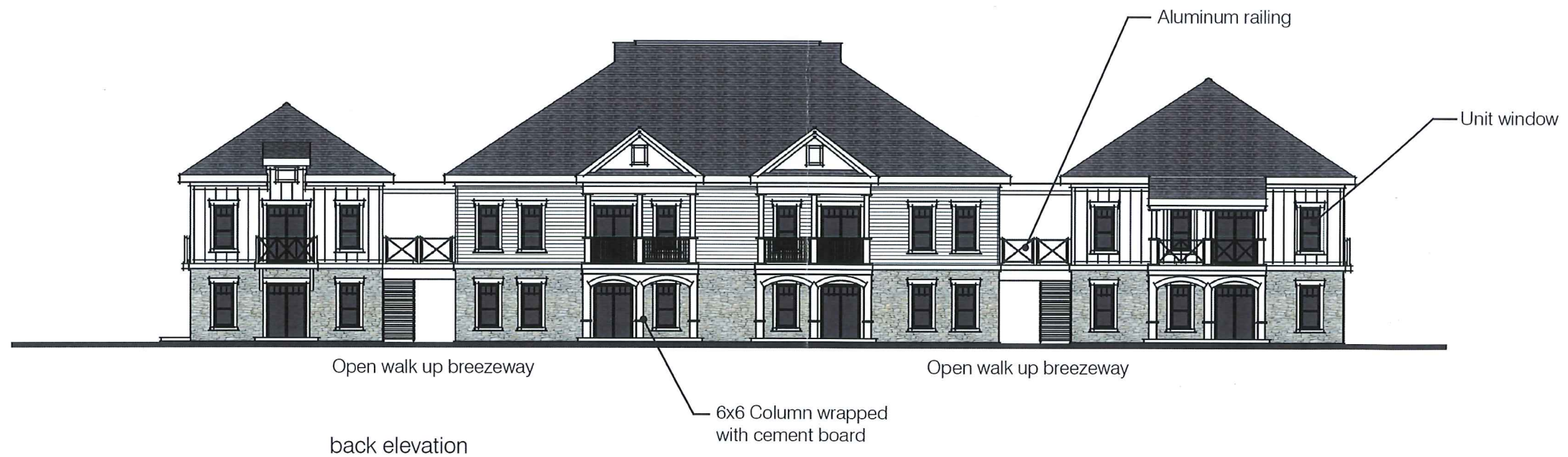
A AC CONDENSER SCREEN FENCE 'A'
SCALE: 1/2" = 1'-0"



B AC CONDENSER SCREEN FENCE 'B'
SCALE: 1/2" = 1'-0"



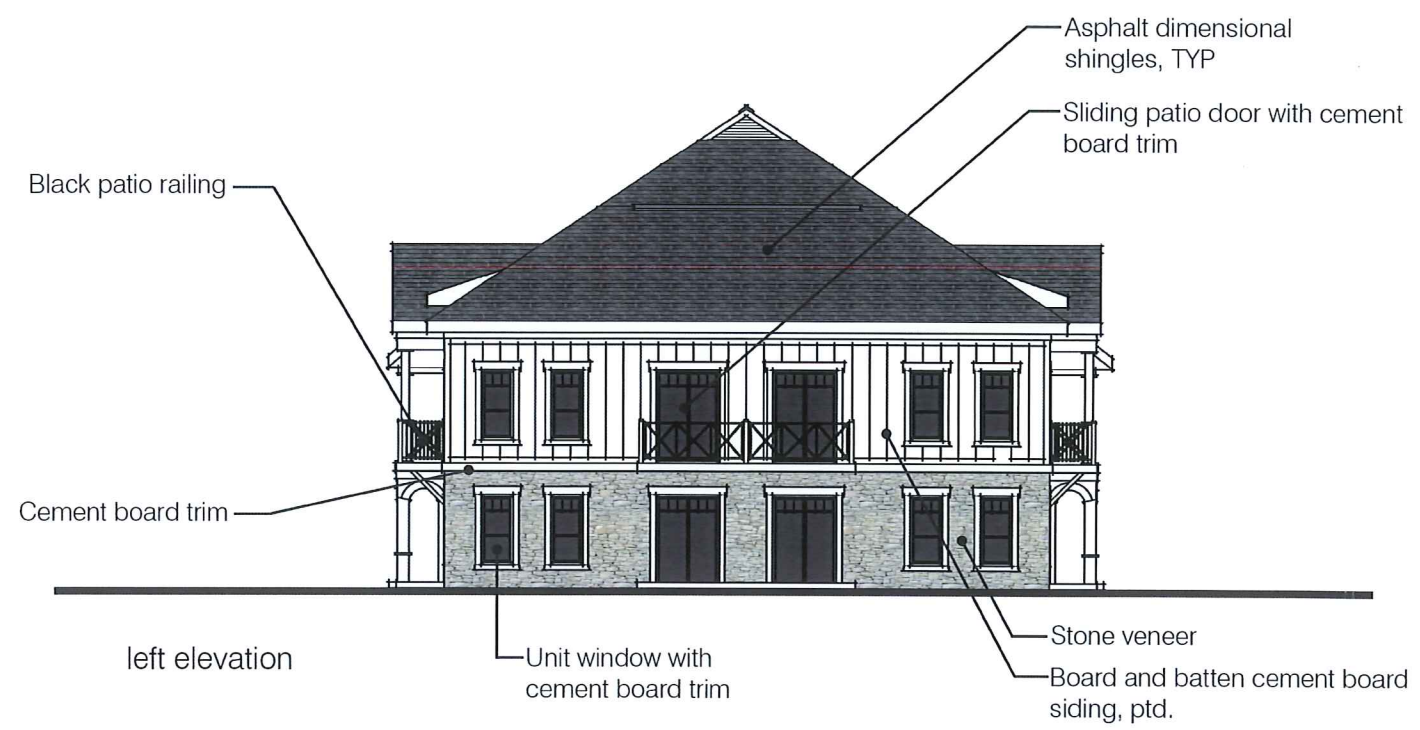
E MULTI-FAMILY FRONT ELEVATION
SCALE: N.T.S.



F MULTI-FAMILY REAR ELEVATION
SCALE: N.T.S.

Middlebury Crossing Retail Buildings - May 25, 2023

meyers+associates
ARCHITECTURE · INTERIOR DESIGN



left elevation

Cement board siding



Balcony Railings



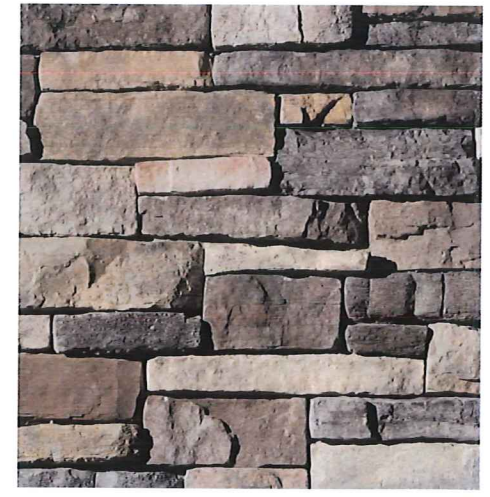
Exterior sconce light



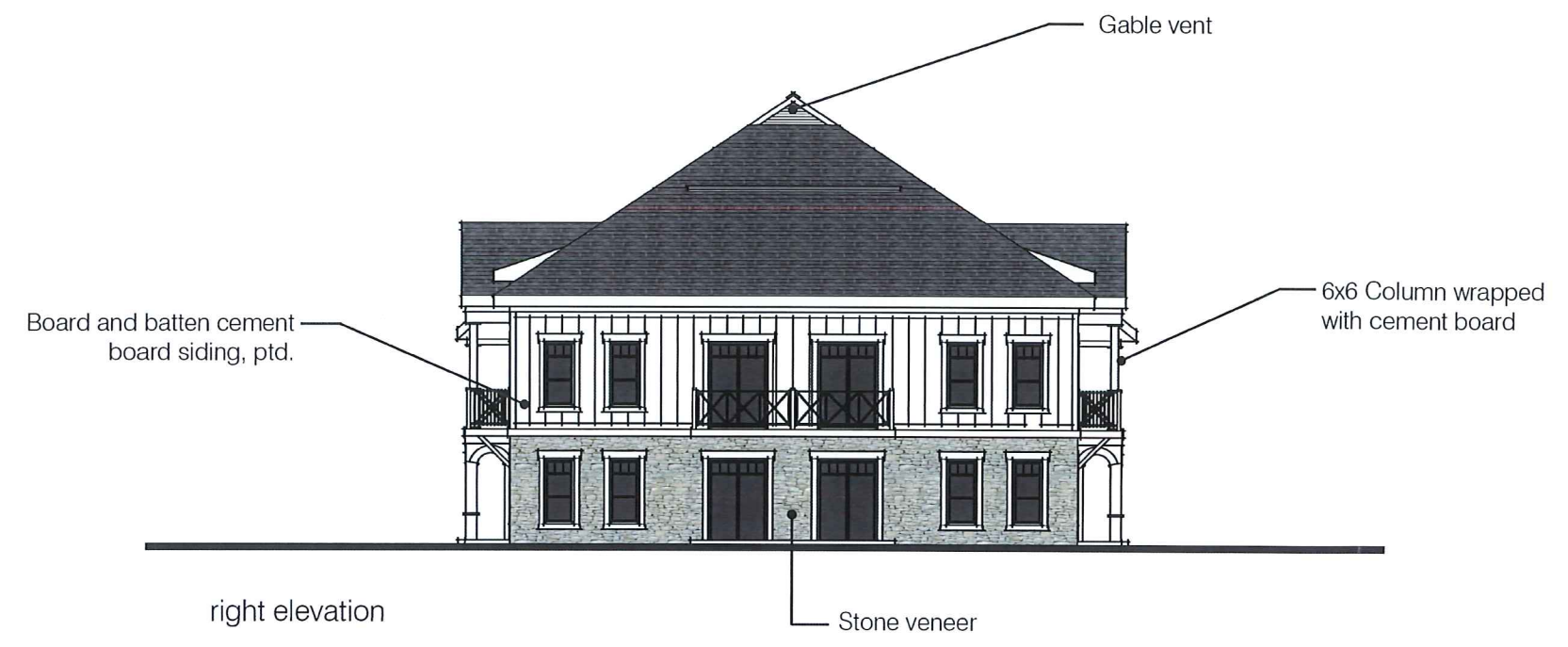
Heavy timber stairs



Stone veneer



Asphalt dimensional shingle



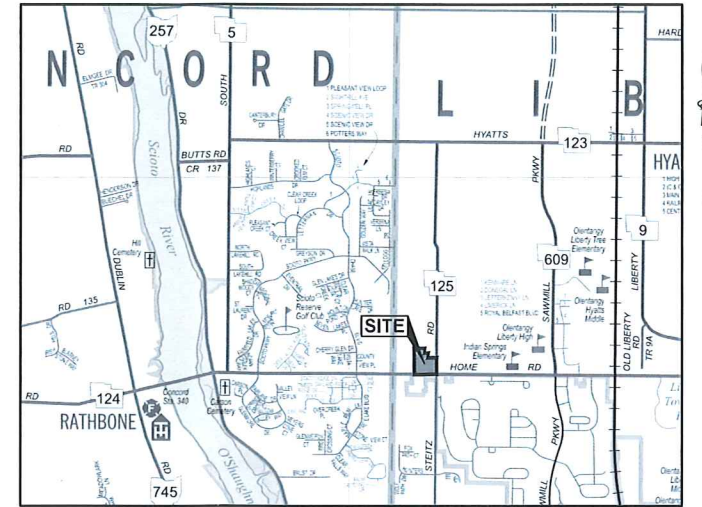
right elevation

H MATERIAL PALLETTE
SCALE: N.T.S.

G MULTI-FAMILY SIDE ELEVATION
SCALE: N.T.S.

Middlebury Crossing Multi-Family Building Elevations and Materials Palette- May 25, 2023

**AMENDED FINAL DEVELOPMENT PLAN
FOR
MIDDLEBURY CROSSING
LIBERTY TOWNSHIP, DELAWARE COUNTY, OHIO
FARM LOTS 15 & 16, SECTION 2, TOWNSHIP 3, RANGE 19, USML
2023**



LOCATION MAP
SCALE: 1" = 2,000'

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DEVELOPER

CODY COUGHLIN COMPANY
C/O CODY COUGHLIN
377 WEST ORANGE ROAD
DELAWARE, OH 43015
PHONE: (740) 417-6764
CODYCOUGHLIN@GMAIL.COM

OWNER

CCC HOME ROAD LLC
C/O CODY COUGHLIN
377 WEST ORANGE ROAD
DELAWARE, OH 43015
PHONE: (740) 417-6764
CODYCOUGHLIN@GMAIL.COM

LANDSCAPE ARCHITECT

G2 PLANNING AND DESIGN
C/O GARY SMITH
720 E. BROAD STREET, SUITE 200
COLUMBUS, OH 43215
PHONE: 614-390-6149
GSMITH@G2PLANNING.COM

ENGINEER/SURVEYOR

ADVANCED CIVIL DESIGN, INC.
C/O TOM WARNER
422 BEECHER ROAD
GAHANNA, OHIO 43230
PHONE: 614-428-7750
TWARNER@ADVANCEDCIVILDESIGN.COM

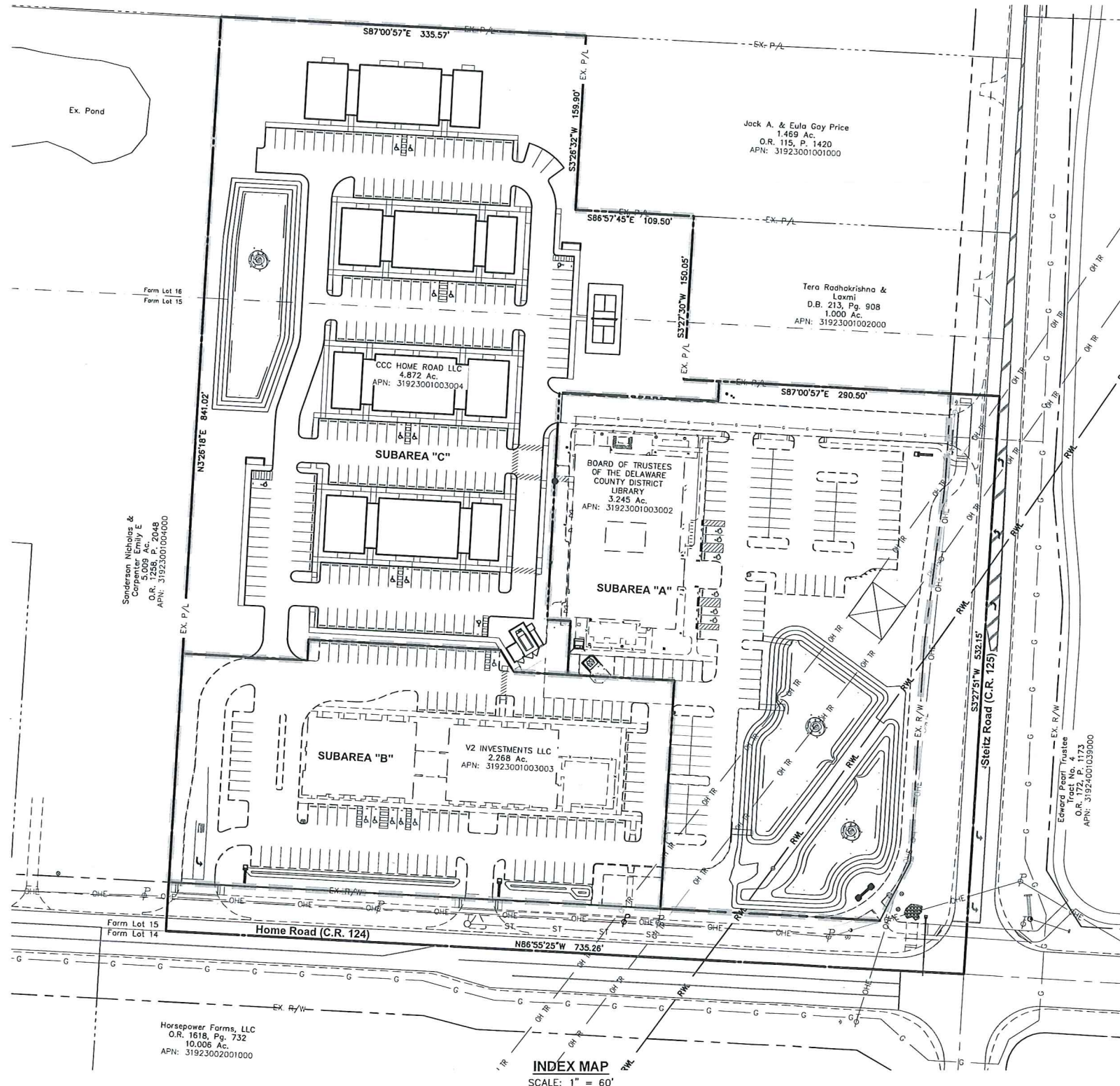
SITE STATISTICS

SITE LOCATION: HOME ROAD & STEITZ ROAD, DELAWARE COUNTY, OHIO
PARCEL NUMBER: 31923001003000
GROSS ACREAGE: ±11.739 AC.
RIGHT-OF-WAY: ±1.20 AC.
NET ACREAGE: ±10.55 AC.

SUBAREA "A" - EXISTING DELAWARE COUNTY LIBRARY BRANCH
NET ACREAGE: 3.245 AC.

SUBAREA "B" - COMMERCIAL ESTABLISHMENTS OR OFFICE
NET ACREAGE: 2.268 AC.

SUBAREA "C" - MULTI-FAMILY RESIDENCES
NET ACREAGE: 4.872 AC.
62 DWELLING UNITS



INDEX MAP
SCALE: 1" = 60'



800-362-2764 or 8-1-1

ADVANCED CIVIL DESIGN, INC.
781 SCIENCE BLVD., SUITE 100
GAHANNA, OH 43230

V: 614.428.7750
F: 614.428.7755

Date: 09/22/2023
Scale: AS NOTED

Drawn By: CLE	Checked By: DDD
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Project Number:	23-0001-1356
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Drawing Number:

1 / 7

GENERAL NOTES SUBDIVISION

STREET AND STORM SEWER

1. THE REQUIREMENTS OF THE CITY OF POWELL, TOGETHER WITH SPECIFICATIONS OF THE STATE OF OHIO, DEPARTMENT OF TRANSPORTATION (ODOT), THE OHIO ENVIRONMENTAL PROTECTION AGENCY (OEPA) PERMIT NO. OHC 000004, CITY OF COLUMBUS (C.O.C.) CONSTRUCTION AND MATERIAL SPECIFICATIONS 2012 (CMSC), OR LATEST EDITIONS, SHALL GOVERN ALL MATERIALS AND WORKMANSHIP INVOLVED IN THE IMPROVEMENTS SHOWN ON THESE PLANS, UNLESS OTHERWISE NOTED.
2. ALL CONTRACTORS SHALL INVESTIGATE AND LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION.
3. ALL CONTRACTORS SHALL NOTIFY THE CITY ENGINEER'S OFFICE SEVENTY TWO (72) HOURS PRIOR TO THE START OF ANY CONSTRUCTION.
4. CONTRACTOR SHALL POST "CONSTRUCTION TRAFFIC 25 MPH" SIGNS AND PROVIDE PERIODIC STREET SWEEPING, OR AS REQUIRED BY THE CITY ENGINEER.
5. THE PROPOSED ELEVATIONS AND LOCATIONS OF INLETS, CATCH BASINS, PIPES AND ESTIMATED LENGTHS OF PIPE MAY BE ADJUSTED BY THE ENGINEER DURING THE ENTIRE IMPROVEMENT OF THIS PROJECT. BASIS OF PAYMENT FOR POSSIBLE ADJUSTMENTS SHALL BE INCLUDED IN THE UNIT PRICE BID FOR VARIOUS STORM SEWERS TO BE ADJUSTED. ALL REVISIONS TO THIS PLAN SHALL BE APPROVED IN WRITING BY THE CITY OF POWELL ENGINEER PRIOR TO CONSTRUCTION.
6. PIPE SPECIFICATIONS FOR THE PLAN IMPROVEMENTS MAY BE IN ACCORDANCE WITH THE FOLLOWING (EXCEPT AS DESIGNATED WITHIN THE PROFILES) OR AS LISTED ON THE CITY OF COLUMBUS APPROVED SEWER PIPE CONSIGNMENT LIST, LATEST EDITION.
 - a. 12" - 15" DIAMETER PIPE, CLASS IV
 - b. 18" - 24" DIAMETER PIPE, CLASS III
 - c. 27" - GREATER DIAMETER PIPE, CLASS II
7. REINFORCED CONCRETE PIPE ASTM C-76 (CMSC 706.02). CONCRETE CLASSIFICATION SHALL BE IN CONFORMANCE WITH THE FOLLOWING UNLESS OTHERWISE REFERENCED BY THE PROFILES.
 - a. 12" - 15" DIAMETER PIPE, CLASS IV
 - b. 18" - 24" DIAMETER PIPE, CLASS III
 - c. 27" - GREATER DIAMETER PIPE, CLASS II
8. ALL BEDDING SHALL BE IN ACCORDANCE WITH STANDARD DRAWING AA-S151 AND AA-S152 FOR RIGID PIPE SEWER.
9. TRANSVERSE STORM SEWER AND UTILITY LINES WITHIN THE PAVEMENT AREA SHALL BE BACKFILLED WITH C.O.C. ITEM 912 IN ACCORDANCE WITH BACKFILL NOTES ON THIS SHEET. SHOULD WEATHER CONDITIONS EXIST THAT PREVENT THE CONTRACTOR FROM MEETING THE COMPACTION REQUIREMENTS OF C.O.C. ITEM 912, THE DEVELOPER'S CONSTRUCTION MANAGER MAY OPT TO USE FLOWABLE CONTROLLED DENSITY FILL (CDF) (PER C.O.C. ITEM 613) IN PLACE OF C.O.C. ITEM 912, OR SHUT DOWN CONSTRUCTION.
10. LONGITUDINAL STORM SEWERS AND UTILITY LINES UNDER PAVEMENT, OR WITHIN INFLUENCE OF PAVEMENT, DRIVEWAYS OR SIDEWALK SHALL BE BACKFILLED WITH COMPACTED GRANULAR MATERIAL, PER ITEM 912 OR FCDP, PER ITEM 613, AND ALL OTHER REMAINING LENGTHS TO BE BACKFILLED AS PER ITEM 203 OUTSIDE RIGHT-OF-WAY (R/W) WITH SUITABLE MATERIAL TO BE APPROVED BY THE CITY ENGINEER. ALL STRUCTURES AND PIPE WITHIN R/W OUTSIDE OF PAVEMENT AREAS SHALL BE BACKFILLED WITH SUITABLE EXCAVATED MATERIAL COMPACTED TO THE C.O.C., ITEM 911, UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER.
11. STORM STRUCTURES ARE TO BE PRECAST ONLY. GRATES AND CASTINGS MUST BE FACTORY PAINTED WITH ASPHALTIC BLACK PAINT.
12. THE CONTRACTOR SHALL INCLUDE IN THE UNIT PRICE BID FOR ITEM 901 ALL TRENCHING, BACKFILLING AS PER PLAN, AND THE REMOVAL AND DISPOSAL OF BRUSH, TREES, AND STUMPS WITHIN THE AREA OF EXCAVATION OF THE TRENCH.
13. THE CONTRACTOR SHALL INCLUDE IN THE UNIT PRICE BID FOR ITEM 203 EXCAVATION THE REMOVAL AND DISPOSAL OF ALL TREES, BRUSH AND STUMPS WITHIN THE LIMITS OF THE R/W.
14. ALL UTILITIES SHALL BE INSTALLED UNDER EXISTING PAVED STREETS BY BORING OR JACKING UNLESS OPEN CUTTING IS SPECIFICALLY APPROVED BY THE CITY ENGINEER IN WRITING.
15. CONSTRUCTION LAYOUT: ALL CONSTRUCTION LAYOUT SHALL BE PERFORMED BY A SURVEYOR, REGISTERED IN THE STATE OF OHIO, AT NO COST TO THE CITY. CUT SHEETS SHALL BE PREPARED FOR ALL SEWERS AND WATERLINES FOLLOWING THE FORMAT ACCEPTABLE TO THE CITY. AT LEAST ONE (1) COPY OF ALL CUT SHEETS SHALL BE DELIVERED TO THE CITY OF POWELL ENGINEER TWO (2) WORKING DAYS PRIOR TO BEGINNING ANY WORK. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING LAYOUT STAKES DURING CONSTRUCTION. ALL DISTURBED STAKES SHALL BE REPLACED BY A REGISTERED SURVEYOR PRIOR TO ANY CONSTRUCTION ACTIVITY. COST FOR RESTAKING SHALL BE THE CONTRACTORS RESPONSIBILITY.
16. PAVEMENT CROSSING SLEEVES FOR THE ELECTRIC, GAS AND TELEPHONE CO. SERVICES SHALL BE SUPPLIED BY THE UTILITY CONCERNED AND INSTALLED BY THE EXCAVATING CONTRACTOR PRIOR TO INSTALLATION OF THE PAVEMENT ITEMS. COST OF THIS WORK SHALL BE INCLUDED IN THE PRICE BID FOR THE VARIOUS ITEMS.
17. LOCATION OF SLEEVES SHALL BE AS FOLLOWS:
 - a. 36" DEPTH FROM TOP OF CONCRETE CURB & GUTTER TO TOP OF SLEEVE.
 - b. ALL SLEEVES SHALL EXTEND A MINIMUM OF 4' BEYOND BACK OF CURB.
 - c. ALL SLEEVES SHALL BE INSTALLED PRIOR TO THE CONSTRUCTION OF THE PAVEMENTS.
 - d. BACKFILL SHALL BE CONTROLLED DENSITY FILL, PER CITY OF COLUMBUS ITEM 636 (K-CRETE).
 - e. FOR COLUMBIA GAS, FERGUSON ENTERPRISES WILL PROVIDE ALL NECESSARY SLEEVES AND DELIVER THESE TO THE JOB SITE. THE CONTRACTOR SHOULD CONTACT PAT SHAU, AT (614) 876-8555 AT LEAST SEVEN (7) DAYS PRIOR TO WHEN THE SLEEVES ARE NEEDED.
18. CONSTRUCTION TRAFFIC: NO NON-RUBBER TIRED VEHICLES MAY BE MOVED ON ANY PUBLIC ROAD OR STREET UNLESS APPROVED, IN WRITING, BY THE CITY. DETAILS TO PROTECT PUBLIC ROADS OR STREETS SHALL BE SUBMITTED TO THE CITY FOR REVIEW AND APPROVAL BY THE CONTRACTOR.
19. NO TRAFFIC WILL BE PERMITTED ON CONCRETE BASE FOR SEVEN (7) DAYS AND NO TRAFFIC WILL BE PERMITTED ON NEW ASPHALT SURFACE FOR TWO (2) DAYS.
20. PROJECT MAINTENANCE: DURING CONSTRUCTION, THE DEVELOPER WILL BE RESPONSIBLE FOR MAINTAINING THE PROJECT SITE IN A CLEAN AND ORDERLY MANNER, I.E. KEEPING THE OVERALL SITE FREE OF CONSTRUCTION DEBRIS WITH PARTICULAR ATTENTION BEING GIVEN TO THE DEVELOPED AREA AND MINIMIZING THE AMOUNT OF DIRT ON STREETS VIA A STREET CLEANING PROGRAM AS REQUIRED BY CITY ENGINEER. ANY PILE OF DEBRIS MUST BE REMOVED FROM THE SITE WITHIN 30 DAYS OR AS DIRECTED BY THE CITY OF POWELL.
21. THE DEVELOPER WILL PRESERVE AS MANY EXISTING TREES AS POSSIBLE DURING THE COURSE OF CONSTRUCTION. TO PREVENT MECHANICAL OR COMPACTION INJURY TO EXISTING TREES NOT EXEMPT UNDER SEC. 1145.29 (C) - PER CITY OF POWELL ZONING CODE, THE DEVELOPER WILL REQUIRE THE CONTRACTOR AND BUILDERS TO INSTALL SNOW FENCING OR BARRIER AROUND A TREE OR GROUP OF TREES TO PROTECT THE TREES AND FOREST FLOOR. TREE PROTECTION SHALL BE PLACED BEFORE ANY CONSTRUCTION OR GRADING IS BEGUN AND SHALL BE MAINTAINED IN REPAIR DURING CONSTRUCTION. THE FENCING SHALL BE LOCATED AS FAR OUT FROM THE TRUNK AS THE DRIPLINE TO RESTRICT CONSTRUCTION WITHIN THAT AREA.
22. ALL DISTURBED SURFACE AREAS NOT COVERED BY STRUCTURES OR A HARD SURFACE IMPROVEMENT SHALL BE COVERED WITH STONE OR SHALL BE SEEDD OR SODDED, IN ACCORDANCE WITH OEPA PERMIT NO. OCH 000004 AND CITY REGULATIONS, AND SLOPED TO DRAIN. ALL GRASS OR STONE AREAS SHALL HAVE A MINIMUM SLOPE OR GRADE OF ONE PERCENT; EXCEPT THAT THE GROUND NEXT TO BUILDINGS SHALL SLOPE AWAY FROM THE BUILDING AT A FIVE PERCENT GRADE FOR A MINIMUM OF TEN FEET.
23. IN ADDITION TO ALL OF THE ABOVE, THE CONTRACTOR SHALL READ PART ELEVEN, TITLE ONE OF THE CITY OF POWELL'S DEVELOPMENT REGULATIONS, AND ABIDE BY REQUIRED SPECIFICATIONS LISTED IN SAME.

PIPE UNDERDRAIN

1. UNDERDRAINS SHALL BE INSTALLED AND BACKFILLED TO SUB-GRADE ELEVATIONS IMMEDIATELY PRIOR TO CONSTRUCTION OF THE SUBBASE.
2. HOWEVER, WHERE SUBSURFACE CONDITIONS ARE SUCH THAT IMPROVEMENT OF UNSTABLE SUB-GRADE CAN BE ACCOMPLISHED THROUGH DRYING ACTION OF UNDERDRAINS, THE ENGINEER MAY AUTHORIZE OR REQUIRE THE CONTRACTOR TO DELAY CONSTRUCTION OF THE SUBBASE AS NECESSARY.
3. IMMEDIATELY PRIOR TO THE CONSTRUCTION OF CURBS, THE MATERIAL LOCATED ABOVE AND WITHIN THE UNDERDRAIN TRENCH SHALL BE REMOVED TO A DEPTH NECESSARY TO EXPOSE CLEAN STONE. BACKFILL THE TRENCH SO THE EXCAVATED AREA SHALL BE BACKFILLED WITH CLEAN STONE.
4. REINFORCED ENDS SHALL BE PROVIDED FOR THE EXPOSED ENDS OF ALL CORRUGATED METAL TYPE "F" USED FOR ALL UNDERDRAIN OUTLETS IF THE EXPOSED PIPE ENDS ARE UNPROTECTED BY HEADWALLS, CATCH BASINS OR MANHOLES.
5. PAYMENT FOR REINFORCED ENDS SHALL BE INCLUDED IN THE PRICE BID FOR THE PERTINENT PIPE ITEMS.

SEEDING

1. THE SEEDING (EITHER PERMANENT OR TEMPORARY) SHALL BE COMMENCED WITHIN 7 DAYS AFTER THE OVERLAND STREET AND LOT GRADING IS COMPLETED.
2. BASED ON CONSTRUCTION START UP DATE, AND CONTRACTOR'S SCHEDULE OF EVENTS, THE SEEDING MIXTURE AND SEDIMENT CONTROL MAY BE CHANGED BY THE CITY ENGINEER, DUE TO A NONGROWING SEASON AT TIME OF START UP.

SURVEY

1. SOURCES OF RECORDED SURVEY DATA ARE THE RECORDS OF THE DELAWARE COUNTY, OHIO, RECORDER REFERENCED IN THE PLAN AND TEXT OF THIS PLAT.
2. IRON PINS, WHERE INDICATED ON THE PLAT, UNLESS OTHERWISE NOTED, ARE TO BE SET AND ARE THIRTEEN SIXTEENTHS (13/16) INCH I.D., THIRTY-SIX (36) INCHES LONG WITH A PLASTIC PLUG PLACED IN THE TOP BEARING THE INITIALS ACD.
3. PERMANENT MARKERS, WHERE INDICATED ON THE PLAT, UNLESS OTHERWISE NOTED, ARE TO BE SET AND ARE ONE (1) INCH I.D., THIRTY-SIX (36) INCHES LONG, BURIED ONE (1) FOOT IN DEPTH WITH A PLASTIC PLUG PLACED IN THE TOP BEARING THE INITIALS ACD.

BACKFILL

1. ALL TRENCHES UNDER PAVEMENT WITHIN PUBLIC R/W OR WHERE THE FRONT FACE OF TRENCHES, PARALLELING THE PAVEMENT ARE LOCATED WITHIN THE PAVEMENT INFLUENCE SHALL BE BACKFILLED WITH COMPACTED GRANULAR MATERIAL AS PER C.O.C. CMSC, ITEM 912, OR FCDP AS PER C.O.C. CMSC, ITEM 613 UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER.
2. THE FIRST 36" OF BACKFILL ABOVE THE TOP OF PIPE SHALL BE FILLED WITH A MATERIAL MEETING THE FOLLOWING GRADATION:

TOTAL PASSING % BY WEIGHT	
SIEVE	100
1"	100
N.O.B	3-5

OR FCDP PER C.O.C. CMSC, ITEMS 912.02, AND 613.
3. ELSEWHERE WITHIN THE R/W AND OUTSIDE OF THE PAVEMENT INFLUENCE LINE, BACKFILL SHALL BE AS PER C.O.C. CMSC, ITEM 911.
4. WHERE COMPACTED BACKFILL IS SHOWN, BACKFILL SHALL BE COMPACTED TO A DENSITY AT LEAST EQUAL TO THAT OF THE ADJACENT UNDISTURBED SOIL IN THE AREA. GRANULAR MATERIAL SHALL BE USED ABOVE THE TOP OF PIPE TO A SUFFICIENT DEPTH TO ACHIEVE COMPACTION WITHOUT CRUSHING THE PIPE. COMPACTED GRANULAR MATERIAL, ITEM 912, OR FCDP, ITEM 613 SHALL BE USED UNDER PAVEMENT CROSSING AS SHOWN ON THE STORM SEWER PROFILES, UNLESS OTHERWISE APPROVED, IN WRITING, BY THE CITY ENGINEER.
5. THE CONTRACTOR SHALL BE REQUIRED TO SUBMIT TESTING RESULTS FOR BACKFILL COMPACTION AND STREET SUBGRADE TO THE CITY ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION OF ROADWAY BASE. TESTING SHALL BE PERFORMED IMMEDIATELY AFTER COMPACTION HAS BEEN COMPLETED. TESTING SHALL BE CONDUCTED PER C.O.C. STANDARDS.

EXISTING UTILITIES

1. ANY EXISTING FIELD TILE ENCOUNTERED DURING CONSTRUCTION SHALL BE PROPERLY RE-ROUTED TO DRAIN (REPAIRED IF NECESSARY), OR CONNECTED TO THE STORM SEWER SYSTEM. THE CITY OF POWELL ENGINEERING DEPARTMENT SHALL BE NOTIFIED IMMEDIATELY WHEN A FIELD TILE IS ENCOUNTERED. AT NO TIME IS THE EXISTING FIELD TILE ALLOWED TO BE TAPPED INTO THE SANITARY SEWER SYSTEM.
2. THE IDENTITY AND LOCATION OF THE EXISTING UNDERGROUND UTILITY FACILITIES KNOWN TO BE LOCATED IN THE CONSTRUCTION AREA HAVE BEEN SHOWN ON THE PLANS AS ACCURATELY AS PROVIDED BY THE OWNER OF THE UTILITY. THE DELAWARE COUNTY ENGINEER, CITY OF POWELL ENGINEER AND/OR THE DESIGN ENGINEER ASSUMES NO RESPONSIBILITY AS TO THE ACCURACY OF THE LOCATIONS OR THE DEPTHS OF THE UNDERGROUND FACILITIES SHOWN ON THE PLANS.
3. SUPPORT, PROTECTION AND RESTORATION OF ALL EXISTING UTILITIES AND APPURTENANCES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE COST OF THIS WORK SHALL BE INCLUDED IN THE PRICE BID FOR THE VARIOUS ITEMS.
4. THE CONTRACTOR SHALL CAUSE NOTICE TO BE GIVEN TO THE OHIO UTILITIES PROTECTION SERVICE (OUPS) (PHONE 800-362-2764 - TOLL FREE) AND TO OWNERS OF UTILITY FACILITIES SHOWN ON THE PLANS WHO ARE NOT MEMBERS OF A REGISTERED UNDERGROUND PROTECTION SERVICE, IN ACCORDANCE WITH SECTION 153.64 OF THE REVISED CODE. NOTICE SHALL BE GIVEN AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO START OF CONSTRUCTION.

PAVEMENT MARKING AND TRAFFIC SIGNAGE

1. PAVEMENT MARKINGS SHALL BE INSTALLED AT LOCATIONS SHOWN ON THE PLANS PER O.D.O.T. CONSTRUCTION AND MATERIAL SPECIFICATIONS (C.M.S.) ITEMS 640, 641 AND 644. TRAFFIC SIGNAGE SHALL BE INSTALLED AT THE LOCATIONS SHOWN ON THE PLANS PER O.D.O.T. C.M.S. ITEM 630 AND THE OHIO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (OMUTCD) PARTS 2 & 6.

PRE-CONSTRUCTION MEETING

1. A PRE-CONSTRUCTION CONFERENCE SHALL BE HELD AT THE CITY ENGINEER'S OFFICE AT LEAST 15 CALENDAR DAYS BEFORE ANY WORK IS BEGUN. REPRESENTATIVES OF THE OWNER, DESIGN ENGINEER, AND CONTRACTOR SHALL BE IN ATTENDANCE. A SCHEDULE OF SEQUENCE OF EVENTS, DURING CONSTRUCTION, MUST BE SUBMITTED FOR REVIEW AT LEAST 3 DAYS PRIOR TO THIS MEETING.

AS-BUILT PLAN

1. THE DEVELOPER/OWNER SHALL PROVIDE THE CITY OF POWELL WITH AN AS-BUILT SURVEY OF IMPROVEMENTS, INCLUDING THE STORM WATER MANAGEMENT SYSTEM (INCLUDING RETENTION POND AND APPURTENANCES) AND ALL CRITICAL SPOT ELEVATIONS DEFICITING THAT THE OVERLAND MAJOR STORM ROUTINGS FUNCTION PER APPROVED PLAN AND AS INTENDED.

TRAFFIC MAINTENANCE

1. ALL TRAFFIC CONTROL DEVICES SHALL BE FURNISHED, ERECTED, MAINTAINED AND REMOVED BY THE CONTRACTOR IN ACCORDANCE WITH THE OMUTCD FOR CONSTRUCTION AND MAINTENANCE OPERATIONS (CURRENT EDITION), COPIES OF WHICH ARE AVAILABLE FROM THE OHIO DEPARTMENT OF TRANSPORTATION, 1980 WEST BROAD STREET, COLUMBUS, OHIO 43223.
2. THE SAFETY OF PEDESTRIAN TRAFFIC SHALL BE CONSIDERED AT ALL TIMES IN THE PROVISION OF THE TRAFFIC CONTROL DEVICES REQUIRED BY THESE PLANS AND NOTES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE LIGHTS, SIGNS, BARRICADES, AND OTHER DEVICES TO WARN OF, AND PHYSICALLY SEPARATE THE PEDESTRIAN FROM, HAZARDS INCIDENTAL TO THE CONSTRUCTION OPERATIONS SUCH AS ANCHOR BOLTS, OPEN EXCAVATIONS, ETC.
3. ALL TRENCHES SHALL BE BACKFILLED OR SECURELY PLATED DURING NON-WORKING HOURS. STEADY-BURNING TYPE "C" LIGHTS SHALL BE REQUIRED ON ALL BARRICADES, DRUMS, AND SIMILAR TRAFFIC CONTROL DEVICES IN USE AT NIGHT.
4. VEHICULAR AND PEDESTRIAN ACCESS TO ALL PROPERTY PARCELS ABUTTING THE PROJECT SHALL BE MAINTAINED AT ALL TIMES.
5. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE CONSTRUCTION ACTIVITIES WITH THE CITY ENGINEER AND WITH THE OWNERS OF ABUTTING PROPERTIES IN ADVANCE OF ANY OPERATIONS WHICH AFFECT ACCESS.
6. PAYMENT FOR ALL TRAFFIC MAINTENANCE ITEMS SHALL BE INCLUDED WITH THE LUMP SUM PRICE BID FOR ITEM 614, MAINTENANCE OF TRAFFIC.
7. THE CONTRACTOR SHALL NOTIFY POLICE, FIRE AND SCHOOL OFFICIALS ON ANY LANE CLOSURES ON HOME ROAD.
8. ACCESS TO ALL ADJOINING PROPERTIES SHALL BE MAINTAINED AT ALL TIMES.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND SAFE MOVEMENT OF PEDESTRIANS THROUGH, AROUND, AND AWAY FROM THE CONSTRUCTION SITE.
10. ALL TRENCHES WITHIN PUBLIC R/W SHALL BE BACKFILLED ACCORDING TO THE APPROVED CONSTRUCTION DRAWINGS OR SECURELY PLATED DURING NON-WORKING HOURS. TRENCHES OUTSIDE THESE AREAS SHALL BE BACKFILLED OR SHALL BE PROTECTED BY APPROVED TEMPORARY FENCING OR BARRICADES DURING NON-WORKING HOURS. CLEAN-UP SHALL FOLLOW CLOSELY BEHIND THE TRENCHING OPERATION.
11. AT LEAST TWO-WAY, ONE-LANE TRAFFIC SHALL BE MAINTAINED ON ALL ROADS DURING CONSTRUCTION OPERATIONS, IN ACCORDANCE WITH PAGE C-18 OF THE OHIO MANUAL. A LAW ENFORCEMENT OFFICER(S) SHALL BE SUBSTITUTED FOR EACH FLAGPERSON SHOWN ON THIS PAGE AND SUCH OFFICERS SHALL BE PRESENT WHENEVER TWO-WAY, ONE-LANE TRAFFIC IS IN EFFECT. CONTACT THE CITY OF POWELL POLICE AT (614) 885-5005, LT. STEVE HRYTZIK, AT LEAST FORTY EIGHT (48) HOURS IN ADVANCE TO ARRANGE FOR SPECIAL DUTY OFFICERS.
12. ALL TRAFFIC LANES SHALL BE FULLY OPEN TO TRAFFIC ON ALL ROADS FROM 6:00 TO 9:00 A.M. AND 4:00 TO 7:00 P.M. ONE LANE MAY BE CLOSED TO TRAFFIC DURING WORKING HOURS.

DEL-CO WATER COMPANY

GENERAL NOTES FOR WATER LINE CONSTRUCTION
REVISED: JANUARY 17, 2020

1. GENERAL NOTES AS MODIFIED BY DEL-CO AND SHOWN ON THE APPROVED CONSTRUCTION DRAWINGS SHALL SUPERSEDE THE REQUIREMENTS OF THE DEL-CO WATER COMPANY CONSTRUCTION STANDARDS MANUAL WHEREVER DISCREPANCIES OCCUR.
2. STANDARD GENERAL NOTES:
 - a. WATER LINE DESIGN, MATERIALS, AND INSTALLATION METHODS SHALL CONFORM TO APPLICABLE SECTIONS OF RECOMMENDED STANDARDS FOR WATER LINES (AWWA C900), AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARDS, AND THE DEL-CO WATER COMPANY CONSTRUCTION STANDARDS MANUAL. CONTRACTOR SHALL OBTAIN A COPY OF THE STANDARDS AND HAVE IN THEIR POSSESSION AT ALL TIMES DURING CONSTRUCTION.
 - b. DEL-CO'S SIGNATURE ON THIS PLAN SIGNIFIES ONLY CONCURRENCE WITH THE GENERAL PURPOSE AND LOCATION OF THE PROPOSED WATER LINE IMPROVEMENTS. ALL TECHNICAL DETAILS REMAIN THE RESPONSIBILITY OF THE PROFESSIONAL ENGINEER WHO PREPARED AND CERTIFIED THESE PLANS. DEL-CO WATER COMPANY TAKES NO RESPONSIBILITY, FINANCIAL OR OTHERWISE, REGARDING ERRORS IN THIS PLAN.
 - c. CORRECTION OF ERRORS SHALL BE TO THE APPLICABLE DEL-CO WATER COMPANY STANDARD, AND THE SOLE RESPONSIBILITY OF THE DEVELOPER. ALL CORRECTIONS, OR REVISIONS THAT AFFECT DEL-CO'S WATER LINE PLANS, DIRECTLY OR INDIRECTLY SHALL BE SUBMITTED TO, AND APPROVED BY DEL-CO WATER COMPANY PRIOR TO REVISIONS BEING ISSUED.
 - d. GPS COORDINATES SHALL BE PROVIDED TO DEL-CO WATER AT THE COMPLETION OF THE WATERLINE INSTALLATION. THESE COORDINATES SHALL INCLUDE ALL MATERIALS, EQUIPMENT AND LABOR NECESSARY TO OBTAIN HORIZONTAL AND VERTICAL (NORTHING, EASTING AND ELEVATION) SURVEY COORDINATES FOR WATER MAIN IMPROVEMENTS. THE SURVEY COORDINATES SHALL BE OBTAINED AT THE COMPLETION OF THE WATER MAIN INSTALLATION AND SHALL INCLUDE ALL VALVES, TEES, FIRE HYDRANTS, BENDS, PLUGS, REDUCERS, TAPPED TEES, CURB STOPS, AIR RELEASES, 2" END OF LINE FIRE HYDRANTS, ENDS OF CASING PIPE, SERVICE SADDLES AND CORPORATIONS. ADDITIONAL GPS COORDINATES ARE REQUIRED ON THE WATER MAIN EVERY 200' WHERE NO FITTINGS OR SERVICE SADDLES ARE TO BE INSTALLED.
 - e. GPS COORDINATES SHALL BE REFERENCED TO THE APPLICABLE COUNTY ENGINEER'S MONUMENTS AND SHALL BE BASED ON THE NORTH AMERICAN DATUM OF 1983 (NAD 83) WITH THE NSRS2007 ADJUSTMENT, WITH FURTHER REFERENCE MADE TO THE OHIO STATE PLANE NORTH COORDINATE SYSTEM, NORTH ZONE, WITH ELEVATIONS BASED ON NAVD 88 DATUM. ALL COORDINATES (NORTHING, EASTING AND ELEVATION) SHALL BE REFERENCED TO THE NEAREST HUNDRETH. ALL SURVEY COORDINATES SHALL BE ACCURATE TO WITHIN 0.6 FOOT OR LESS HORIZONTAL AND VERTICAL.
 - f. THE GPS COORDINATES SHALL BE SUBMITTED TO THE DEL-CO WATER ENGINEERING DEPARTMENT IN DIGITAL SPREADSHEET FORM AND SHALL INCLUDE THE APPLICABLE ITEM, STATION, NORTHING, EASTING AND ELEVATION COORDINATES. THE ABOVE DATE INFORMATION SHALL BE SUBMITTED TO THE DEL-CO WATER ENGINEERING DEPARTMENT AS PART OF THE AS-BUILT DRAWING SUBMITTAL.
 - g. AS-BUILT DRAWINGS ARE REQUIRED FOLLOWING THE COMPLETION OF CONSTRUCTION. ONE SET OF DRAWINGS MARKED "AS-BUILT" SHALL BE SUBMITTED BY THE DEVELOPER TO DEL-CO'S INSPECTION DEPARTMENT FOR REVIEW AND APPROVAL. WATER MAINS CANNOT RECEIVE A FINAL ACCEPTANCE UNTIL AS-BUILT DRAWINGS HAVE BEEN APPROVED. PLEASE NOTE: TAPS MAY NOT BE PURCHASED NOR INSTALLED UNTIL WATER LINES HAVE RECEIVED A FINAL ACCEPTANCE.
 - h. WATER MAINS SHALL BECOME THE OWNERSHIP OF DEL-CO WATER UPON FINAL ACCEPTANCE.
 - i. WATER LINE CONSTRUCTION PLANS ARE APPROVED FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE APPROVAL LETTER OR SIGNED PLANS. IF CONSTRUCTION HAS NOT STARTED WITHIN ONE YEAR OF THE DATE OF APPROVAL, PLANS SHALL BE RESUBMITTED TO DEL-CO WATER COMPANY FOR APPROVAL.
3. WATER LINE CONSTRUCTION:
 - a. WATER LINES SHALL BE NSF 61 APPROVED, AND COMPLIANT WITH ASTM D2241 & OHIO EPA ENG-08-002 STANDARDS.
 - b. USE THE FOLLOWING TYPE AND CLASS OF PIPE UNLESS OTHERWISE INDICATED ON THE DRAWINGS:
 - i. 2-INCH WATER LINE PIPE: CLASS 200 SDR 21 YELLOUNE PVC (RESTRAINED JOINT).
 - ii. 4-INCH WATER LINE PIPE: CLASS 200 SDR 21 PVC.
 - iii. 6-INCH WATER LINE PIPE: CLASS 200 SDR 21 PVC.
 - iv. 8-INCH TO 12-INCH WATER LINE PIPE: CLASS 200 SDR 26 PVC.
 - v. 16-INCH AND LARGER WATER LINE PIPE: AWWA C151 CLASS 52 DIP.
 - vi. 4-INCH PIPE AND LARGER USED FOR FIRE SERVICE: AWWA C900 DR 18 (150 PSI) PVC.
 - c. ALL SIZES OF DEL-CO-OWNED WATER LINES USED ON MASTER METER PROJECTS: CLASS 200 SDR 21 PVC.
 - d. ALL SIZES OF DUCTILE IRON PIPE SHALL BE INSTALLED WITH POLYETHYLENE ENCASEMENT.
 - e. ALL FITTINGS SHALL BE MECHANICAL JOINT CONFORMING TO AWWA C153.
 - f. CROSSES SHALL NOT BE USED WITHOUT APPROVAL OF DEL-CO WATER COMPANY.
 - g. TO ALL VALVES SHALL BE MECHANICAL JOINT CONFORMING TO AWWA WITH AISI 304 STAINLESS STEEL EXTERNAL HARDWARE. VALVES 12-INCH AND SMALLER SHALL BE RESILIENT-SEATED GATE VALVES PER AWWA C509 AND VALVES 16-INCH AND LARGER SHALL BE BUTTERFLY VALVES PER AWWA C604.
 - h. PROVIDE HEAVY-DUTY VALVE BOXES ON ALL HOT-TAPS AND AT VALVES LOCATED UNDER GRAVEL OR PAVEMENT SURFACES.
 - i. TOP OF VALVE BOX SHALL BE FLUSH WITH FINISHED GRADE IN PAVED AREAS, AND 4 INCHES ABOVE FINISHED GRADE IN NON-PAVED AREAS.
 - j. MAINTAIN A MINIMUM 10-FOOT HORIZONTAL AND 1.5-FOOT VERTICAL SEPARATION BETWEEN WATER LINES AND SANITARY AND STORM SEWERS.
 - k. ALL OTHER BURIED UTILITIES SHALL MAINTAIN A MINIMUM 5-FOOT HORIZONTAL SEPARATION, AND 2-FOOT VERTICAL SEPARATION FROM THE CENTERLINE OF WATER LINES AS FINALLY LAID AND CONSTRUCTED.
 - l. PROVIDE CONNECTION WITH SCOTCH SUPER 88 HEAVY DUTY GRADE ELECTRICAL TAPE.
 - m. BURY WATER LINES A MINIMUM DEPTH OF 48-INCHES TO THE TOP OF PIPE.
 - n. ALL ENGINEERED FILL TO BE PLACED OVER OR UNDER DEL-CO WATER LINES SHALL BE IN PLACE PRIOR TO THE CONSTRUCTION OF THE WATER LINES.
 - o. PLACE A 5-FOOT STEEL FENCE POST OR 4"x4" WOOD POST AT VALVES AND THE ENDS OF LINES, PAINT BLUE.
 - p. TRACER WIRE.
 - q. INSTALL COPPERHEAD® OR EQUAL 12-GAUGE HIGH STRENGTH 452LB BREAK STRENGTH 30 MIL HOPE JACKET, COPPER-CLAD, STEEL REINFORCED TRACER WIRE ON ALL WATER MAINS AND SERVICE LINES INSTALLED BY TRENCHING METHODS.
 - r. INSTALL COPPERHEAD® OR EQUAL 12-GAUGE EXTRA HIGH STRENGTH 1150LB BREAK STRENGTH 45 MIL HOPE JACKET, COPPER-CLAD, STEEL REINFORCED TRACER WIRE ON ALL WATER MAINS AND SERVICE LINES INSTALLED BY BORING METHODS.
 - s. FASTEN WIRE TO PIPE IN TWO PLACES PER PIPE SECTION. EXTEND TRACER WIRE TO GROUND SURFACE AT ALL VALVES AND HYDRANTS AS SHOWN IN THE DEL-CO STANDARD DETAIL. SPLICE WRES USING BURNDY COPPER SPLIT BOLT KS-15. THOROUGHLY WRAP THE CONNECTOR AND BARE WIRES WITH 3M TEMFLEX 2155 RUBBER SPLICING TAPE, COVER ENTIRE CONNECTION WITH SCOTCH SUPER 88 HEAVY DUTY GRADE ELECTRICAL TAPE.
 - t. CONNECT ALL SERVICE LINE WIRES TO MAIN LINE WIRES USING BURNDY COPPER SPLIT BOLT KS-15. THOROUGHLY WRAP THE CONNECTOR AND BARE WIRES WITH 3M TEMFLEX 2155 RUBBER SPLICING TAPE, COVER ENTIRE CONNECTION WITH SCOTCH SUPER 88 HEAVY DUTY GRADE ELECTRICAL TAPE.
 - u. CONTRACTOR SHALL TEST THE CONTINUITY OF ALL WIRE USING A THIRD-PARTY TESTER.
4. CONTRACTOR SHALL CONTACT DEL-CO'S INSPECTION DEPARTMENT A MINIMUM OF 24 HOURS PRIOR TO TEST.
 1. TESTER SHALL SEND A SIGNED REPORT TO DEL-CO WATER INSPECTION DEPARTMENT AFFIRMING ALL WRE HAS CONTINUITY.
 2. CONTRACTOR SHALL REPAIR ALL DEFICIENCIES.
5. WATER SERVICE CONSTRUCTION (BETWEEN MAIN LINE AND METER PIT):
 - a. ALL WATER SERVICES SHALL BE CONSTRUCTED AND INSTALLED PER AWWA C600.
 - b. FOR METERS 1-INCH AND SMALLER, USE 1-INCH CLASS 200 SDR 7 IRON PIPE SIZE (IPS) POLYETHYLENE PIPE.
 - c. CONNECTIONS TO PVC PIPE SHALL BE MADE WITH APPROVED TAPPING SADDLE AND CORPORATION STOP PER DEL-CO SUBDIVISION CONSTRUCTION STANDARDS MANUAL.
 - d. CONNECTIONS TO DIP SHALL BE BY DIRECT TAP OR SADDLE AND APPROVED CORPORATION STOP PER DEL-CO SUBDIVISION CONSTRUCTION STANDARDS MANUAL.
 - e. PROVIDE A CURB STOP WITH 1-INCH FEMALE IRON PIPE THREADS ON THE CUSTOMER SIDE AT THE END OF SERVICE LINES. LOCATE AT ROW, BUT A MINIMUM OF FIVE FEET FROM EDGE OF SIDEWALK UNLESS OTHERWISE APPROVED OR DIRECTED BY DEL-CO.
 - f. ALL SERVICE LINE VALVES 1½-INCH AND LARGER SHALL BE MECHANICAL JOINT GATE VALVES, RESTRAINED WITH DUCT-UGS AND GALVANIZED ALL THREAD ROD, OR ANCHOR TEES WHERE APPLICABLE.
 - g. MINIMUM DEPTH OF COVER SHALL BE 48 INCHES.
 - h. PLACE A 5-FOOT STEEL FENCE POST OR 4"x4" WOOD POST AT THE ENDS OF ALL SERVICE LINES, PAINT BLUE.
 - i. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SPECIAL BACKFILL MATERIAL FOR ALL LINES, INCLUDING THOSE INSTALLED BY DEL-CO WATER COMPANY, WHERE REQUIRED BY THE COUNTY OR CITY ENGINEER.
6. FIRE HYDRANTS:
 - a. FIRE HYDRANTS SHALL CONFORM TO AWWA C502 FOR DRY BARREL HYDRANTS.
 - b. MAIN VALVE: 5.25-INCH COMPRESSION.
 - c. NOZZLES:
 - i. THREADING: CONFORM TO NFPA NATIONAL STANDARD FIRE HOSE THREADS.
 - ii. 4.5-INCH STEAMER, EXCEPT IN THE FOLLOWING LOCATIONS PROVIDE AN INTEGRAL STORZ CONNECTION: HARRINGTON HH550 OR EQUAL; BERKSHIRE, BERLIN, CONCORD, GENOA, KINGSTON, LIBERTY, ORANGE, PORTER, TRENTON, AND SCOTIO TOWNSHIPS; CITY OF POWELL; AND THE VILLAGES OF SUNBURY AND GALENA.
 - d. TWO 2.5-INCH HOSE CONNECTIONS.
 - e. INLET CONNECTION: 6-INCH MECHANICAL JOINT.
 - f. OPERATING NUT: 1.5-INCH PENTAGON, TURN COUNTERCLOCKWISE TO OPEN.
 - g. PLACEMENT OF HYDRANT: 2 FEET FROM THE BACK OF CURB OR 8 FEET FROM THE EDGE OF PAVEMENT ON NON-CURBED STREETS.
 - h. EXTENSIONS AND PARTS: SHALL BE MANUFACTURED BY THE ORIGINAL EQUIPMENT MANUFACTURER.
 - i. APPROVED MANUFACTURERS: MUELLER SUPER CENTURION 200, AMERICAN FLOW CONTROL, B- 84-B, CLOW MEDALLION, MAH MODEL 125M, AWK NOSTALGIC 2780, OR KENNEDY GUARDIAN K810.
 - j. PAINTING: REPAINT ALL HYDRANTS AFTER INSTALLATION PER DEL-CO SUBDIVISION CONSTRUCTION STANDARDS MANUAL SECTION 02731, PART 2.06.
 - k. LIBERTY TOWNSHIP, POWELL, AND VILLAGE OF SUNBURY: SAFETY RED.
 - l. OTHER TOWNSHIPS: SAFETY YELLOW.
 - m. FIRE HYDRANTS LOCATED ON PRIVATE WATER LINES SHALL BE PAINTED INDUSTRIAL GREEN.
7. DISINFECT ALL WATER LINES IN ACCORDANCE WITH AWWA C651 AND DEL-CO SPECIFICATIONS.
8. ALL PIPE INSTALLATION AND PRESSURE TESTING SHALL BE IN ACCORDANCE WITH AWWA C600 FOR DUCTILE IRON PIPE AND CROSS FOR PLASTIC PIPE, AND DEL-CO SPECIFICATIONS.
 - a. CONTRACTOR SHALL PROVIDE ALL EQUIPMENT NECESSARY TO PERFORM PRESSURE TEST.
 - b. SCHEDULE TEST BETWEEN 8:00 AM AND 2:00 PM WEEKDAYS. NOTIFY DEL-CO 24 HOURS PRIOR TO TEST.
9. OBTAIN WRITTEN APPROVAL OF MATERIAL AND MANUFACTURERS LIST FROM DEL-CO WATER PRIOR TO BEGINNING CONSTRUCTION.
10. PROVIDE CASING PIPE FOR ALL ROAD CROSSINGS UNLESS OTHERWISE APPROVED BY DEL-CO. CASING PIPE SHALL BE STEEL PIPE WITH 0.375-INCH WALL THICKNESS, OR PVC C500 FOR WATER LINES 12-INCH DIA. OR LESS. CASINGS FOR WATER LINES LARGER THAN 12-INCH DIA. MAY BE AWWA C905.
11. EASEMENTS SHALL BE PROVIDED TO DEL-CO WATER BEFORE PERMISSION WILL BE GIVEN TO MAKE NEW SERVICE LINE CONNECTIONS.

11. CONNECTIONS TO EXISTING WATER LINES WILL BE MADE BY DEL-CO WATER AT THE CONTRACTOR'S EXPENSE OR PERFORMED BY CONTRACTORS WHO ARE APPROVED FOR MAKING CONNECTIONS. NOTIFY ALL PROPERTY OWNERS, AND DEL-CO WATER, IN WRITING 48 HOURS BEFORE STARTING CONSTRUCTION.
12. CONTRACTOR SHALL EXCAVATE TO DETERMINE THE LOCATION AND DEPTH OF EXISTING WATER LINES WHENEVER COVER OVER THE WATER LINES IS BEING REDUCED. IF THE FINAL DEPTH OF THE WATERLINE WILL BE BELOW DEL-CO WATER STANDARDS, CONTRACTOR SHALL SUBMIT A RELOCATION PLAN FOR APPROVAL BY DEL-CO WATER, AND RELOCATE THE WATER LINE AT THEIR EXPENSE.
13. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING THE WATER LINE PRIOR TO FINAL ACCEPTANCE BY DEL-CO WATER, AND REPAIRING ALL DAMAGES FROM CONSTRUCTION ACTIVITY.
14. DO NOT FILL NEW WATER LINES UNTIL APPROVED BY DEL-CO WATER CO.
15. BOOSTER PUMPS ARE NOT ALLOWED ON INDIVIDUAL SERVICES.
16. ALL WATER MAINS, INCLUDING THOSE NOT DESIGNED TO PROVIDE FIRE PROTECTION, SHALL BE SIZED FOLLOWING AN ANALYSIS BASED ON FLOW DEMANDS, AND PRESSURE REQUIREMENTS. THE SYSTEM SHALL BE DESIGNED TO MAINTAIN A MINIMUM PRESSURE OF 20 PSI AT GROUND LEVEL AT ALL POINTS IN THE DISTRIBUTION SYSTEM UNDER ALL DESIGNED FLOW CONDITIONS. NORMAL WORKING PRESSURE IN THE DISTRIBUTION SYSTEM SHALL NOT BE LESS THAN 35 PSI.

PLAN PREPARED BY:
CITY OF POWELL, DELAWARE COUNTY, OHIO

AMENDED FINAL DEVELOPMENT PLAN
FOR
MIDDLEBURY CROSSING
APARTMENT DEVELOPMENT

DATE: 09/22/2023
SCALE: AS NOTED

Drawn By: CLE
Checked By: DDD

Project Number:
23-0001-1356

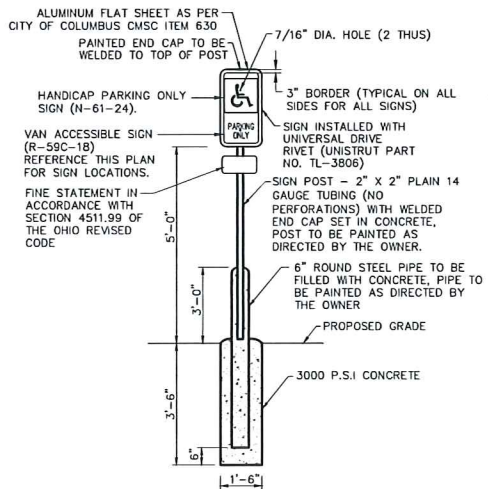
Drawing Number:
2 / 7

PLAN PREPARED FOR:
CITY OF POWELL, DELAWARE COUNTY, OHIO

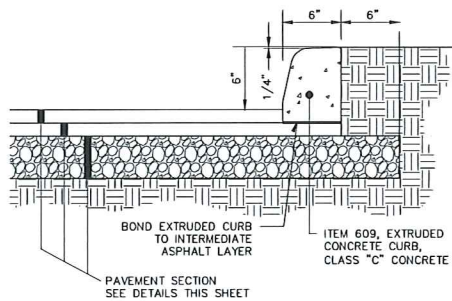
ADVANCED CIVIL DESIGN
ENCLOSURE SURVEYORS

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Columbus, Ohio 43230
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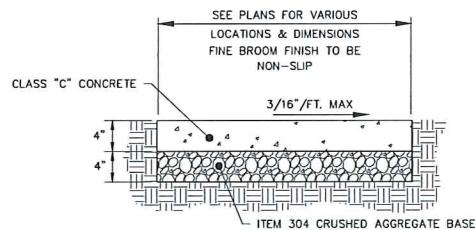
CODY COUGHLIN COMPANY
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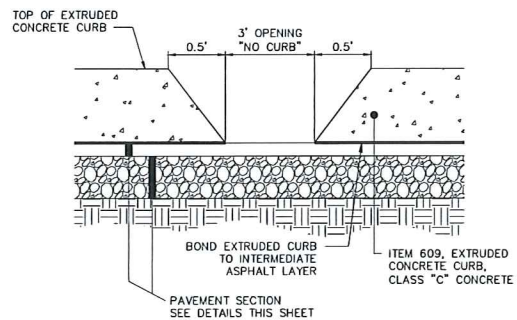
ACCESSIBLE PARKING SIGN DETAIL
NO SCALE



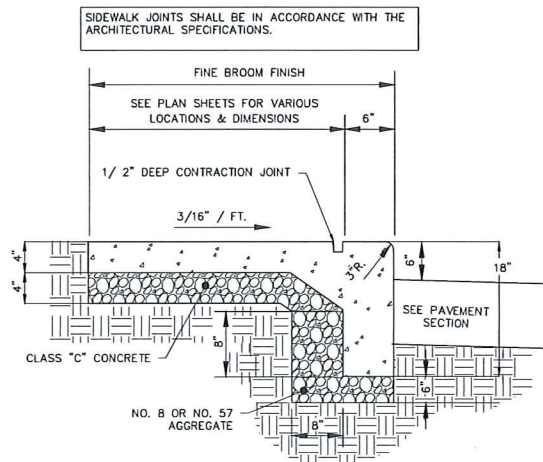
EXTRUDED CONCRETE CURB
NO SCALE



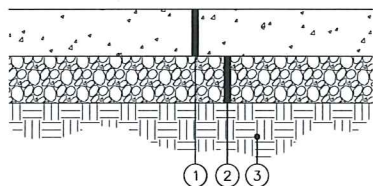
CONCRETE SIDEWALK SECTION
NO SCALE



CURB OPENING DETAIL
NO SCALE



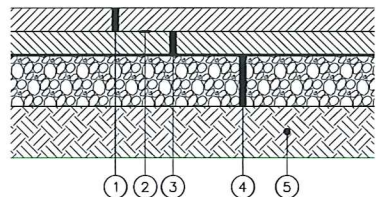
COMBINED CURB AND WALK
NO SCALE



- ITEM 451, 8" REINFORCED P.C. CONCRETE PAVEMENT (CLASS C)
- ITEM 304, 6" CRUSHED AGGREGATE BASE
- ITEM 204, SUBGRADE COMPACTION

- NOTES:
- ALL PAVEMENT MATERIAL SHALL CONFORM TO THE STATE OF OHIO DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIAL SPECIFICATIONS.
 - THE PAVEMENT SECTIONS ARE A RECOMMENDATION ASSUMING SUITABLE SOIL CONDITIONS. ACD RECOMMENDS THAT A GEOTECHNICAL ENGINEER REVIEWS THE SOIL CONDITIONS AND MAKES A FINAL RECOMMENDATION FOR THE SUBGRADE AND PAVEMENT SECTION.

CONCRETE DUMPSTER PAD SECTION
NO SCALE



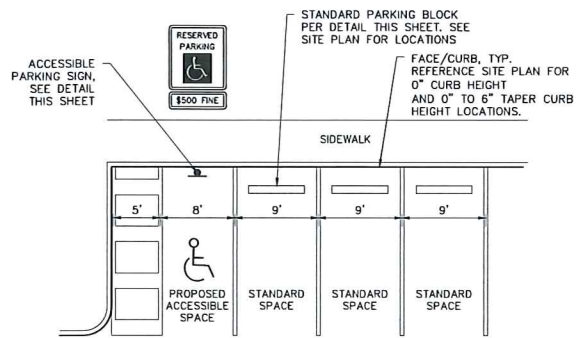
- | | |
|--|--|
| ① ITEM 441, 1-1/2" ASPHALT CONCRETE SURFACE COURSE, MEDIUM TRAFFIC, PG64-22 (448) | ① ITEM 441, 1-1/2" ASPHALT CONCRETE SURFACE COURSE, MEDIUM TRAFFIC, PG64-22 (448) |
| ② ITEM 407, TACK COAT (0.15-0.20 GAL/SQ. YD.) | ② ITEM 407, TACK COAT (0.15-0.20 GAL/SQ. YD.) |
| ③ ITEM 441, 1-1/2" ASPHALT CONCRETE INTERMEDIATE COURSE, MEDIUM TRAFFIC, PG64-22 (448) | ③ ITEM 441, 2-1/2" ASPHALT CONCRETE INTERMEDIATE COURSE, MEDIUM TRAFFIC, PG64-22 (448) |
| ④ ITEM 304, 8" CRUSHED AGGREGATE BASE | ④ ITEM 304, 10" CRUSHED AGGREGATE BASE |
| ⑤ ITEM 204, SUBGRADE COMPACTION | ⑤ ITEM 204, SUBGRADE COMPACTION |

LIGHT DUTY (LD)

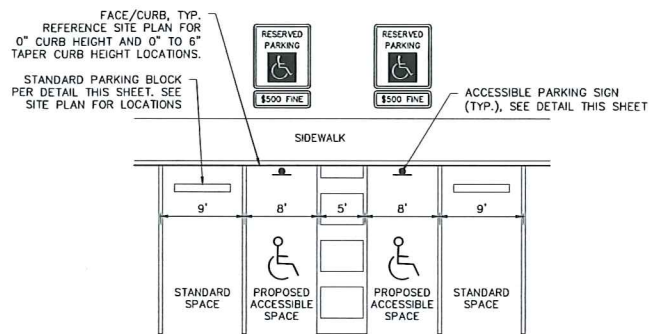
HEAVY DUTY (HD)

- NOTES:
- THE TACK COAT MAY BE ELIMINATED IF THE INTERMEDIATE COURSE IS CLEAN AND THE SURFACE IS PLACED IMMEDIATELY FOLLOWING THE PLACEMENT OF THE INTERMEDIATE COURSE.
 - ALL PAVEMENT MATERIAL SHALL CONFORM TO THE STATE OF OHIO DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIAL SPECIFICATIONS.
 - THE PAVEMENT SECTIONS ARE A RECOMMENDATION ASSUMING SUITABLE SOIL CONDITIONS. ACD RECOMMENDS THAT A GEOTECHNICAL ENGINEER REVIEWS THE SOIL CONDITIONS AND MAKES A FINAL RECOMMENDATION FOR THE SUBGRADE AND PAVEMENT SECTION.

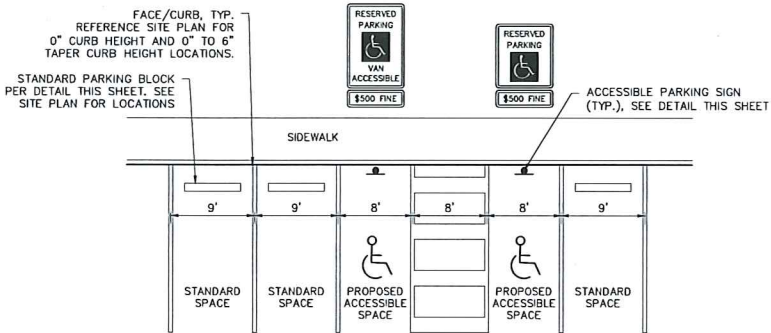
PAVEMENT SECTION
NO SCALE



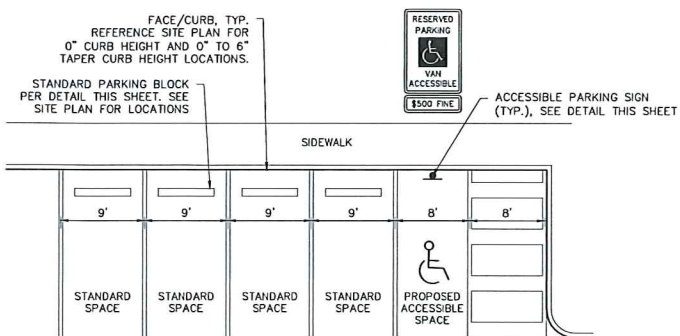
ACCESSIBLE PARKING DETAIL, TYPICAL OF 2
NO SCALE



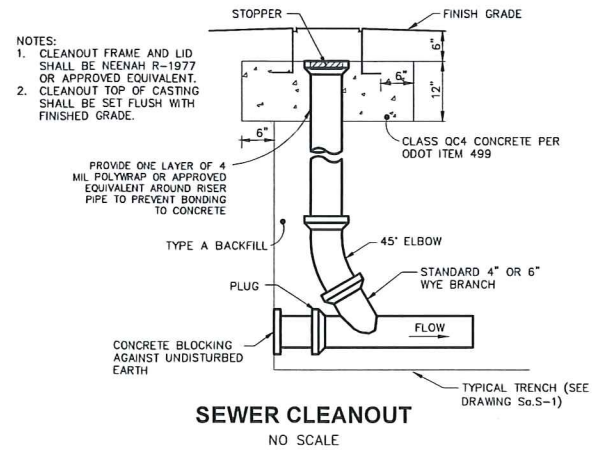
ACCESSIBLE PARKING DETAIL, TYPICAL OF 3
NO SCALE



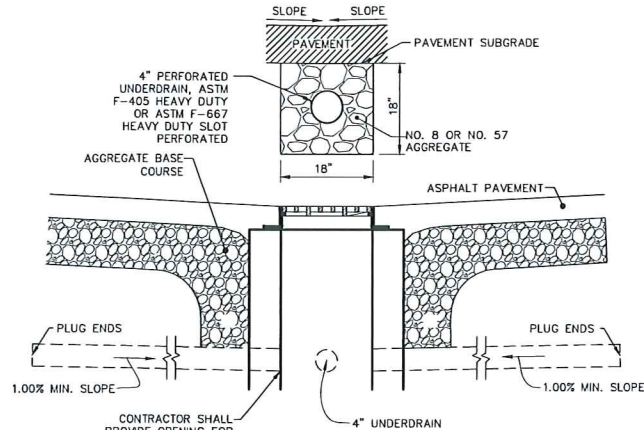
ACCESSIBLE PARKING DETAIL, TYPICAL OF 1
NO SCALE



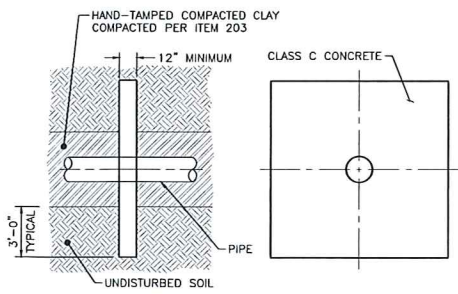
ACCESSIBLE PARKING DETAIL, TYPICAL OF 1
NO SCALE



SEWER CLEANOUT
NO SCALE

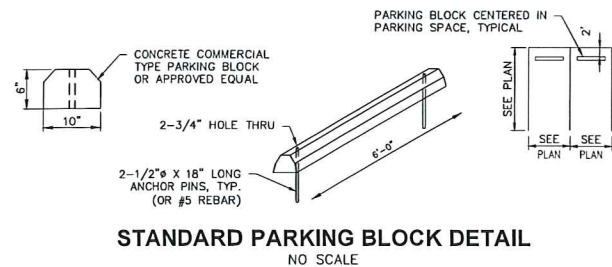


4" UNDERDRAIN AT CATCH BASIN DETAIL
NO SCALE



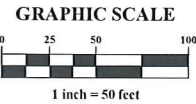
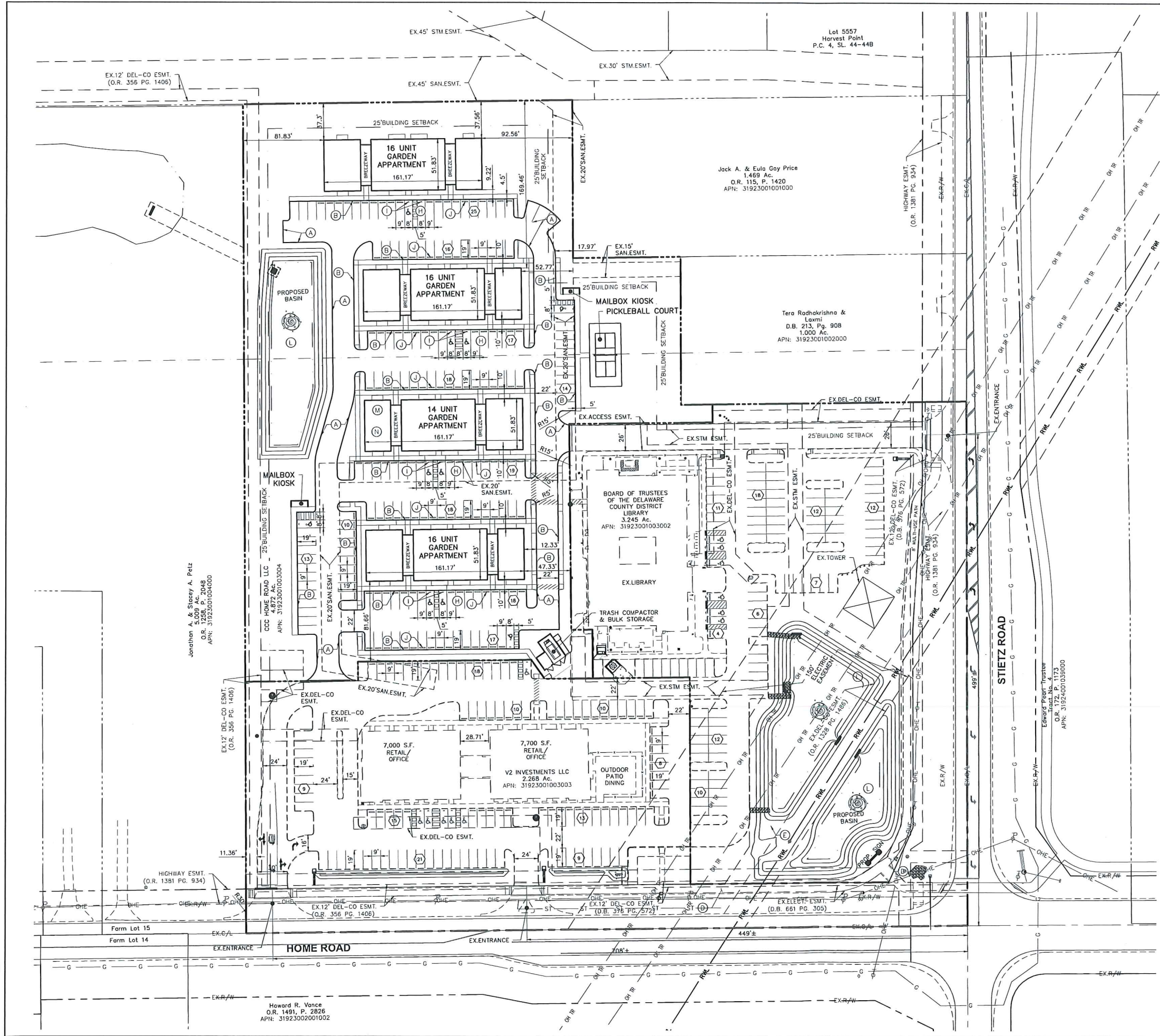
- NOTES:
- SPACING BETWEEN ADJACENT COLLARS SHALL BE A MINIMUM OF 5 FEET WITH THE FIRST COLLAR BEING A MINIMUM OF 5 FEET FROM THE INLET. FURNISH A MINIMUM OF 2 COLLARS PER OUTLET CONDUIT.
 - ALL ANTI-SEEP COLLARS AND THEIR CONNECTIONS SHALL BE WATERTIGHT.

ANTI-SEEP CONCRETE COLLAR DETAIL
NO SCALE



STANDARD PARKING BLOCK DETAIL
NO SCALE

No.	Revision	Date	Approved



SITE NOTES

1. ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
2. ALL PRIVATE PAVEMENT MARKINGS SHALL BE WHITE UNLESS OTHERWISE NOTED.
3. ALL DISTURBED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
4. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
5. CURB RADII NOT LABELED ARE 3' UNLESS OTHERWISE SHOWN OR ONE-HALF THE WIDTH OF CURB ISLAND.

LEGEND

LIGHT DUTY PAVEMENT SECTION, SEE DETAIL SHEET 3
(3" ASPHALT, 8" AGGREGATE BASE)

SITE STATISTICS

SITE LOCATION: HOME ROAD & STEITZ ROAD, DELAWARE COUNTY, OHIO
PARCEL NUMBER: 31923001003001, 31923001003002 & 31923001003003
GROSS ACREAGE: 10.385 AC.

SUB-AREA 'A' -
NET ACREAGE: 3.245 AC.
OPEN SPACE: ±1.41 AC.
IMPERVIOUS COVER: ±1.81 AC.
PARKING REQUIRED: 10 SPACES PLUS 1 SPACE FOR EACH 300 S.F.
IN EXCESS OF 2,000 S.F. PLUS 1 SPACE FOR EACH 2 EMPLOYEES
38,265 S.F. - 2,000 S.F. = 36,265 S.F.
36,265 S.F. / 300 = 121 SPACES + 10 SPACES = 131
22 EMPLOYEES = 11 SPACES
TOTAL REQUIRED: 142 SPACES
PARKING PROVIDED: 108 SPACES
INCLUDES 6 ACCESSIBLE SPACES (2 VAN ACCESSIBLE)

SUB-AREA 'B' -
NET ACREAGE: 2.268 AC.
OPEN SPACE: ±0.47 AC.
IMPERVIOUS COVER: ±1.60 AC.
PARKING REQUIRED: 5 SPACES PLUS 1 SPACE FOR EACH 400 S.F.
14,700 S.F. / 400 = 37 SPACES + 5 SPACES = 42
TOTAL REQUIRED: 42 SPACES
PARKING PROVIDED: 113 SPACES
INCLUDES 6 ACCESSIBLE SPACES (1 VAN ACCESSIBLE)

SUB-AREA 'C' -
NET ACREAGE: 4.872 AC.
OPEN SPACE: ±1.78 AC.
IMPERVIOUS COVER: ±3.08 AC.
ZONING ORDINANCE: 9 D.U./AC.
ACTUAL DWELLING UNITS: 62 UNITS
2 STORY GARDEN:
3 BUILDINGS X 16 UNITS
1 BUILDING X 14 UNITS
UNIT DENSITY: 7.18 D.U./AC. (INCLUDES SUB-AREA A & B OPEN SPACE/PUBLIC USE)
8.64 ACRES USED IN CALCULATING DENSITY
PARKING REQUIRED: 3 SPACES PER DWELLING UNIT (3 X 62 = 186)
PARKING PROVIDED: 186 SPACES (3.0/D.U.)
INCLUDES 11 ACCESSIBLE SPACES (2 VAN ACCESSIBLE)

CODED NOTES

- (A) EXTRUDED CURB, SEE DETAIL SHEET 3
- (B) COMBINED CURB AND WALK, SEE DETAIL SHEET 3
- (C) NO CURB
- (D) 8' MULTI-USE PATH
- (E) 6' MULTI-USE PATH
- (F) CONCRETE SIDEWALK, SEE DETAIL SHEET 3
- (G) LANDSCAPE/OPEN SPACE, SEE LANDSCAPE PLANS
- (H) ACCESSIBLE PARKING SPACE, SEE DETAILS SHEET 3
- (I) ACCESSIBLE PARKING SIGN, SEE DETAIL SHEET 3
- (J) PARKING BLOCK, SEE DETAIL SHEET 3
- (K) SITE LIGHTING FIXTURE, SEE PHOTOMETRIC PLAN FOR DETAILS
- (L) POND AERATOR, SEE LANDSCAPE PLAN FOR DETAILS
- (M) LEASING OFFICE
- (N) WORKOUT FACILITY

PLAN PREPARED BY:

PLAN PREPARED FOR:

CITY OF POWELL, DELAWARE COUNTY, OHIO

AMENDED FINAL DEVELOPMENT PLAN

FOR

MIDDLEBURY CROSSING

APARTMENT DEVELOPMENT

SITE DIMENSION PLAN

Date: 09/22/2023
Scale: 1"=50'

Drawn By: CLE
Checked By: DDD

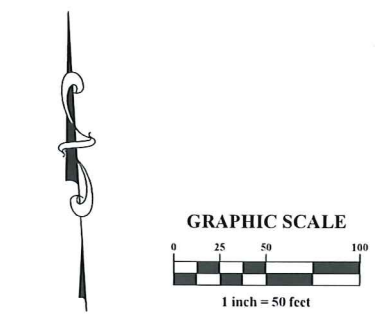
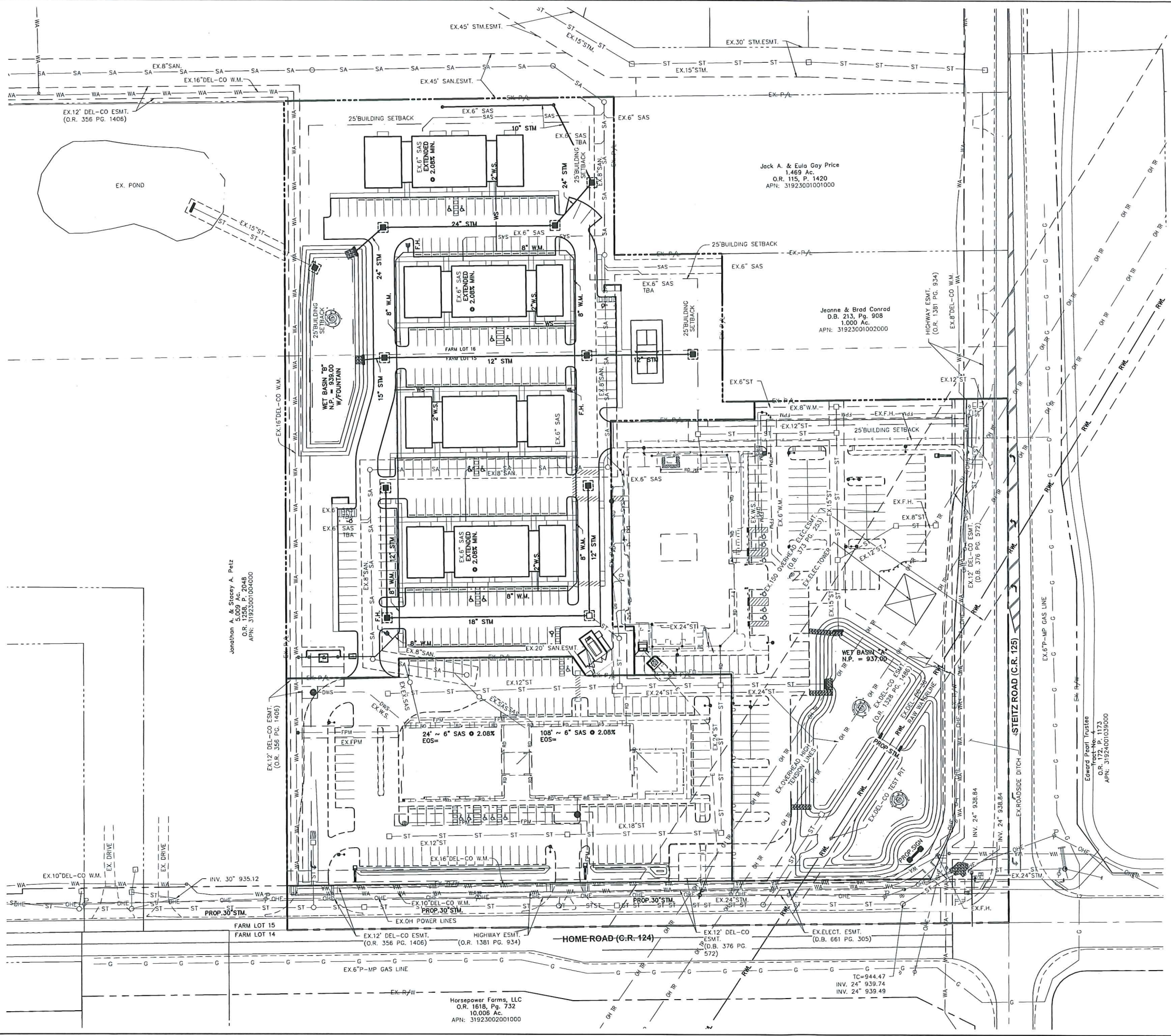
Project Number:
23-0001-1356

Drawing Number:
5 / 7

ADVANCED
CIVIL DESIGN
ENGINEERS SURVEYORS

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377 WEST ORANGE ROAD
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CONTACT: CODY COUGHLIN
PHONE: (740) 417-8764
EMAIL: CODYCOUGHLIN@GMAIL.COM



UTILITY NOTES

1. THE PROPOSED SANITARY SERVICE TO BE INSTALLED PER C.O.C. STD. DWG. AA-S160. CONTRACTOR SHALL EXTEND SERVICE TO LOCATION SHOWN ON PLANS UNLESS OTHERWISE DIRECTED BY THE OWNER. CONTRACTOR SHALL USE COMPACTED BACKFILL PER ITEM 911, COMPACTED TO 98% OF MAXIMUM DRY WEIGHT AT OPTIMUM MOISTURE ($\pm 2\%$) UNLESS OTHERWISE NOTED.
2. UTILITY LAYOUTS SHOWN HEREON ARE PRELIMINARY ONLY AND SUBJECT TO MODIFICATION DURING FINAL ENGINEERING.
3. UTILITY EASEMENTS TO BE DEFINED DURING FINAL ENGINEERING.

LEGEND

- | | |
|--|---------------------------------|
| | PROPOSED STORM SEWER |
| | SANITARY SEWER |
| | WATER MAIN |
| | EXISTING STORM SEWER |
| | EXISTING SANITARY SEWER |
| | EXISTING WATER MAIN |
| | EXISTING DOMESTIC WATER SERVICE |
| | EXISTING FIRE PROTECTION MAIN |
| | EXISTING GAS MAIN |
| | EXISTING OVERHEAD ELECTRIC |
| | TO BE ABANDONED |

Jonathan A. & Stacy A. Peltz
O.R. 1258, P. 2048
APN: 31923001004050

Jack A. & Eula Gay Price
1,469 Ac.
O.R. 115, P. 1420
APN: 31923001001000

Jeanne & Brad Conrad
D.B. 213, Pg. 908
1,000 Ac.
APN: 31923001002000

Edward Peet Trustee
O.R. 172, P. 1173
APN: 31924001039000

Horsepower Farms, LLC
O.R. 1618, Pg. 732
10,008 Ac.
APN: 31923002001000

PLAN PREPARED BY:

PLAN PREPARED FOR:

CITY OF FOWELL, DELAWARE COUNTY, OHIO

AMENDED FINAL DEVELOPMENT PLAN

FOR

MIDDLEBURY CROSSING

APARTMENT DEVELOPMENT

COMPOSITE UTILITY PLAN

Date: 09/22/2023
Scale: 1"=50'

Drawn By: CLE
Checked By: ODD

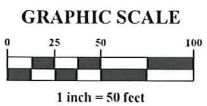
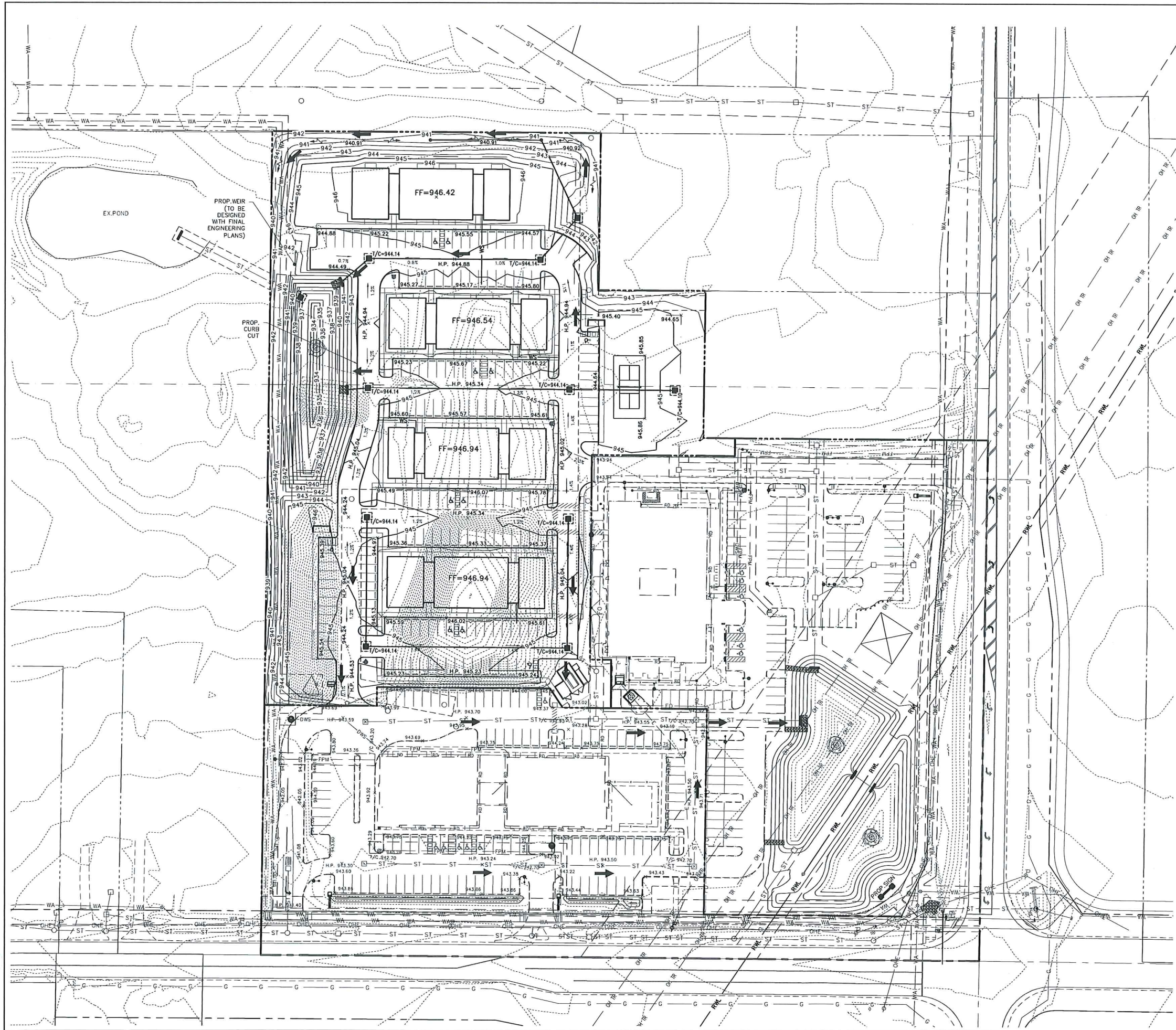
Project Number:
23-0001-1356

Drawing Number:
6 / 7

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ENGINEERS SURVEYORS

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PHONE: (740) 417-6764
EMAIL: CODYCOUGHLIN@GMAIL.COM



LEGEND

- 940----- EXISTING CONTOUR
- 913----- PROPOSED CONTOUR
- T/C=795.20 TOP OF CASTING ELEVATION
- X TC 795.20 TOP OF CURB ELEVATION
- X 795.20 TOP OF PAVEMENT OR GROUND SURFACE
- x 795.20 Ex EXISTING TOP OF PAVEMENT OR GROUND SURFACE
- 15" ST PROPOSED STORM SEWER
- SA PROPOSED SANITARY SERVICE
- WA PROPOSED WATER SERVICE
- SURFACE FLOW ARROW
- MAJOR FLOOD ROUTING PATH (GREATER THAN 100 YR EVENT)

SITE GRADING NOTES

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.

STORM PIPE SHALL BE AS SPECIFIED IN THE GENERAL NOTES.

EXISTING DRAINAGE STRUCTURES TO BE INSPECTED AND REPAIRED AS NEEDED. EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.

EXISTING GRADE CONTOURS SHOWN AT 1 FOOT INTERVALS.

PROPOSED GRADE CONTOURS SHOWN AT 1 FOOT INTERVALS.

ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.

ALL STORM SEWER STRUCTURES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING & COVERS. LIDS SHALL BE LABELED "STORM SEWER".

CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.

CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.

CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.

ELEVATIONS SHOWN HEREIN ARE BASED ON NORTH AMERICAN VERTICAL DATUM (NAVD) 1988.

ALL SPOT ELEVATIONS SHOWN ARE FINISHED GRADE/TOP OF PAVEMENT UNLESS OTHERWISE NOTED. TOP OF CURB ELEVATIONS DENOTED AS T XX.X AND T/C DESIGNATES TOP OF CASTING FOR STORM SEWER STRUCTURES.

STORMWATER CONTROL NARRATIVE

SITE SUMMARY:
THE SUBJECT PROJECT CONSISTS OF A SINGLE PARCEL (31923001003000) TO BE DEVELOPED INTO A MIXED USE, COMMERCIAL/RETAIL, MULTI-FAMILY RESIDENTIAL AND PUBLIC USE WITH ASSOCIATED PARKING. THE SITE IS BOUND BY SINGLE FAMILY RESIDENTIAL TO THE NORTH, STEITZ ROAD TO THE EAST, HOME ROAD TO THE SOUTH, AND SINGLE FAMILY TO THE WEST. THE SITE IS APPROXIMATELY 11.739 ACRES CONSISTING OF AGRICULTURAL LAND.

EXISTING CONDITIONS:
EXISTING DRAINAGE CONDITIONS WERE EVALUATED USING A COMBINATION OF AERIAL PHOTOGRAPHS, SURVEYED TOPOGRAPHY, SOIL MAPS, AND SITE PHOTOS. THE NATURAL RESOURCE CONSERVATION SERVICE WEB SOIL SURVEY IDENTIFIES THE PREDOMINANT ON-SITE SOILS AS BLOUNT SILT-LOAM AND GLYNWOOD SILT-LOAM. THESE SOILS ARE CLASSIFIED WITHIN HYDROLOGIC GROUP 'D'.

THE EXISTING SITE PREDOMINANTLY DRAINS TO THE WEST VIA SHEET FLOW ONTO THE RESIDENTIAL PROPERTY TO THE WEST AND INTO THE DITCH ALONG THE NORTH SIDE OF HOME ROAD. ALL DRAINAGE FROM THE SITE IS CONVEYED INTO EXISTING DRAINAGE CHANNELS THAT ARE PART OF THE DELAWARE COUNTY DRAINAGE SYSTEMS. SITE RUNOFF IS TRIBUTARY TO AN UNNAMED TRIBUTARY OF O'SHAUGHNESSY RESERVOIR.

ALLOWABLE RELEASE RATE:
SINCE THE SITE IS TRIBUTARY TO DELAWARE COUNTY DRAINAGE SYSTEM, THE SITE WILL FOLLOW THE STORMWATER MANAGEMENT REQUIREMENTS OF THE DELAWARE COUNTY ENGINEER'S OFFICE. PER THE DELAWARE COUNTY ENGINEER'S DESIGN, CONSTRUCTION AND SURVEYING STANDARDS, SUPPLEMENTAL SPECIFICATIONS, ARTICLE IX, SECTION 904, PART G; BASED ON A COMMERCIAL DEVELOPMENT THE ALLOWABLE RELEASE RATE FROM THE SITE IS DETERMINED AS THE POST-DEVELOPMENT 100-YR PEAK RATE OF RUNOFF SHALL NOT BE GREATER THAN THAT OF THE PRE-DEVELOPMENT 2-YR STORM EVENT RATE OF RUNOFF.

STORM WATER QUANTITY CONTROL:
FREQUENT POST-DEVELOPMENT STORM EVENTS WILL BE COLLECTED AND CONVEYED BY ONSITE STORM SEWERS TO TWO RETENTION BASINS ONSITE. OVERLAND FLOOD ROUTING PATHS WILL CONVEY LESS FREQUENT STORM EVENTS TO EACH OF THE PROPOSED BASINS. EACH BASIN WILL RELEASE RUNOFF AT OR BELOW THE ALLOWABLE RELEASE RATES CALCULATED FOR EACH RELEASE POINT. THE EXISTING SUBAREA IN THE MIDDLE OF THE SITE WILL BE RE-DIRECTED INTO THE SOUTHERN DRAINAGE BASIN AND WILL BE OVER DETAINED TO THE DRAINAGE OUTLET'S EXISTING ALLOWABLE RELEASE RATES.

STORM WATER QUALITY CONTROL:
PER THE OHIO EPA GENERAL CONSTRUCTION PERMIT, A STORMWATER BEST MANAGEMENT PRACTICE (BMP) IS REQUIRED TO TREAT THE FIRST FLUSH RUNOFF VOLUME PRODUCED BY A 0.9" RAINFALL EVENT. THE WQ TREATMENT WILL BE ACCOMPLISHED UTILIZING DRAWDOWN WITHIN EACH OF THE RETENTION BASINS, RELEASING NOT MORE THAN HALF THE VOLUME IN ONE THIRD THE DRAWDOWN TIME.

CONCLUSION:
THE PROPOSED DEVELOPMENT WILL PROVIDE SURFACE AND SUBSURFACE STORMWATER CONVEYANCES TO CARRY RUNOFF SAFELY THOUGH THE SITE TOWARDS THE ONSITE RETENTION AND WATER QUALITY TREATMENT FACILITIES. OUTLET STRUCTURES WITHIN THE SYSTEM PROVIDE PEAK FLOW CONTROL AND TREATMENT OF CAPTURED WATER TO COMPLY WITH DELAWARE COUNTY ENGINEER'S OFFICE PEAK FLOW CONTROL REQUIREMENTS AND OHIO EPA WATER QUALITY REGULATIONS.

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CITY OF POWELL, DELAWARE COUNTY, OHIO
FOR
MIDDLEBURY CROSSING
APARTMENT DEVELOPMENT
GRADING PLAN

No.	Revision	Date	Approved

Date: 09/22/2023
Scale: 1"=40'

Drawn By: CLE
Checked By: ODD

Project Number:
23-0001-1356

Drawing Number:
717