

Parking Plan & Projected Membership Attendance

We plan to exceed the required 20 parking spaces. Our lot is proposed to have 13 spaces (12 full and one motorcycle spot) plus the 11 additional spaces at the Historical society across the street. The Powell Center parking lot is a backup plan as needed once we are open and have a better idea what are actual parking needs are. We have also reached out to multiple neighbors to the west regarding shared parking agreements.

Membership Growth Curve will smooth out “new establishment rush”

	preview	1st month	2nd month	3rd month	4th month	5th month	6th month	7th month	8th month	Membership capped					
Total # of members	25	50	75	100	120	140	160	180	192						
Access will be restricted to these numbers in order of application received to ensure elevated guest experience															
Projected Total Number of guests on-site at any given time - Based on average guest visit of 2 hours **Note - there will be no dinner service, only snacks to accompany responsible drinking, so we forecast two peak times both before heading to another Powell Restaurant for dinner and after**															
															Total number of guests that evening
	4pm		5pm		6pm		7pm		8pm		9pm		10pm		
M	~~~~~closed~~~~~														
T		2	2	7	7	10	15	10	10	5					17
W		4	8	13	13	21	17	12	12						25
R	5	7	11	21	26	32	28	22	20	12	12	8			51
F	8	12	20	28	28	32	24	16	22	34	54	62	48	28	104
S	8	20	32	52	60	64	52	32	36	38	52	66	46	14	143
S	4	8	18	24	32	34	24	18	6						42
										Total Guests for the week					382

Our pro forma projects a peak attendance of 66 guests at 9pm on Saturday evening.

Giving our members room to spread out in certain areas of the club is key to our vision. Attendance will be reservation only. The purpose for these limits is to maximize our guests overall experience while at the club. The attendance of 382 visits per week was established on our pro forma by calculating the number of times our average member would attend each month versus our frequent flyers and our low attendance members.

Preliminary Terms of Parking Leases in addition to our 12 spaces:

- Powell Historical Society... 11 of the 12 spots in that lot are available for use during our business hours at an agreed upon price (minus one weekend each year when they host their retreat weekend). This lease has gone through multiple drafts and we are waiting to sign until the project is approved.
- Powell Center... have agreed upon preliminary structure of lease and pricing to include 5 spaces as employee parking every night and up to 35 spaces during busier times.

Gretchen Bonasera, member Goodnight Investments, LLC
80 E Olentangy Street, Powell Ohio 43065

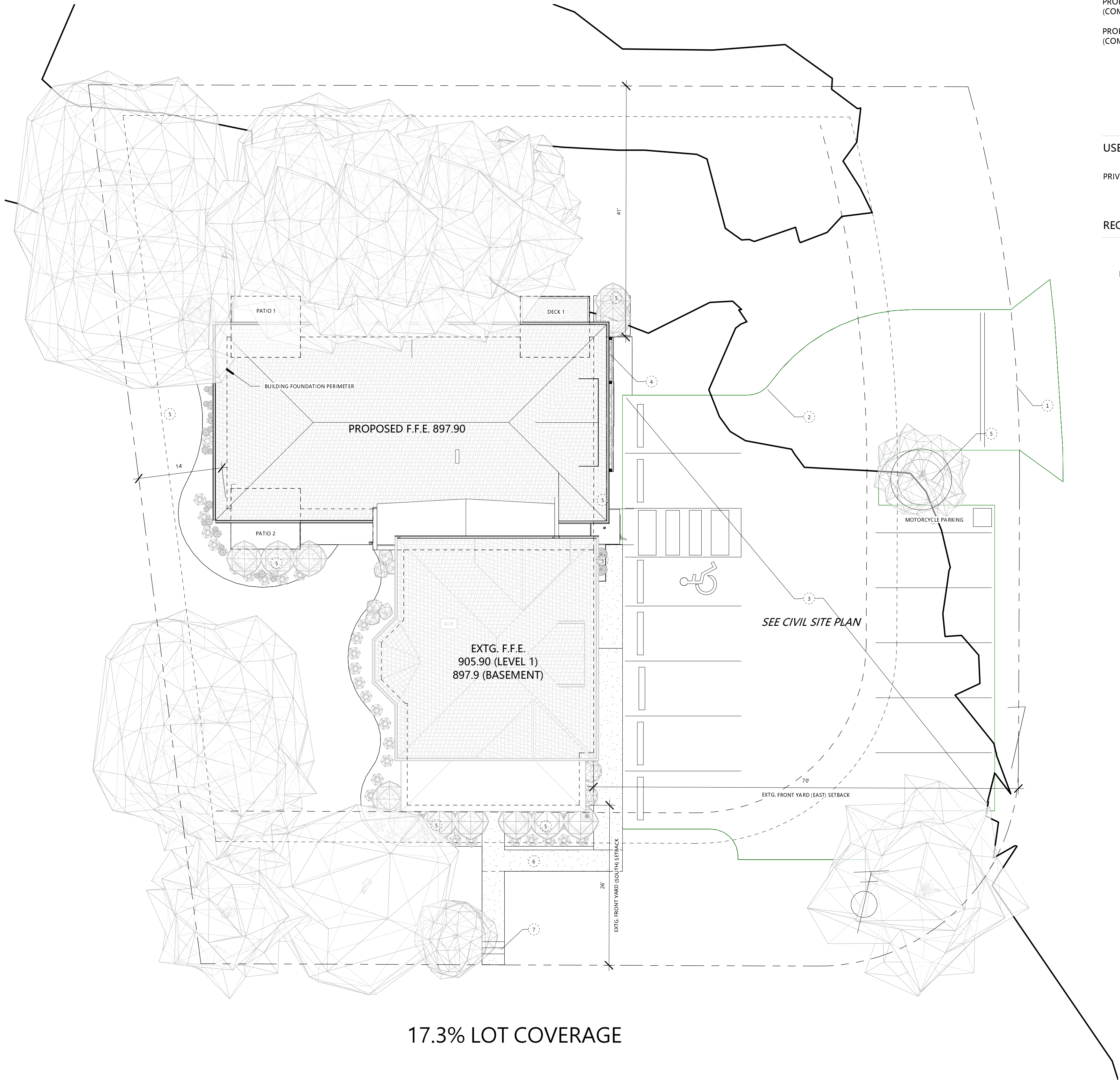
Parking Plan & Projected Membership Attendance

Note Our target membership are those living in the immediate Powell area that is only a \$10 Uber/Lyft ride from home, so that our members can imbibe responsibly. This will also alleviate pressure on our parking situation.

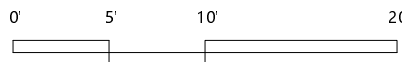
We are happy to have a right in / right out signage plan in place per Chris's suggestion, but would prefer to have it limited to rush hour (same limited hours as other turn restrictions in Downtown Powell).



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5/6/2021 8:43:01 AM



1
G0.01 ARCHITECTURAL SITE PLAN
1" = 10'-0"



GENERAL ZONING INFORMATION

PARCEL NO.	DELAWARE COUNTY NO. 319-425-13-051-002
ZONING DISTRICT	DB - DOWNTOWN BUSINESS DISTRICT
HEIGHT DISTRICT	H-35

GENERAL PROJECT INFORMATION

PROPOSED REFUSE SERVICE (COMMERCIAL ONLY)	TBD
PROPOSED REFUSE CAPACITY, CY (COMMERCIAL ONLY)	TBD

PARKING CALCULATION

USE	SIZE	MIN SPACES	MAX SPACES
PRIVATE SOCIAL CLUB	192 MEMBERS	1:10 = 20	N/A
	6 STAFF		
REQUIRED PARKING FOR PROPOSED USE		20	
	PROPOSED PARKING	23 MIN. (12 ON-SITE; 11+ OFF-SITE LEASED)	
	REQUIRED ADA PARKING (VAN/TOTAL)	1/1	
	MOTORCYCLE PARKING	1	

SITE DATA

PROPERTY ADDRESS:	80 E OLENTANGY POWELL, OH 43065
PROPERTY OWNER:	GOODNIGHT INVESTMENTS
OWNER ADDRESS:	4200 MACDUFF WAY DUBLIN, OH 43016
TOTAL LOT AREA:	20,201.79 SF / 0.46 ACRES
TOTAL PRINCIPAL BUILDING FOOTPRINT AREA:	1,304.3 SF EXISTING BUILDING 1,817.3 SF NEW ADDITION 120.0 SF NEW DECK 257.5 SF NEW PATIO 3,449.1 SF TOTAL
TOTAL ACCESSORY BUILDING AREA:	0 SF
TOTAL COVERED AREA:	3,449.1 SF OR 17.3%

SITE SCHEDULE

LOT USAGE:	20% MAX. ALLOWABLE 17.3% PROPOSED
BUILDING HEIGHT:	35.00' MAX. ALLOWABLE 19.00' PROPOSED
FRONT (SOUTH):	20' MIN - 25' MAX ALLOWABLE 26' EXISTING
FRONT (EAST):	20' MIN - 25' MAX ALLOWABLE 70' EXISTING
REAR (NORTH):	5.00' MIN. ALLOWABLE 41' PROPOSED
WEST SIDE:	5.00' MIN. ALLOWABLE 14' PROPOSED

SITE PLAN LEGEND

---	PROPERTY LINE
- - - - -	MINIMUM SETBACK LINE
- - - - -	MAXIMUM SETBACK LINE

SITE PLAN NOTES

NO.	NOTE
1	PROPOSED CURB CUT AND DRIVE ACCESS TO NEW PARKING LOT
2	PROPOSED SEGMENTAL RETAINING WALL (VERSA-LOK OR SIM)
3	PROPOSED OFF STREET PARKING (12 VEHICULAR SPACES + 1 MOTORCYCLE SPACE). SEE CIVIL PLAN.
4	PROPOSED REFUSE, RECYCLING AND MISC. STORAGE ENCLOSURE
5	PROPOSED LANDSCAPING. SEE LANDSCAPE PLAN L1.00
6	PROPOSED NEW PPEDESTRIAN WALK
7	EXISTING STEPS TO REMAIN

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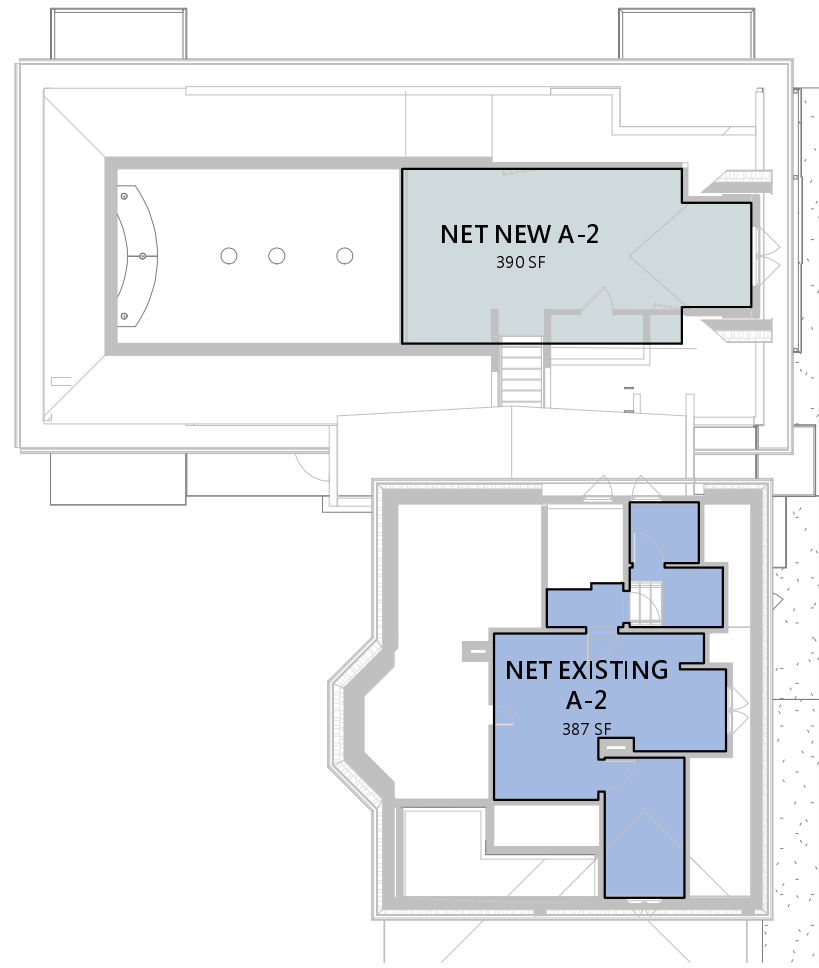
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PROJECT TITLE
**80 E
OLENTANGY**
POWELL, OHIO 43065

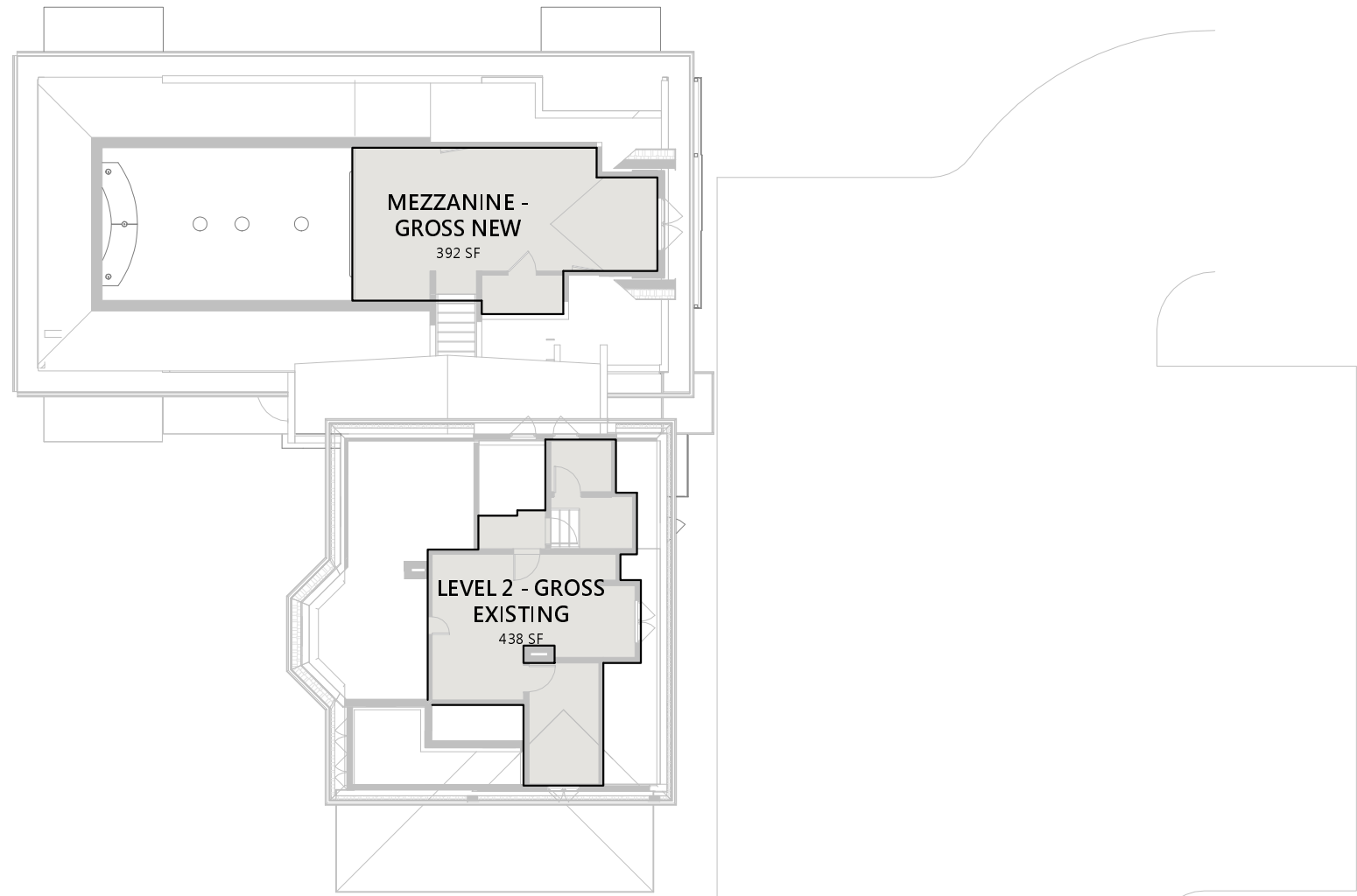
PROJECT NO. SJM_2010
ISSUE FINAL P&Z APPLICATION
ISSUE DATE 05.06.2021

SHEET TITLE
**ARCHITECTURAL
SITE PLAN**

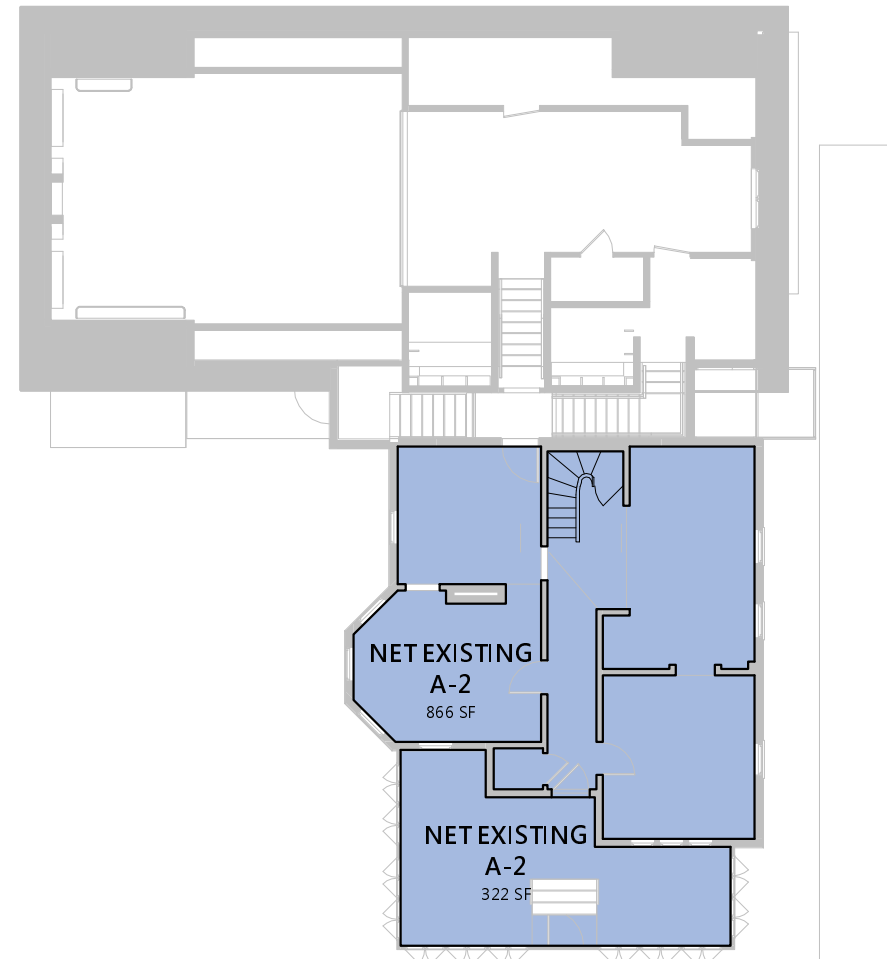
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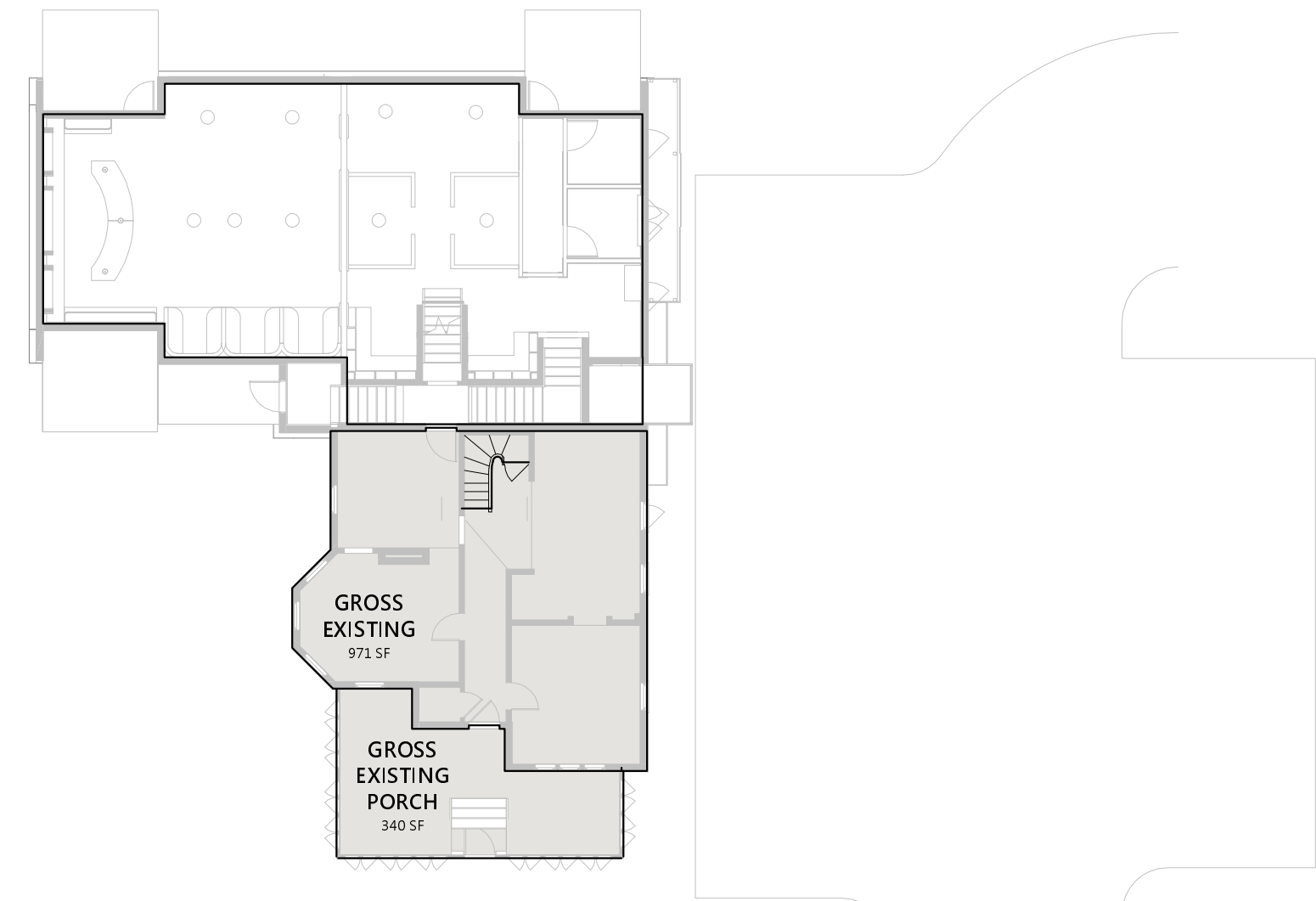
6 LEVEL 2 - NET AREA
1/16" = 1'-0"



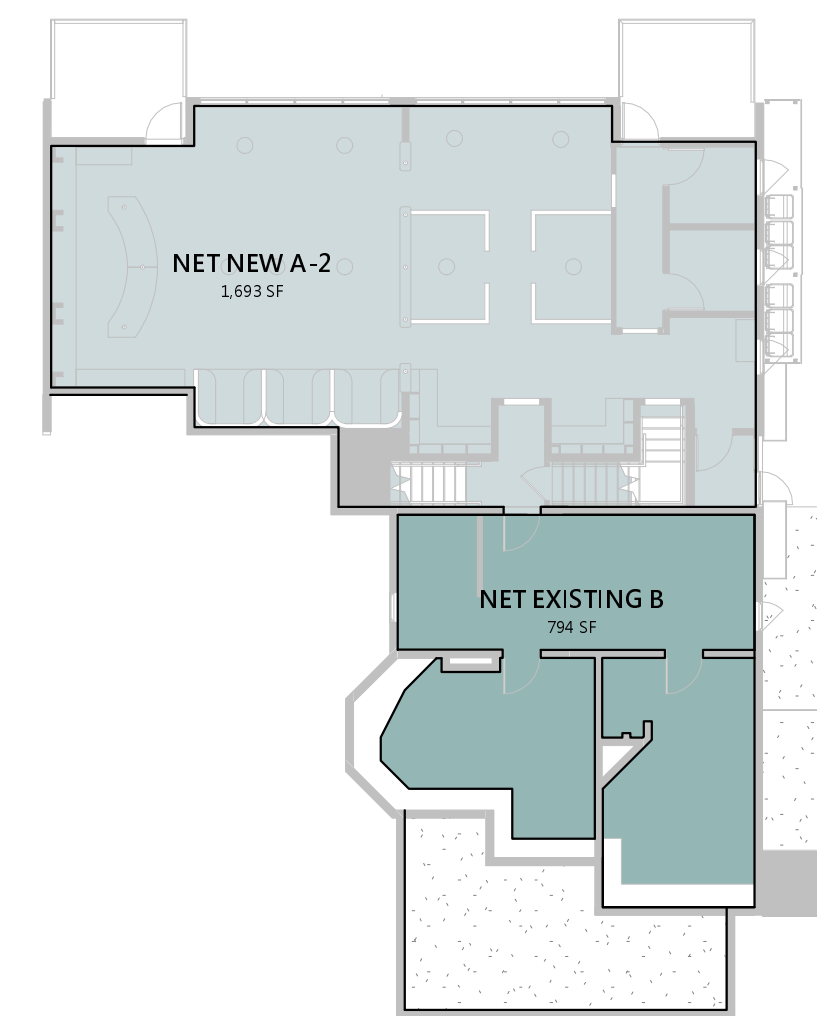
2 LEVEL 2 - GROSS AREA
1/16" = 1'-0"



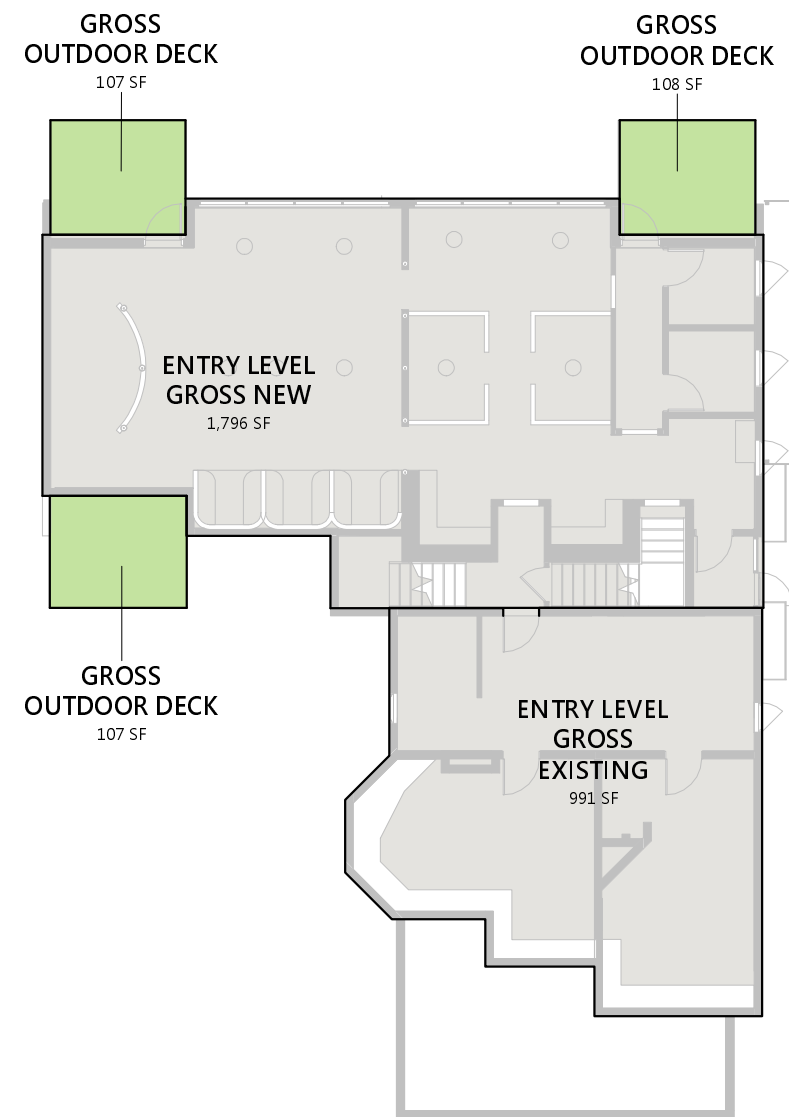
4 LEVEL 1 - NET AREA
1/16" = 1'-0"



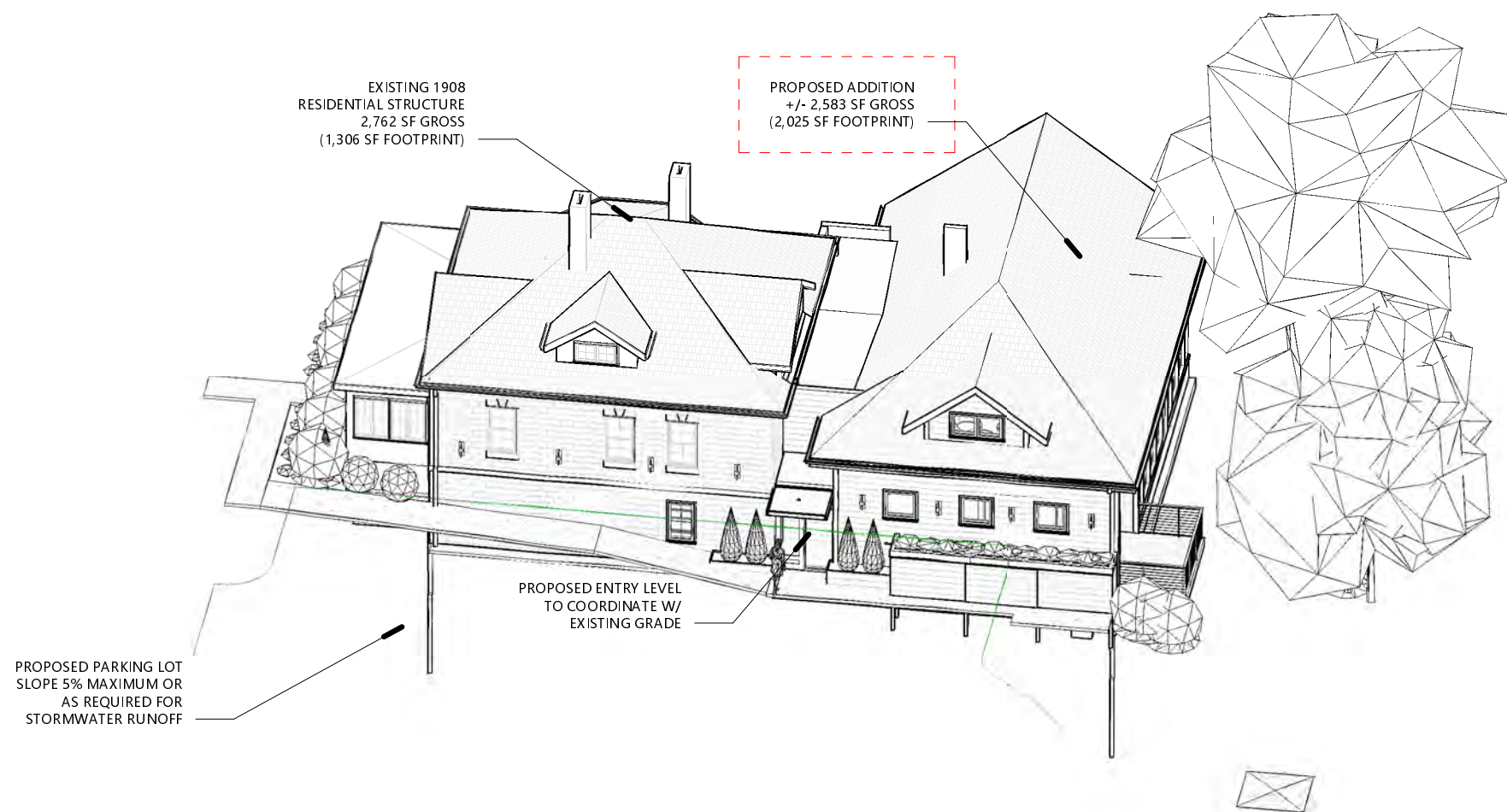
3 EXTG LEVEL 1 - GROSS AREA
1/16" = 1'-0"



5 ENTRY LEVEL - NET AREA
1/16" = 1'-0"



8 ENTRY LEVEL
1/16" = 1'-0"



7 3D AXONOMETRIC
G0.02

GROSS AREA - EXISTING

AREA NAME	AREA
ENTRY LEVEL	
ENTRY LEVEL GROSS EXISTING	991 SF
	991 SF
EXTG. LEVEL 1	
GROSS EXISTING	971 SF
GROSS EXISTING PORCH	340 SF
	1,312 SF
EXTG. LEVEL 2	
LEVEL 2 - GROSS EXISTING	438 SF
	438 SF
Grand total: 4	2,741 SF

GROSS AREA - NEW

AREA NAME	AREA
ENTRY LEVEL	
ENTRY LEVEL GROSS NEW	1,796 SF
	1,796 SF
EXTG. LEVEL 2	
MEZZANINE - GROSS NEW	392 SF
	392 SF
Grand total: 2	2,188 SF

GROSS AREA - DECK

AREA NAME	AREA
ENTRY LEVEL	
GROSS OUTDOOR DECK	107 SF
GROSS OUTDOOR DECK	107 SF
GROSS OUTDOOR DECK	108 SF
Grand total: 3	322 SF

NET AREA

LEVEL	AREA NAME	AREA
EXISTING		
EXTG. BASEMENT	NET EXISTING B	794 SF
EXTG. LEVEL 1	NET EXISTING A-2	866 SF
EXTG. LEVEL 1	NET EXISTING A-2	322 SF
EXTG. LEVEL 2	NET EXISTING A-2	387 SF
		2,369 SF
NEW		
EXTG. BASEMENT	NET NEW A-2	1,693 SF
EXTG. LEVEL 2	NET NEW A-2	390 SF
		2,083 SF
Grand total: 6		4,453 SF

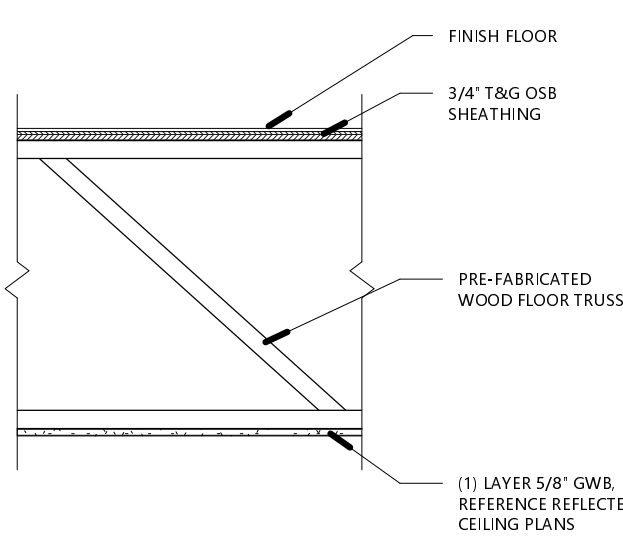
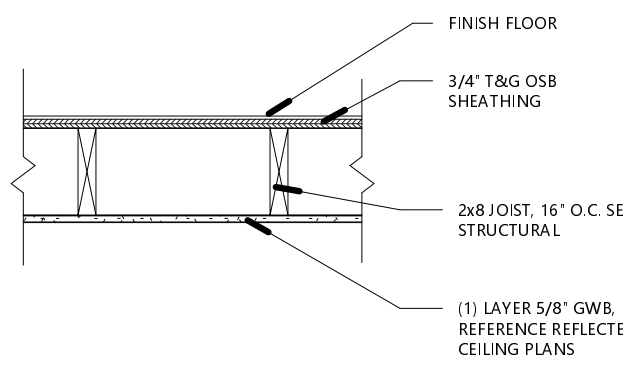
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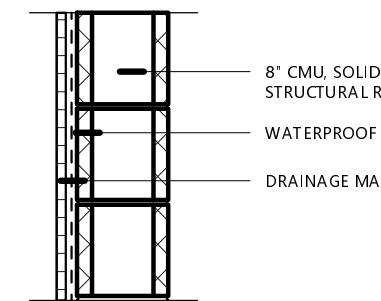
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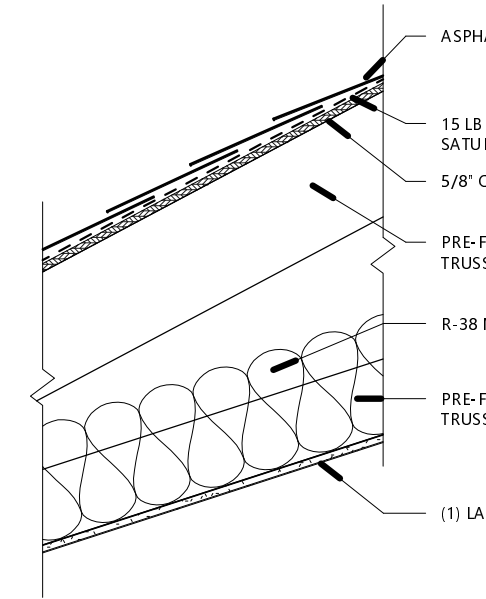
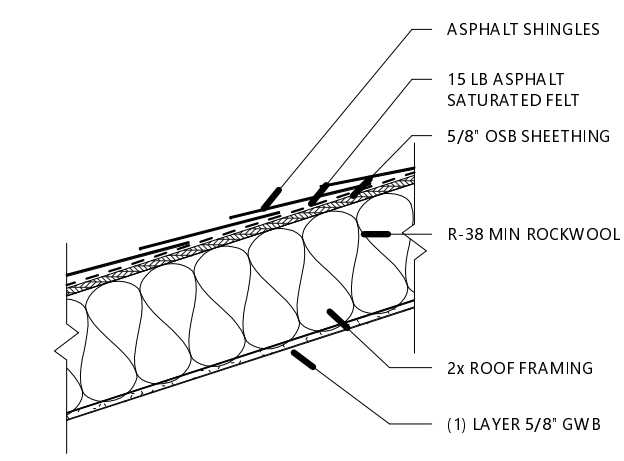
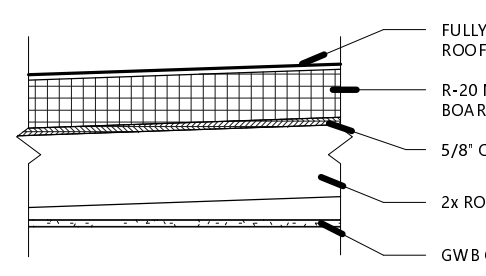
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NO.	ASSEMBLY DESCRIPTION	COMMENTS
F1		NOT RATED NEW MEZZANINE FLOOR
F2		

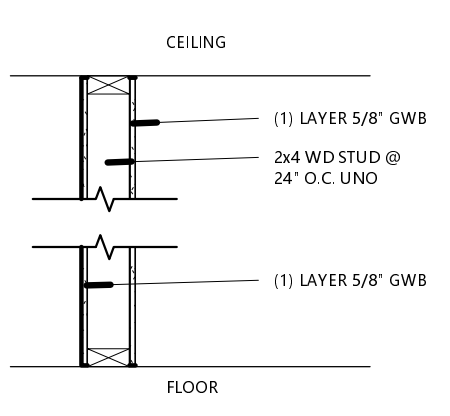
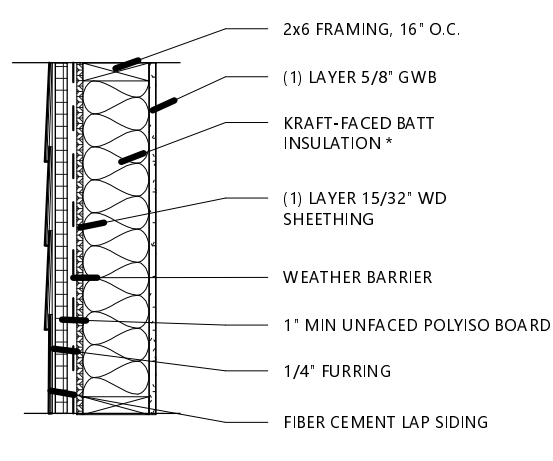
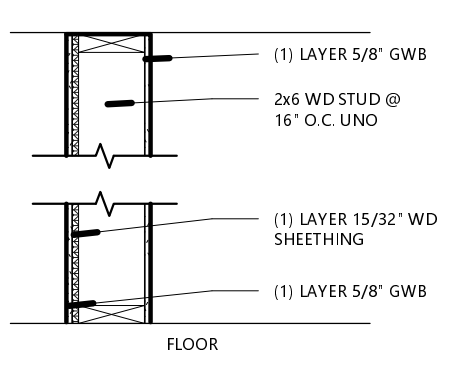
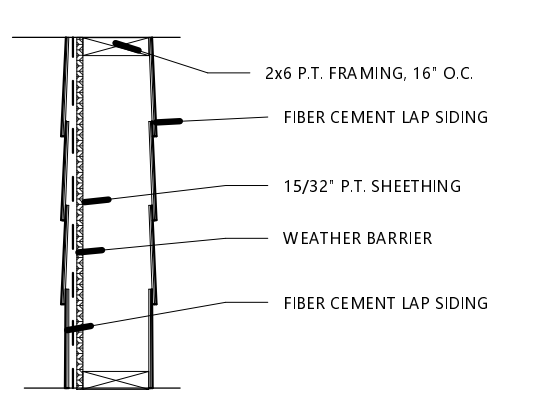
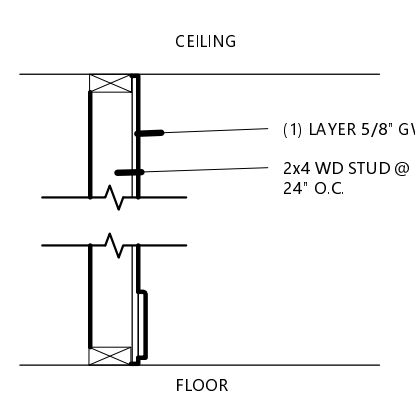
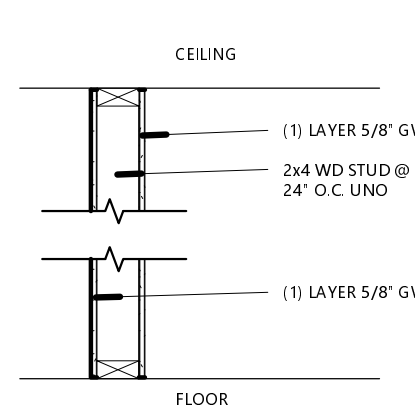
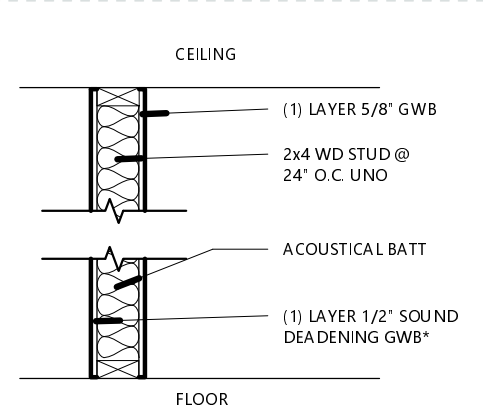
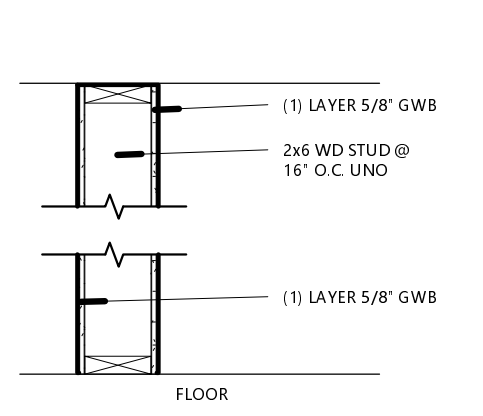
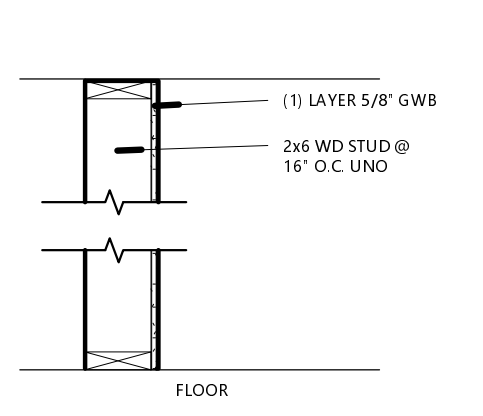
FOUNDATION TYPE LEGEND

NO.	ASSEMBLY DESCRIPTION	COMMENTS
F1		NOT RATED TYPICAL FOUNDATION WALL

ROOF TYPE LEGEND

NO.	ASSEMBLY DESCRIPTION	COMMENTS
R1		NOT RATED TYPICAL NEW ROOF
R2		NOT RATED TYPICAL DORMER ROOF TRUSS CONNECTOR ROOF
R3		NOT RATED

WALL TYPE LEGEND

NO.	ASSEMBLY DESCRIPTION	COMMENTS	NO.	ASSEMBLY DESCRIPTION	COMMENTS
1W1		1 HR RATED INTERIOR PARTITION - GWB 2 SIDES (NON-LOADBEARING) PER UL U305	EW1		NOT RATED EXTERIOR WALL TYPICAL (LOAD BEARING AND NON-LOADBEARING) *PER OBC 1405.3.3
1W2		1 HR RATED INTERIOR PARTITION - GWB 2 SIDES (BEARING WALL AND SHEAR WALL) PER UL U305	EW2		NOT RATED EXTERIOR PARTITION (LOAD BEARING AND NON-LOADBEARING) *PER OBC 1405.3.3
			OW1		INTERIOR PARTITION - GWB 1 SIDE (NON-LOADBEARING)
			OW2		INTERIOR PARTITION - GWB 2 SIDES (NON-LOADBEARING)
			OW3		INTERIOR PARTITION - GWB 2 SIDES (NON-LOADBEARING) STC 49 BASED ON NEC (NATIONAL GYPSUM COMPANY) 2009027 *SOUNDBREAK XP OR SIM.
			OW4		INTERIOR PARTITION - GWB 2 SIDES (BEARING WALL)
			OW5		INTERIOR PARTITION - GWB 1 SIDE

REFERENCE WALL SECTIONS FOR EXTERIOR WALL DETAILS & ENLARGED FLOOR PLANS FOR ACOUSTIC BATT INSULATION
**GWB APPLIED VERTICALLY OR HORIZONTALLY WITH 6d COOLER OR WALLBOARD NAILS @ 7" O.C. W/ END JOINTS ON NAILING MEMBERS. STAGGER JOINTS EA. SIDE.

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DATE REVISION

PROJECT TITLE

80 E
OLENTANGY
POWELL, OHIO 43065

PROJECT NO. SJM_2010

ISSUE FINAL P&Z APPLICATION

ISSUE DATE 05.06.2021

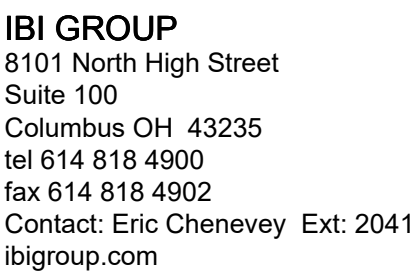
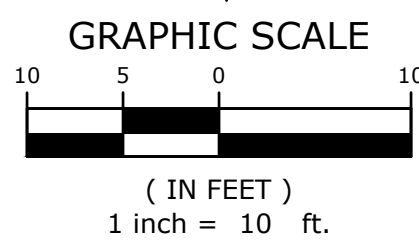
SHEET TITLE

FLOOR, CEILING,
& WALL
ASSEMBLIES

SHEET NO.

G1.03

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SUBMISSION:
2021-05-05 FINAL DEVELOPMENT PLAN

- STAMP:

DELAWARE COUNTY

THE VENERY

80 E. OLENTANGY ST.
POWELL, OH 43065

DESIGN	DRAFT	CHECK
LMS	LMS	EPC

BI NO.: 133470

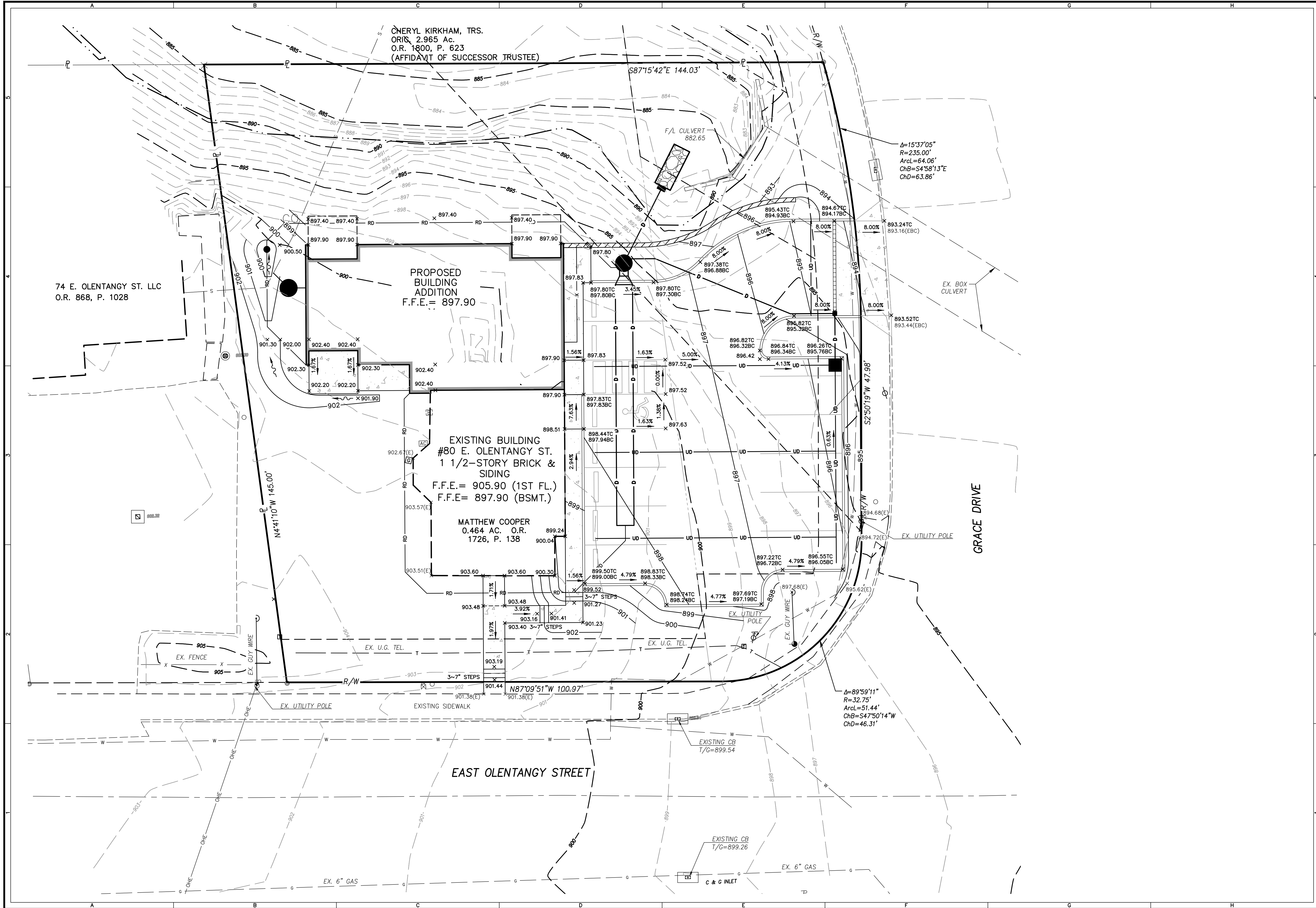
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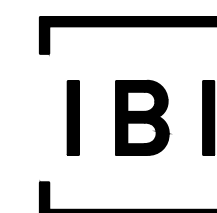
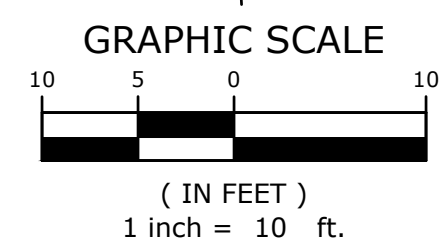
SCALE:

SHEET TITLE:

GRADING PLAN

SHEET NO.: C1





IBI GROUP
8101 North High Street
Suite 100
Columbus OH 43235
tel 614 818 4900
fax 614 818 4902
Contact: Eric Chenevey Ext: 2041
ibigroup.com

REVISION:

SUBMISSION:
2021-05-05 FINAL DEVELOPMENT PLAN

- ☐ PRELIMINARY ENGINEERING SET
- ☒ AGENCY REVIEW SET
- ☐ CONSTRUCTION DOCUMENT SET
- ☐ AS-BUILT DOCUMENT SET

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DELAWARE COUNTY

THE VENERY

80 E. OLENTANGY ST.
POWELL, OH 43065

DESIGN	DRAFT	CHECK
LMS	LMS	EPC

IBI NO.:	133470
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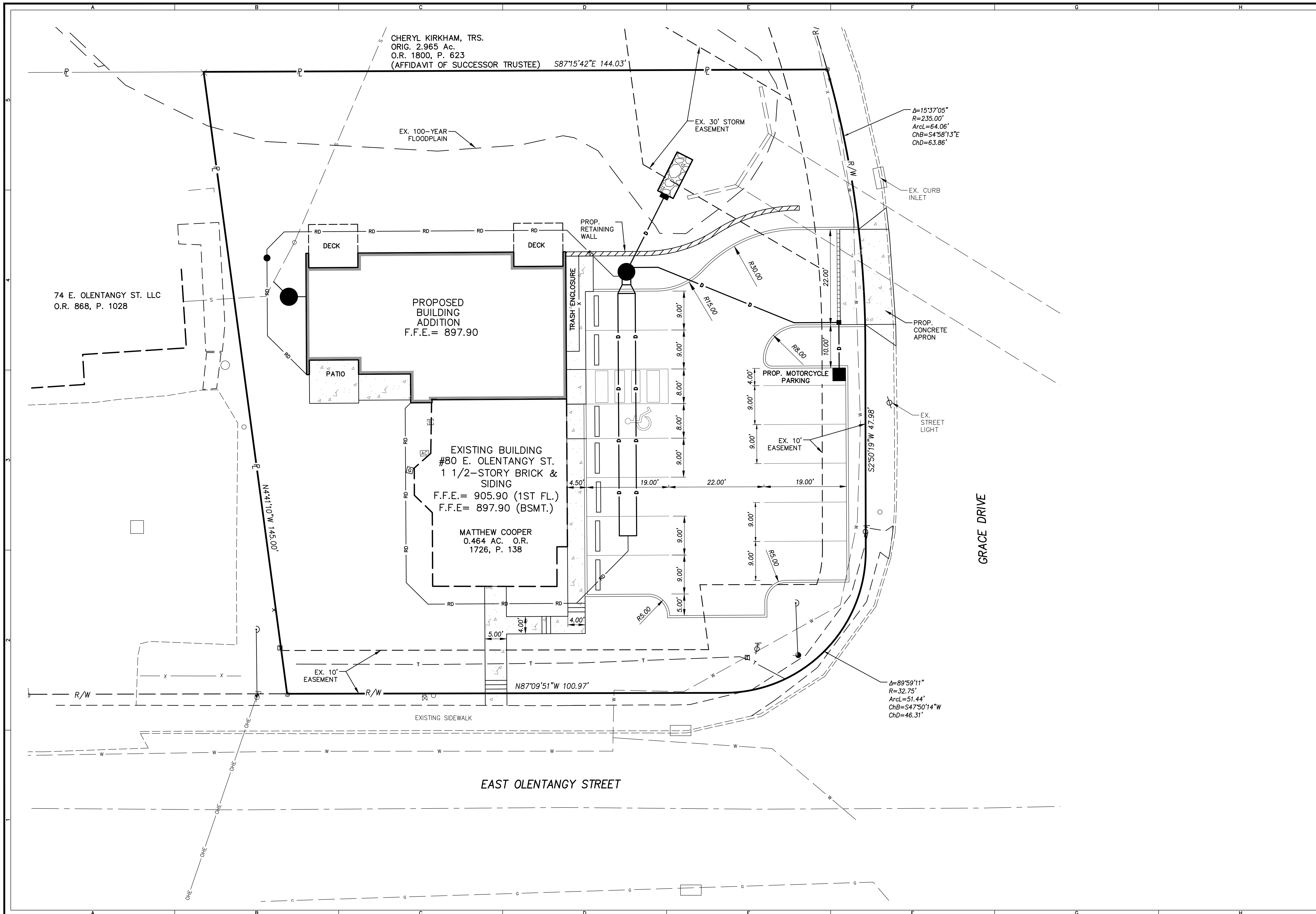
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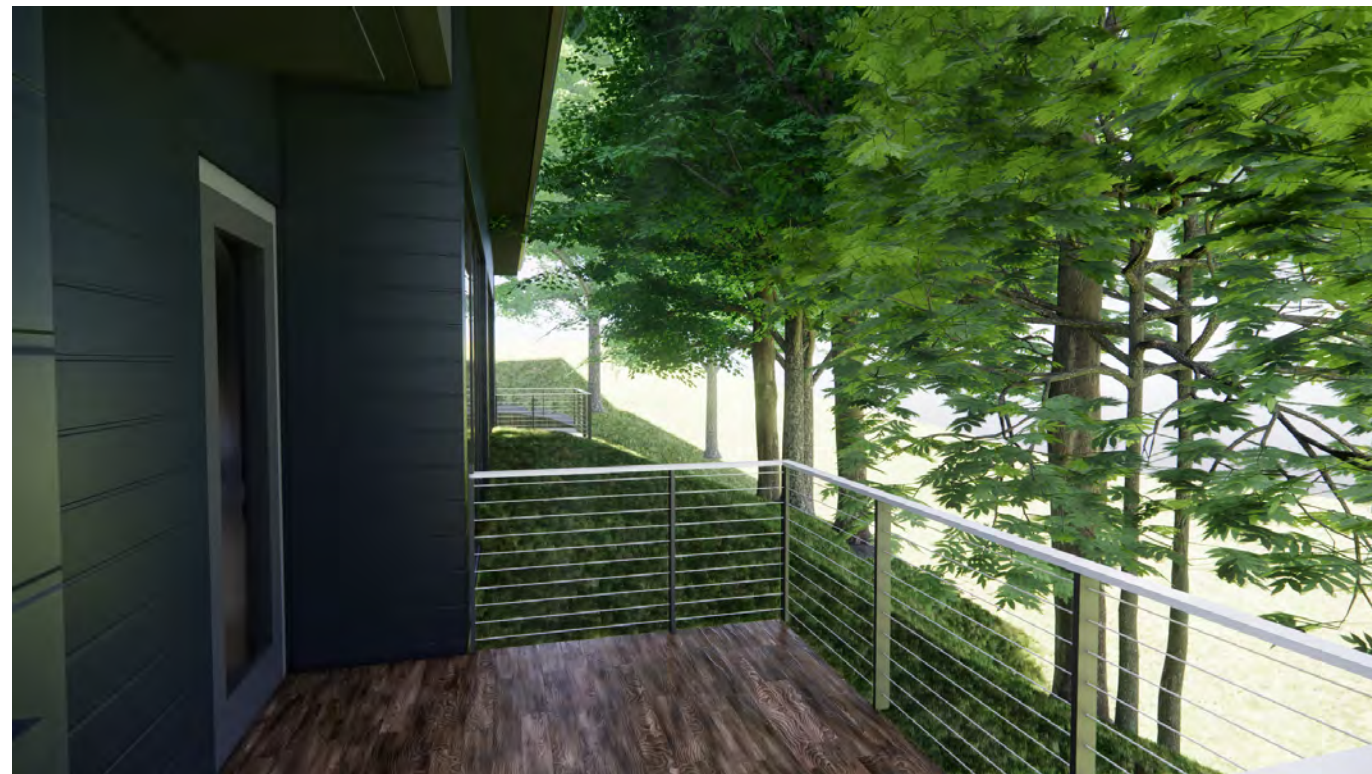
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PRELIMINARY SITE PLAN

SHEET NO.: C2





5 NORTH FACADE PERSPECTIVE VIEW
12" = 1'-0"



4 SOUTHWEST FACADE PERSPECTIVE VIEW
12" = 1'-0"

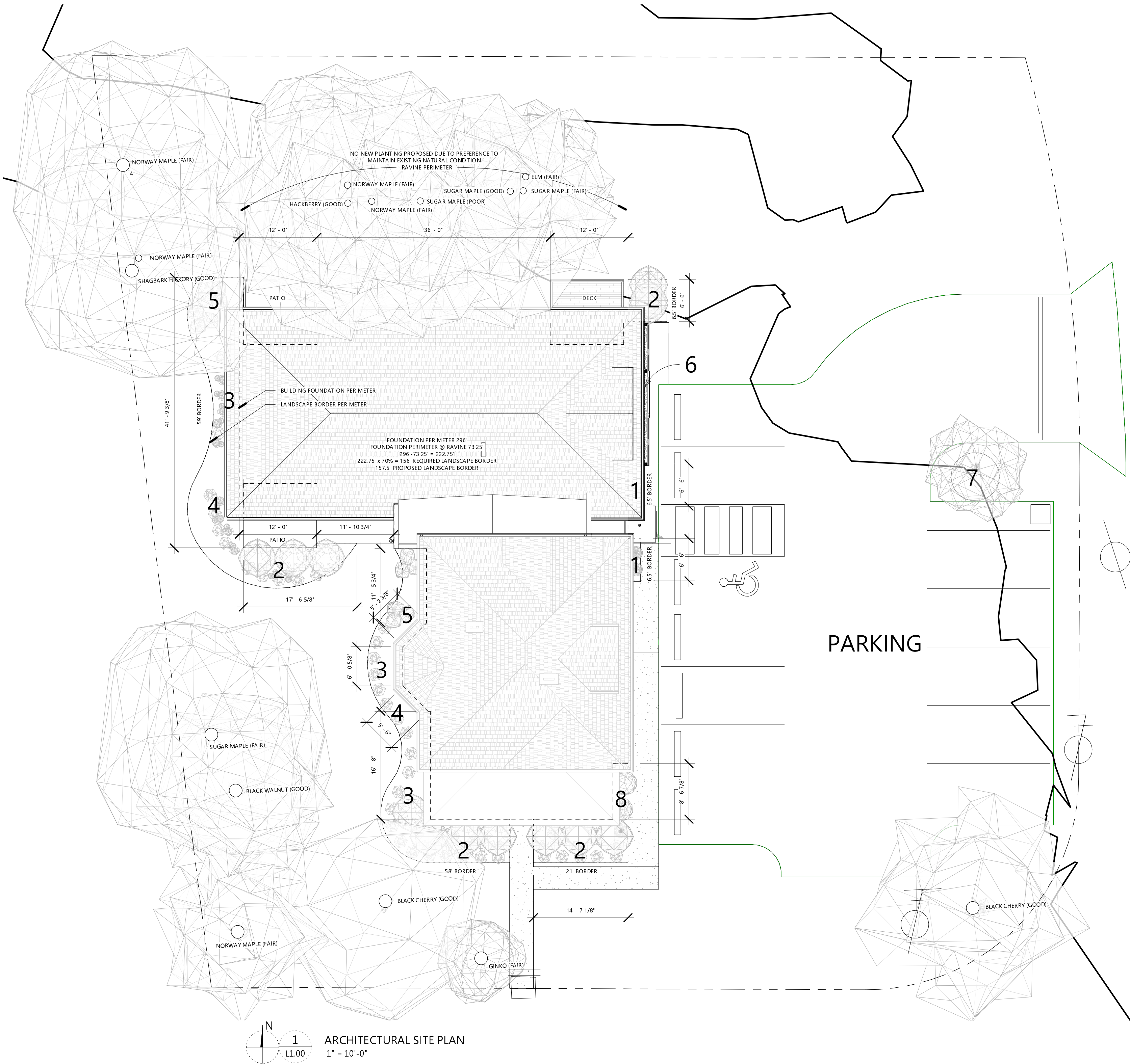


3 SOUTH FACADE PERSPECTIVE VIEW
12" = 1'-0"



2 EAST FACADE PERSPECTIVE VIEW
12" = 1'-0"

Type	Tag	Image	Description	Common Name	Species	Size
Grasses	2		Native Grass - Tall	Indiangrass	Sorghastrum nutans	6' T x 3' W
	2, 3, 4		Native Grass - Short	Prairie Dropseed	Sporobolus heterolepis	2' T x 2' W
	8		Evergreen Shrub (option 1)	Sprinter Korean Boxwood	Buxus Mic Sprinter	3' - 4' T x 3' - 4' W
Evergreen Shrub	8		Evergreen Shrub (option 2)	Inkberry Holly	Ilex glabra	2'-3' T x 2'-3' W
	1		Evergreen Tree	Graham Blandy	Buxus sempervirens	
Evergreen Tree	7		Deciduous Tree	Flowering Dogwood	Cornus florida	
Herbaceous / Flowering Perennials	2, 4		Perennial Flower	Purpletop vervain	Verbena bonariensis	3'-6' x 1.5'
	2, 4		Perennial Flower (native)	Wild Bergamot	Monarda fistulosa	
	2		Herbaceous perennial	Russian Sage	Salvia yangii (perovskia)	3'-5' T x 2'-4' W
Herbaceous / Flowering Perennials	6		Herbaceous perennial	Sunsparkler 'Plum Dazzled' St Sedum		6" - 8" T x 18" W
	2		Perennial Foliage	Silver Mound Wormwood	Artemisia sch silver mound	1'-3' T x 1'-10' W
	3, 5		Perennial Flower	Variegated Solomons Seal	Polygonatum odoratum	1'-3' T x 6" - 12" W
Herbaceous / Flowering Perennials	3, 5		Perennial Foliage	Hostas		
	3, 5		Perennial Foliage	Ferns		
	1, 5		Groundcover	Bugleweed	Ajuga reptans	6" - 9" T x 6" - 12" W



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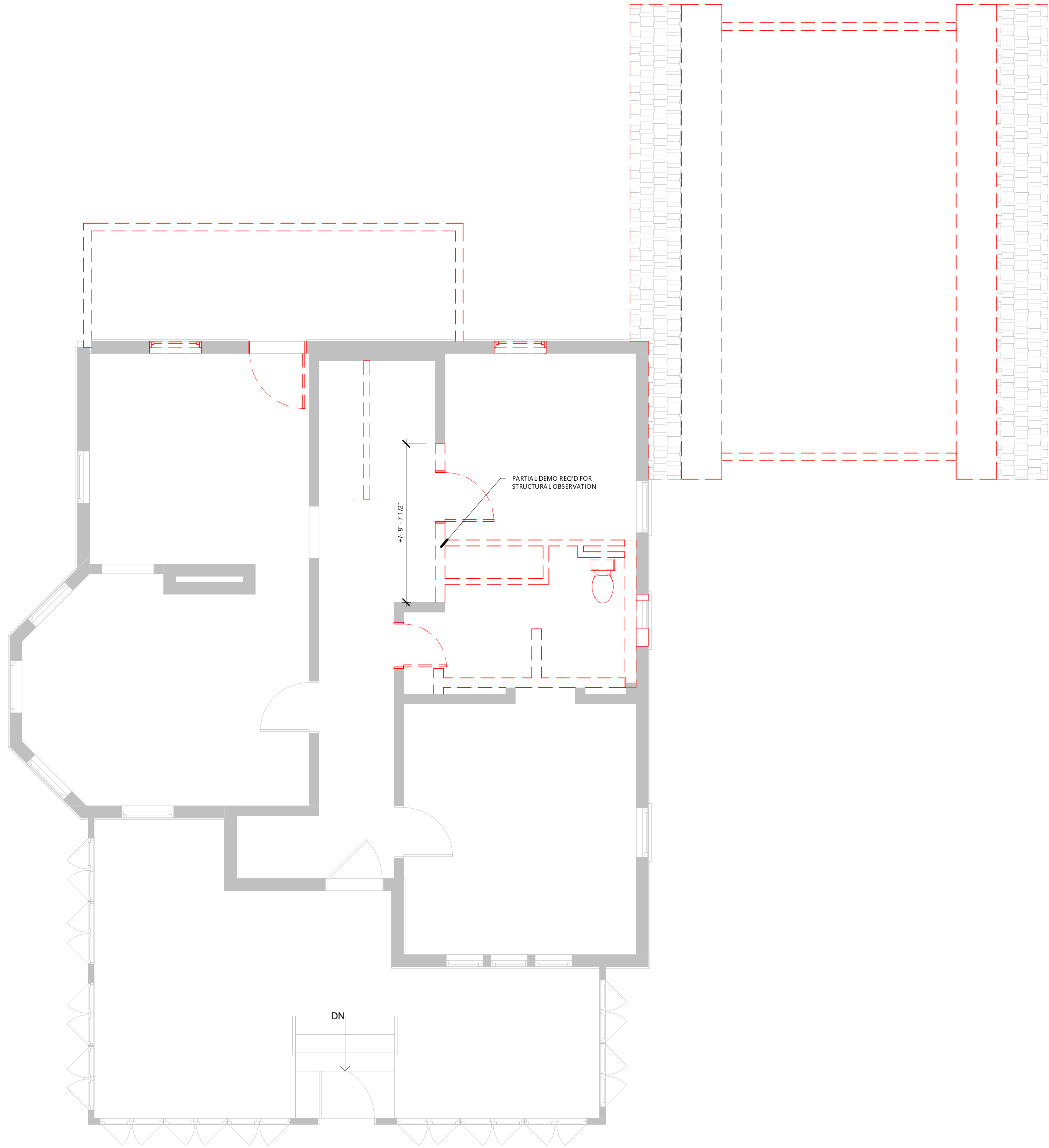
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SHEET TITLE
LANDSCAPE

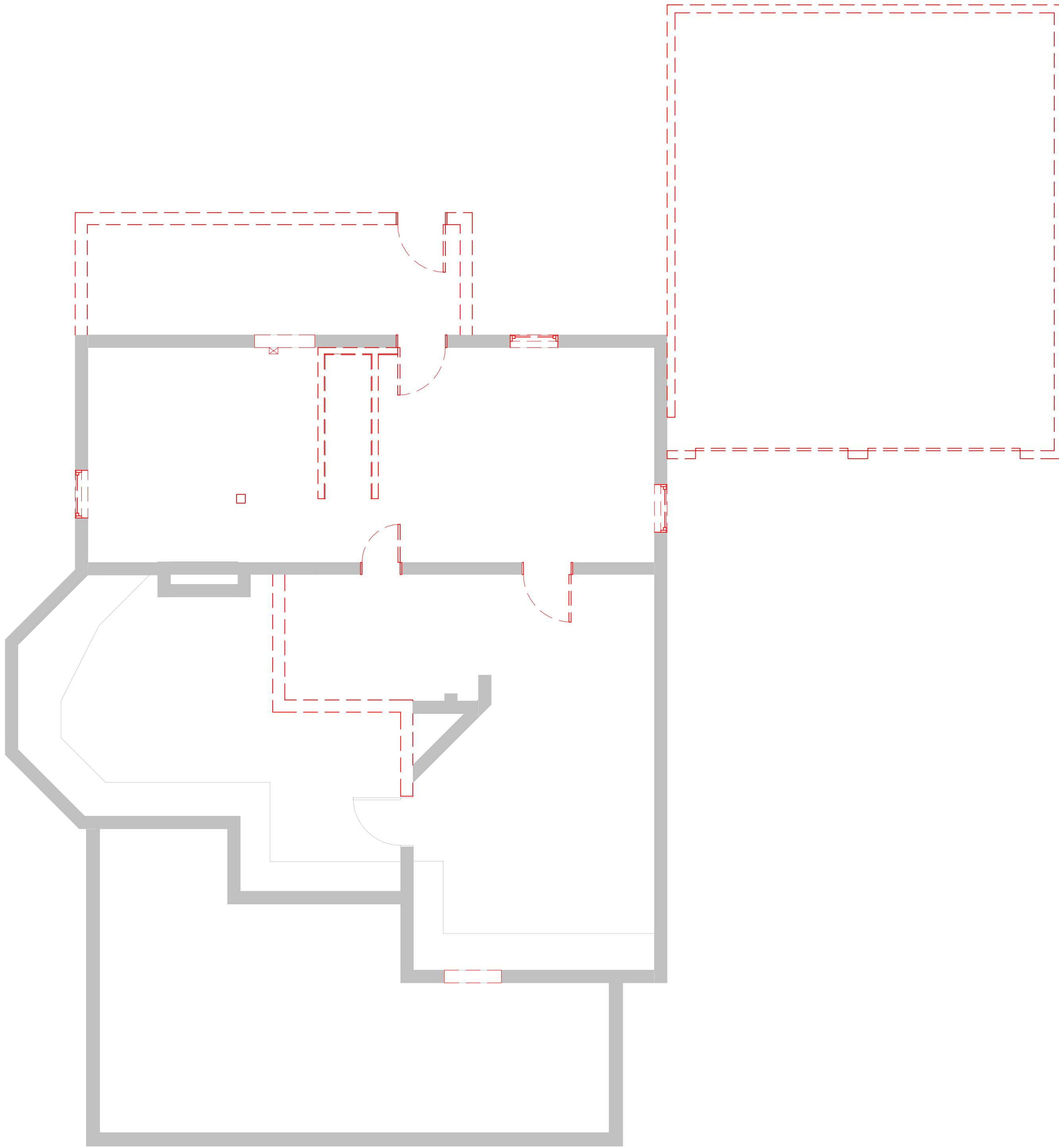
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5/6/2021 8:43:00 AM



2
AD1.01
LEVEL 1 DEMOLITION PLAN
1/4" = 1'-0"



1
AD1.01
BASEMENT DEMOLITION PLAN
1/4" = 1'-0"

DEMOLITION NOTES

- A. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXTENT OF DEMOLITION REQUIRED TO EXECUTE THE NEW WORK. THE AMOUNT OF DEMOLITION AND DISRUPTION SHOULD BE KEPT TO A MINIMUM.
- B. CONSULT OWNER TO VERIFY PROJECT SALVAGE REQUIREMENTS OF ITEMS NOT IDENTIFIED FOR REUSE HERE PRIOR TO REMOVAL START.
- C. OWNER SHALL BE RESPONSIBLE FOR THE REMOVAL OR RELOCATION OF EXISTING UNFIXED FURNITURE, FURNISHINGS AND EQUIPMENT IN THE AREAS OF THE WORK PRIOR TO COMMENCEMENT OF CONSTRUCTION. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OTHER REMOVALS AND RELOCATIONS AS INDICATED ON THE DRAWINGS AND/OR DIRECTED BY THE OWNER.
- D. ALL MATERIALS AND FINISHES INTENDED TO REMAIN SHALL BE PROTECTED FROM DAMAGE.
- E. ALL SALVAGED ITEMS SHALL BE SAFELY STORED ON THE PREMISES IN AN AREA DETERMINED BY THE OWNER.
- F. THE GENERAL CONTRACTOR SHALL COORDINATE ALL DISCONNECTIONS AND SHUT DOWNS THAT MAY BE REQUIRED FOR DEMOLITION AND CONSTRUCTION.

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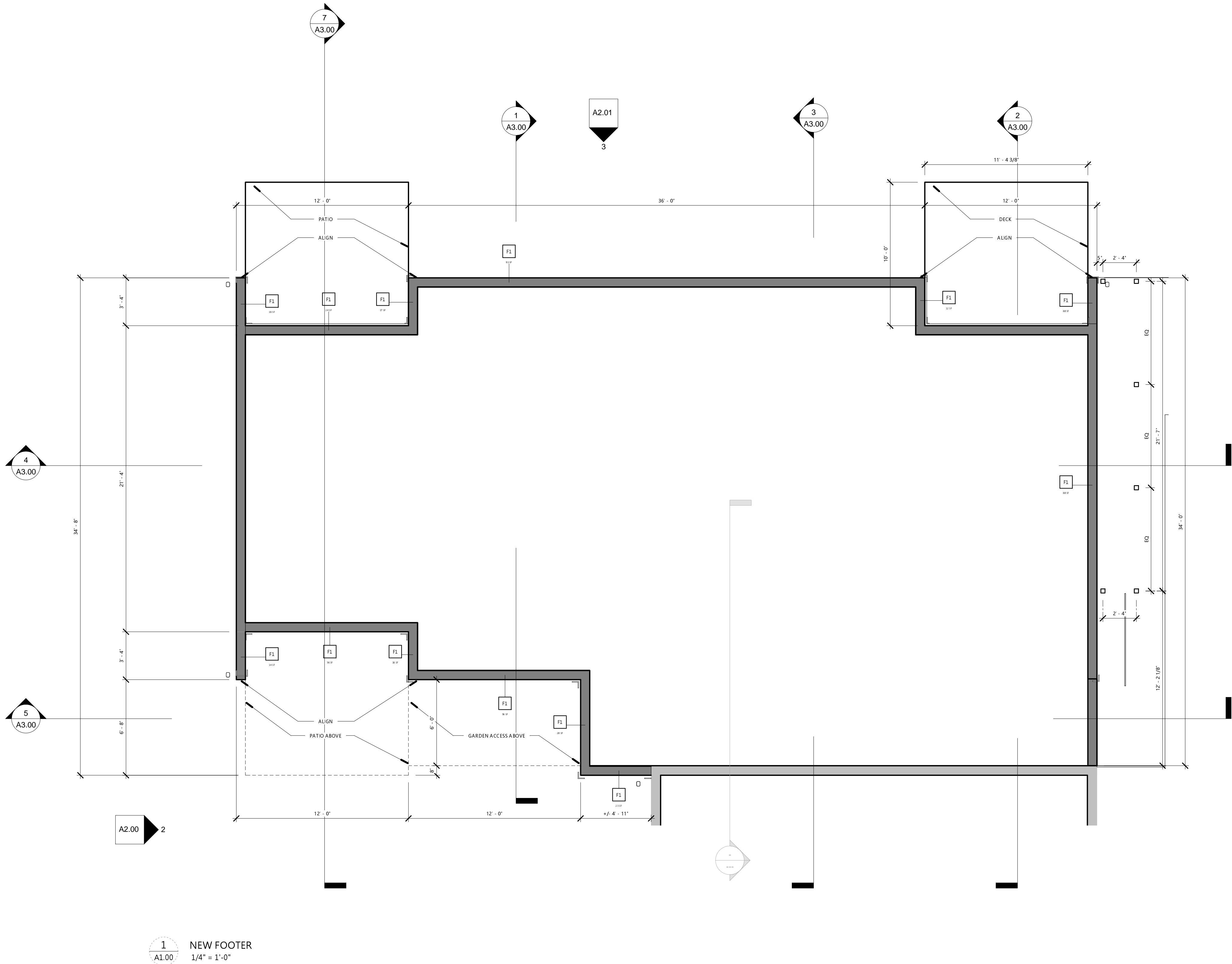
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ISSUE DATE 05.06.2021

SHEET TITLE
**BASEMENT +
LEVEL 1
DEMOLITION
PLANS**

SHEET NO.
AD1.01
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- SEE G1.02 - G1.03 FOR EXTENTS AND TECHNICAL DETAILS OF FIRE-RATED BARRIERS, FIRE-RATED PARTITIONS AND SHAFT WALLS.
- SEE G1.04 FOR UL ASSEMBLIES.
- SEE G1.10 FOR TYPICAL ACCESSIBLE CLEARANCES AND DETAILS.
- EXTERIOR DIMENSIONS ARE TO FACE OF FOUNDATION, FACE OF MASONRY OR FACE OF SHEATHING UNO.
- INTERIOR DIMENSIONS ARE TO FACE OF STUD UNO.
- VERIFY ALL DIMENSIONS PRIOR TO BEGINNING WORK AND NOTIFY ARCHITECT FOR RESOLUTION OF ANY DISCREPANCIES.
- EXTEND FIRE BARRIERS TO UNDERSIDE OF DECK ABOVE UNO.
- PROVIDE SOUND BATT INSULATION AT ALL TOILET ROOMS AND MECHANICAL ROOMS.
- PROVIDE 5/8" CEMENT BACKER BOARD AT ALL TILE WALL LOCATIONS W/ BLOCKING BEHIND ALL CEMENT BACKER BOARD SEAMS.
- PROVIDE 5/8" MOISTURE RESISTANT GWB AT ALL WET WALL LOCATIONS.
- COMPLY WITH MANUFACTURER INSTRUCTIONS FOR INSTALLATION OF BUILDING MATERIALS AND FF&E.
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- GC TO PROVIDE "WARM GRAY BOX", INCLUDING PLUMBING ROUGH-INS, ELECTRICAL SERVICE, TEMPORARY HEAT, LEVEL 4 FINISH ALL GWB SURFACES.

FLOOR PLAN NOTES

NO.	NOTE
1	
2	EXTG. VENTILATION OPENINGS IN CRAWL SPACE FOUNDATION WALL, TYP. OF (3)
3	REMOVE EXTG. STONE MASONRY AS REQ'D TO PROVIDE NEW SECURE, INSULATED CRAWL SPACE ACCESS PANEL
4	EXTG. SPLIT SYSTEM AHU TO REMAIN. RECONFIGURE EXTG. DUCTWORK AS REQ'D TO ACCOMMODATE OVERHEAD CLEARANCE IN BASEMENT ROOM 1 AND 2
5	PROVIDE NEW OPENING IN EXTG. LOAD BEARING MASONRY WALL
6	PROVIDE NEW 4" CONC. SLAB THROUGHOUT BASEMENT
7	PROVIDE NEW 8" DOUBLE WYTHE BRICK MASONRY WALL ON 16" WIDE X 8" DEEP REINFORCED CONC. FOOTER AS INDICATED
8	MAINTAIN AS EMERGENCY EGRESS OPENING
9	NEW 90 MINUTE FIRE-RATED DOOR IN EXTG. OPENING
10	INFILL EXTG. WINDOW OPENING W/ MASONRY TO MATCH EXTG.
11	INFILL EXTG. DOOR OPENING W/ MASONRY TO MATCH EXTG.
12	GLASS GUARDRAIL, 42"
13	65 GALLON REFUSE / RECYCLING TOTES AND/OR LAWN CARE AND MAINTENANCE STORAGE CONCEALED IN REFUSE ENCLOSURE
16	MAINTAIN AS EMERGENCY EGRESS OPENING

NOT FOR CONSTRUCTION
PENDING APPROVAL

COLUMBUS 1254 Eastwood Avenue, Columbus, OH 43078 T: 937.215.0845

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DATE REVISION

PROJECT TITLE
80 E
OLENTANGY
POWELL, OHIO 43065

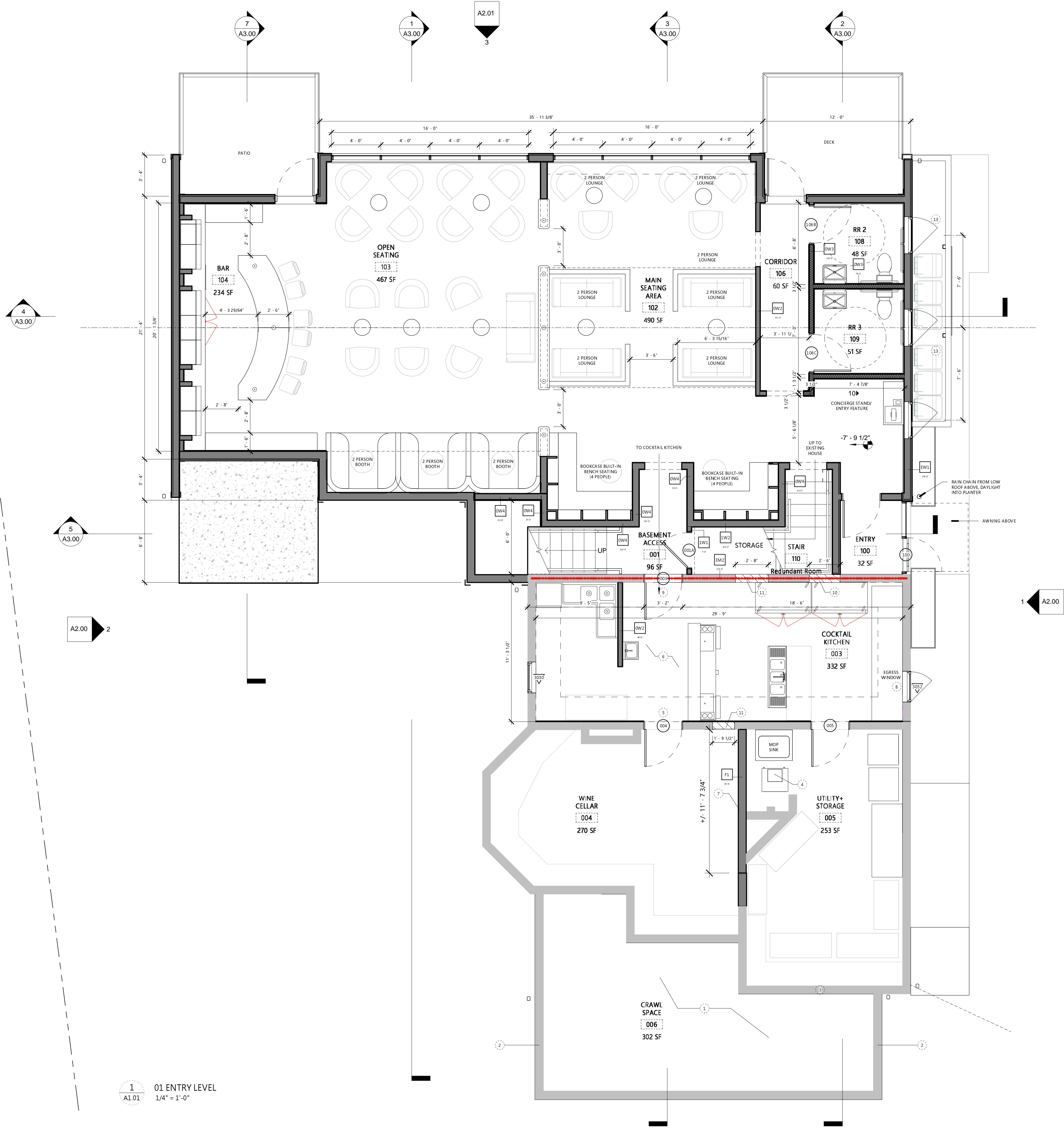
PROJECT NO. SJM_2010
ISSUE FINAL P&Z APPLICATION
ISSUE DATE 05.06.2021

SHEET TITLE
FOUNDATION
PLAN

SHEET NO.

A1.00

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1
A1.01
01 ENTRY LEVEL
1/4" = 1'-0"

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PENDING APPROVAL

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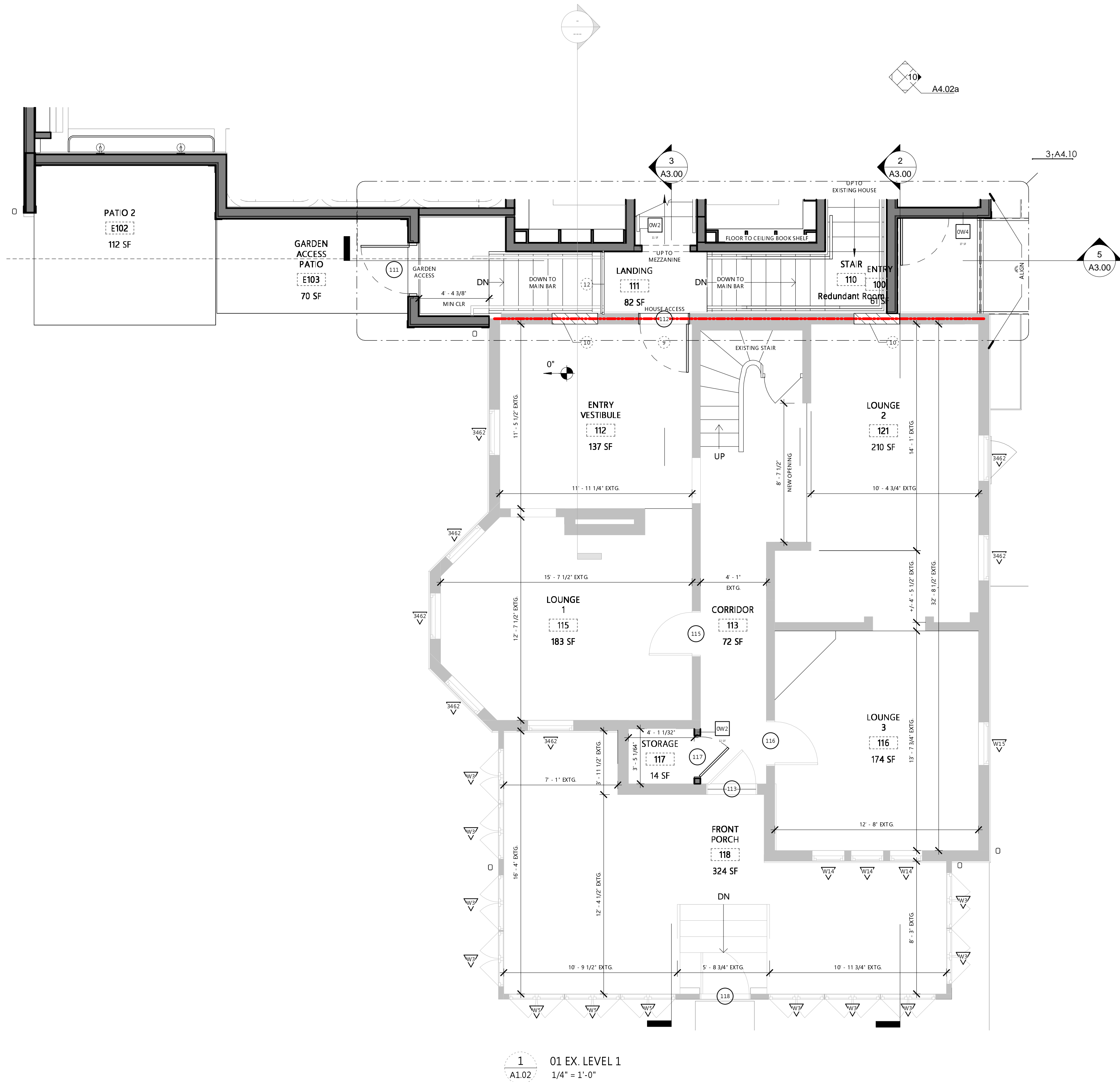
PROJECT TITLE
**80 E
OLENTANGY**
POWELL, OHIO 43065

PROJECT NO. SJM_2010
ISSUE FINAL P&Z APPLICATION
ISSUE DATE 05.06.2021

SHEET TITLE
**EXTG. BASEMENT
+ NEW LEVEL 1
PLAN**

SHEET NO.
A1.01

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DATE REVISION

PROJECT TITLE
80 E
OLENTANGY
POWELL, OHIO 43065

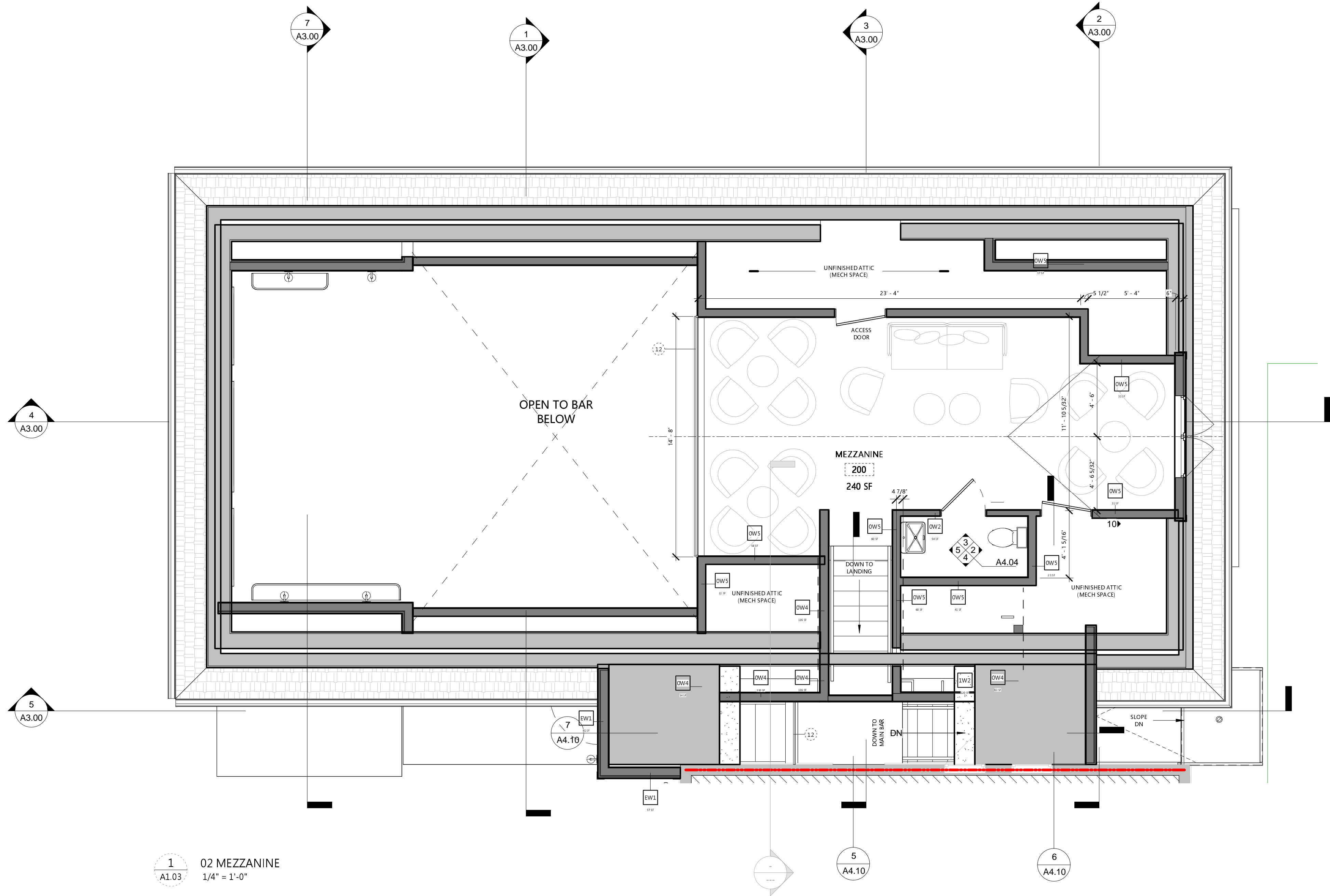
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ISSUE FINAL P&Z APPLICATION
ISSUE DATE 05.06.2021

SHEET TITLE
EXTG. LEVEL 1
PLAN

SHEET NO.

A1.02

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FLOOR PLAN NOTES

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PENDING APPROVAL

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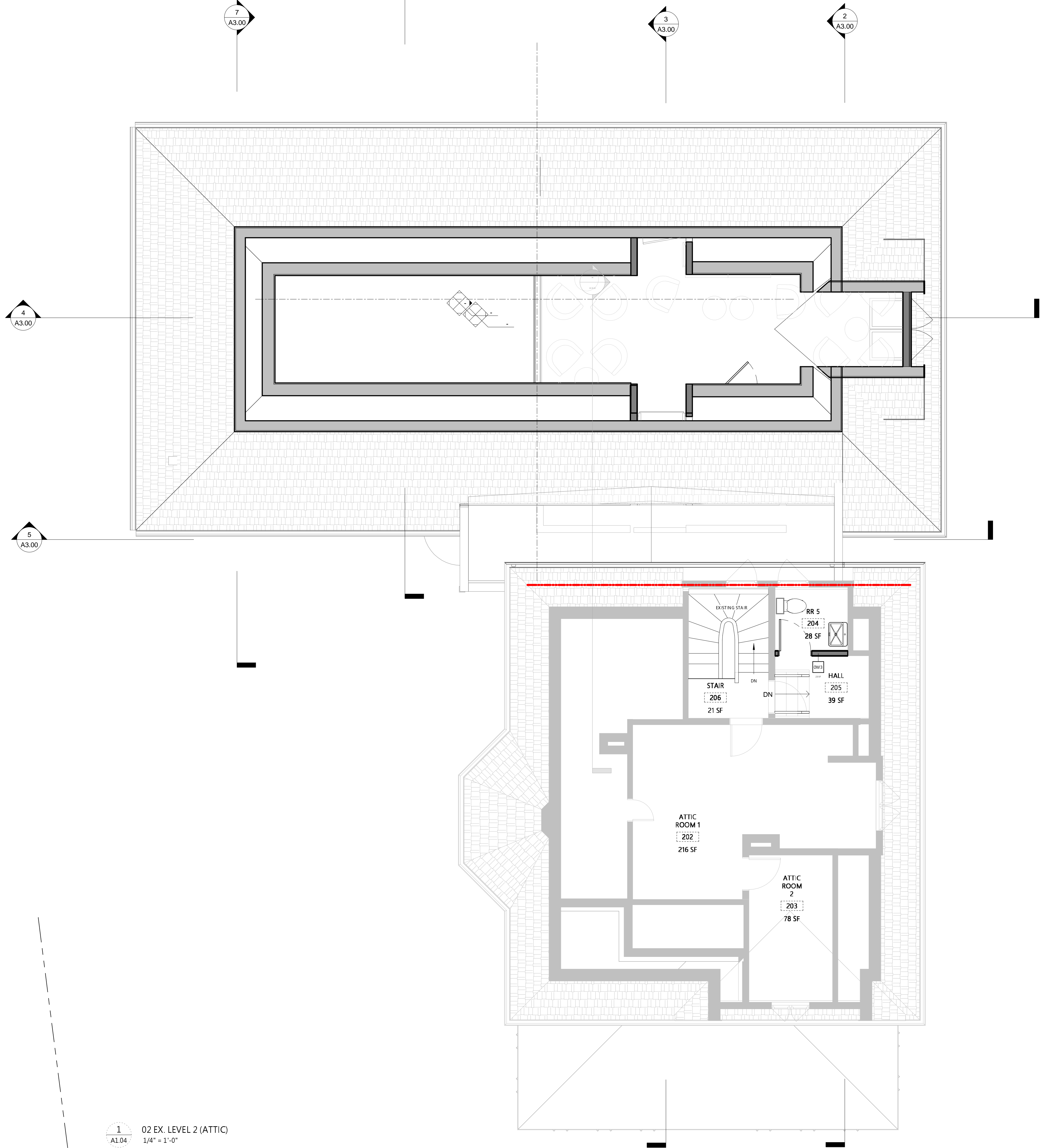
#	DATE	REVISION
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PROJECT TITLE
**80 E
OLENTANGY**
POWELL, OHIO 43065

PROJECT NO. SJM_2010
ISSUE FINAL P&Z APPLICATION
ISSUE DATE 05.06.2021

SHEET TITLE
**NEW
MEZZANINE
PLAN**

SHEET NO.
A1.03
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1
A1.04

02 EX. LEVEL 2 (ATTIC)
1/4" = 1'-0"

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DATE REVISION

PROJECT TITLE

80 E
OLENTANGY
POWELL, OHIO 43065

PROJECT NO. SJM_2010

ISSUE FINAL P&Z APPLICATION

ISSUE DATE 05.06.2021

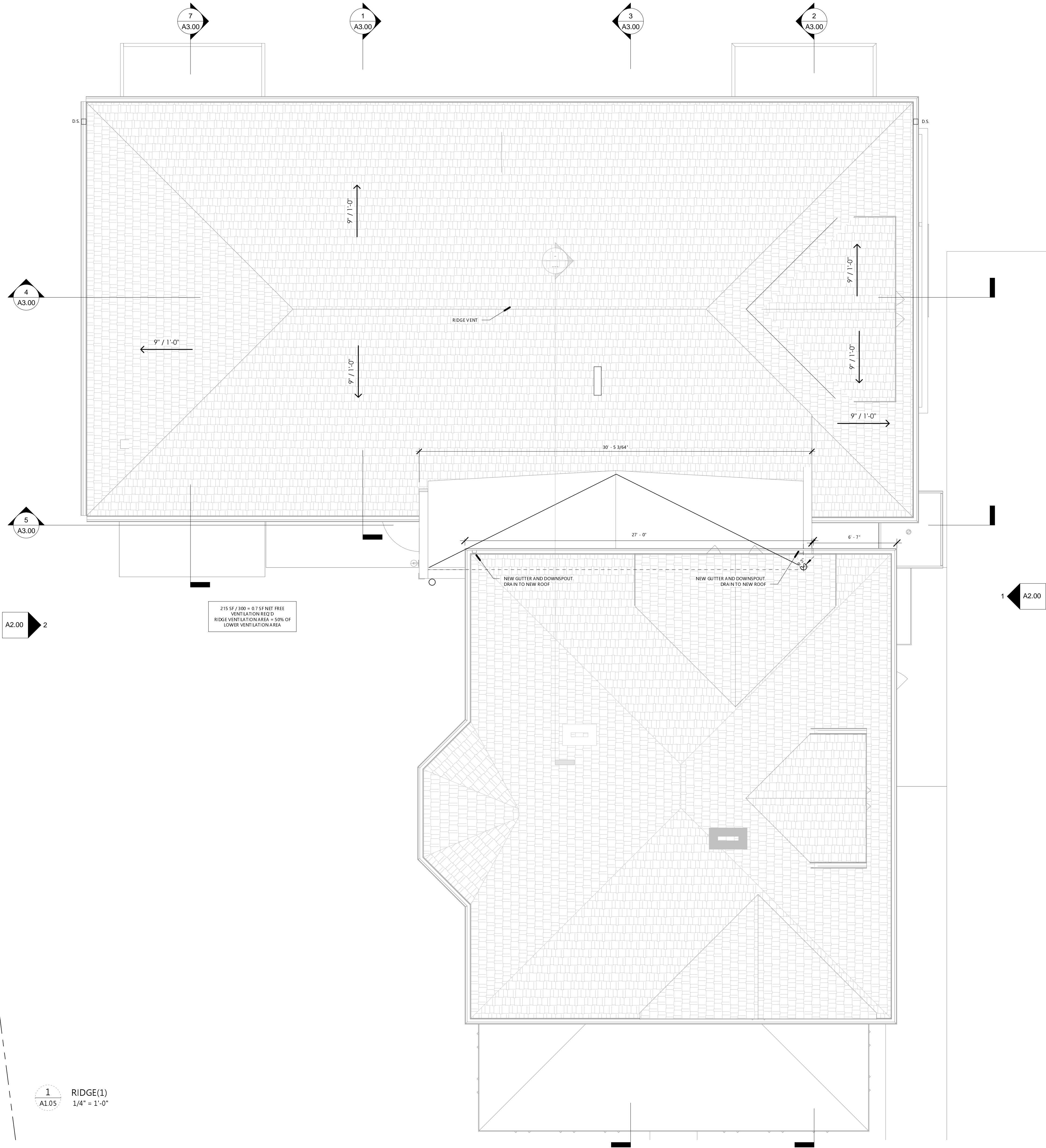
SHEET TITLE

EXTG. ATTIC

SHEET NO.

A1.04

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PROJECT TITLE

**80 E
OLENTANGY**
POWELL, OHIO 43065

PROJECT NO. SJM_2010

ISSUE FINAL P&Z APPLICATION

ISSUE DATE 05.06.2021

SHEET TITLE

ROOF PLAN

SHEET NO.

A1.05

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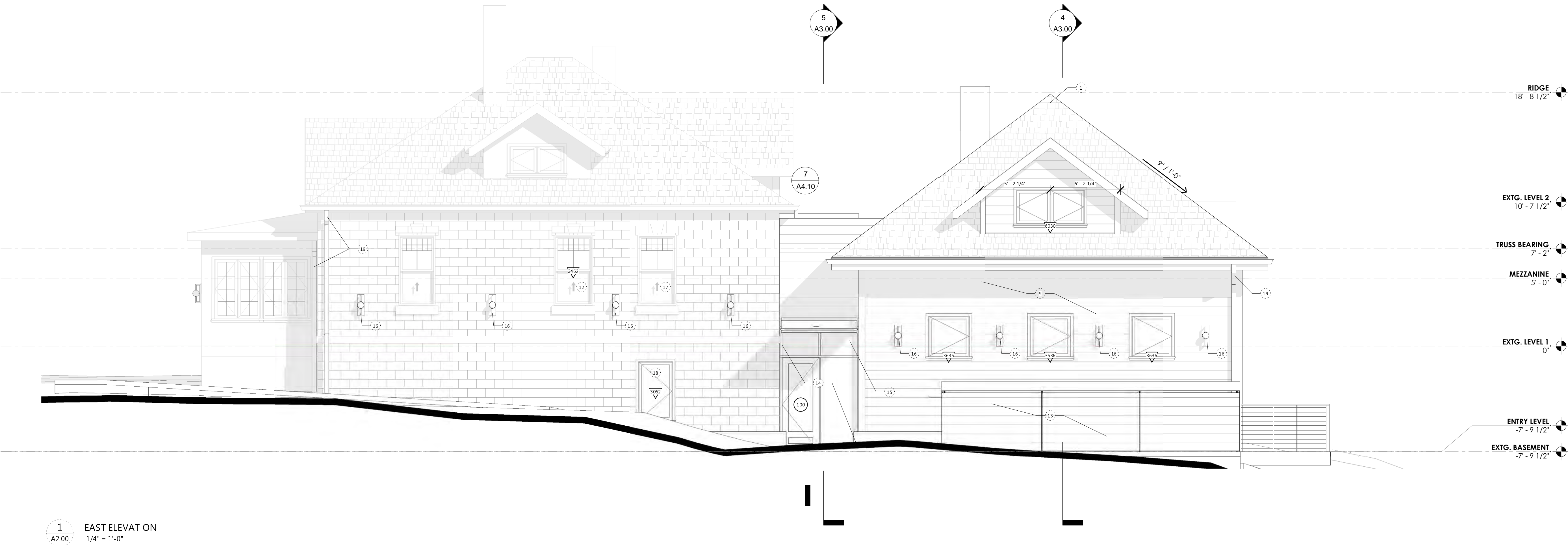
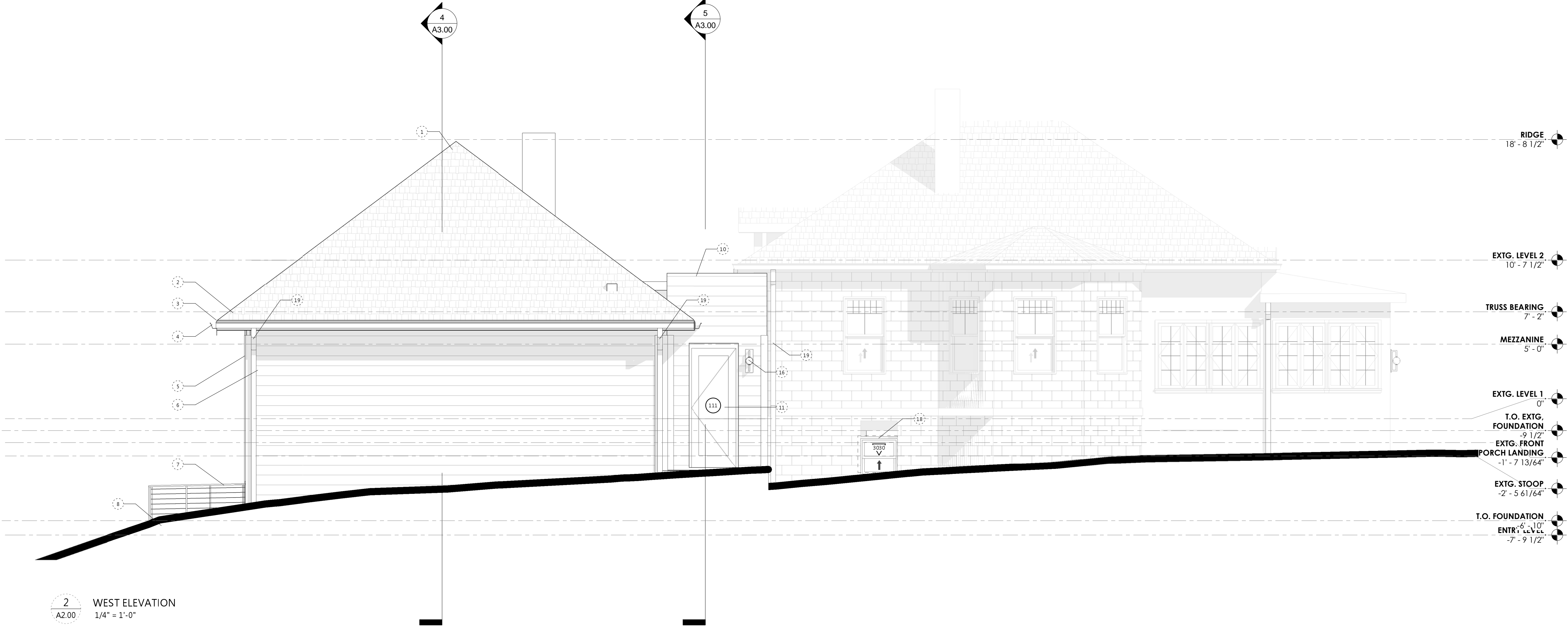
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5/6/2021 8:42:50 AM



ELEVATION NOTES

NO.	NOTE
1	CONTINUOUS RIDGE VENT
2	DIMENSIONAL ASPHALT SHINGLE ROOF
3	FIBER CEMENT FASCIA
4	5" GUTTER
5	FIBER CEMENT TRIM
6	FIBER CEMENT CLAPBOARD SIDING 8"
7	CABLE RAIL
8	COMPOSITE DECKING AND SKIRT BOARD AT DECK PERIMETER
9	FIBER CEMENT CLAPBOARD SIDING 8"
10	DARK BRONZE ANODIZED PARAPET CAP
11	GARDEN ACCESS DOOR
12	REUSE ORIGINAL INTERIOR PORCH WINDOW IN EXTG. OPENING.
13	FIBER CEMEN REFUSE ENCLOSURE W/ GREEN ROOF AND BYPASS SLIDING GATE OPENINGS
14	DARK BRONZE ANODIZED STOREFRONT
15	8" DEEP EXTRUDED SOLID METAL AWNING (ARCHITECTURAL LOUVERS H8CV OR SIM)
16	FEATURE WALL SCONCE
17	ORIGINAL SINGLE PANE WOOD WINDOW TO REMAIN, TYP. @ HOUSE U.N.O.
18	NEW WINDOW IN EXTG. OPENING
19	NEW CHARCOAL GRAY GUTTER

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PROJECT NO. SJM_2010
ISSUE FINAL P&Z APPLICATION
ISSUE DATE 05.06.2021

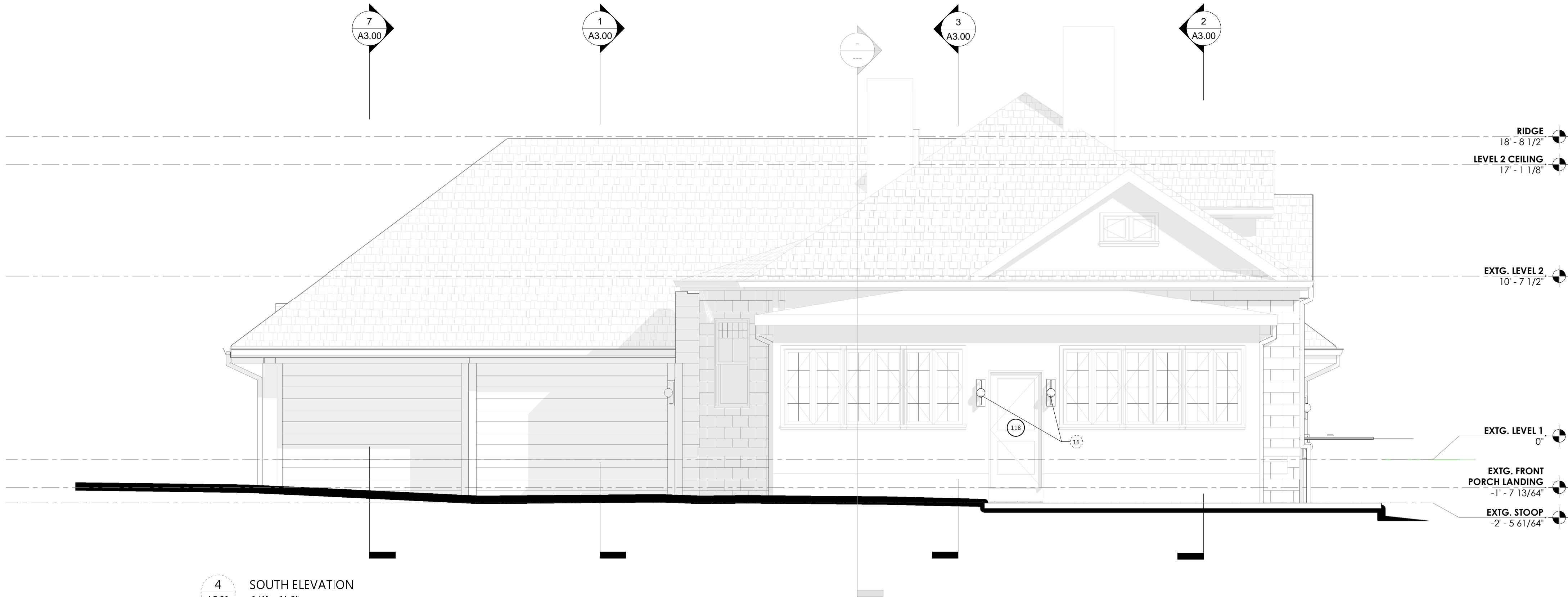
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**BUILDING
ELEVATIONS**

SHEET NO.

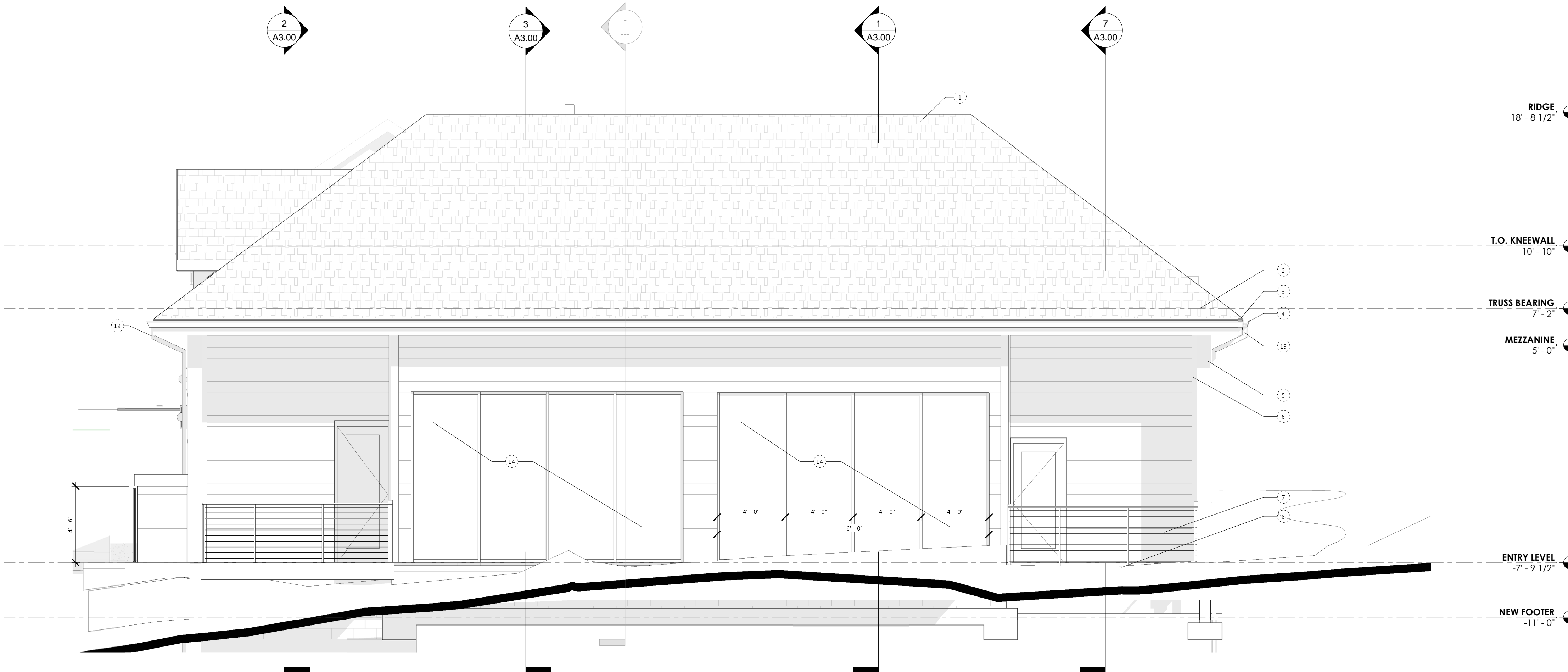
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4 SOUTH ELEVATION
1/4" = 1'-0"



3 NORTH ELEVATION
1/4" = 1'-0"

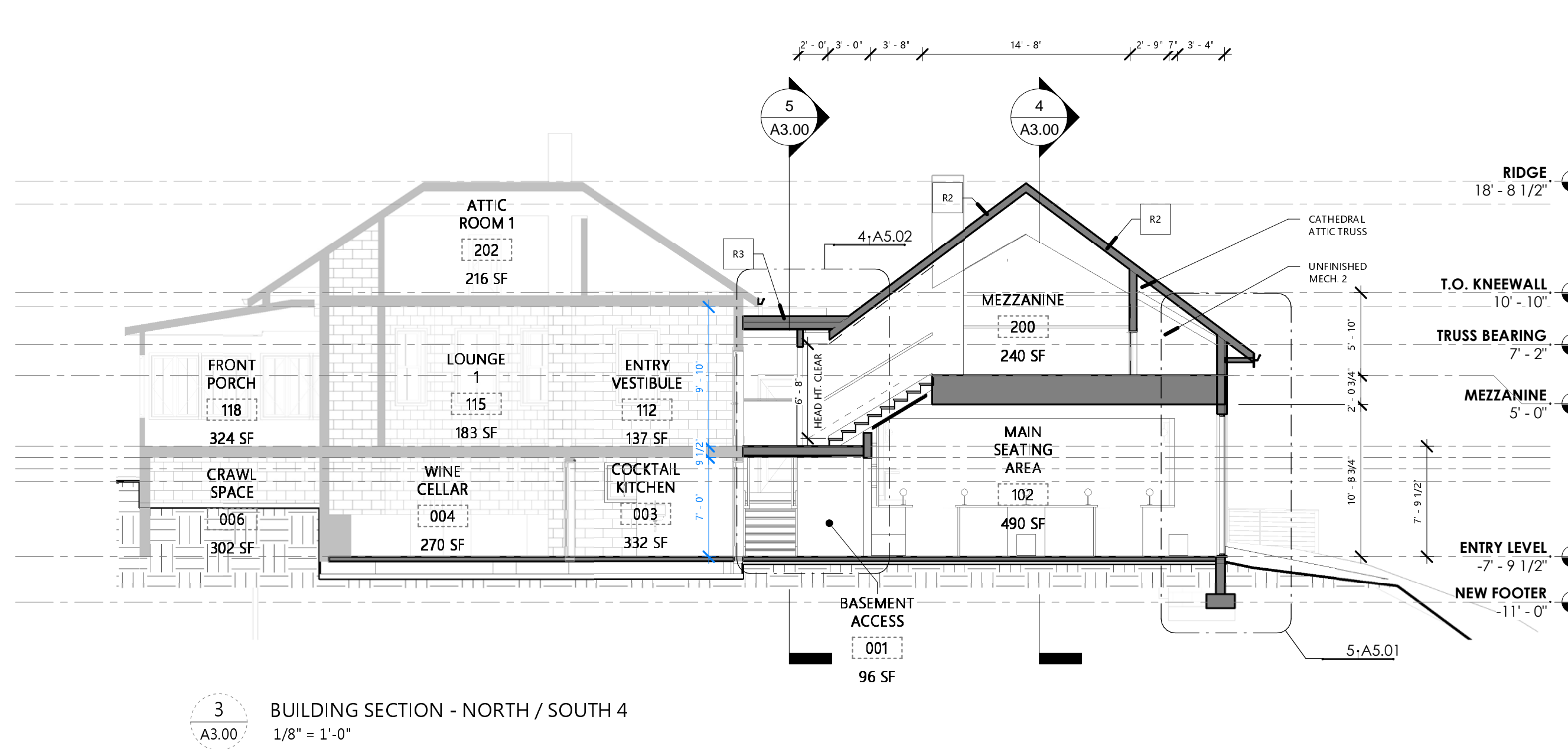
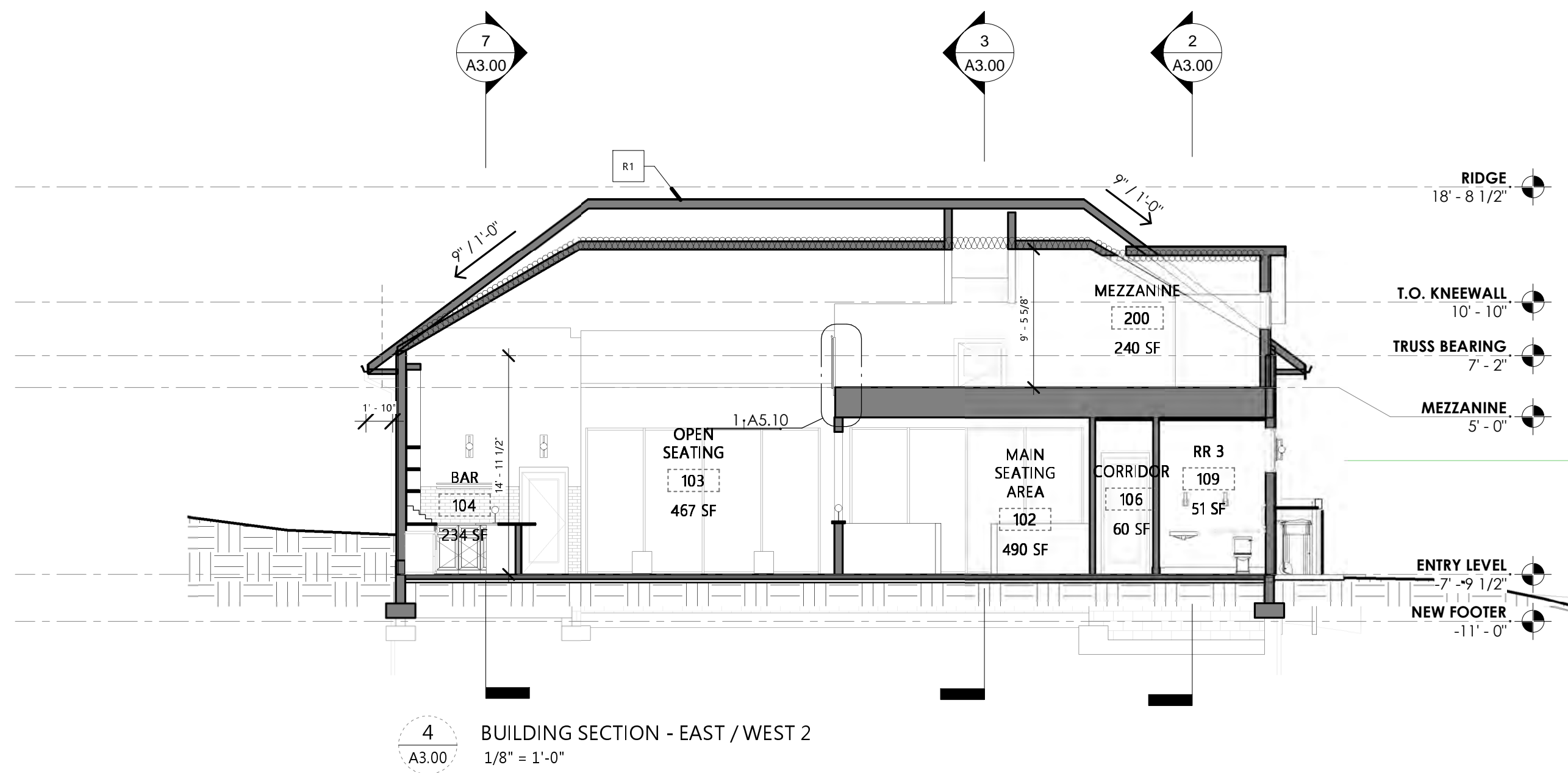
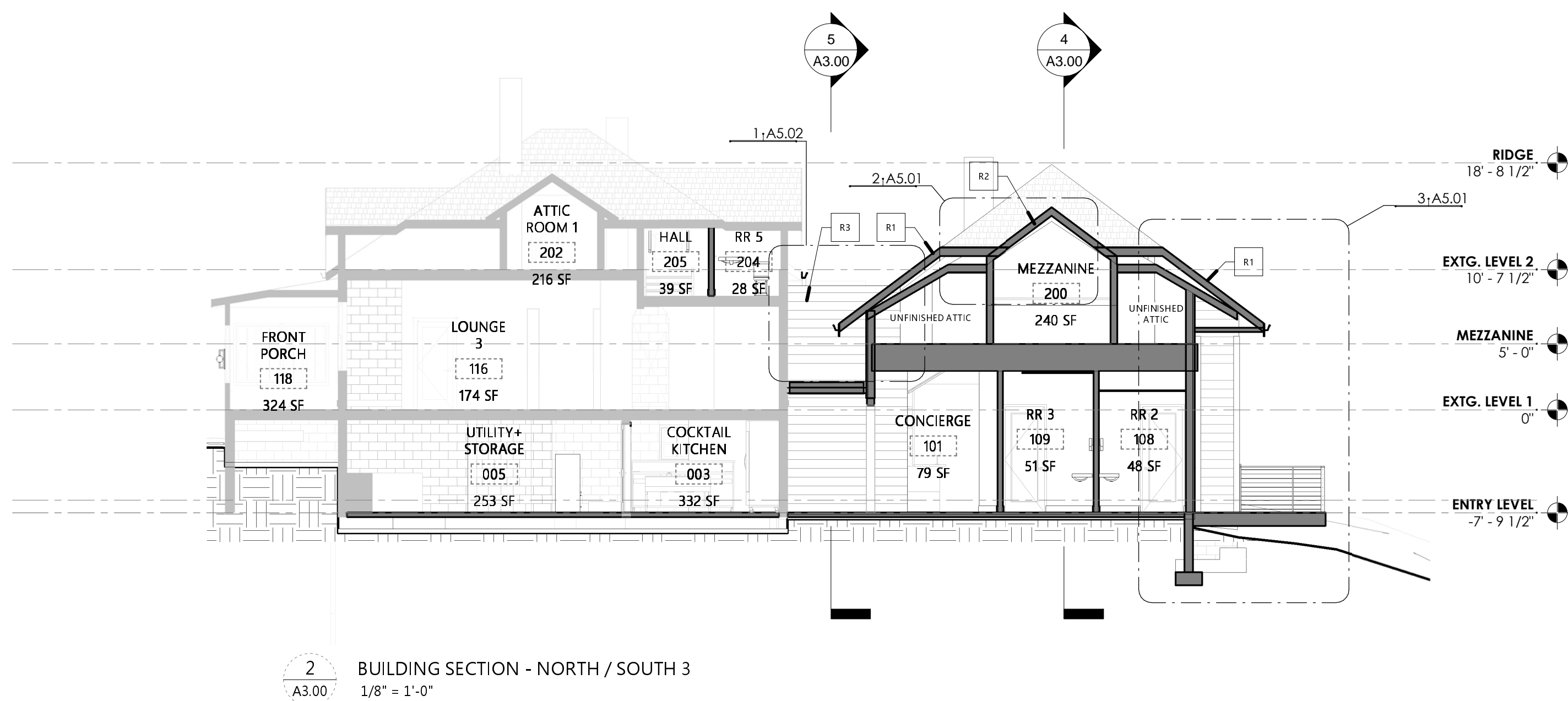
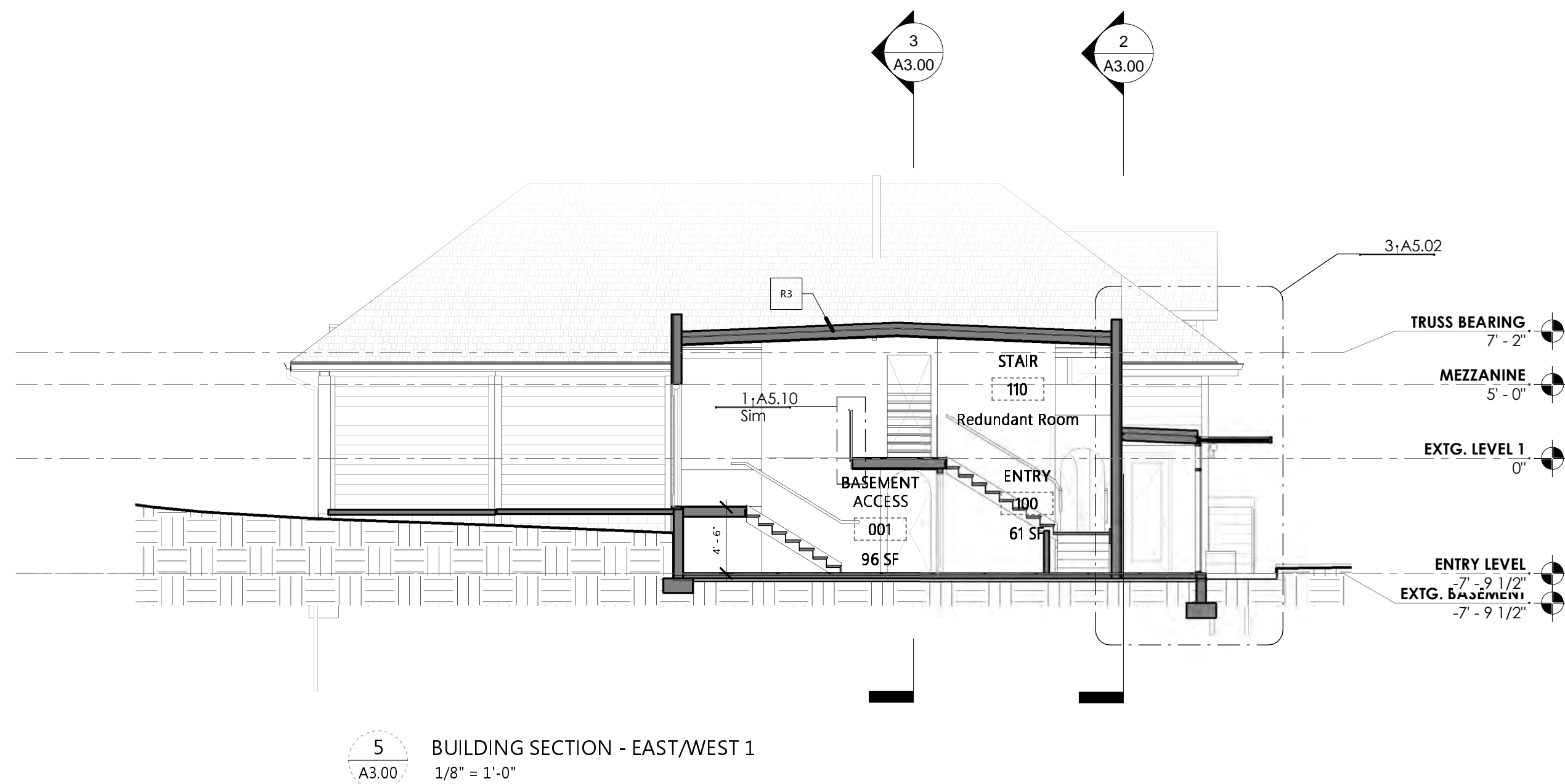
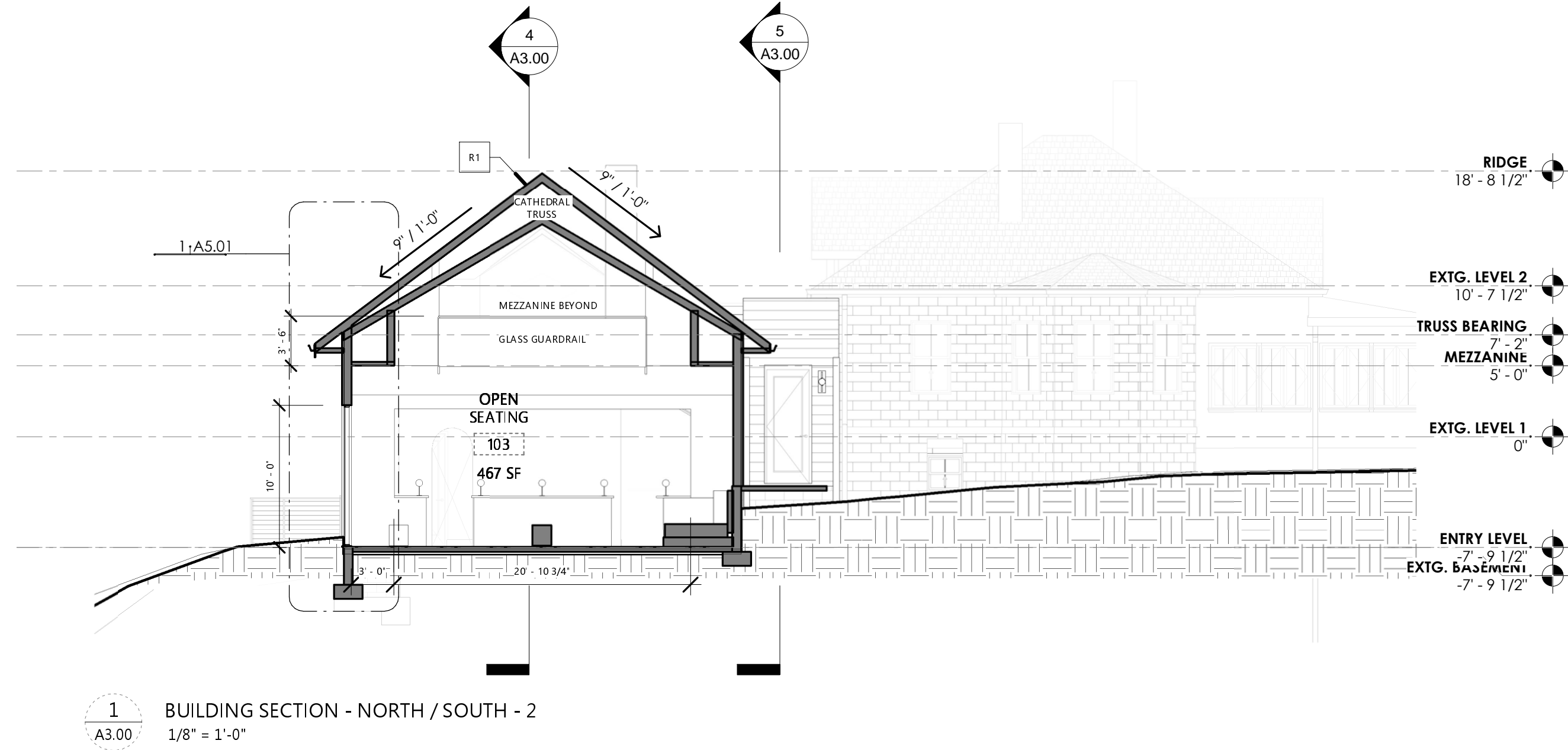
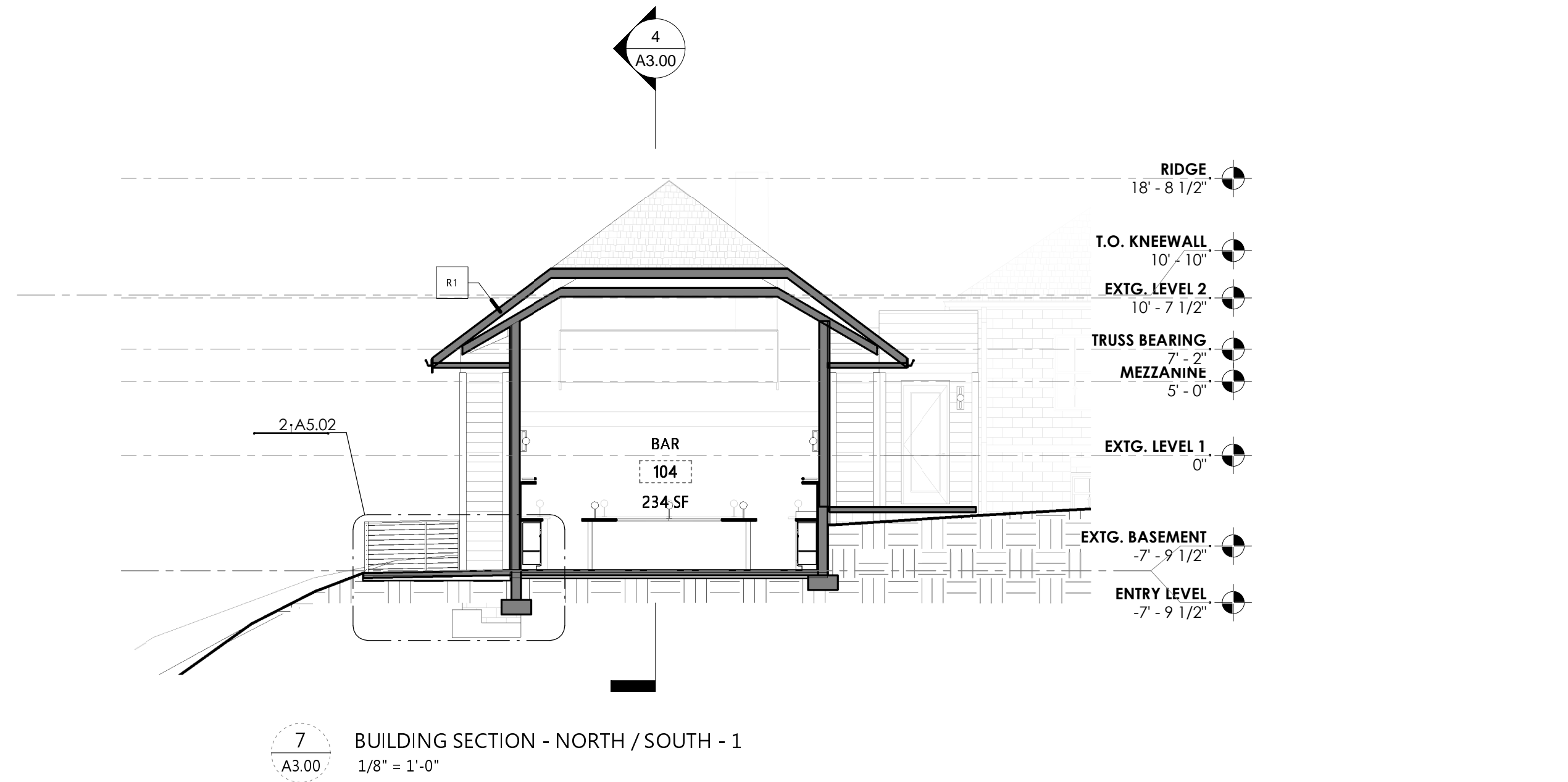
ELEVATION NOTES

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4	5" GUTTER
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ISSUE DATE 05.06.2021
SHEET TITLE

BUILDING
SECTIONS

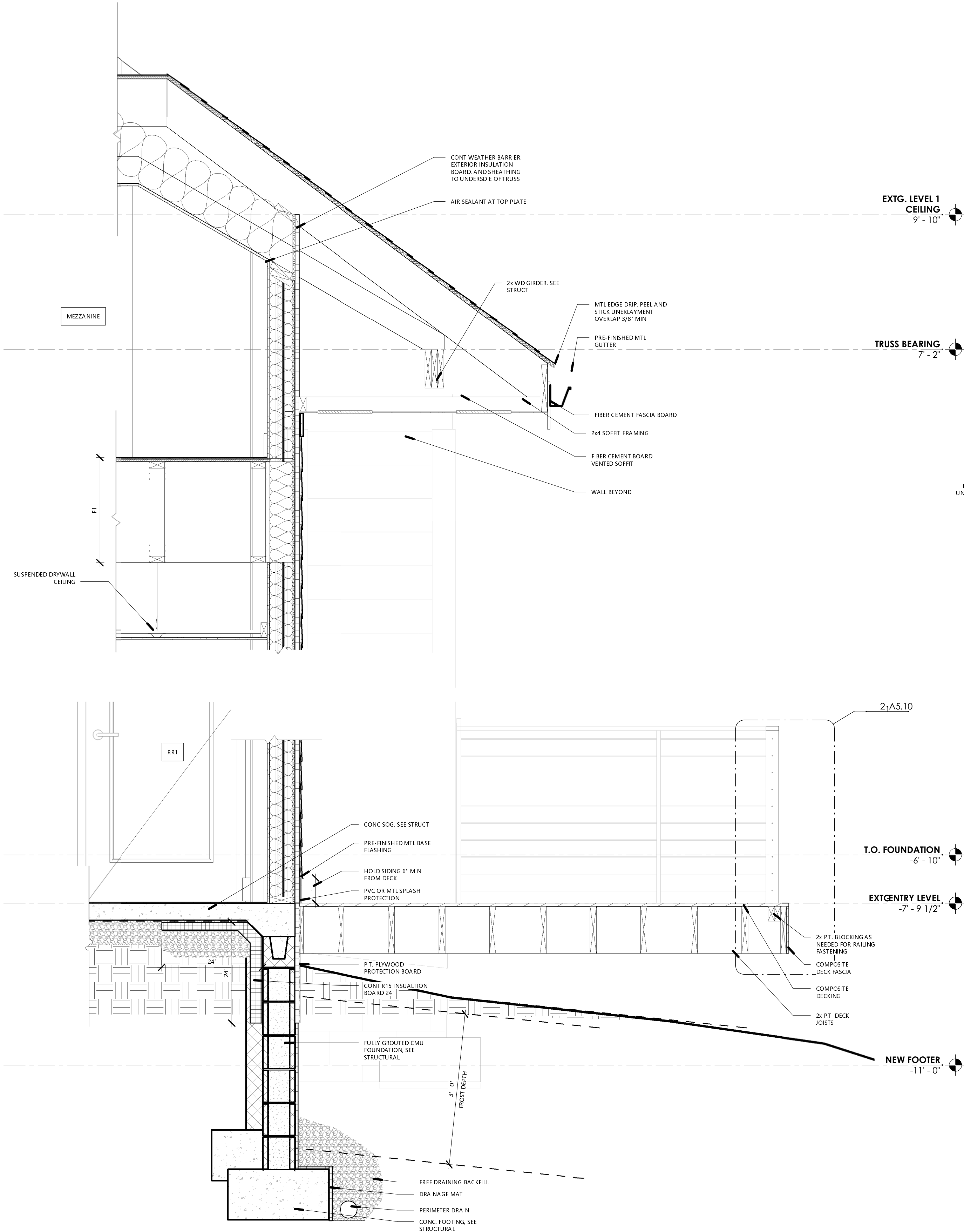
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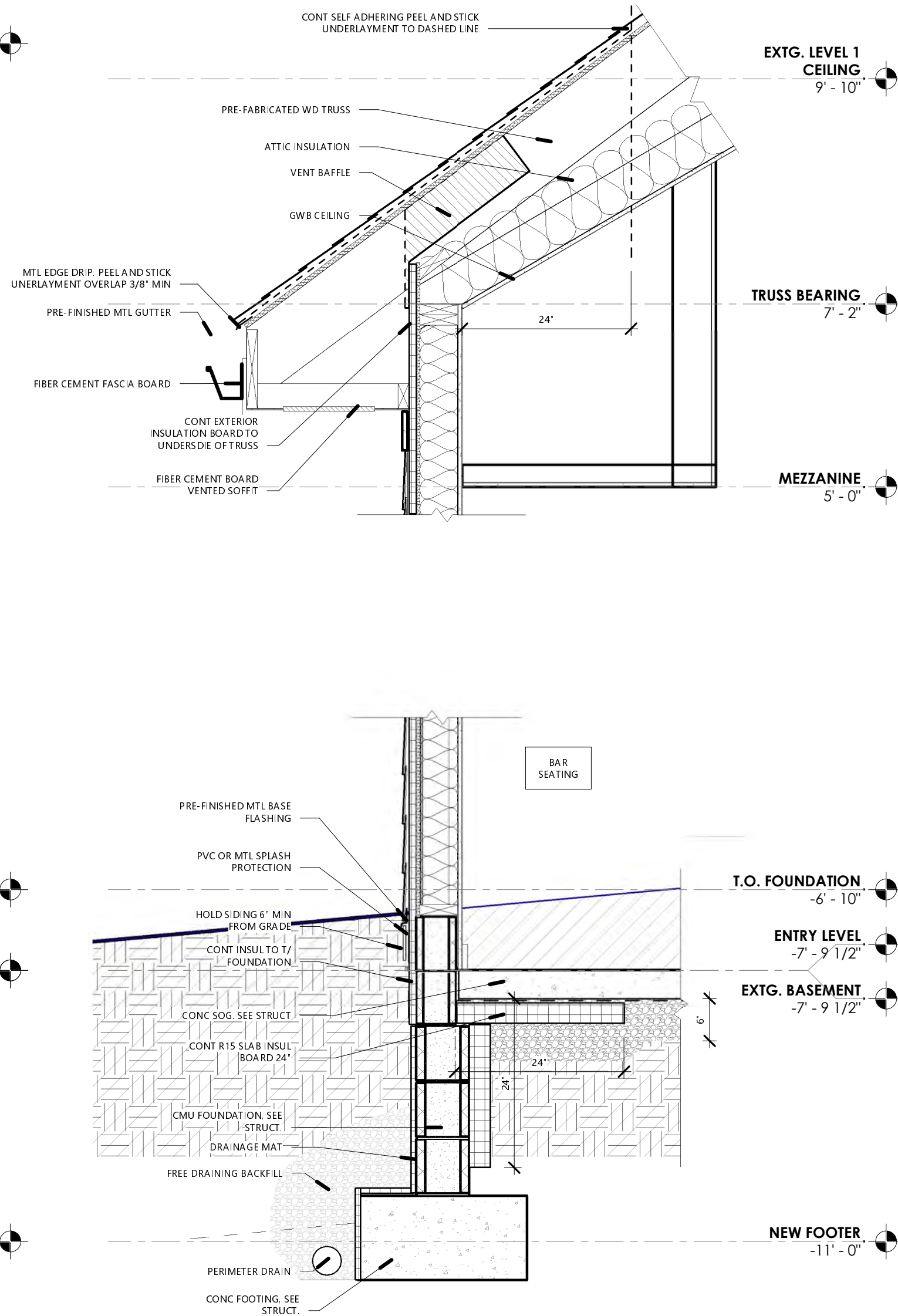
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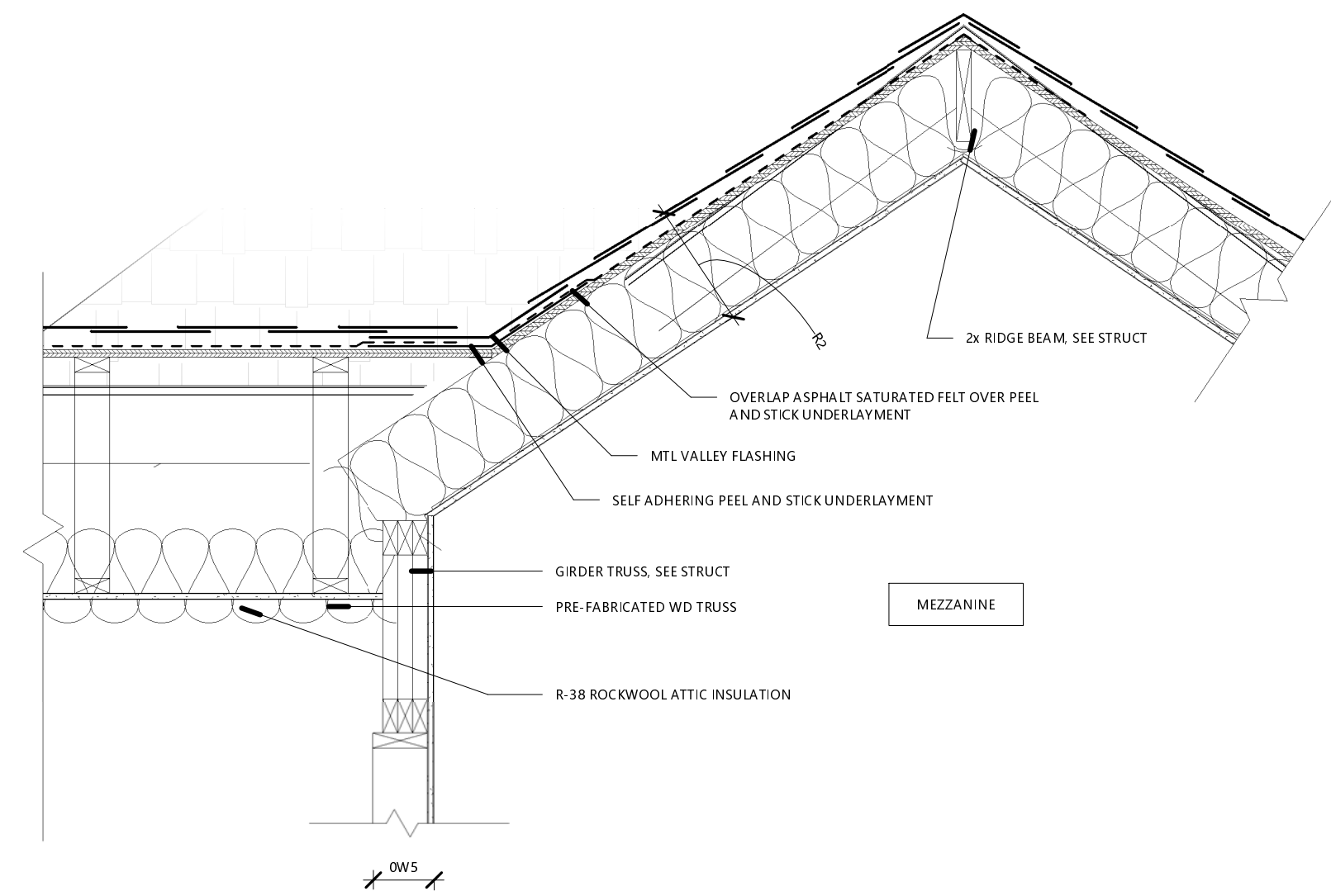
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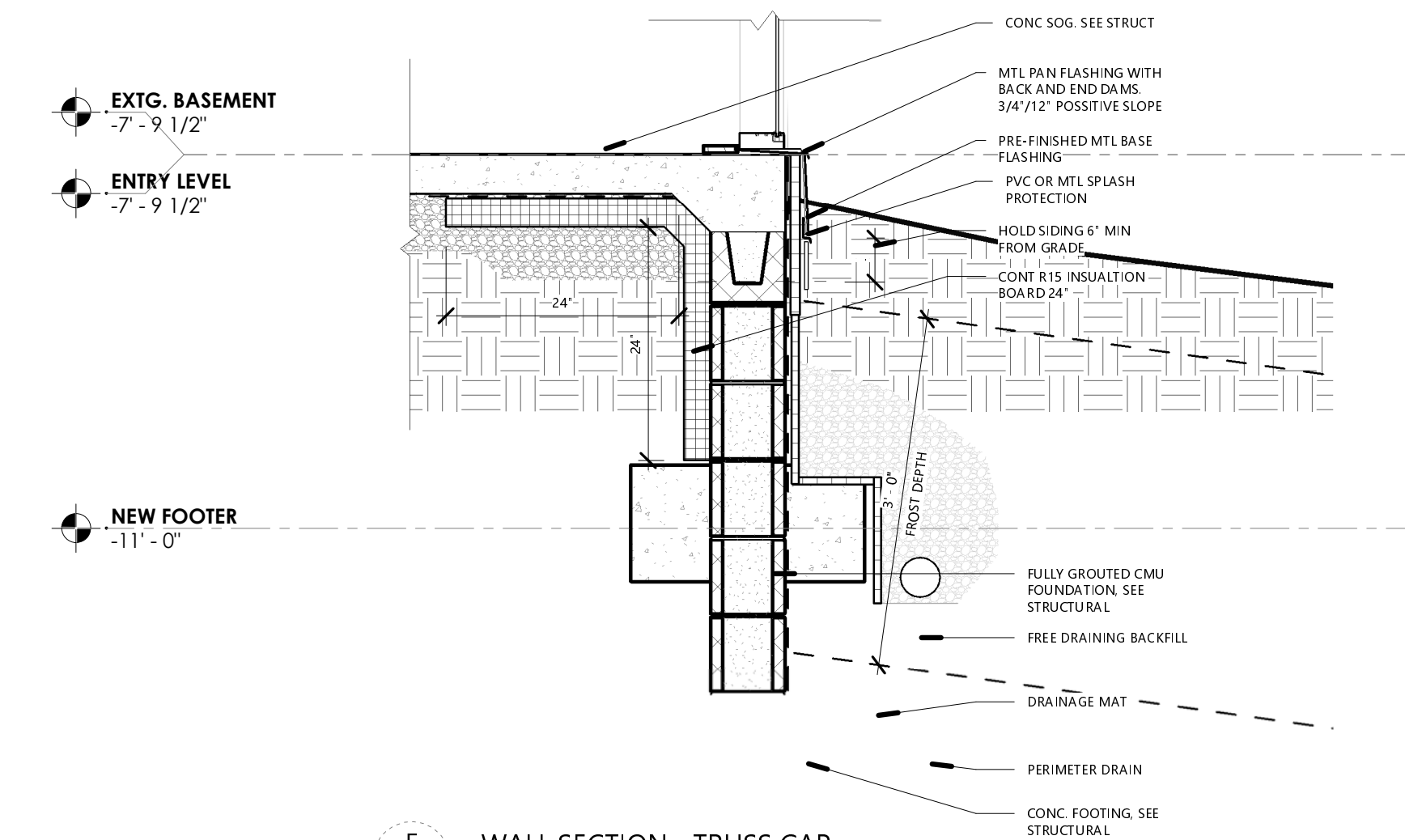
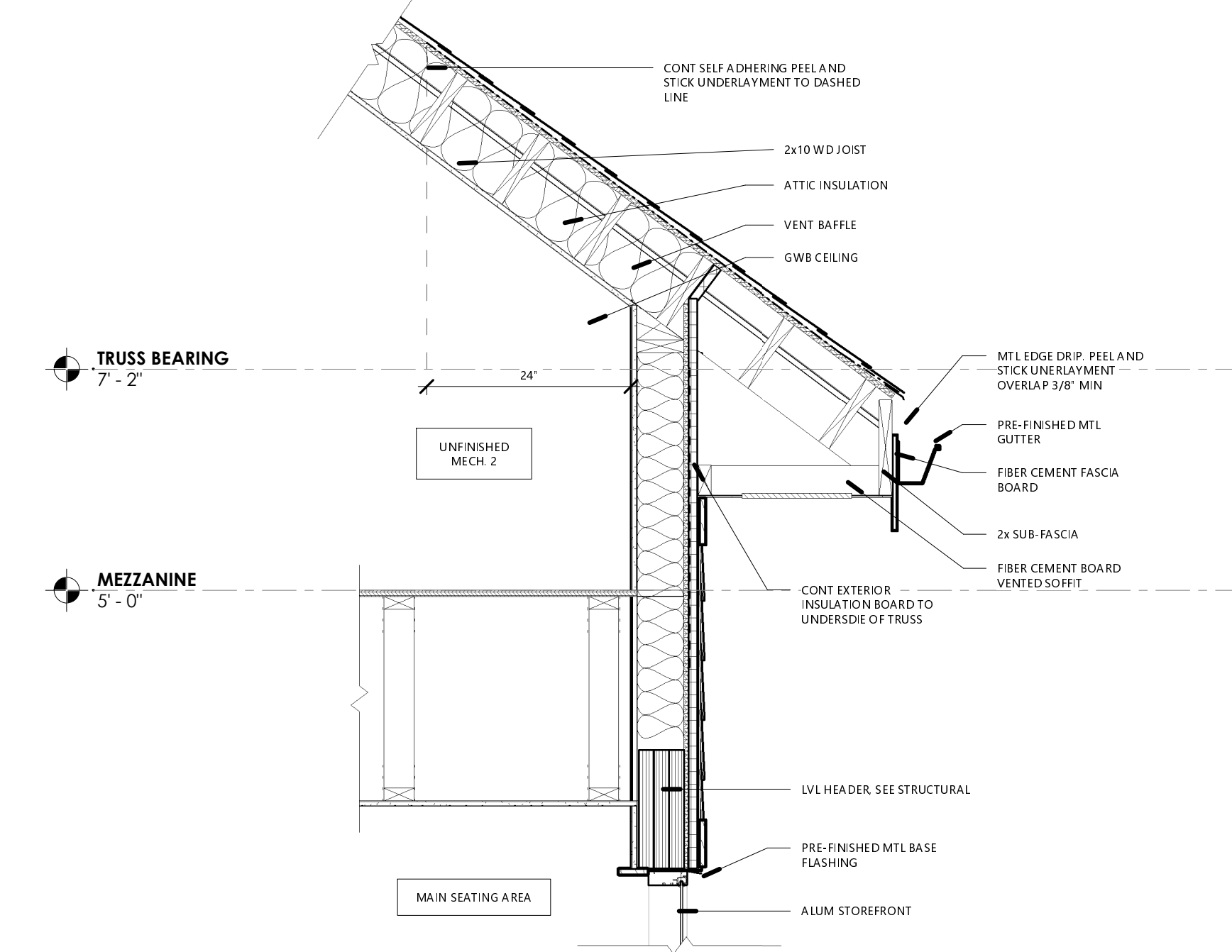
3 WALL SECTION - EXTERIOR DECK
3/4" = 1'-0"



1 WALL SECTION - TYPICAL TRUSS BEARING WALL
3/4" = 1'-0"



2 WALL SECTION - NEW PITCHED ROOF @ DORMER ROOF
3/4" = 1'-0"



5 WALL SECTION - TRUSS GAP
3/4" = 1'-0"

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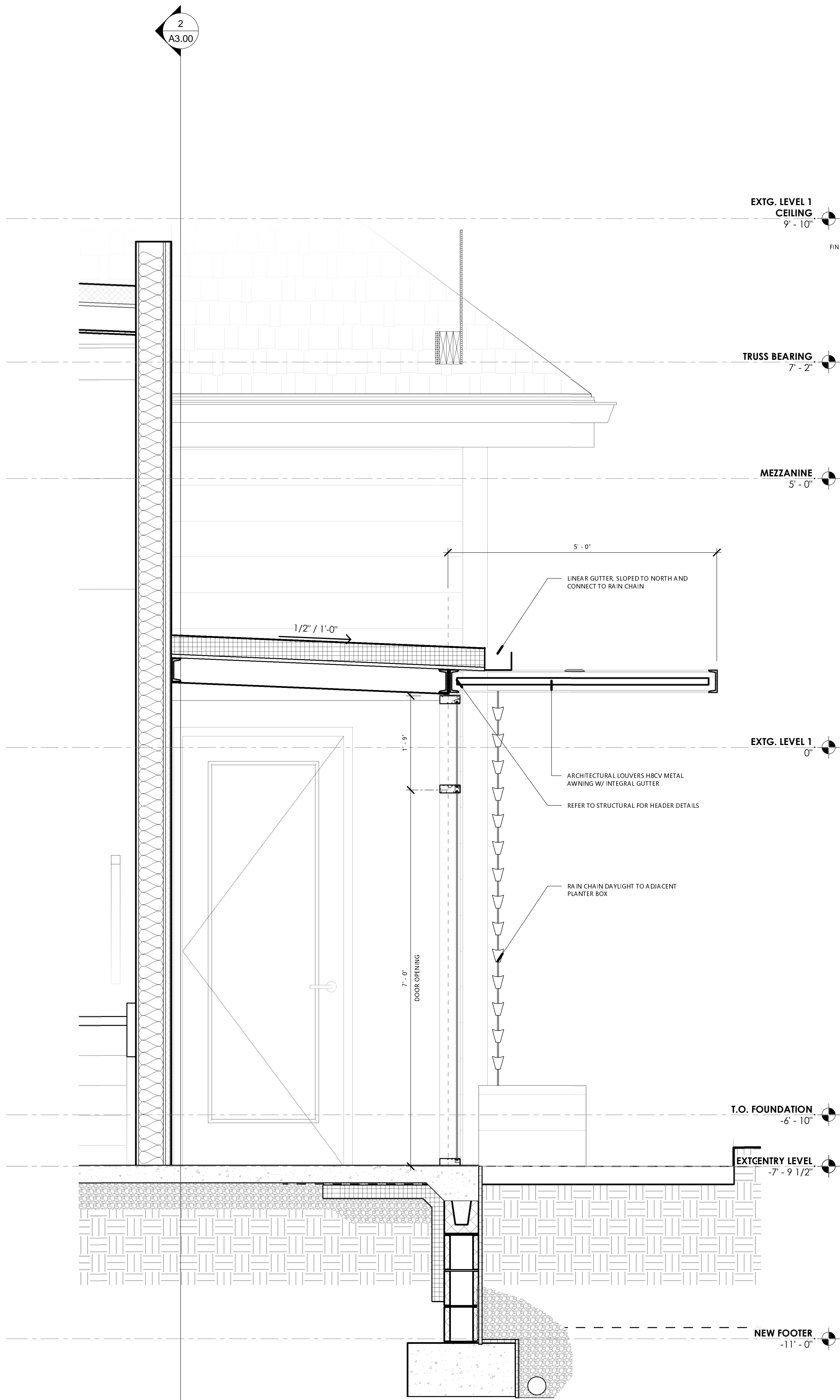
SHEET TITLE
WALL SECTIONS
+ DETAILS

SHEET NO.

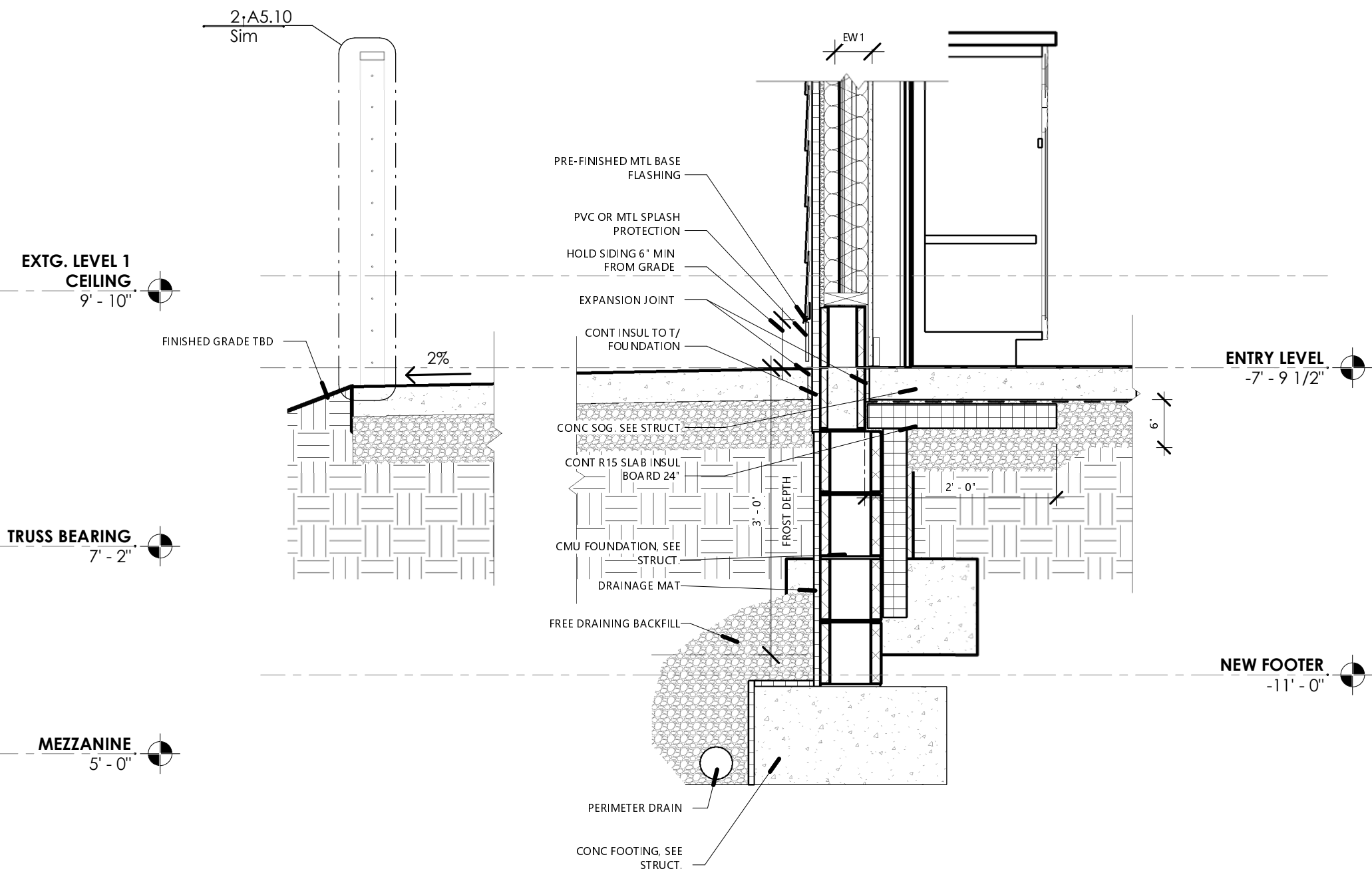
A5.01

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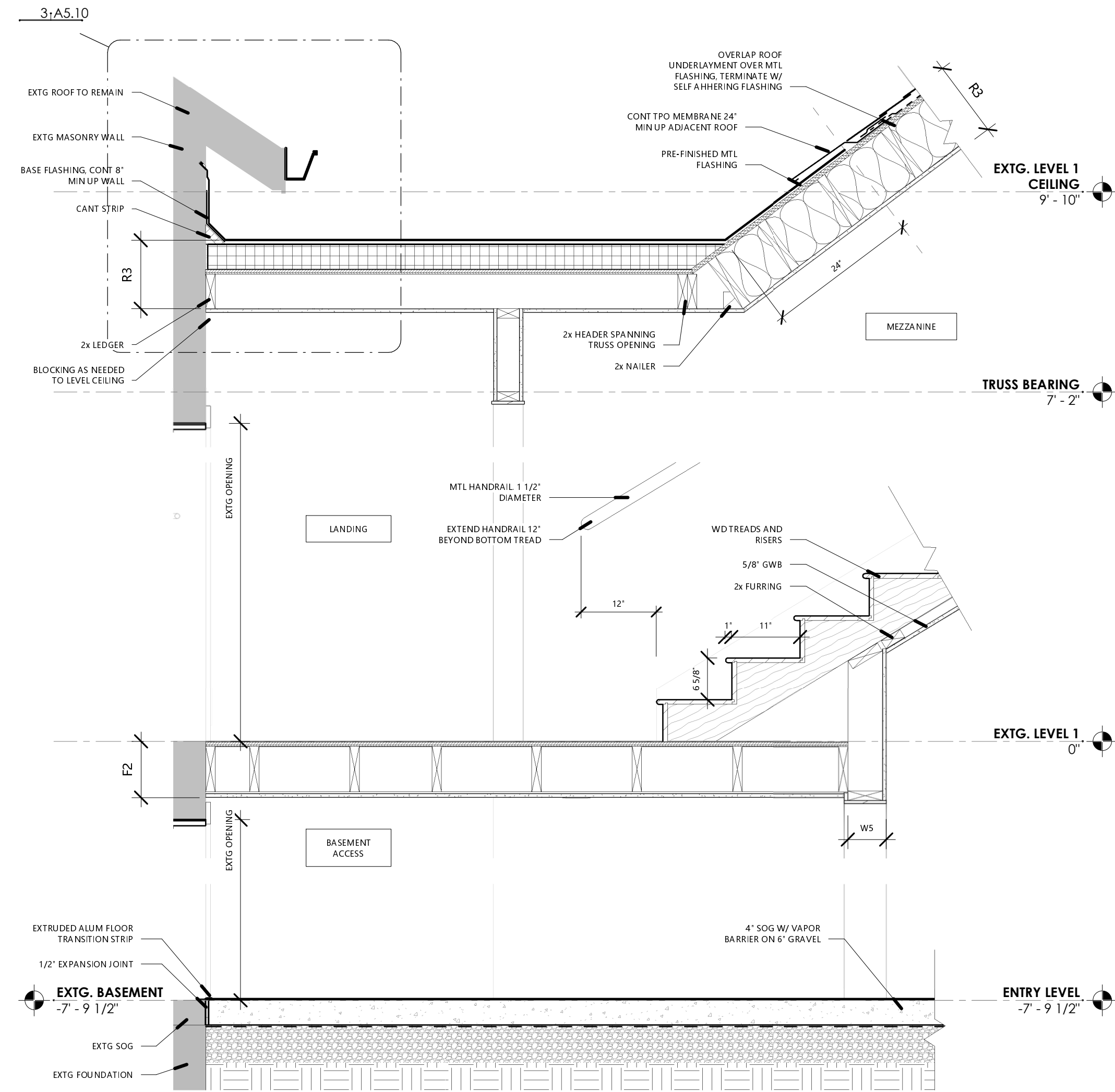
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3
A5.02 WALL SECTION - ENTRY VESTIBULE
3/4" = 1'-0"

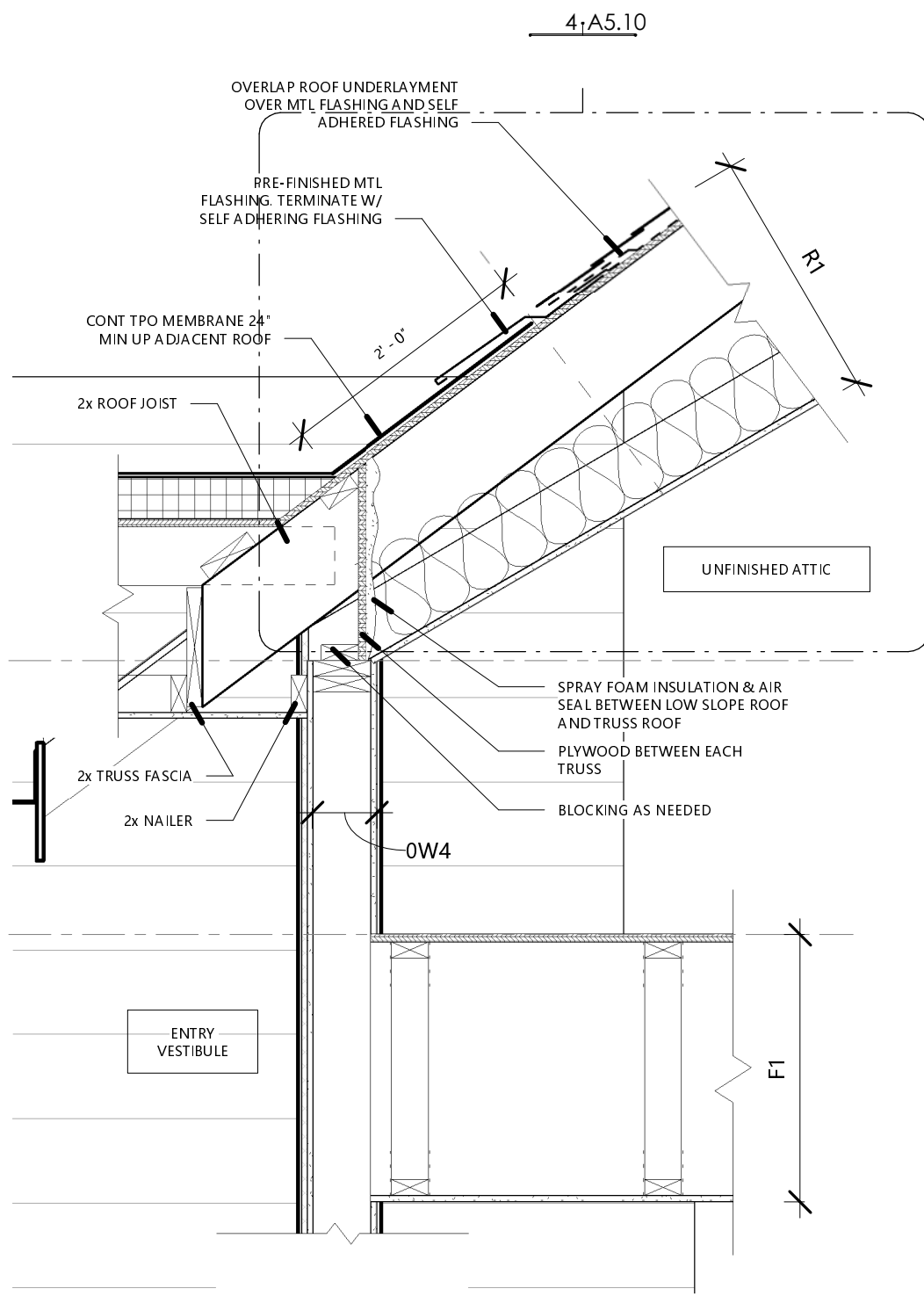


2
A5.02 WALL SECTION - CONCRETE PATIO
3/4" = 1'-0"



4
A5.02 BUILDING SECTION - BASEMENT & MEZZANINE ACCESS
3/4" = 1'-0"

1
A5.02 BUILDING SECTION - NEW LOW SLOPE ROOF @ SLOPED ROOF TRUSS
3/4" = 1'-0"



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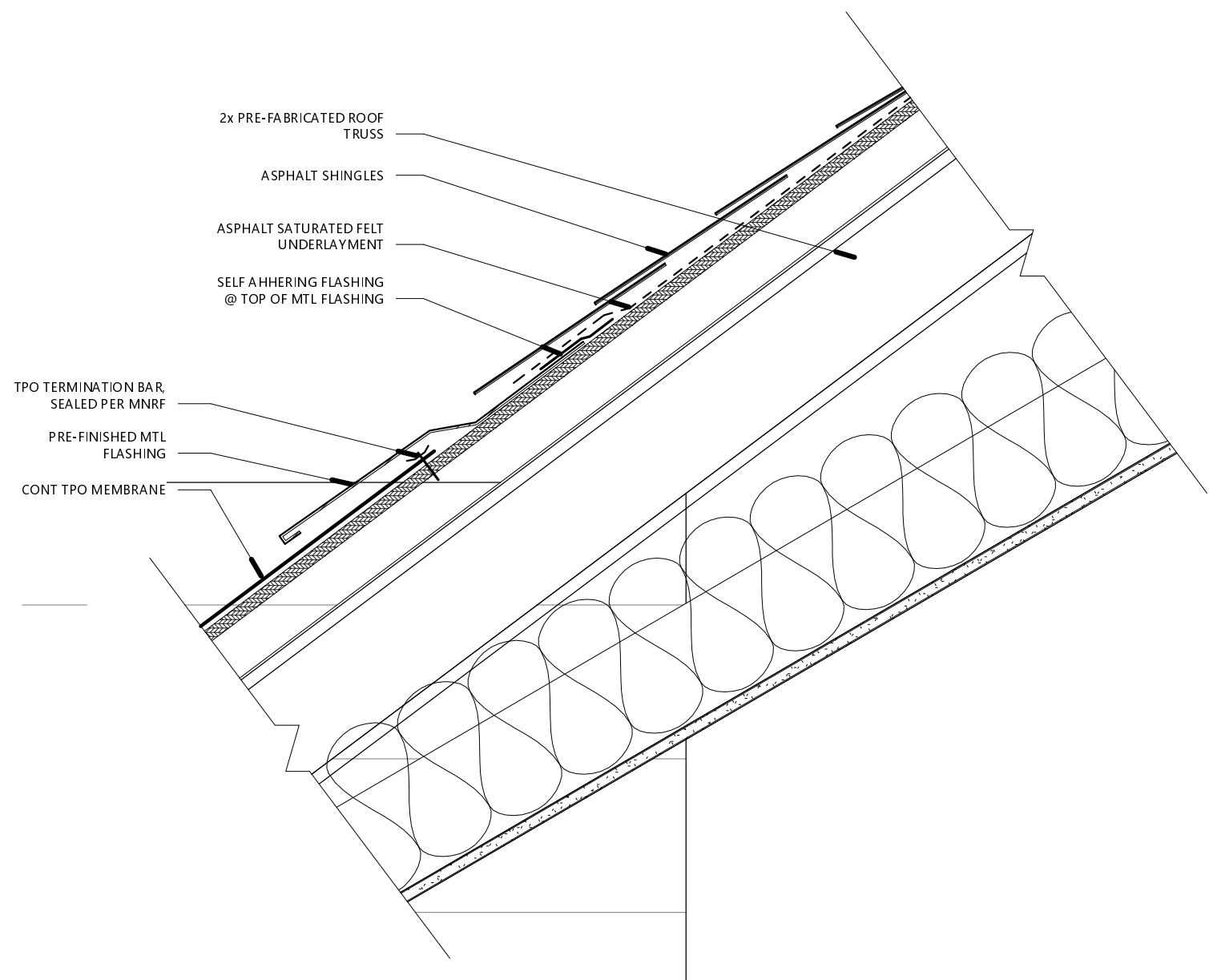
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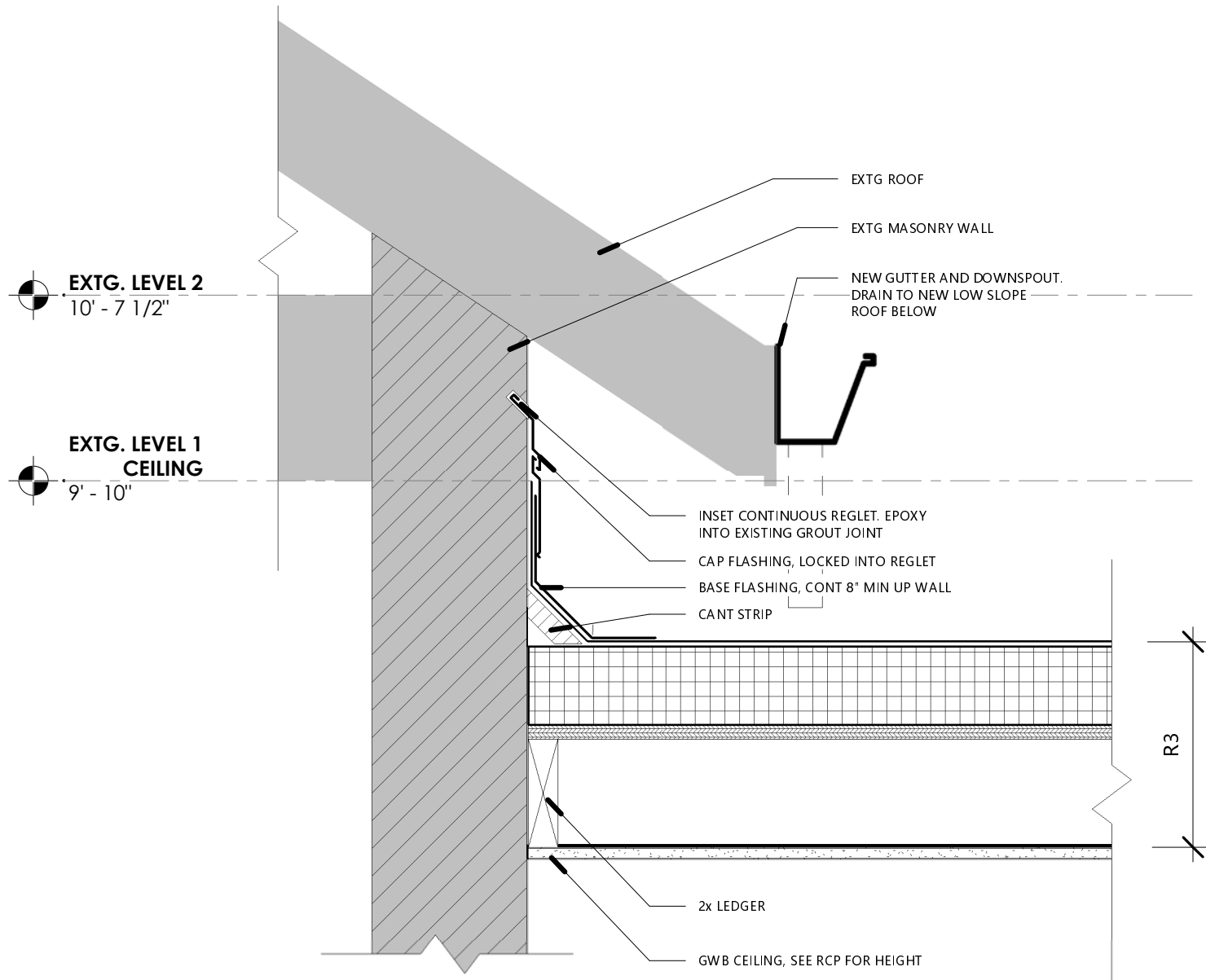
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WALL SECTIONS
+ DETAILS

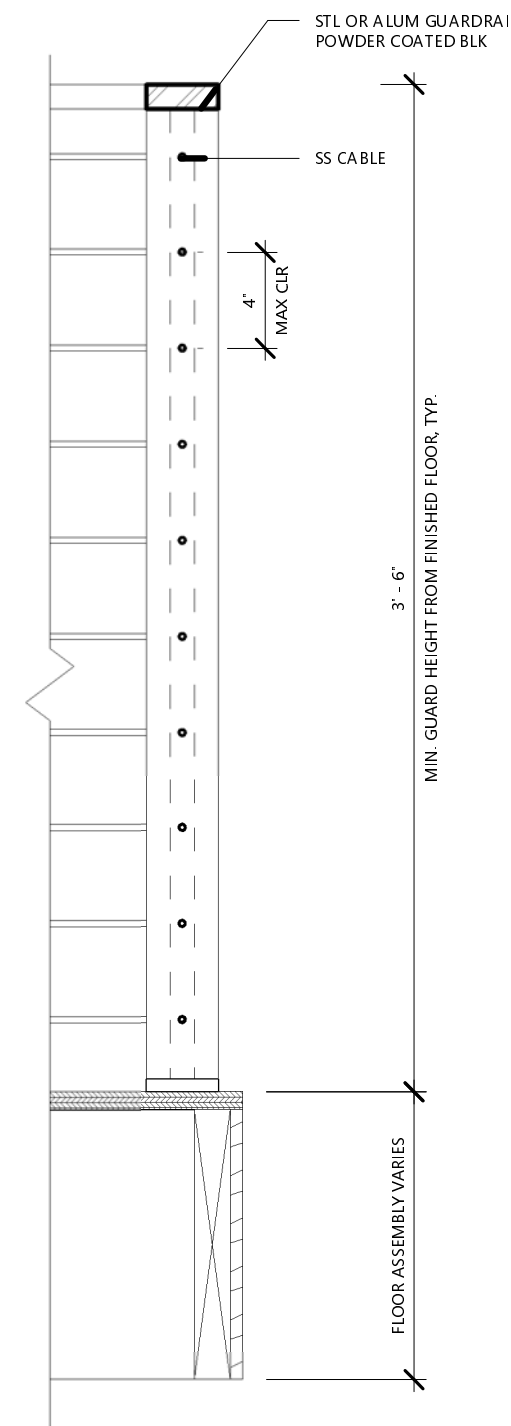
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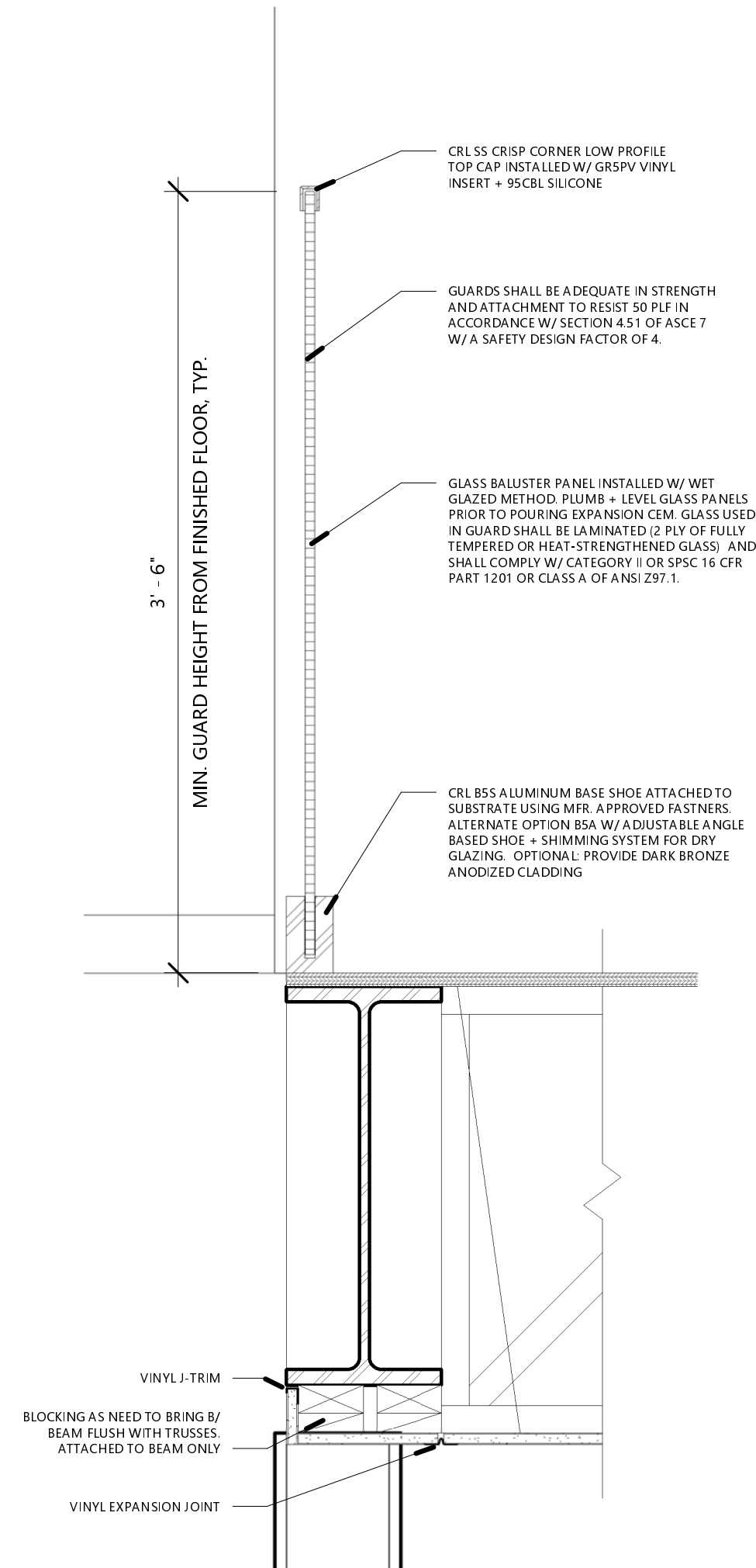
4
A5.10
DETAIL SECTION - ROOF MEMBRANE @ SHINGLE ROOF
1 1/2" = 1'-0"



3
A5.10
DETAIL SECTION - LOW SLOPE ROOF @ EXTG WALL
1 1/2" = 1'-0"



2
A5.10
DETAIL SECTION - CABLE GUARDRAIL
1 1/2" = 1'-0"



1
A5.10
DETAIL SECTION - GLASS GUARDRAIL
1 1/2" = 1'-0"

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POWELL, OHIO 43065

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SHEET TITLE
**DETAIL
SECTIONS**

SHEET NO.

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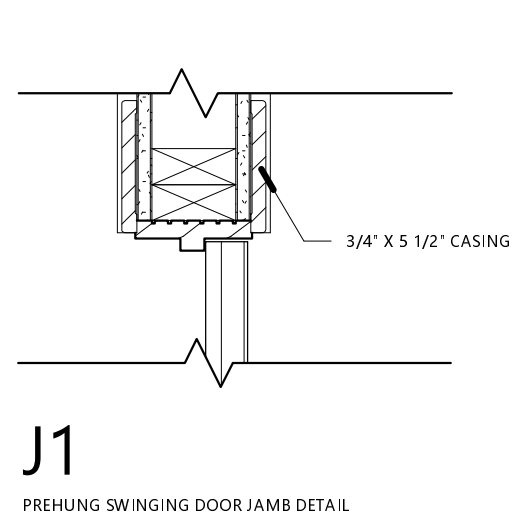
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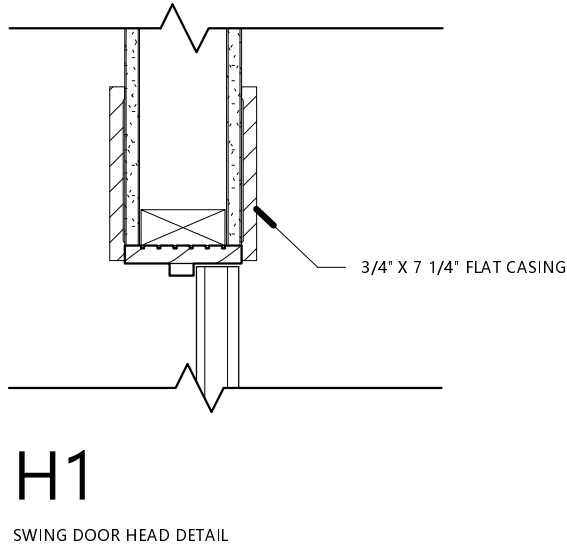
DOOR SCHEDULE														
OPENING		DIMENSIONS			DOOR		FRAME		DETAILS				FIRE	
DOOR NO	LOCATION	W	H	THK	TYPE	MTRL	GLAZING TYPE	MTRL	HEAD	JAMB	SILL	HDWR	RATING	COMMENTS
NEW CONSTRUCTION														
ENTRY LEVEL														
001A	BASEMENT ACCESS	2' - 10"	6' - 8"	1 3/8"	11	WD						6	45 MIN	
100	ENTRY	2' - 9 1/16"	6' - 11 19/64"	1 3/4"	1	WD	SG	HM				1		
106B	RR 2	3' - 0"	8' - 0"	1 3/8"	3	WD	SG	WD				4		
106C	RR 3	3' - 0"	8' - 0"	1 3/8"	3	WD	SG	WD				4		
111	GARDEN ACCESS PATIO	3' - 0"	8' - 0"	1 3/8"	6	HM	SG	HM				2		GARDEN ACCESS
EXTG. BASEMENT														
003	BASEMENT ACCESS	3' - 0"	6' - 8"	1 3/8"	4	WD						3	90 MIN	
004	COCKTAIL KITCHEN	3' - 0"	6' - 8"	1 3/8"	4	WD								
005	COCKTAIL KITCHEN	3' - 0"	6' - 8"	1 3/8"	4	WD								
103		3' - 0"	8' - 0"	1 3/8"	6	HM	SG	HM				2		
106		3' - 0"	7' - 0"	1 3/8"	25	HM	SG	HM				2		
120	MAIN SEATING AREA	0"	0"		4									
123	CONCIERGE	3' - 0"	8' - 0"	1 3/8"	2	WD		STEEL				5		CUSTOM LEATHER UPHOLSTRY FINISH
EXTG. LEVEL 1														
112	LANDING	3' - 0"	6' - 8"	1 3/8"	4	WD						3	90 MIN	
117	STORAGE	2' - 6"	6' - 8"	1 3/8"	5	WD						5		DOOR TO MATCH EXTG. ORIGINAL INTERIOR DOORS
128	LANDING	0"	0"		13							5		
MEZZANINE														
124	MEZZANINE	2' - 8"	6' - 8"	1 3/8"	4	WD								
126		3' - 0"	3' - 0"	1 3/8"	24	WD								
129	MEZZANINE	3' - 0"	3' - 0"	1 3/8"	24	WD								
EXTG. LEVEL 2														
202	RR 5	2' - 6"	5' - 10"	1 3/8"	5	WD						4		

GENERAL DOOR NOTES

- PROVIDE 3/8" MIN SILICONE SEALANT AT EXTERIOR DOOR JAMBS & HEADS.
- MEANS OF EGRESS DOOR SHALL NOT REQUIRE USE OF A KEY, TOOL, OR SPECIAL KNOWLEDGE FOR OPERATION.
- THE MAX. FORCE FOR PUSHING OR PULLING INTERIOR EGRESS DOORS TO BE 5 LBS. FOR OTHER DOORS, THE FORCE REQ'D TO DISENGAGE THE DOOR LATCH SHALL BE 15 LBS. AND THE FORCE REQ'D TO SET THE DOOR IN MOTION SHALL BE 30 LBS.
- ALL ORIGINAL MORTISED DOOR HARDWARE TO REMAIN INCLUDING ORIGINAL DOOR KNOBS.
- DOOR HARDWARE SUBCONTRACTOR TO COORDINATE KEYING.
 - ALL EXTERIOR DOOR HARDWARE TO BE KEYED ALIKE
 - ALL INTERIOR DOOR HARDWARE TO BE KEYED ALIKE EXCEPT AS NOTED.
- NEW EXTERIOR ENTRY DOOR 100 AND INTERIOR ENTRY DOOR 101 TO BE OPERATED WITH ELECTRIC DOOR LOCKS. COORDINATE WITH TENANT SECURITY SUBCONTRACTOR AS REQ'D. ELECTRIFIED DOOR HARDWARE SHALL BE LISTED AND LABELED AS DEFINED IN NFPA 70, BY A QUALIFIED TESTING AGENCY, AND MARKED FOR INTENDED LOCATION AND APPLICATION.
 - PROVIDE SENSOR RELEASE OF ELECTRICALLY LOCKED EGRESS DOOR(S)
 - THE SENSOR SHALL BE INSTALLED ON THE EGRESS SIDE AND ARRANGED TO DETECT AN OCCUPANT APPROACHING THE DOOR. THE DOOR SHALL BE ARRANGED TO UNLOCK BY A SIGNAL FROM OR LOSS OF POWER.
 - THE LOSS OF POWER TO THE LOCK OR LOCKING SYSTEM SHALL AUTOMATICALLY UNLOCK THE DOOR.
 - THE DOOR SHALL BE ARRANGED TO UNLOCK FROM A MANUAL UNLOCKING DEVICE LOCATED 40" MIN. TO 48" MAX. VERTICALLY A.F.F. READY ACCESS SHALL BE PROVIDED TO THE MANUAL UNLOCKING DEVICE AND THE DEVICE SHALL BE CLEARLY IDENTIFIED BY A SIGN THAT READS "PUSH TO EXIT". WHEN OPERATED, THE MANUAL UNLOCKING DEVICE SHALL RESULT IN DIRECT INTERRUPTION OF POWER TO THE LOCK - INDEPENDENT OF OTHER ELECTRONICS - AND THE DOOR SHALL REMAIN UNLOCKED FOR NOT LESS THAN 30 SECONDS.
 - ACTIVATION OF THE BUILDING FIRE ALARM SYSTEM SHALL AUTOMATICALLY UNLOCK THE DOOR AND THE DOOR SHALL REMAIN UNLOCKED UNTIL THE FIRE ALARM SYSTEM HAS BEEN RESET.
 - THE DOOR LOCKING SYSTEM UNITS SHALL BE LISTED IN ACCORDANCE WITH UL 294.
- ALL EXTERIOR DOOR HARDWARE TO BE GRADE 1, SS BY SCHLAGE.
- ALL NEW INTERIOR DOOR HARDWARE TO BE DEXTER SOLSTICE BY SHLAGE IN AGED BRONZE
- DOOR HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES SHALL BE INSTALLED 34" MIN. AND 48" MAX. A.F.F.

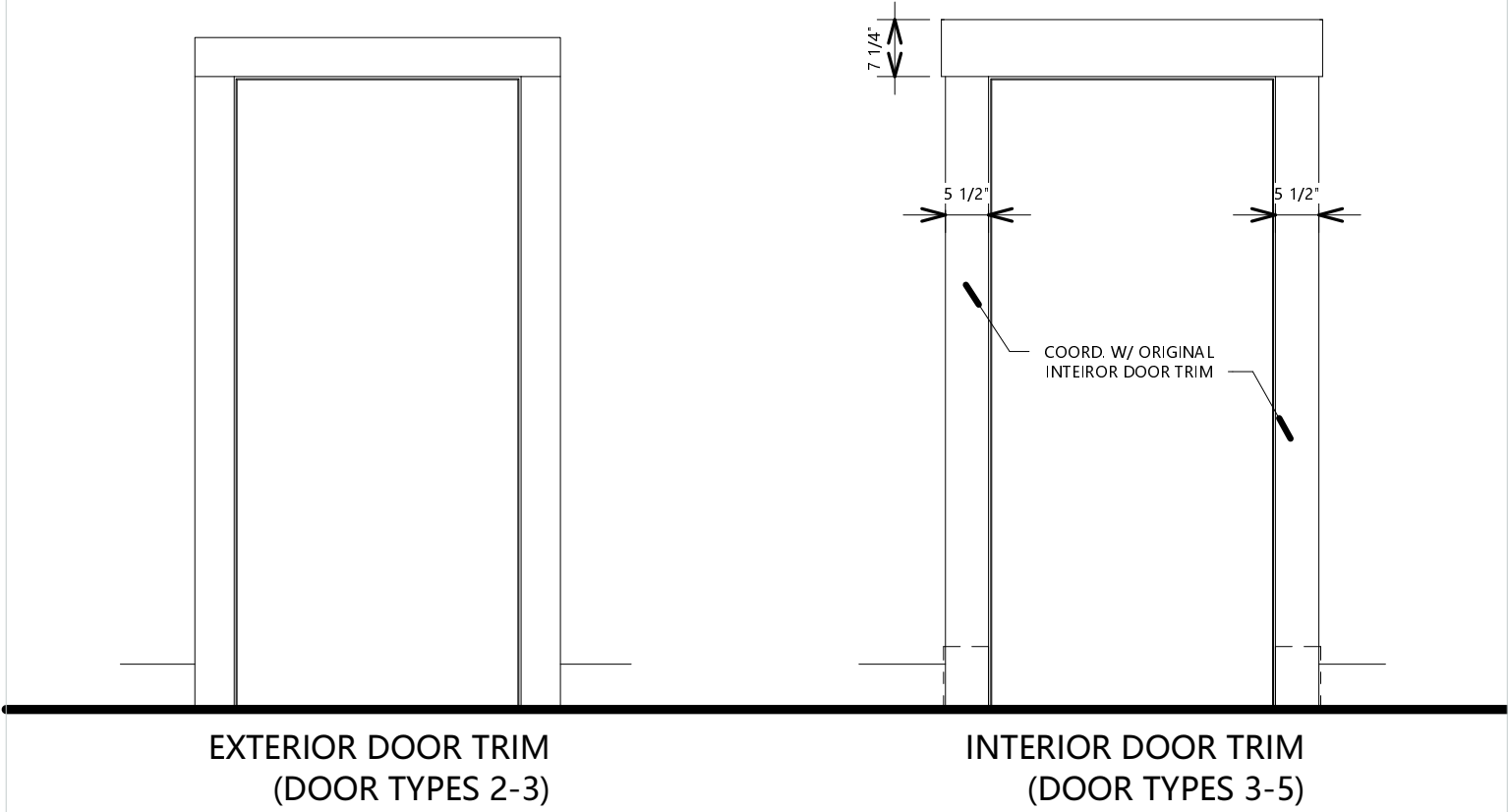


2 TYPICAL JAMB DETAILS
1 1/2" = 1'-0"

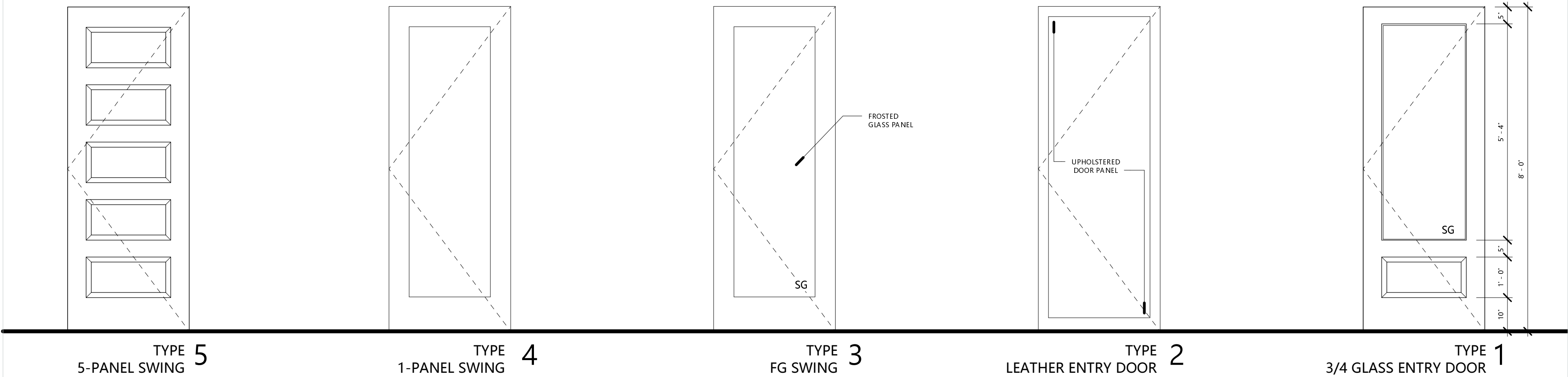


1 TYPICAL HEAD DETAILS
1 1/2" = 1'-0"

TRIM TYPE LEGEND



DOOR TYPE LEGEND



SG = SAFETY GLASS

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ISSUE FINAL P&Z APPLICATION

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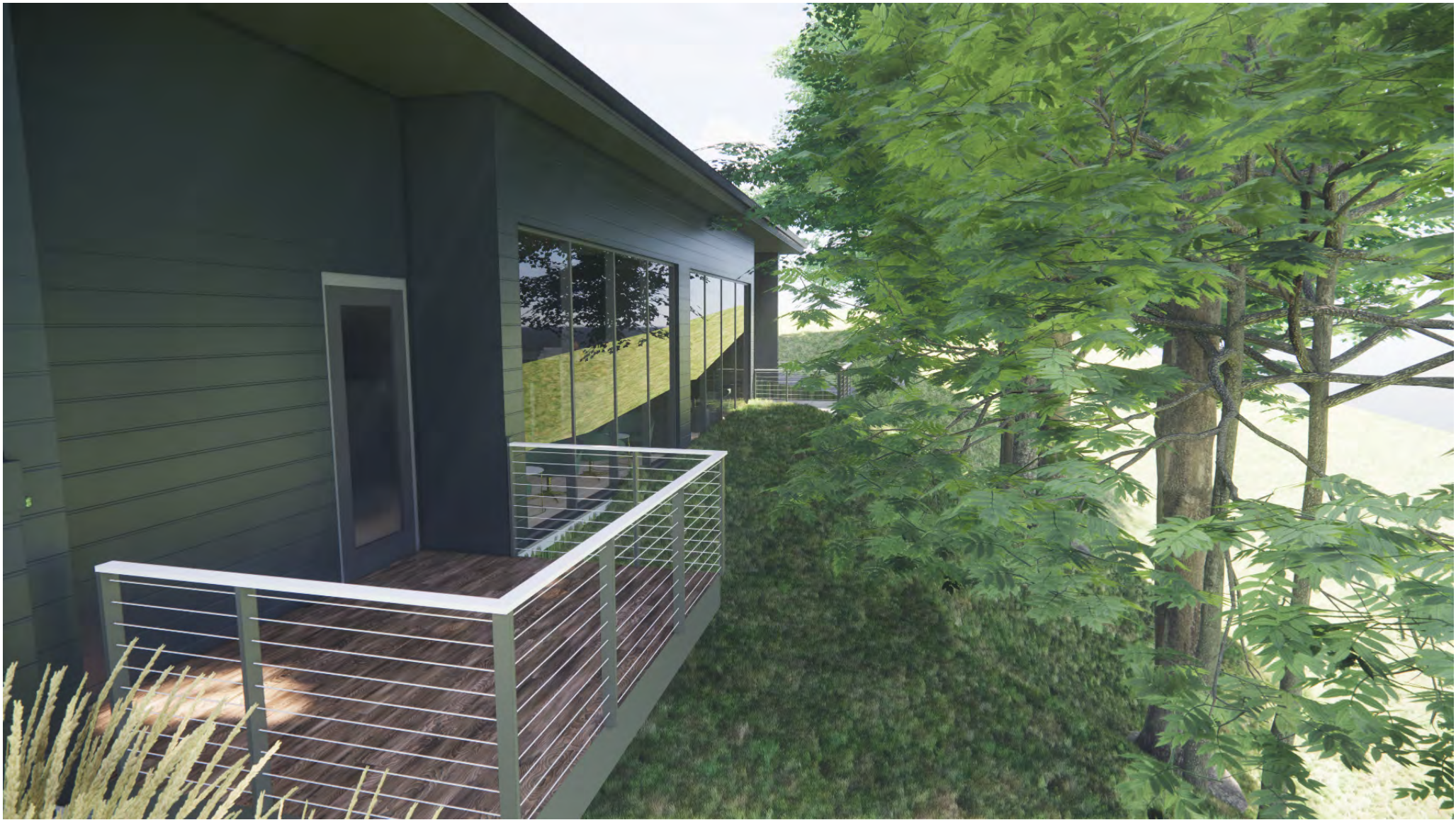
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DOOR SCHEDULE
+ DETAILS

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RENDERINGS	

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A8.00
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EXTERIOR LIGHTING



PATH LIGHTING



FEATURE WALL
SCONCE

EXISTING HOUSE
GLAZED BLOCK WALL



SHERWIN WILLIAMS
INKWELL



CABLE RAILING



DARK BRONZE
STOREFRONT ALUMINUM



8" FIBER CEMENT CLAPBOARD SIDING



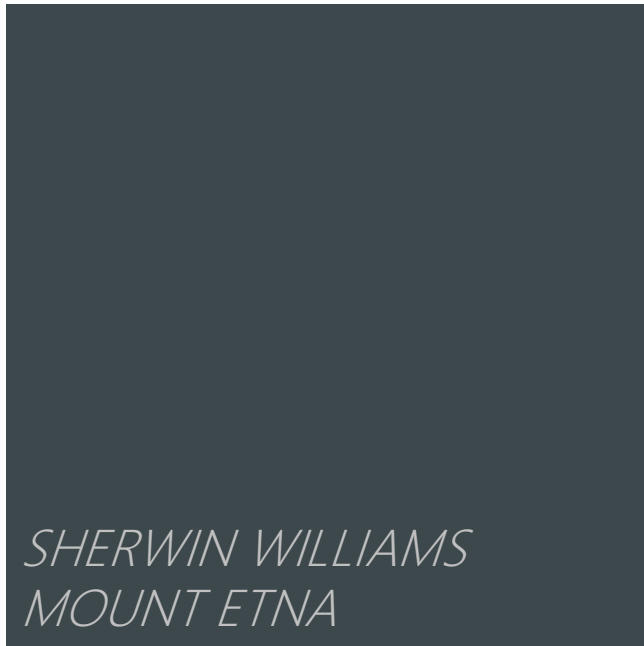
TIMBERTECH DECKING
ENGLISH WALNUT



DIMENSIONAL ROOF SHINGLE



SHERWIN WILLIAMS
DARK NIGHT



SHERWIN WILLIAMS
MOUNT ETNA

MATERIAL PALETTE

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SHEET TITLE
**MATERIAL
PALETTE**

SHEET NO.
A8.02

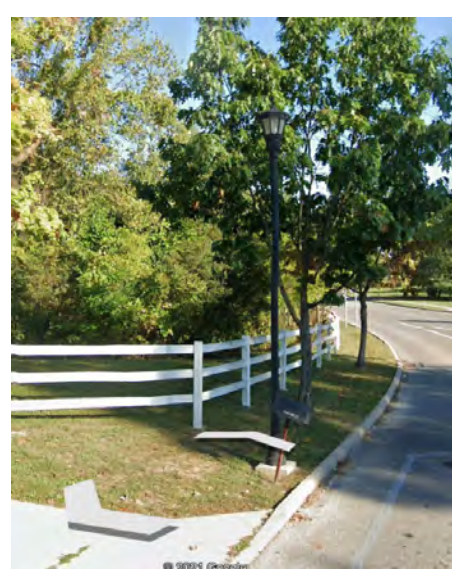
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1 SITE LIGHTING
A8.03 1" = 10'-0"



TRAFFIC LIGHT POST



LIGHT POST



FEATURE WALL SCONCE
A, F



PATH LIGHTING
B

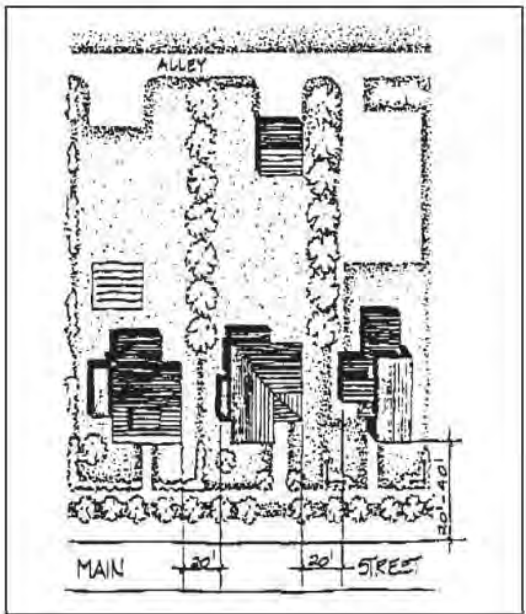


FEATURE CHANDELIER IN
VESTIBULE, D

POWELL ARCHITECTURAL GUIDELINES
LIGHTING

Setbacks

Most buildings in Powell are set back approximately 20 to 40 feet from the road with modest front lawns. The exceptions are the commercial buildings at the corner of Olentangy and Liberty Streets, which are built right up to their property lines at the sidewalks. Rear yards are generally long and narrow. Residential buildings on adjacent lots throughout the City are set approximately 20 feet apart from each other at their sides. New construction should follow the setback lines appropriate to its location and purpose.



Colonial style "coach lights" are not appropriate in the Historic District. These types belong to an earlier historical period, and generally belong on coaches.

Lighting

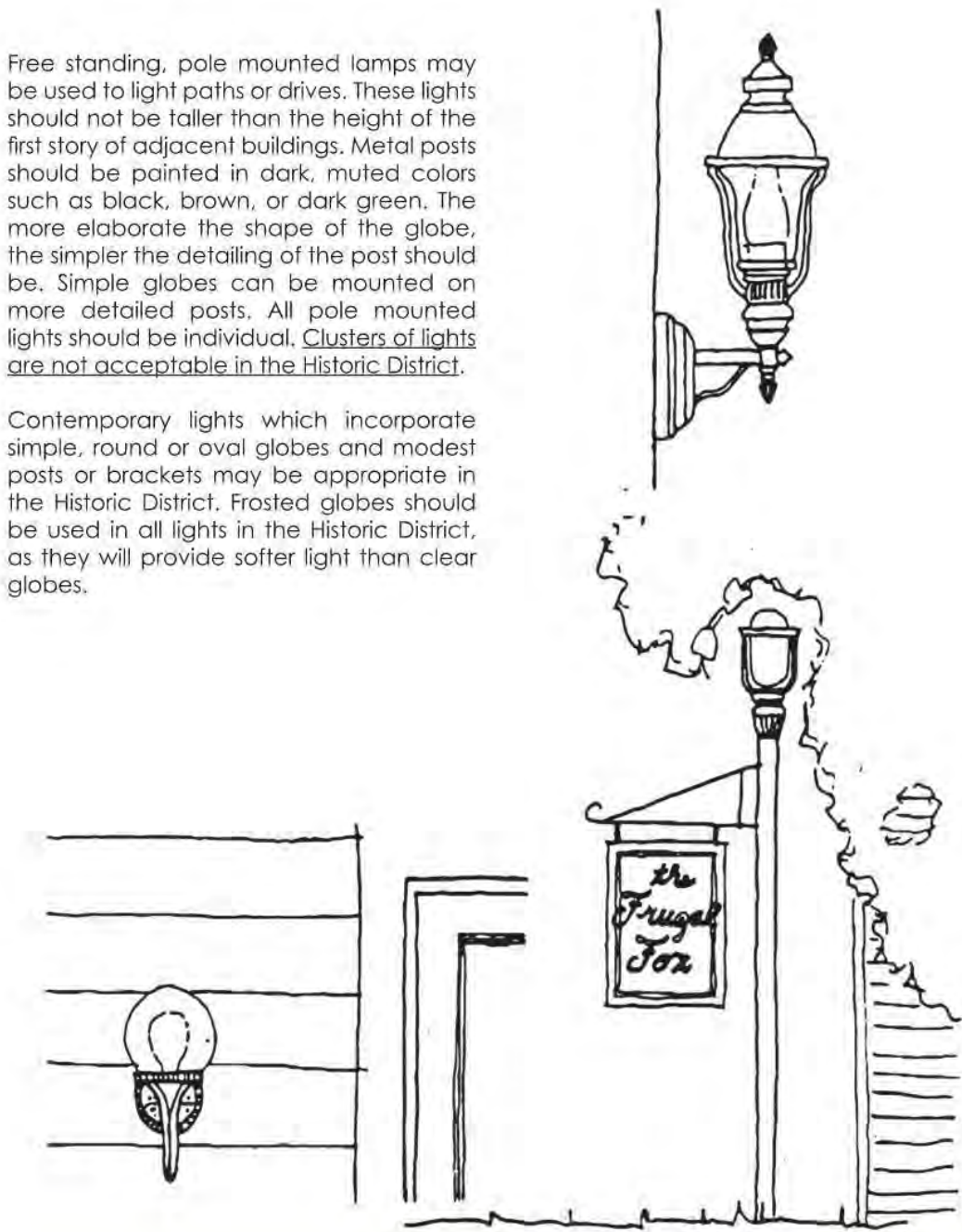
One of the charms of rural areas is the complete darkness of nightfall away from the 24 hour light of the city. However, proper lighting fixtures can increase the safety of Powell, and may become more necessary as development continues. Exterior lighting in the Historic District should be incandescent, and low in wattage. Entrance lights and individual free standing path lights are acceptable. Lighting fixtures should be simple Victorian or turn of the century in design, with round or egg-shaped globes on metal posts with minimal detailing.

Site Considerations

13

Free standing, pole mounted lamps may be used to light paths or drives. These lights should not be taller than the height of the first story of adjacent buildings. Metal posts should be painted in dark, muted colors such as black, brown, or dark green. The more elaborate the shape of the globe, the simpler the detailing of the post should be. Simple globes can be mounted on more detailed posts. All pole mounted lights should be individual. Clusters of lights are not acceptable in the Historic District.

Contemporary lights which incorporate simple, round or oval globes and modest posts or brackets may be appropriate in the Historic District. Frosted globes should be used in all lights in the Historic District, as they will provide softer light than clear globes.



Site Considerations

14

SITE LIGHTING

- A FEATURE WALL SCONCE
- B PATH LIGHTING
- C RECESSED EXTERIOR CAN LIGHT IN AWNING
- D FEATURE HANGING CHANDELIER
- E RECESS EXTERIOR CAN LIGHTS IN DECK OVERHANGS
- F FEATURE WALL SCONCE

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TYPICAL WINDOW IN
EXISTING HOUSE



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**80 E
OLENTANGY**
POWELL, OHIO 43065

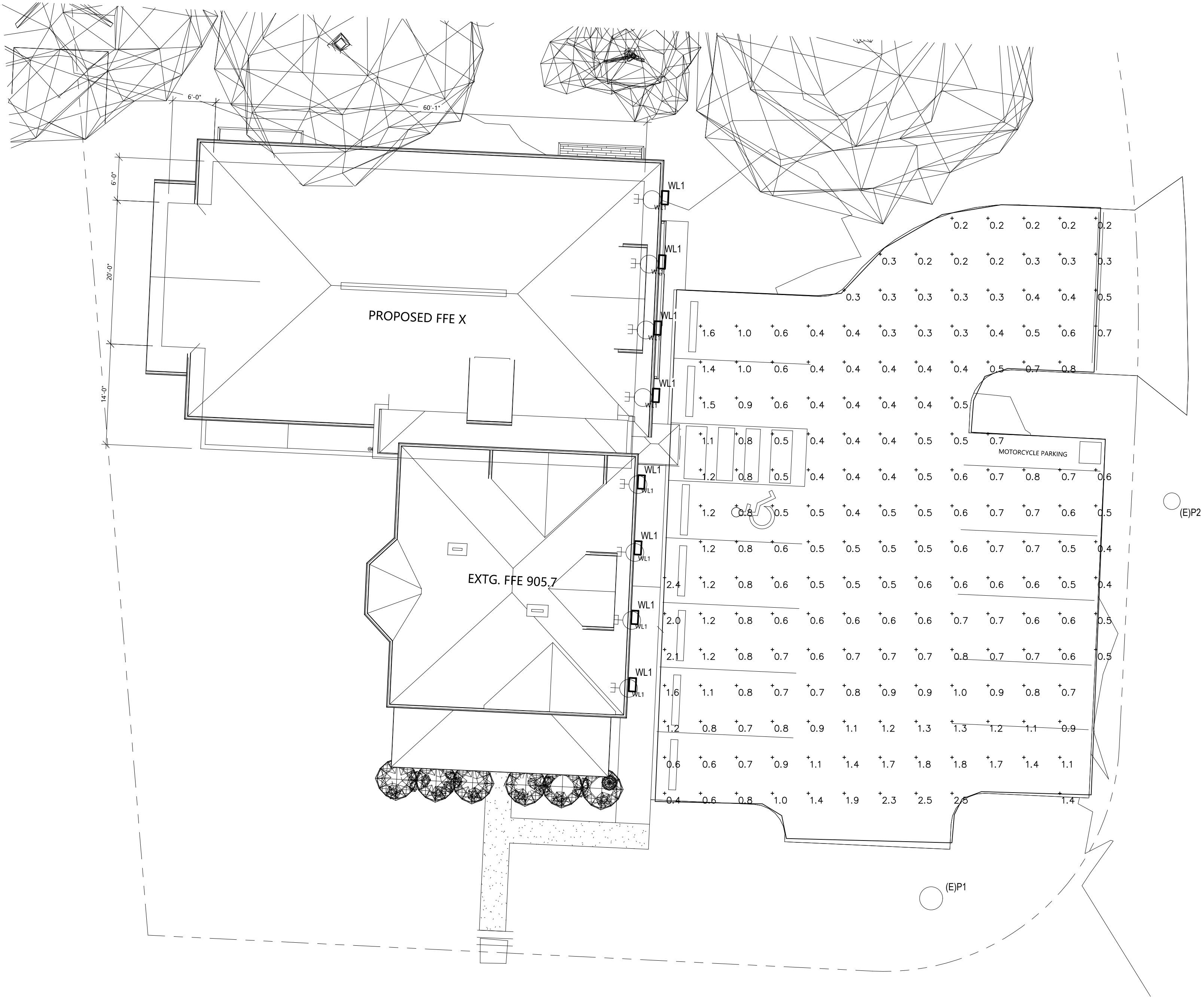
PROJECT NO. SJM_2010
ISSUE FINAL P&Z APPLICATION
ISSUE DATE 05.05.2021

SHEET TITLE
**EXISTING
IMAGES**

SHEET NO.
A8.04
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Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
PARKING LOT	+	0.8 fc	2.5 fc	0.2 fc	12.5:1	4.0:1

LIGHTING FIXTURE SCHEDULE					
MARK	DESCRIPTION	VOLT	LAMP	MOUNT	MANUFACTURER
(E) P1	POLE MOUNTED OUTDOOR PENDANT WITH LED BULB (OWNED BY CITY OF POWELL)	EXIST.	EXIST. 60W LED BULB, 7600 LUM (APPROX.)	MOUNTED TO EXISTING POLE 16' (APPROX.)	EXISTING TO REMAIN
(E) P2	POST TOP LANTERN WITH LED BULB (OWNED BY CITY OF POWELL)	EXIST.	EXIST. 60W LED BULB, 7600 LUM (APPROX.)	MOUNTED TO EXISTING POLE 14' (APPROX.)	EXISTING TO REMAIN
WL1	EXTERIOR WALL PACK	120	60 W INC. 800 LUM (APPROX.) 4000 K	WALL MOUNT @8'-0" A.F.F.	SHADES OF LIGHT #OL20023



SITE PHOTOMETRIC PLAN

SCALE: 1" = 10'-0"



Russell Tree Experts Ltd · 3427 E Dublin Granville Rd Westerville, Ohio 43081 · 614-895-7000 · RussellTreeExperts.com

Customer:

Gretchen Bonasera
80 East Olentangy St.
Powell, OH 43065
614.477.8030

Arborist:



José Fernández
Regional Manager, Russell Tree Experts
ISA Board Certified Master Arborist®
OH-5129B
Jose@RussellTreeExperts.com
614-586-5777

April 7, 2021

Dear Gretchen,

I am pleased to submit my report for the tree inventory at the above address. As stated in Proposal #54617, work completed was to be:

- 1. Locate trees within 12 feet from the perimeter of the new structure that have a trunk diameter of six inches or greater... that cannot be preserved in their current location and condition.*
- 2. Advise on whether or not these trees can be relocated.*
- 3. Note other trees on site that are recommended as removals due to damage, disease or inappropriate or undesirable species.*

The documents in this packet include this letter, one Excel spreadsheet with tree tabulation, and one .pdf of the site plan with my marked-in tree canopy footprint for each tree. All trees inventoried are at least 6 inches in diameter as measured at 24" above grade per your instructions when we met on site yesterday.

Trees were graded as Dead, Poor, Fair, Good. Items considered during grading were tree canopy health, degree of lean, presence of structural flaws, overall tree vigor. A tree graded as Poor would be considered to not be offering much landscape value and is

likely not going to have a long-term presence at the site regardless of human intervention.

Results:

1. There were a total of 22 trees in or within 12 feet of the proposed construction zone as currently shown on the site plan.
These trees are highlighted in red on the spreadsheet and written onto the site plan in red ink.
Of these 22 trees, 8 were graded as Poor. Tree numbers 1, 13, 18, 21, 25, 26, 28, 30.
2. None of these 22 trees are considered good candidates for relocation with a good chance of survival.
3. Within the size specification, there were 17 trees on the site that are more than 12 feet away from proposed construction zones.
These trees are written onto the site plan with green ink.
Of these 17 trees, 2 were graded as Dead or Poor. Tree numbers 5, 14.
Removal of these trees is a matter of personal choice.

Final observations:

1. Norway maple is a prominent tree at this site. 7 of the 22 trees within the proposed construction zone are of this species. 5 of the remaining 17 trees are of this species. Norway maple is a foreign species of tree that has naturalized. Currently the Ohio Invasive Plants Council designates this tree species as "Potentially invasive". This means that currently it is not considered invasive but its status could change if its invasiveness score increases.

(<https://www.oipc.info/assessment-results.html>).
2. There are some other trees and shrubs that are considered invasive, such as honeysuckle and Callery pear. All of these were less than 6 inches in diameter so I did not include them in my inventory. If desired, Walter Reins can include these in a removal quote as part of the site preparation when the time comes. Once you are ready to proceed with the removal plan, please contact me and I will share this report with Walter so he can provide a quote.

Thank you for using Russell Tree Experts Consulting Services. Please feel free to call me directly if you wish to discuss this project further or even to meet on site if needed. Also, I can provide more information if you determine that is needed.

Sincerely,



José Fernández
Regional Manager, Russell Tree Experts
ISA Board Certified Master Arborist® OH-5129B
Jose@RussellTreeExperts.com
614-586-5777

80 E Olentangy Tree Survey Schedule

April 7, 2021

Number	Species	Common name	Condition	Within 12 feet?	Remove?	Notes
1	<i>Acer platanoides</i>	Norway maple	Poor	Y	Y	Hollow/decayed trunk
2	<i>Carya ovata</i>	Shagbark hickory	Good	N	N	
3	<i>Acer platanoides</i>	Norway maple	Fair	N	N	
4	<i>Acer platanoides</i>	Norway maple	Fair	N	N	
5	<i>Acer saccharum</i>	Sugar maple	Dead	N	?	Remove if desired. Currently providing habitat for woodpeckers.
6	<i>Celtis occidentalis</i>	Hackberry	Good	Y	Y	
7	<i>Celtis occidentalis</i>	Hackberry	Good	Y	Y	
8	<i>Celtis occidentalis</i>	Hackberry	Good	Y	Y	
9	<i>Juglans nigra</i>	Black walnut	Good	Y	Y	
10	<i>Celtis occidentalis</i>	Hackberry	Good	N	N	
11	<i>Acer platanoides</i>	Norway maple	Fair	N	N	
12	<i>Acer platanoides</i>	Norway maple	Fair	N	N	
13	<i>Acer platanoides</i>	Norway maple	Poor	Y	Y	
14	<i>Acer saccharum</i>	Sugar maple	Poor	N	?	Remove if desired. Nearly dead. Can leave as erosion control.
15	<i>Acer saccharum</i>	Sugar maple	Good	N	N	
16	<i>Acer saccharum</i>	Sugar maple	Fair	N	N	
17	<i>Ulmus</i> spp.	Elm	Fair	N	N	
18	<i>Acer platanoides</i>	Norway maple	Poor	Y	Y	
19	<i>Acer platanoides</i>	Norway maple	Good	Y	Y	
20	<i>Acer platanoides</i>	Norway maple	Fair	Y	Y	
21	<i>Acer platanoides</i>	Norway maple	Poor	Y	Y	
22	<i>Acer saccharum</i>	Sugar maple	Fair	Y	Y	
23	<i>Ulmus</i> spp.	Elm	Fair	Y	Y	
24	<i>Acer platanoides</i>	Norway maple	Fair	Y	Y	
25	<i>Acer saccharum</i>	Sugar maple	Poor	Y	Y	
26	<i>Maclura pomifera</i>	Osage orange	Poor	Y	Y	Declining rapidly.
27	<i>Acer saccharum</i>	Sugar maple	Fair	Y	Y	
28	<i>Picea pungens</i> 'Glauca'	Colorado blue spruce	Poor	Y	Y	Nearly dead.
29	<i>Magnolia x soulangeana</i>	Saucer magnolia	Good	Y	Y	
30	<i>Magnolia x soulangeana</i>	Saucer magnolia	Poor	Y	Y	
31	<i>Ginkgo biloba</i>	Ginkgo	Fair	N	N	
32	<i>Prunus serotina</i>	Black cherry	Good	N	N	
33	<i>Acer platanoides</i>	Norway maple	Fair	N	N	
34	<i>Juglans nigra</i>	Black walnut	Good	N	N	
35	<i>Acer saccharum</i>	Sugar maple	Fair	N	N	Multiple codominant stems.
36	<i>Quercus</i> spp.	Oak	Fair	N	N	Street tree
37	<i>Quercus</i> spp.	Oak	Fair	Y	Y	Street tree
38	<i>Quercus</i> spp.	Oak	Fair	Y	Y	Street tree
39	<i>Quercus</i> spp.	Oak	Fair	Y	Y	Street tree

Station 321
Administrative Offices
7761 Liberty Road
Powell, Ohio 43065
(740) 938-2021
(740) 938-2031 Fax

Liberty Township

Fire Department

Thomas J. O'Brien, EFO/CFO/MBA/MIFireE
Fire Chief

Station 322
Fire Prevention Bureau
10150 Sawmill Parkway
Powell, Ohio 43065
(740) 938-2022
(740) 938-2032 Fax

04/23/2021

Ms. Gretchen Bonasera
4200 Macduff Way
Dublin Ohio, 43016

Regarding: Serviceability request for The Venery: 80 E. Olentangy St. located in Powell / Liberty Township, Delaware County

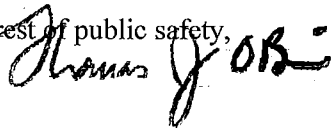
Ms. Bonasera,

There is adequate water supply and The Liberty Township Fire Department can provide fire service to the following parcel in Powell / Liberty Township, Delaware County Ohio; this parcel is within 1.6 miles of the Liberty Township Fire station that is located at 10150 Sawmill Parkway Powell, Ohio 43065.

Delaware County Parcel # 319-425-13-051-002

If you should have any questions please contact me.

In the interest of public safety,



Thomas J. O'Brien, EFO/CFO/MBA/MIFir
Fire Chief
Liberty Township Fire Department #21-117

Cc: Lt. Tom Saunders

Liberty Township Fire Department



Email Letter

To: Gretchen Bonasera
Email: gretchen@goodnightinvestments.com
From: Lt. Tom Saunders
Date: April 23, 2021
Re: 80 E. Olentangy St.

Ms. Bonasera,

I have reviewed the submitted site plans dated April 21, 2021 for the above development and find the turning radius and fire hydrant locations meet the intent of the Liberty Twp. Fire Code sections 503.2.4. and 507.3.

Can the proposed concrete island at the drive entrance be removed or constructed with a mountable or soft curb to provide easier access for our ladder truck in the event of an emergency.

If you have any questions regarding this review, please contact me at 740-938-2027

This review may be subject to additional zoning requirements.

Lt. Tom Saunders

Cc/file, delco, zoning

CHANDELIERS	CEILING LIGHTS	FANS	WALL LIGHTS	LAMPS & SHADES	OUTDOOR LIGHTS	RUGS	HOME DECOR	INSPIRATION	NEW ARRIVALS
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VERITAS
OUTDOOR
WALL LIGHT -
SMALL

SKU OL20023

\$158.00

• In stock and ready to ship

Qty 1

ADD TO CART

+ Add to Wish List

Description

Adorn your outdoors with a piece from our Veritas Collection. Offered in a range of sizes, these mid-century fixtures are structured with textured black hardware and center globe shade. Stylish and functional, these glowing components will make your home stand-out on the block.

- **Actual Size:** 18.75"Hx6"Wx8"D
- **Backplate/Canopy Size:** 18.75"Hx5"W Rectangular
- **Bulb Base:** US Candelabra-E12
- **Bulb Included:** No
- **Color:** Black / Opal Glass

- **Indoor-Outdoor:** Yes
- **Limited Warranty:** 1 Year
- **Material:** Aluminum, Glass
- **Max Bulb Wattage:** 60
- **Number of Lights:** 1
- **Safety Rating:** Wet

California Residents See PROP 65 WARNINGS ▾

Reviews



EXPAND +

4.0 / 5 • 1 reviews

SHOP COLLECTION

VIEW ALL



VERITAS OUTDOOR
WALL LIGHT -
MEDIUM

\$218.00



VERITAS OUTDOOR
WALL LIGHT -
LARGE

\$338.00

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