

Gretchen Bonasera, member Goodnight Investments, LLC
80 E Olentangy Street, Powell Ohio 43065

Projected Membership Attendance & Parking Plan for our 192 Members

We plan to have 23 total spaces. Our 12 plus the 11 at the Historical society and then the Powell Center can be a backup plan as needed once we are open and have a better idea what are actual parking needs are.

Our pro forma projects a peak attendance of 66 guests at the busiest time on Saturday evening. Membership Growth Curve will smooth out “new establishment rush”

Active Membership Growth - limited access to stagger opening rush																		
	preview	1st month	2nd month	3rd month	4th month	5th month	6th month	7th month	8th month	Membership capped								
Total # of members	25	50	75	100	120	140	160	180	192									
Access will be restricted to these numbers in order of application received to ensure elevated guest experience																		
Projected Total Number of guests on-site at any given time - Based on average guest visit of 2 hours **Note - there will be no dinner service, only snacks to accompany responsible drinking, so we forecast two peak times both before heading to another Powell Restaurant for dinner and after**																		
																Total number of guests that evening	Additional Staff per evening at one time	
	4pm		5pm		6pm		7pm		8pm		9pm		10pm					
M	~~~~~closed~~~~~																	
T		2	2	7	7	10	15	10	10	5						17	3	
W		4	8	13	13	21	17	12	12							25	3	
R	5	7	11	21	26	32	28	22	20	12	12	8				51	4	
F	8	12	24	34	46	52	40	30	22	26	40	40	28	14		104	6	
S	8	20	32	52	60	64	52	32	36	38	52	66	46	14		143	6	
S	4	8	18	24	32	34	24	18	6							42	3	
										Total Guests for the week						382		

Giving our members room to spread out in certain areas of the club is key to our vision. Attendance will be reservation only. The purpose for these limits is to maximize our guests overall experience while at the club. The attendance of 380 visits per week was established on our pro forma by calculating the number of times our average member would attend each month versus our frequent flyers and our low attendance members.

Preliminary Terms of Parking Leases in addition to our 12 spaces:

- Powell Historical Society... 11 of the 12 spots in that lot are available for use during our business hours at an agreed upon price (minus one weekend each year when they host their retreat weekend). This lease we drafted was just returned to us from their lawyer and we are close to signing.
- Powell Center... have agreed upon preliminary structure of lease and pricing to include 5 spaces as employee parking every night and up to 20 spaces during busier times.

Gretchen Bonasera, member Goodnight Investments, LLC
80 E Olentangy Street, Powell Ohio 43065

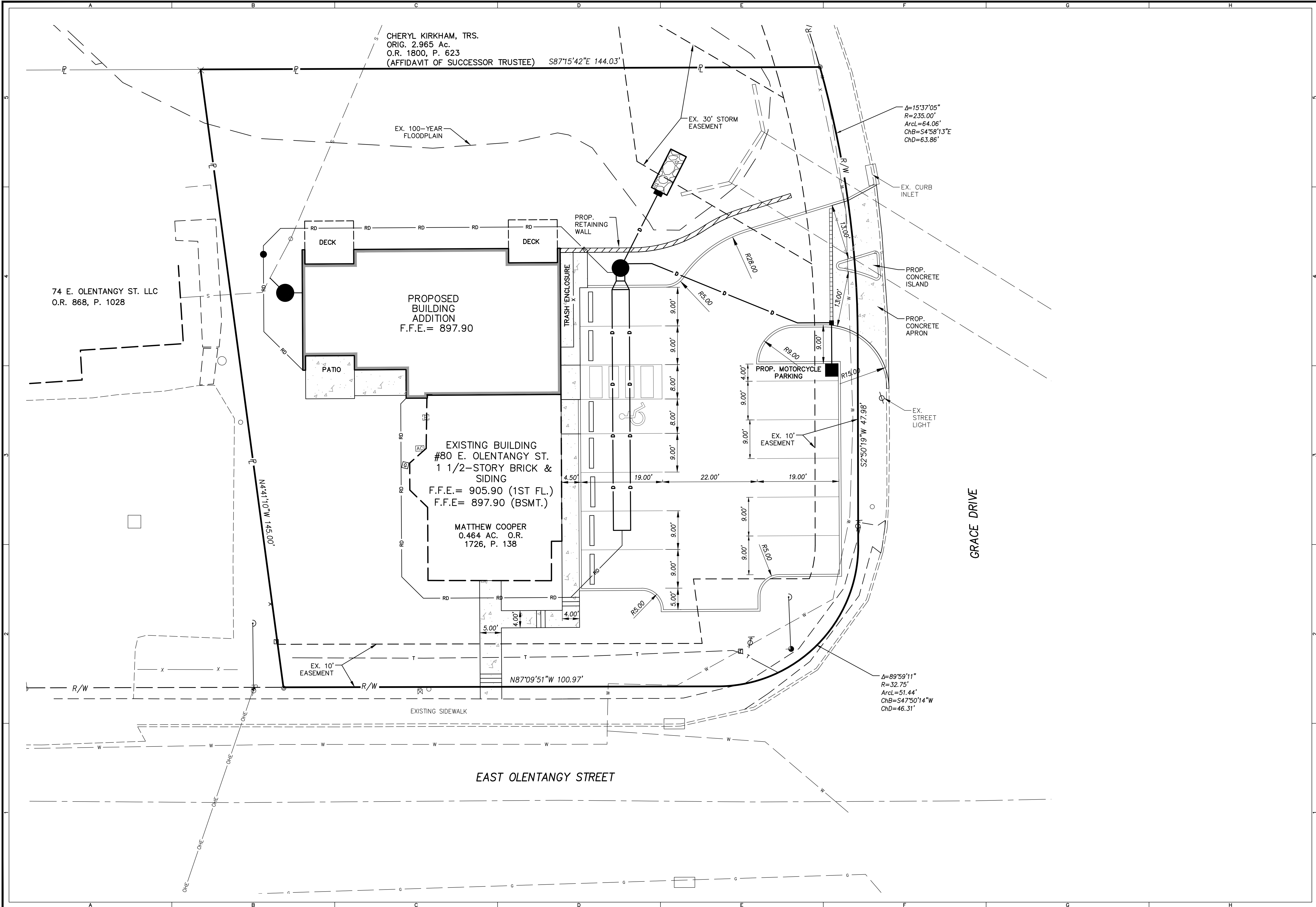
Projected Membership Attendance & Parking Plan for our 192 Members

Note Our target membership are those living in the immediate Powell area that is only a \$10 Uber/Lyft ride from home, so that our members can imbibe responsibly. This will also alleviate pressure on our parking situation.

We are happy to have a right in / right out signage plan in place per Chris's suggestion, but would prefer to have it limited to rush hour (same limited hours as other turn restrictions in Downtown Powell).



SHEET NO.: 2/3





Russell Tree Experts Ltd · 3427 E Dublin Granville Rd Westerville, Ohio 43081 · 614-895-7000 · RussellTreeExperts.com

Customer:

Gretchen Bonasera
80 East Olentangy St.
Powell, OH 43065
614.477.8030

Arborist:



José Fernández
Regional Manager, Russell Tree Experts
ISA Board Certified Master Arborist®
OH-5129B
Jose@RussellTreeExperts.com
614-586-5777

April 7, 2021

Dear Gretchen,

I am pleased to submit my report for the tree inventory at the above address. As stated in Proposal #54617, work completed was to be:

- 1. Locate trees within 12 feet from the perimeter of the new structure that have a trunk diameter of six inches or greater... that cannot be preserved in their current location and condition.*
- 2. Advise on whether or not these trees can be relocated.*
- 3. Note other trees on site that are recommended as removals due to damage, disease or inappropriate or undesirable species.*

The documents in this packet include this letter, one Excel spreadsheet with tree tabulation, and one .pdf of the site plan with my marked-in tree canopy footprint for each tree. All trees inventoried are at least 6 inches in diameter as measured at 24" above grade per your instructions when we met on site yesterday.

Trees were graded as Dead, Poor, Fair, Good. Items considered during grading were tree canopy health, degree of lean, presence of structural flaws, overall tree vigor. A tree graded as Poor would be considered to not be offering much landscape value and is

likely not going to have a long-term presence at the site regardless of human intervention.

Results:

1. There were a total of 22 trees in or within 12 feet of the proposed construction zone as currently shown on the site plan.
These trees are highlighted in red on the spreadsheet and written onto the site plan in red ink.
Of these 22 trees, 8 were graded as Poor. Tree numbers 1, 13, 18, 21, 25, 26, 28, 30.
2. None of these 22 trees are considered good candidates for relocation with a good chance of survival.
3. Within the size specification, there were 17 trees on the site that are more than 12 feet away from proposed construction zones.
These trees are written onto the site plan with green ink.
Of these 17 trees, 2 were graded as Dead or Poor. Tree numbers 5, 14.
Removal of these trees is a matter of personal choice.

Final observations:

1. Norway maple is a prominent tree at this site. 7 of the 22 trees within the proposed construction zone are of this species. 5 of the remaining 17 trees are of this species. Norway maple is a foreign species of tree that has naturalized. Currently the Ohio Invasive Plants Council designates this tree species as "Potentially invasive". This means that currently it is not considered invasive but its status could change if its invasiveness score increases.

(<https://www.oipc.info/assessment-results.html>).
2. There are some other trees and shrubs that are considered invasive, such as honeysuckle and Callery pear. All of these were less than 6 inches in diameter so I did not include them in my inventory. If desired, Walter Reins can include these in a removal quote as part of the site preparation when the time comes. Once you are ready to proceed with the removal plan, please contact me and I will share this report with Walter so he can provide a quote.

Thank you for using Russell Tree Experts Consulting Services. Please feel free to call me directly if you wish to discuss this project further or even to meet on site if needed. Also, I can provide more information if you determine that is needed.

Sincerely,



José Fernández
Regional Manager, Russell Tree Experts
ISA Board Certified Master Arborist® OH-5129B
Jose@RussellTreeExperts.com
614-586-5777

80 E Olentangy Tree Survey Schedule

April 7, 2021

Number	Species	Common name	Condition	Within 12 feet?	Remove?	Notes
1	<i>Acer platanoides</i>	Norway maple	Poor	Y	Y	Hollow/decayed trunk
2	<i>Carya ovata</i>	Shagbark hickory	Good	N	N	
3	<i>Acer platanoides</i>	Norway maple	Fair	N	N	
4	<i>Acer platanoides</i>	Norway maple	Fair	N	N	
5	<i>Acer saccharum</i>	Sugar maple	Dead	N	?	Remove if desired. Currently providing habitat for woodpeckers.
6	<i>Celtis occidentalis</i>	Hackberry	Good	Y	Y	
7	<i>Celtis occidentalis</i>	Hackberry	Good	Y	Y	
8	<i>Celtis occidentalis</i>	Hackberry	Good	Y	Y	
9	<i>Juglans nigra</i>	Black walnut	Good	Y	Y	
10	<i>Celtis occidentalis</i>	Hackberry	Good	N	N	
11	<i>Acer platanoides</i>	Norway maple	Fair	N	N	
12	<i>Acer platanoides</i>	Norway maple	Fair	N	N	
13	<i>Acer platanoides</i>	Norway maple	Poor	Y	Y	
14	<i>Acer saccharum</i>	Sugar maple	Poor	N	?	Remove if desired. Nearly dead. Can leave as erosion control.
15	<i>Acer saccharum</i>	Sugar maple	Good	N	N	
16	<i>Acer saccharum</i>	Sugar maple	Fair	N	N	
17	<i>Ulmus</i> spp.	Elm	Fair	N	N	
18	<i>Acer platanoides</i>	Norway maple	Poor	Y	Y	
19	<i>Acer platanoides</i>	Norway maple	Good	Y	Y	
20	<i>Acer platanoides</i>	Norway maple	Fair	Y	Y	
21	<i>Acer platanoides</i>	Norway maple	Poor	Y	Y	
22	<i>Acer saccharum</i>	Sugar maple	Fair	Y	Y	
23	<i>Ulmus</i> spp.	Elm	Fair	Y	Y	
24	<i>Acer platanoides</i>	Norway maple	Fair	Y	Y	
25	<i>Acer saccharum</i>	Sugar maple	Poor	Y	Y	
26	<i>Maclura pomifera</i>	Osage orange	Poor	Y	Y	Declining rapidly.
27	<i>Acer saccharum</i>	Sugar maple	Fair	Y	Y	
28	<i>Picea pungens</i> 'Glauca'	Colorado blue spruce	Poor	Y	Y	Nearly dead.
29	<i>Magnolia x soulangeana</i>	Saucer magnolia	Good	Y	Y	
30	<i>Magnolia x soulangeana</i>	Saucer magnolia	Poor	Y	Y	
31	<i>Ginkgo biloba</i>	Ginkgo	Fair	N	N	
32	<i>Prunus serotina</i>	Black cherry	Good	N	N	
33	<i>Acer platanoides</i>	Norway maple	Fair	N	N	
34	<i>Juglans nigra</i>	Black walnut	Good	N	N	
35	<i>Acer saccharum</i>	Sugar maple	Fair	N	N	Multiple codominant stems.
36	<i>Quercus</i> spp.	Oak	Fair	N	N	Street tree
37	<i>Quercus</i> spp.	Oak	Fair	Y	Y	Street tree
38	<i>Quercus</i> spp.	Oak	Fair	Y	Y	Street tree
39	<i>Quercus</i> spp.	Oak	Fair	Y	Y	Street tree



GRAPHIC SCALE
(IN FEET)
1" = 20' R.

IBI

IBI GROUP
803 North High Street
Suite 100, Oak 43205
Tel: 610.818.4500
Fax: 610.818.4502
www.ibigroup.com

1/1/2021

1/1/2021

DEL. COUNTY
CONTRACT DOCUMENT SET
ASSEMBLY DOCUMENT SET

NOT FOR CONSTRUCTION

DELAWARE COUNTY

THE VENERY

90 E. OLENTANGY ST.

POWELL, OH 43065

DESIGN

DRAW

DATE

SCALE

SHEET NO.

DATE

SCALE

SHEET TITLE

1/1

1/1

CHERYL KIRKHAM, TRS.
ORIG. 2.085 AC.
O.R. 1800, P. 1233
(ATTORNEY OF SUCCESSOR TRUSTEE) S87°15'42"E 144.03'

EX. 100'-YEAR
FLOODPLAIN

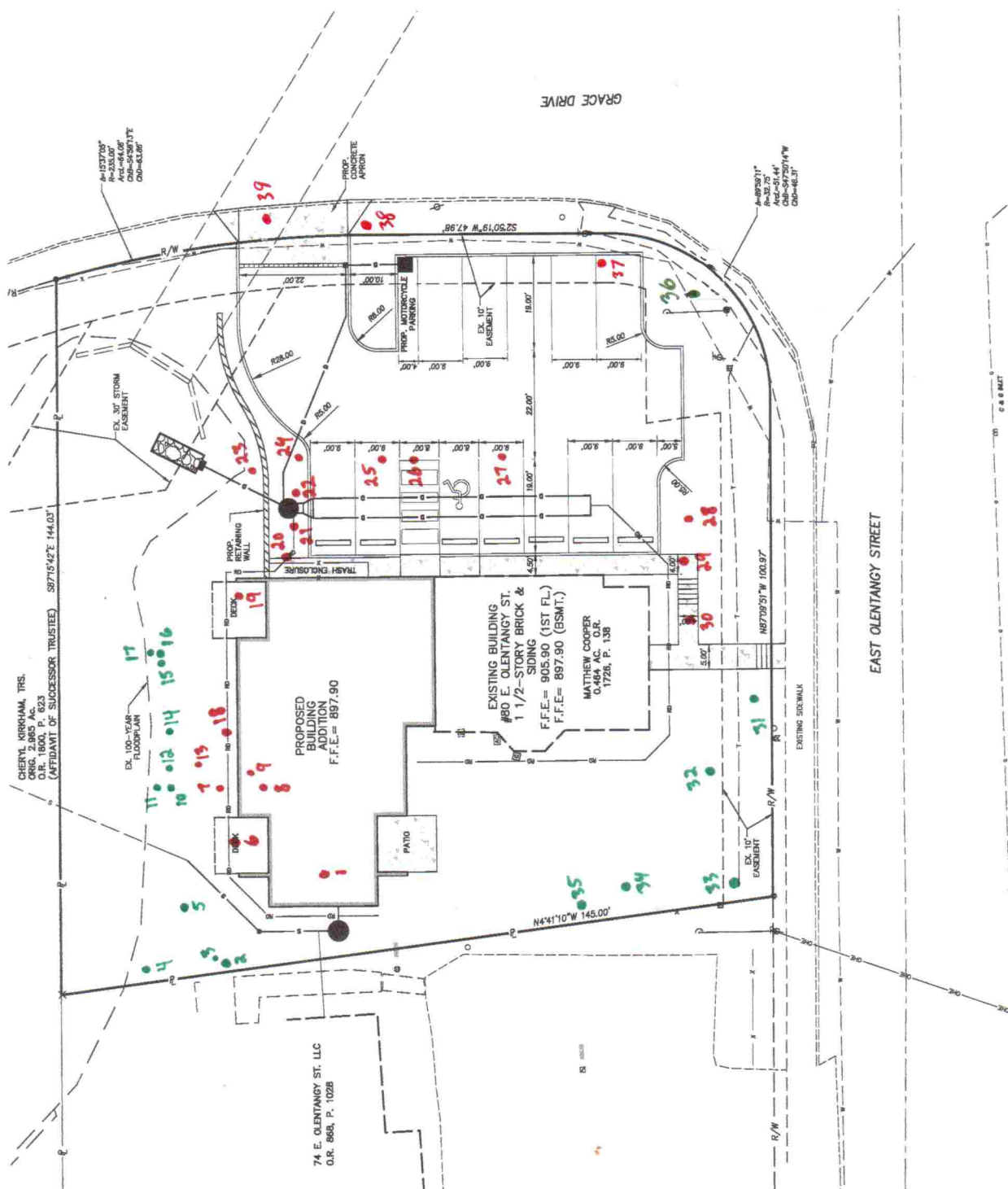
PROPOSED
BUILDING
ADDITION
F.F.E. = 897.90

EXISTING BUILDING
#80 E. OLENTANGY ST.
1 1/2-STORY BRICK &
SIDING
F.F.E. = 905.90 (1ST FL.)
F.F.E. = 897.90 (BSMT.)
MATTHEW COOPER
0.464 AC. O.R.
1726, P. 138

74 E. OLENTANGY ST. LLC
O.R. 866, P. 1028

EAST OLENTANGY STREET

GRACE DRIVE



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4/23/2021 4:42:56 PM

@ = AT
AB = ANCHOR BOLT
A/C = AIR CONDITIONING
ADJ = ADJACENT
AFF = ABOVE FINISHED FLOOR
AFS = ABOVE FINISHED SLAB
ALS = ACRYLIC LATEX SEALANT
ALUM = ALUMINUM
ANOD = ANODIZED
ARA = AREA OF RESCUE ASSISTANCE
AP = ACCESS PANEL
APPROX = APPROXIMATELY
ARCH = ARCHITECT
AS = ACOUSTICAL SEALANT

B/= BOTTOM OF
B/B = BACK TO BACK
BD = BOARD
BFG = BELOW FINISHED GRADE
BLDG = BUILDING
BLK = BLOCK (BLOCKING)
BM = BEAM
BMT = BUTYL MASTIC TAPE SEALANT
BRK = BRICK
BRS = BUTYL RUBBER SEALANT
BRZ = BRONZE
BSMT = BASEMENT
BTW = BETWEEN
BYD = BEYOND

C/C = CENTER TO CENTER
CIP = CAST-IN-PLACE
CEM = CEMENT
CER = CERAMIC
CFL = COUNTERFLASH (ING)
CJ = CONTROL JOINT
CL = CENTER LINE
CLG = CEILING
CLO = CLOSET
CLR = CLEAR OPENING
CMU = CONCRETE MASONRY UNIT
CLEAN OUT
COL = COLUMN
CONC = CONCRETE
CONST = CONSTRUCTION
CONTR - CONTRACTOR
CONT = CONTINUOUS
COORD = COORDINATE
CORR = CORRIDOR
CTP = CARPET
CT = CERAMIC TILE
CTSK = COUNTERSINK
CTR = CENTER
CU = CUBIC

DB = DIRECT BURIAL
DDB = DOUBLE
DD = DECK DRAIN
DIA = DIAMETER
DIFF = DIFFUSER
DIM = DIMENSION
DIR = DIRECTION
DN = DOWN
DR = DOOR
DS = DOWN SPOUT
DTL = DETAIL
DW = DRY WALL
DWG (S) = DRAWING (S)

EA = EACH
EB = EXPANSION BOLT
EC = EXPOSED CONSTRUCTION
EF = EXHAUST FAN
EJ = EXPANSION JOINT
EL = ELEVATOR
ELEC = ELECTRIC
ELEV = ELEVATION
EOS = EDGE OF SLAB
EQ = EQUAL
EQUIP = EQUIPMENT
EXTG = EXISTING
EXT = EXTERIOR

F = FEMALE
FA = FIRE ALARM
FACP = FIRE ALARM CONTROL PANEL
FB = FACE BRICK
F/C = FAN COIL
FD = FLOOR DRAIN
FE = FIRE EXTINGUISHER
FEC = FIRE EXTINGUISHER CABINET
FF = FINISHED FLOOR
FIN = FINISH (ED)
FIXT = FIXTURE
FLR = FLOOR
FLUOR = FLUORESCENT
FND = FOUNDATION
FOC = FACE OF CONCRETE
FOF = FACE OF FINISH
FOS = FACE OF STUD
FSD = FIRE SEPARATION DISTANCE
FRT = FIRE RETARDANT TREATED
FT = FEET
FTG = FOOTING
FV = FIELD VERIFY

G = GAS
GA = GAUGE
GALV = GALVANIZED
GC = GENERAL CONTRACTOR
GEN = L = GENERAL
GL = GLASS
GR = GRANITE
GRND = GROUND
GST = GLAZED STRUCTURAL TILE
GWB = GYPSUM WALL BOARD

HB = HOSE BIBB
BDW = HARDWARE
HWDW = HARDWOOD
HM = HOLLOW METAL
HORIZ = HORIZONTAL
HR = HOUR
HS = HIGH STRENGTH
HT = HEIGHT
HVAC = HEATING, VENTILATION, A/C

ID = INSIDE DIAMETER
IG = INSIDE GLAZED
IN = INCH
INFO = INFORMATION
INSUL = INSULATION
INT = INTERIOR

J = JOIST
JAN = JANITOR
JB = JUNCTION BOX
JC = JANITORS CLOSET
JT = JOINT

KIT = KITCHEN
KP = KICK PLATE

L = LENGTH
LAM = LAMINATE (D)
LAV = LAVATORY
LB = POUND
LBL = LABEL
LH = LEFT HAND
LIN = LINEAR
LLH = LONG LEG HORIZONTAL
LLV = LONG LEG VERTICAL
LNF = LINEAR FEET
LP = LOW POINT
LT (G) = LIGHTING (ING)
LVPL = LEVELING PLATE
LVR = LOUVER

M = MALE
MACH = MACHINE
MAINT = MAINTENANCE
MAR = MARBLE
MAS = MASONRY
MATL = MATERIAL
MAX = MAXIMUM
MDF = MEDIUM DENSITY FIBER
MDO = MEDIUM DENSITY OVERLAY
MECH = MECHANICAL
MEMB = MEMBRANE
MEZZ = MEZZANINE
MFD = MANUFACTURED
MFR = MANUFACTURER
MGR = MANAGER
MGT = MANAGEMENT
MH = MAN HOLE
MIN = MINIMUM
MIR = MIRROR
MISC = MISCELLANEOUS
MO = MASONRY OPENING
MP = METAL PANEL
MTD = MOUNTED
MTG = MEETING
MTL = METAL

N = NORTH
NAT = NATURAL
NIC = NOT IN CONTRACT
NO = NUMBER
NOM = NOMINAL
NTS = NOT TO SCALE

O.R.C. = OHIO RESIDENTIAL CODE
OA = OVERALL
OC = ON CENTER
OD = OUTSIDE DIAMETER
OH = OPPOSITE HAND
O/O = OUT TO OUT
OPNG = OPENING
OPN = OPINISH (ED)
OZ = OUNCE

PARTN = PARTITION
PC = PERPENDICULAR
PCP = PRECAST CONCRETE PLATE
PERF = PERFORATED
PFN = PREFINISH (ED)
PH = PHASE
P/L = PROPERTY LINE
PL = PLATE
PLAM = PLASTIC LAMINATE
PLY WD = PLY WOOD
PR = PAIR
PREFAB = PREFABRICATED
PSF = POUNDS PER SQUARE FOOT
PSI = POUNDS PER SQUARE INCH
P.T. = PRESSURE TREATED
PT = PAINT
PTD = PAINTED

QT = QUARRY TILE
QTY = QUALITY
QUANT = QUANTITY

R = RADIUS
RA = RETURN AIR
RB = RESILIENT BASE
RC = REINFORCED CONCRETE
RD = ROOF DRAIN
REF = REFERENCE
REG = REGISTER
REINF = REINFORCED
REQ = REQUIRED
REV = REVISION
RFL = REFLECTED
RGTR = REGISTER
RI = RISER
RM = ROOM
RMV = REMOVE
RO = ROUGH OPENING
RoW = RIGHT OF WAY

S = SOUTH
SA = SUPPLY AIR
SD = SMOKE DETECTOR
SECT = SECTION
SGG = SILICONE GLAZING GASKET
SGS = SILICONE GLAZING SEALANT
SHT = SHEET
SHTG = SHEATHING
SIM = SIMILAR
SJS = SILICONE JOINT SEALANT
SPEC = SPECIFICATION
SQ = SQUARE
SOFT = SQUARE FEET
SOYD = SQUARE YARD
SS = STAINLESS STEEL
ST = SEALANT TAPE
STD = STANDARD
STM = STORM
STOR = STORAGE
STRUCT = STRUCTURAL
SUSP = SUSPENDED
SYS = SYSTEM

T = TOWNHOUSE
T/ = TOP OF
TEL = TELEPHONE
TEMP = TEMPERATURE
TH = TOWNHOUSE
THK = THICK (NESS)
THR = THRESHOLD
TYP = TYPICAL

UC = UNDERCUT
UG = UNDERGROUND
UNF = UNFINISHED
UNO = UNLESS NOTED OTHERWISE

VA = VOLT-AMPS
VAL = VALVE
VERT = VERTICAL
VEST = VESTIBULE
VIF = VERIFY IN FIELD
VCT = VINYL COMPOSITION TILE
VWC = VINYL WALL COVERING

W = WEST
W/ = WITH
W/O = WITH OUT
WC = WATER CLOSET
WCO = WALL CLEAN OUT
WD = WOOD
WDW = WINDOW
WRB = WEATHER RESISTIVE BARRIER
WPR = WATERPROOFING
WPT = WORK POINT
WT = WEIGHT
WWF = WELDED WIRE FABRIC

YD = YARD

	BUILDING SECTION	AREA NAME 100 SF	AREA TAG
	WALL SECTION	ROOM NAME 101	ROOM TAG
	DETAIL SECTION	150 SF	
	DETAIL CALLOUT	NOTE	CODED NOTE
	EXTERIOR ELEVATION		KEYNOTE
	INTERIOR ELEVATION		REVISION TAG
	ELEVATION		WALL TAG
	SPOT ELEVATION		WINDOW TAG
	STURCTURAL GRID LINE		DOOR TAG
	MATCH LINE		FLOOR/ROOF TAG
	CENTERLINE		ACCESSORY TAG

MATERIALS LEGEND

SITework			
EARTH	GRAVEL	GEOLOGICAL ROCK	
CONCRETE			
CIP/PRECAST	GROUT	MORTAR	
MASONRY			
BRICK	CMU	FIREBRICK	
STONE			
CUT STONE	RUBBLE	SLATE	
METAL			
STEEL	ALUMINUM	BRASS	
WOOD			
FINISH	ROUGH	BLOCKING	
PLYWOOD (LARGE SCALE)	PLYWOOD (SMALL SCALE)	CORK	
FINISHES			
PLASTIC	GYPSUM PLASTER	CERAMIC TILE	
INSULATION			
BATT/ LOOSE	RIGID	SPRAY FOAM	
GLASS			
GLASS			

SYMBOLS LEGEND

ABBREVIATIONS

HDAC DRAWING INDEX

NO.	NAME	REVISION NO.	REVISION DATE
INT.	Unnamed		
01 - GENERAL			
G0.00	COVER SHEET		
G0.01	ARCHITECTURAL SITE PLAN		
G1.02	LIFE SAFTEY FLOOR PLANS + BUILDING SECTIONS		
05 - CIVIL			
C1	SITE PLAN		
06 - LANDSCAPE			
L1.00	LANDSCAPE		
08 - ARCHITECTURAL DEMOLITION			
AD1.01	BASEMENT + LEVEL 1 DEMOLITION PLANS		
AD1.02	LEVELS 2-3 DEMOLITION PLANS		
09 - ARCHITECTURAL			
A1.00	FOUNDATION PLAN		
A1.01	EXTG. BASEMENT + NEW LEVEL 1 PLAN		
A1.02	EXTG. LEVEL 1 PLAN		
A1.03	NEW MEZZANINE PLAN		
A1.04	EXTG. ATTIC		
A1.05	ROOF PLAN		
A2.00	BUILDING ELEVATIONS		
A2.01	BUILDING ELEVATIONS		
A4.11	ENLARGED EXTERIOR SITE DETAILS		
A5.01	WALL SECTIONS + DETAILS		
A5.02	WALL SECTIONS + DETAILS		
A8.00	RENDERINGS		
A8.01	RENDERINGS		
A8.02	MATERIAL PALETTE		
A8.03	SITE LIGHTING		
A8.04	EXISTING IMAGES		

PROJECT SUMMARY

PARCEL SUMMARY:	DELAWARE COUNTY PARCEL NO. 31942513051002 0.46 ACRES
PROJECT DESCRIPTION:	THE PROJECT CONSISTS OF A CHANGE OF OCCUPANCY WITH ALTERATIONS TO AN EXISTING 2,461 SF IIIB STRUCTURE LOCATED WITHIN THE VILLAGE OF POWELL, OHIO. A 2,083 SF ADDITION OF TYPE VB CONSTRUCTION WILL BE ADDED TO THE NORTH. THESE COMBINED SPACES WILL ACCOMMODATE AN A-2 ASSEMBLY OCCUPANCY WITH SUPPORTING OFFICE, RESTROOMS, STORAGE, UTILITY AND CIRCULATION AS REQUIRED FOR A PRIVATE SOCIAL CLUB.

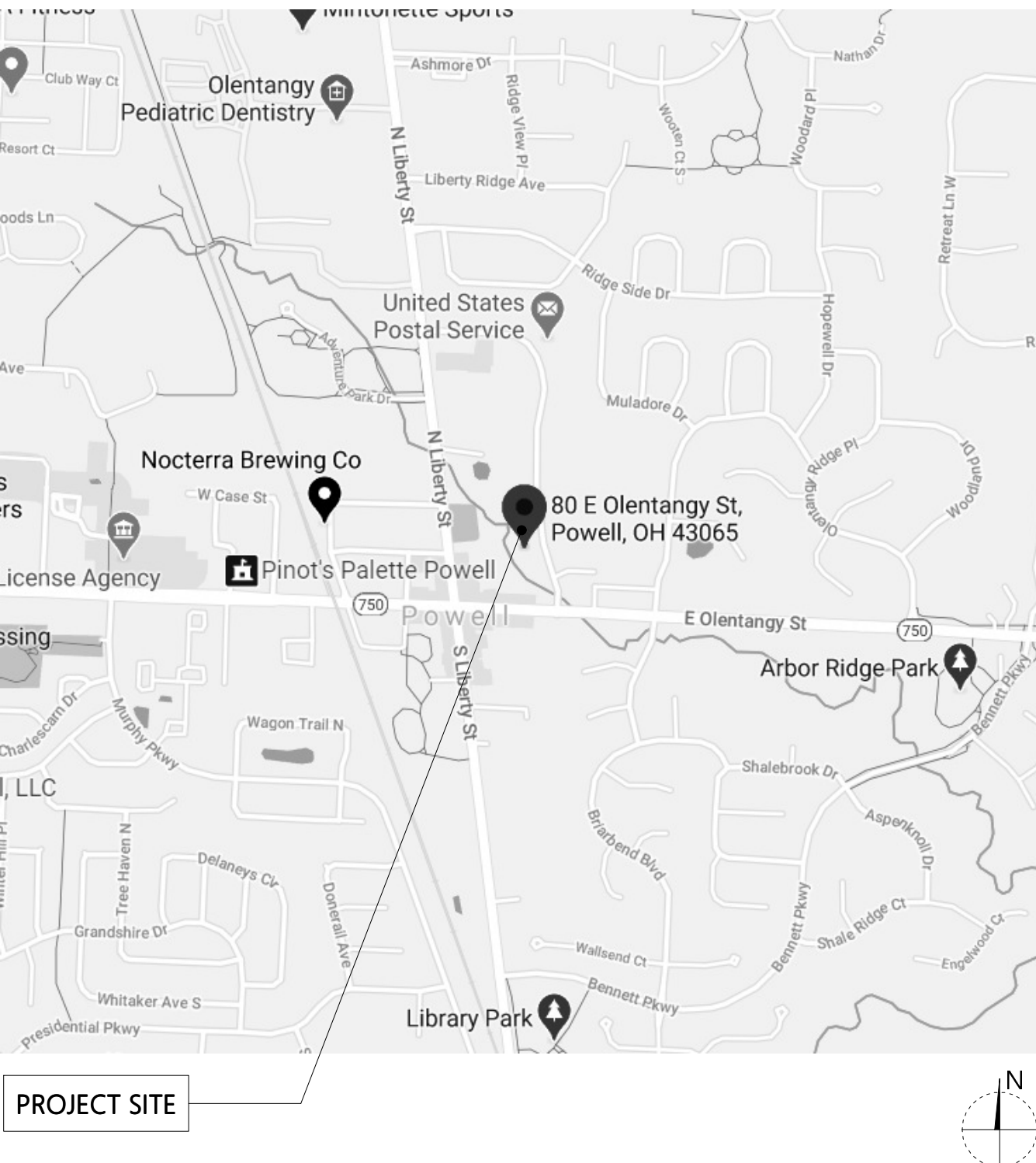
PROJECT DIRECTORY

Owner:	Goodnight Investments Michael + Gretchen Bonasera thefoodsmith@foodsmith.com Owner Phone No.
Architect:	SJM studio, LLC Sarah Mackert sjm@sjmstudioilc.com (937) 215-0845
Civil Engineer:	IBI Group Eric Chenevey eric.chenevey@ibigroup.com 614.679.3645
Structural Engineer:	Ehlers Engineering, LLC Derek Ehlers, PE derek@ehlersengineering.com 614.330.2298
MEP Engineer:	Allemang Engineering, LLC Donald K. Allemang, PE dalleman@columbus.rr.com 614.580.9006
General Contractor:	Lincoln Construction Greg Schmitt gschmitt@lincolnconstruction.com 614.457.0180

APPLICABLE CODES

VILLAGE OF POWELL, PLANNING AND ZONING CODE
2017 OHIO BUILDING CODE (OBC) + AMENDMENTS
2017 OHIO PLUMBING CODE (OPC) + AMENDMENTS
2017 OHIO MECHANICAL CODE (OMC) + AMENDMENTS
2017 NATIONAL ELECTRIC CODE (NEC) , NFPA 70
ICC A117.1-2009 ACCESSIBLE + USABLE BUILDINGS + FACILITIES
2012 INTERNATIONAL ENERGY CONSERVATION CODE + AMENDMENTS
2015 INTERNATIONAL FUEL GAS CODE
ASHRAE 90.1 2010
NATIONAL FIRE ALARM + SIGNALING CODE (NFPA 72-10)
OHIO FIRE CODE 2017

VICINITY MAP



NOT FOR CONSTRUCTION
PRELIMINARY

This document is partially complete. The information contained is not necessarily coordinated or correct. This drawing is for review purposes only.

COLUMBUS 1254 Eastwood Avenue, Columbus, OH 43078 T: 937.215.0845

SJMstudio
www.SJMstudioilc.com

DATE REVISION

PROJECT TITLE
80 E
OLENTANGY
POWELL, OHIO 43065

PROJECT NO. SJM_2010
ISSUE FINAL P&Z APPLICATION
ISSUE DATE 04.21.2021
SHEET TITLE

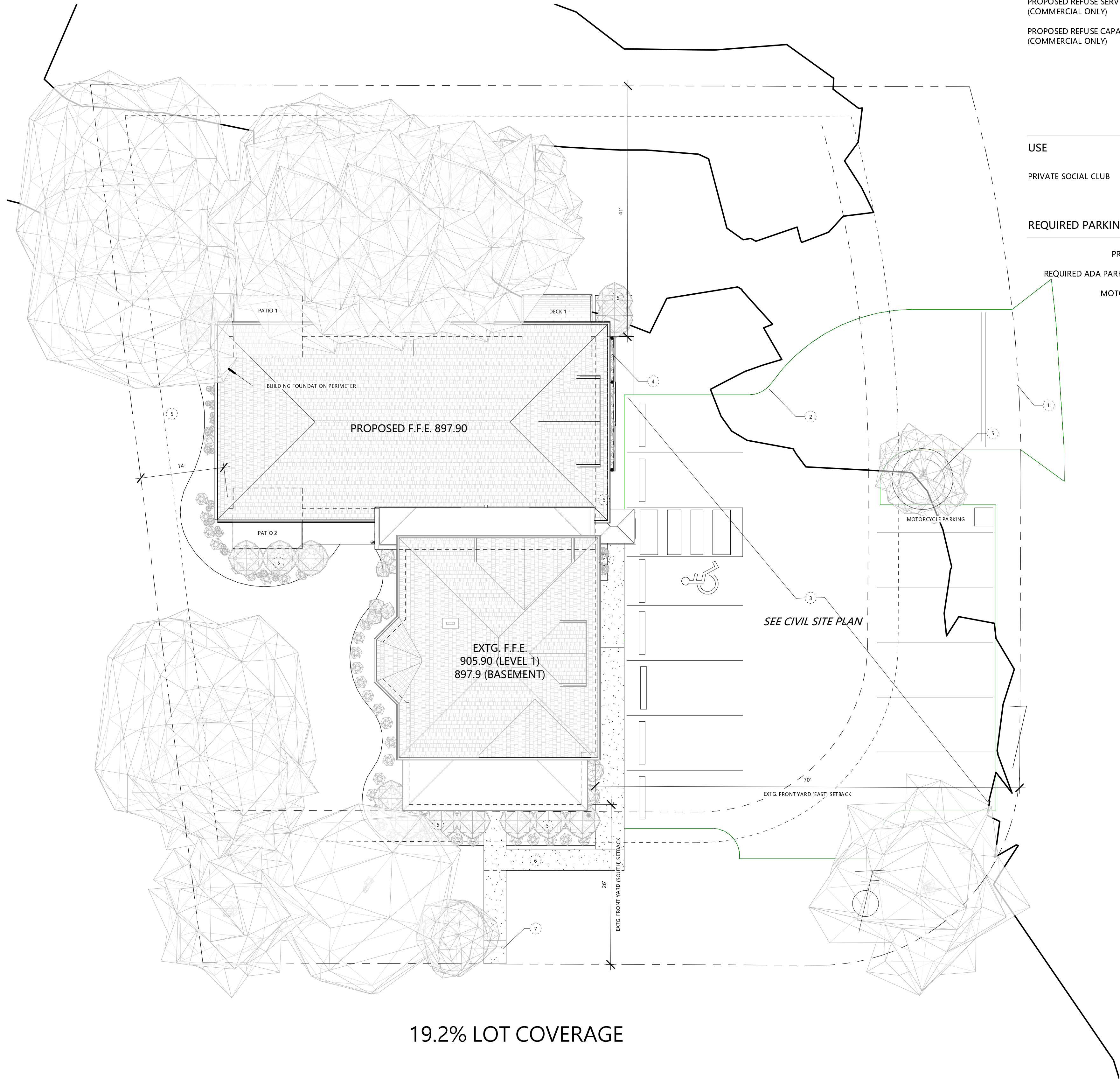
COVER SHEET

SHEET NO.

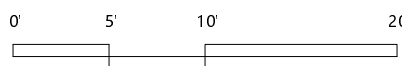
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4/23/2021 4:16:31 PM



1
G001
ARCHITECTURAL SITE PLAN
1" = 10'-0"



GENERAL ZONING INFORMATION

PARCEL NO.	DELAWARE COUNTY NO. 319-425-13-051-002
ZONING DISTRICT	DB - DOWNTOWN BUSINESS DISTRICT
HEIGHT DISTRICT	H-35

GENERAL PROJECT INFORMATION

PROPOSED REFUSE SERVICE (COMMERCIAL ONLY)	TBD
PROPOSED REFUSE CAPACITY, CY (COMMERCIAL ONLY)	TBD

PARKING CALCULATION

USE	SIZE	MIN SPACES	MAX SPACES
PRIVATE SOCIAL CLUB	192 MEMBERS 6 STAFF	1:10 = 20	N/A
REQUIRED PARKING FOR PROPOSED USE		20	
PROPOSED PARKING		23 MIN. (12 ON-SITE; 11+ OFF-SITE LEASED)	
REQUIRED ADA PARKING (VAN/TOTAL)		1/1	
MOTORCYCLE PARKING		1	

SITE DATA

PROPERTY ADDRESS:	80 E OLENTANGY POWELL, OH 43065
PROPERTY OWNER:	GOODNIGHT INVESTMENTS
OWNER ADDRESS:	4200 MACDUFF WAY DUBLIN, OH 43016
TOTAL LOT AREA:	20,201.79 SF / 0.46 ACRES
TOTAL PRINCIPAL BUILDING FOOTPRINT AREA:	1,304.3 SF EXISTING BUILDING 1,817.3 SF NEW ADDITION 120.0 SF NEW DECK 257.5 SF NEW PATIO 3,449.1 SF TOTAL
TOTAL ACCESSORY BUILDING AREA:	0 SF
TOTAL COVERED AREA:	3,449.1 SF OR 17.3%

SITE SCHEDULE

LOT USAGE:	20% MAX. ALLOWABLE 17.3% PROPOSED
BUILDING HEIGHT:	35.00' MAX. ALLOWABLE 19.00' PROPOSED
FRONT (SOUTH):	20' MIN - 25' MAX ALLOWABLE 26' EXISTING
FRONT (EAST):	20' MIN - 25' MAX ALLOWABLE 70' EXISTING
REAR (NORTH):	5.00' MIN. ALLOWABLE 41' PROPOSED
WEST SIDE:	5.00' MIN. ALLOWABLE 14' PROPOSED

SITE PLAN LEGEND

---	PROPERTY LINE
- - -	MINIMUM SETBACK LINE
---	MAXIMUM SETBACK LINE

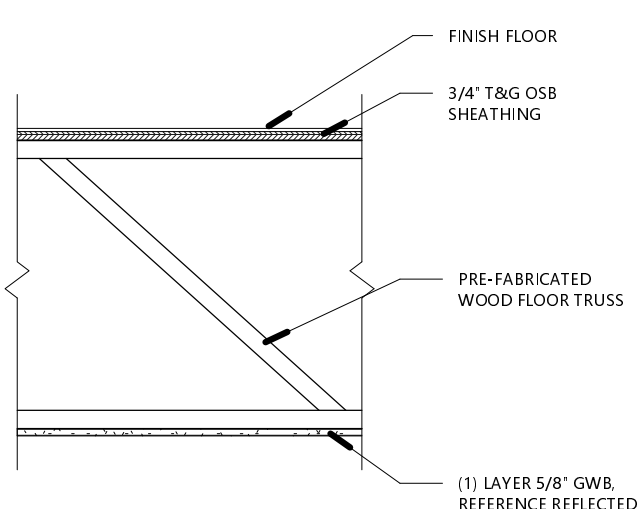
SITE PLAN NOTES

NO.	NOTE
1	PROPOSED CURB CUT AND DRIVE ACCESS TO NEW PARKING LOT
2	PROPOSED SEGMENTAL RETAINING WALL (VERSA-LOK OR SIM)
3	PROPOSED OFF STREET PARKING (12 VEHICULAR SPACES + 1 MOTORCYCLE SPACE). SEE CIVIL PLAN.
4	PROPOSED REFUSE, RECYCLING AND MISC. STORAGE ENCLOSURE
5	PROPOSED LANDSCAPING, SEE LANDSCAPE PLAN L1.00
6	PROPOSED NEW PPEDESTRIAN WALK
7	EXISTING STEPS TO REMAIN

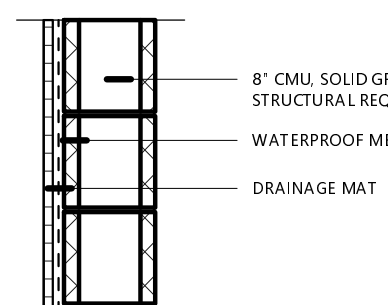


#	DATE	REVISION
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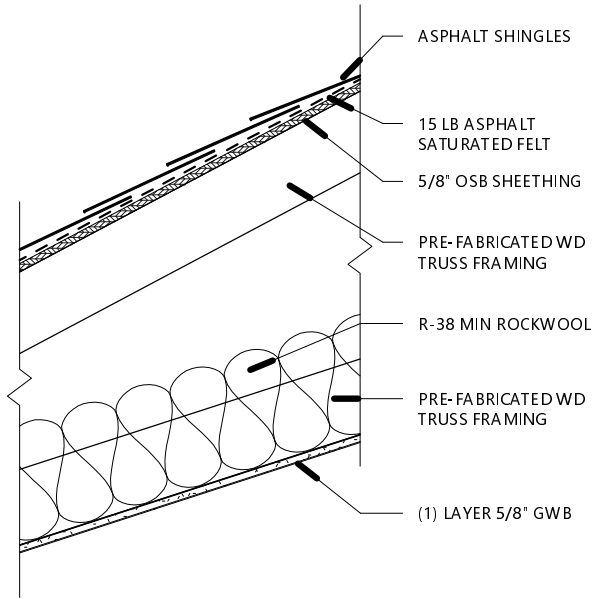
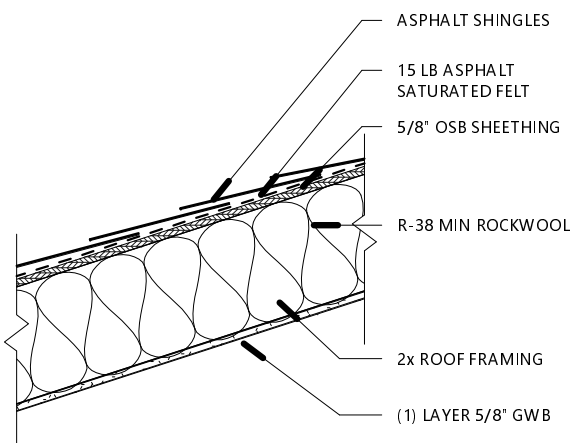
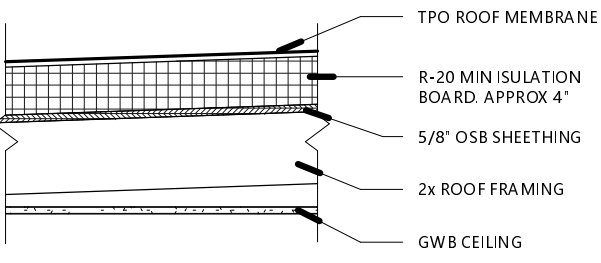
FLOOR TYPE LEGEND

NO.	ASSEMBLY DESCRIPTION	COMMENTS
F1		NOT RATED NEW MEZZANINE FLOOR

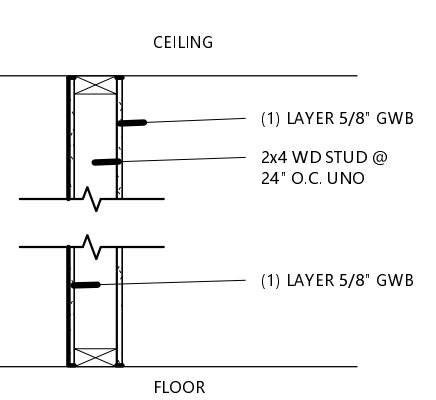
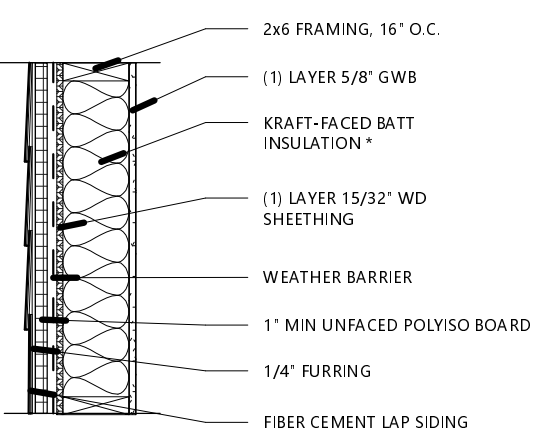
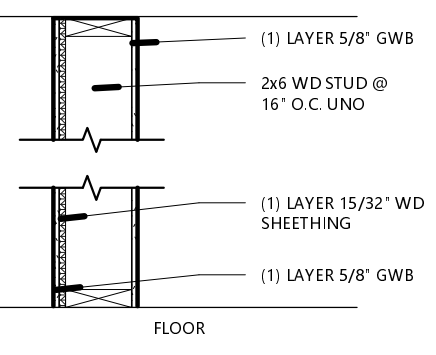
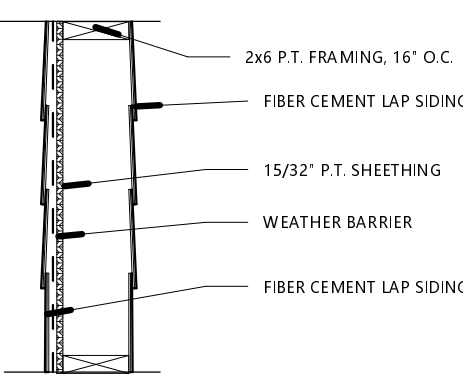
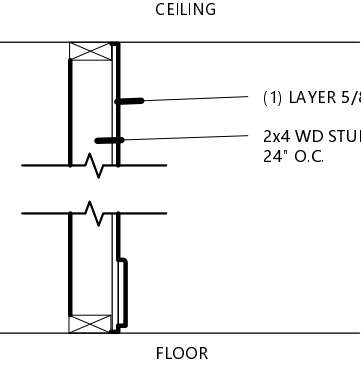
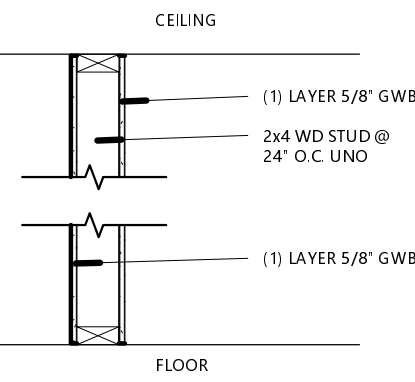
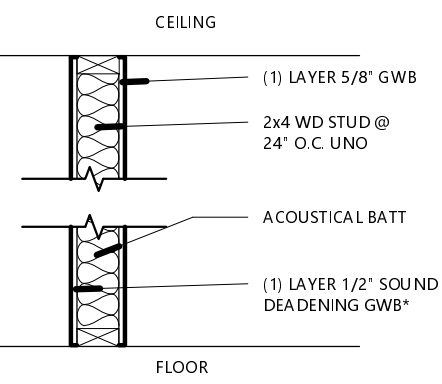
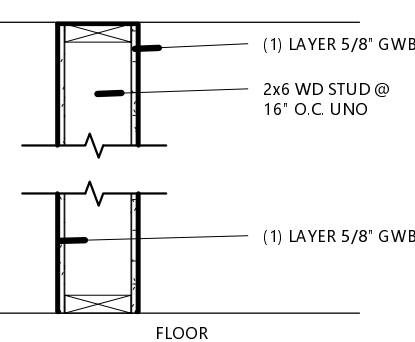
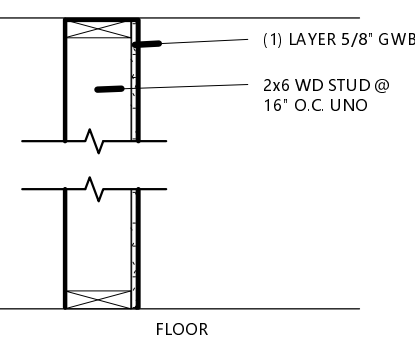
FOUNDATION TYPE LEGEND

NO.	ASSEMBLY DESCRIPTION	COMMENTS
F1		NOT RATED TYPICAL FOUNDATION WALL

ROOF TYPE LEGEND

R1		NOT RATED TYPICAL NEW ROOF
R2		NOT RATED TYPICAL DORMER ROOF
R3		NOT RATED

WALL TYPE LEGEND

1W1		1 HR RATED INTERIOR PARTITION - GWB 2 SIDES (NON-LOADBEARING) PER UL U305	EW1		NOT RATED EXTERIOR WALL TYPICAL (LOAD BEARING AND NON-LOADBEARING) *PER OBC 1405.3.3
1W2		1 HR RATED INTERIOR PARTITION - GWB 2 SIDES (BEARING WALL AND SHEAR WALL) PER UL U305	EW2		NOT RATED EXTERIOR PARTITION (LOAD BEARING AND NON-LOADBEARING) *PER OBC 1405.3.3
			OW1		INTERIOR PARTITION - GWB 1 SIDE (NON-LOADBEARING)
			OW2		INTERIOR PARTITION - GWB 2 SIDES (NON-LOADBEARING)
			OW3		INTERIOR PARTITION - GWB 2 SIDES (NON-LOADBEARING) STC 49 BASED ON NEC (NATIONAL GYPSUM COMPANY) 2009027 *SOUNDBREAK XP OR SIM.
			OW4		INTERIOR PARTITION - GWB 2 SIDES (BEARING WALL)
			OW5		INTERIOR PARTITION - GWB 1 SIDE

REFERENCE WALL SECTIONS FOR EXTERIOR WALL DETAILS & ENLARGED FLOOR PLANS FOR ACOUSTIC BATT INSULATION
**GWB APPLIED VERTICALLY OR HORIZONTALLY WITH 6d COOLER OR WALLBOARD NAILS @ 7" O.C. W/ END JOINTS ON NAILING MEMBERS. STAGGER JOINTS EA. SIDE.

NOT FOR CONSTRUCTION
PRELIMINARY

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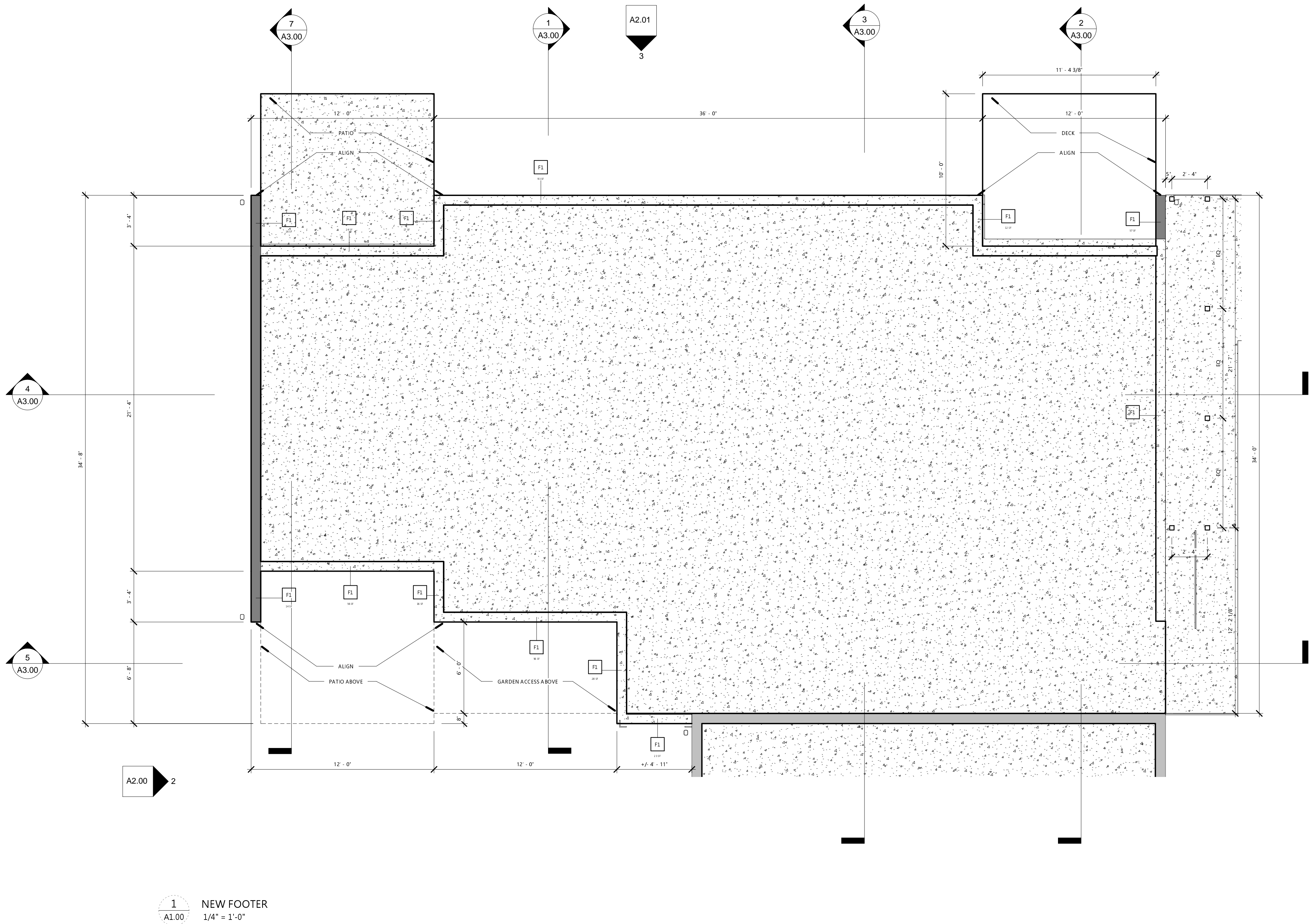
DATE REVISION

PROJECT TITLE
80 E
OLENTANGY
POWELL, OHIO 43065

PROJECT NO. SJM_2010
ISSUE FINAL P&Z APPLICATION
ISSUE DATE 04.21.2021

SHEET TITLE
FLOOR, CEILING,
& WALL
ASSEMBLIES

SHEET NO.
G1.03
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- INTERIOR DIMENSIONS ARE TO FACE OF STUD UNO.
- VERIFY ALL DIMENSIONS PRIOR TO BEGINNING WORK AND NOTIFY ARCHITECT FOR RESOLUTION OF ANY DISCREPANCIES.
- EXTEND FIRE BARRIERS TO UNDERSIDE OF DECK ABOVE UNO.
- PROVIDE SOUND BATT INSULATION AT ALL TOILET ROOMS AND MECHANICAL ROOMS.
- PROVIDE 5/8" CEMENT BACKER BOARD AT ALL TILE WALL LOCATIONS W/ BLOCKING BEHIND ALL CEMENT BACKER BOARD SEAMS.
- PROVIDE 5/8" MOISTURE RESISTANT GWB AT ALL WET WALL LOCATIONS.
- COMPLY WITH MANUFACTURER INSTRUCTIONS FOR INSTALLATION OF BUILDING MATERIALS AND FF&E.
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- COMMERCIAL SPACE SCOPE:
 - A. GC TO PROVIDE "WARM GRAY BOX", INCLUDING PLUMBING ROUGH-INS, ELECTRICAL SERVICE, TEMPORARY HEAT, LEVEL 4 FINISH ALL GWB SURFACES

FLOOR PLAN NOTES

NO.	NOTE
1	
2	EXTG. VENTILATION OPENINGS IN CRAWL SPACE FOUNDATION WALL, TYP. OF (3)
3	REMOVE EXTG. STONE MASONRY AS REQ'D TO PROVIDE NEW SECURE, INSULATED CRAWL SPACE ACCESS PANEL
4	EXTG. SPLIT SYSTEM AHU TO REMAIN. RECONFIGURE EXTG. DUCTWORK AS REQ'D TO ACCOMMODATE OVERHEAD CLEARANCE IN BASEMENT ROOM 1 AND 2
5	PROVIDE NEW OPENING IN EXTG. LOAD BEARING MASONRY WALL
6	PROVIDE NEW 4" CONC. SLAB THROUGHOUT BASEMENT
7	PROVIDE NEW 8" DOUBLE WYTHE BRICK MASONRY WALL ON 16" WIDE X 8" DEEP REINFORCED CONC. FOOTER AS INDICATED
8	MAINTAIN AS EMERGENCY EGRESS OPENING
9	NEW 90 MINUTE FIRE-RATED DOOR IN EXTG. OPENING
10	INFILL EXTG. WINDOW OPENING W/ MASONRY TO MATCH EXTG.
11	INFILL EXTG. DOOR OPENING W/ MASONRY TO MATCH EXTG.
12	GLASS GUARDRAIL, 42"
13	65 GALLON REFUSE / RECYCLING TOTES AND/OR LAWN CARE AND MAINTENANCE STORAGE CONCEALED IN REFUSE ENCLOSURE
16	MAINTAIN AS EMERGENCY EGRESS OPENING

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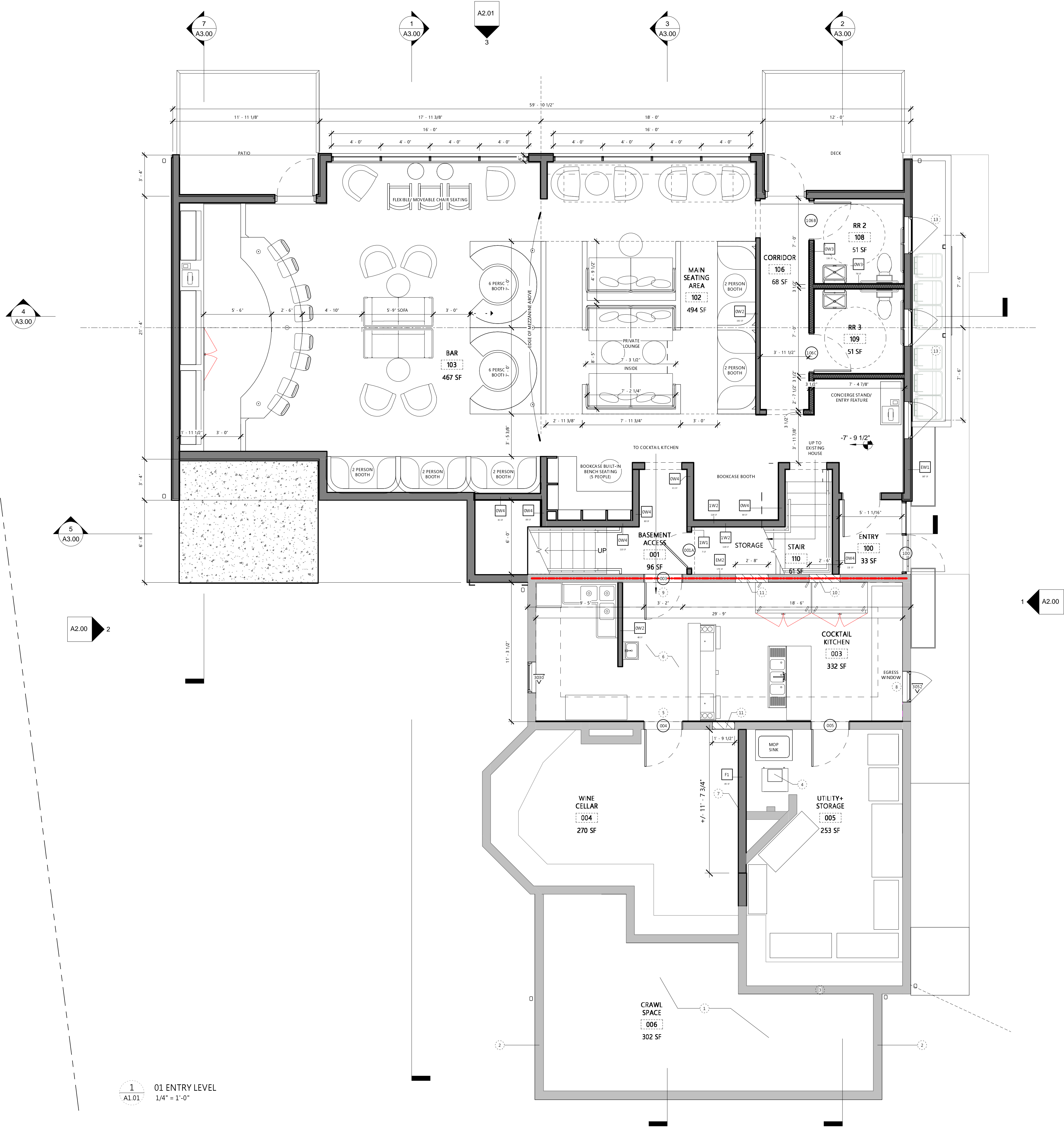
DATE REVISION

PROJECT TITLE
**80 E
OLENTANGY**
POWELL, OHIO 43065

PROJECT NO. SJM_2010
ISSUE FINAL P&Z APPLICATION
ISSUE DATE 04.21.2021

SHEET TITLE
**FOUNDATION
PLAN**

SHEET NO.
A1.00
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1
A1.01
01 ENTRY LEVEL
1/4" = 1'-0"

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FLOOR PLAN NOTES

- | NO. | NOTE |
|-----|--|
| 1 | |
| 2 | EXTG. VENTILATION OPENINGS IN CRAWL SPACE FOUNDATION WALL, TYP. OF (3) |
| 3 | REMOVE EXTG. STONE MASONRY AS REQ'D TO PROVIDE NEW SECURE, INSULATED CRAWL SPACE ACCESS PANEL |
| 4 | EXTG. SPLIT SYSTEM AHU TO REMAIN. RECONFIGURE EXTG. DUCTWORK AS REQ'D TO ACCOMMODATE OVERHEAD CLEARANCE IN BASEMENT ROOM 1 AND 2 |
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| 6 | PROVIDE NEW 4" CONC. SLAB THROUGHOUT BASEMENT |
| 7 | PROVIDE NEW 8" DOUBLE WYTHE BRICK MASONRY WALL ON 16" WIDE X 8" DEEP REINFORCED CONC. FOOTER AS INDICATED |
| 8 | MAINTAIN AS EMERGENCY EGRESS OPENING |
| 9 | NEW 90 MINUTE FIRE-RATED DOOR IN EXTG. OPENING |
| 10 | INFILL EXTG. WINDOW OPENING W/ MASONRY TO MATCH EXTG. |
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| 12 | GLASS GUARDRAIL, 42" |
| 13 | 65 GALLON REFUSE / RECYCLING TOTES AND/OR LAWN CARE AND MAINTENANCE STORAGE CONCEALED IN REFUSE ENCLOSURE |
| 16 | MAINTAIN AS EMERGENCY EGRESS OPENING |

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DATE REVISION

PROJECT TITLE
**80 E
OLENTANGY**
POWELL, OHIO 43065

PROJECT NO. SJM_2010
ISSUE FINAL P&Z APPLICATION
ISSUE DATE 04.21.2021

SHEET TITLE
**EXTG. BASEMENT
+ NEW LEVEL 1
PLAN**

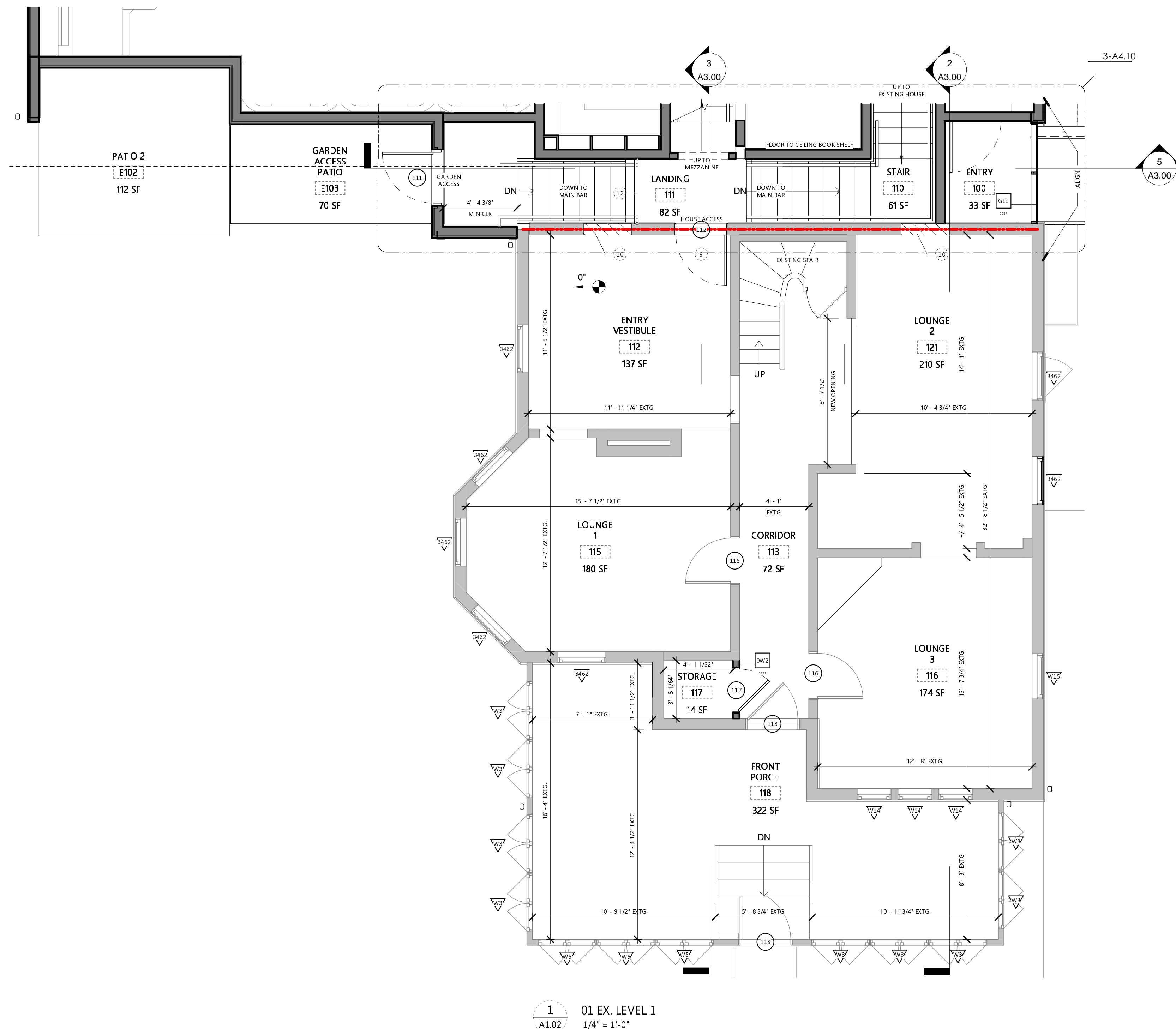
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A1.01

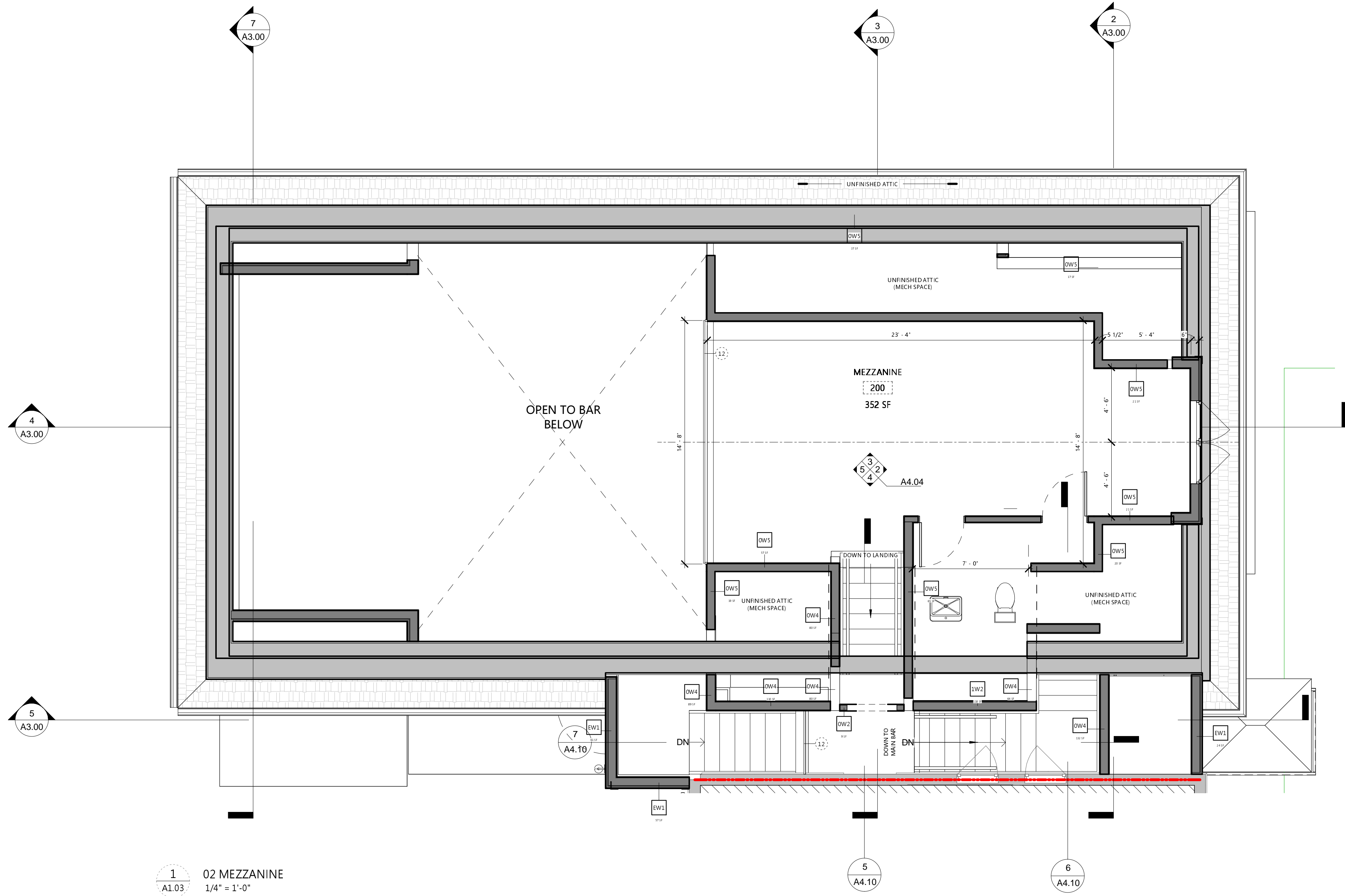
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NO.	NOTE
-----	------

- 1
- 2 EXTG. VENTILATION OPENINGS IN CRAWL SPACE
- 3 FOUNDATION WALL, TYP. OF: (3)
- 4
- 5 REMOVE EXTG. STONE MASONRY AS REQ'D TO PROVIDE
- 6 NEW SECURE, INSULATED CRAWL SPACE ACCESS PANEL
- 7
- 8 EXTG. SPLIT SYSTEM AHU TO REMAIN. RECONFIGURE
- 9 EXTG. DUCTWORK AS REQ'D TO ACCOMMODATE
- 10 OVERHEAD CLEARANCE IN BASEMENT ROOM 1 AND 2
- 11
- 12 PROVIDE NEW OPENING IN EXTG. LOAD BEARING
- 13 MASONRY WALL
- 14
- 15 PROVIDE NEW 4" CONC. SLAB THROUGHOUT BASEMENT
- 16
- 17 PROVIDE NEW 8" DOUBLE WYTH BRICK MASONRY WALL
- 18 ON 16" WIDE "X" DEEP REINFORCED CONC.
- 19 FOOTER AS INDICATED
- 20
- 21 MAINTAIN AS EMERGENCY EGRESS OPENING
- 22
- 23 NEW 90 MINUTE FIRE-RATED DOOR IN EXTG. OPENING
- 24
- 25 INFILL EXTG. WINDOW OPENING W/ MASONRY TO
- 26 MATCH EXTG.
- 27
- 28 INFILL EXTG. DOOR OPENING W/ MASONRY TO MATCH
- 29 EXTG.
- 30
- 31 GLASS GUARDRAIL, 42"
- 32
- 33 65 GALLON REFUSE / RECYCLING TOTES AND/OR
- 34 LAWN CARE AND MAINTENANCE STORAGE CONCEALED
- 35 IN REFUSE ENCLOSURE
- 36
- 37 MAINTAIN AS EMERGENCY EGRESS OPENING





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FLOOR PLAN NOTES

NO.	NOTE
1	
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DATE REVISION

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OLENTANGY**
POWELL, OHIO 43065

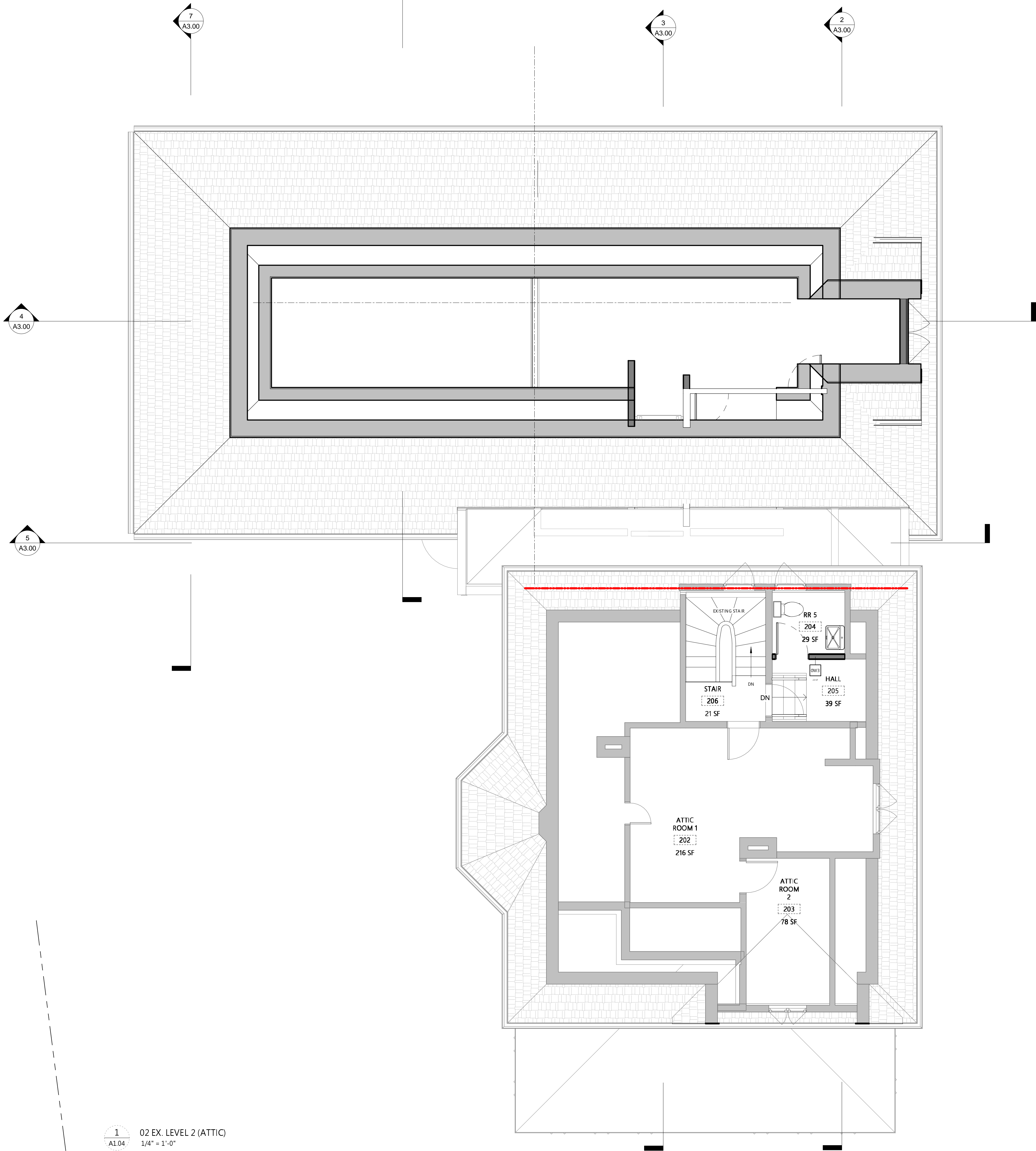
PROJECT NO. SJM_2010
ISSUE FINAL P&Z APPLICATION
ISSUE DATE 04.21.2021

SHEET TITLE
**NEW
MEZZANINE
PLAN**

SHEET NO.

A1.03

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1
A1.04

02 EX. LEVEL 2 (ATTIC)
1/4" = 1'-0"

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- PROVIDE 5/8" CEMENT BACKER BOARD AT ALL TILE WALL LOCATIONS W/ BLOCKING BEHIND ALL CEMENT BACKER BOARD SEAMS.
- PROVIDE 5/8" MOISTURE RESISTANT GWB AT ALL WET WALL LOCATIONS.
- COMPLY WITH MANUFACTURER INSTRUCTIONS FOR INSTALLATION OF BUILDING MATERIALS AND FF&E.
- LOCATION AND SIZE OF PENETRATIONS/MEMBRANE PENETRATIONS OF FIRE-RATED ASSEMBLIES ARE APPROXIMATE. GC TO FIELD VERIFY SIZE AND LOCATION.
- CONSULT OWNER TO VERIFY PROJECT SALVAGE REQUIREMENTS OF ITEMS NOT IDENTIFIED FOR REUSE HERE PRIOR TO REMOVAL START.
- PROTECT EXISTING ORIGINAL ARCHITECTURE THROUGHOUT INCLUDING WINDOWS, DOORS, MISC. GLASS, CASEWORK, MILLWORK, STAIRS, RAILINGS, HARDWARE AND (TO THE GREATEST EXTENT POSSIBLE) PLASTER.
- COMMERCIAL SPACE SCOPE:
 - A. GC TO PROVIDE "WARM GRAY BOX", INCLUDING PLUMBING ROUGH-INS, ELECTRICAL SERVICE, TEMPORARY HEAT, LEVEL 4 FINISH ALL GWB SURFACES

FLOOR PLAN NOTES

- | NO. | NOTE |
|-----|---|
| 1 | |
| 2 | EXTG. VENTILATION OPENINGS IN CRAWL SPACE FOUNDATION WALL, TYP. OF (3) |
| 3 | REMOVE EXTG. STONE MASONRY AS REQ'D TO PROVIDE NEW SECURE, INSULATED CRAWL SPACE ACCESS PANEL. |
| 4 | EXTG. SPLIT SYSTEM AHU TO REMAIN. RECONFIGURE EXTG. DUCTWORK AS REQ'D TO ACCOMMODATE OVERHEAD CLEARANCE IN BASEMENT ROOM 1 AND 2. |
| 5 | PROVIDE NEW OPENING IN EXTG. LOAD BEARING MASONRY WALL. |
| 6 | PROVIDE NEW 4" CONC. SLAB THROUGHOUT BASEMENT. |
| 7 | PROVIDE NEW 8" DOUBLE WYTHE BRICK MASONRY WALL ON 16" WIDE X 8" DEEP REINFORCED CONC. FOOTER AS INDICATED. |
| 8 | MAINTAIN AS EMERGENCY EGRESS OPENING. |
| 9 | NEW 90 MINUTE FIRE-RATED DOOR IN EXTG. OPENING. |
| 10 | INFILL EXTG. WINDOW OPENING W/ MASONRY TO MATCH EXTG. |
| 11 | INFILL EXTG. DOOR OPENING W/ MASONRY TO MATCH EXTG. |
| 12 | GLASS GUARDRAIL, 42" |
| 13 | 65 GALLON REFUSE / RECYCLING TOTES AND/OR LAWN/CARE AND MAINTENANCE STORAGE CONCEALED IN REFUSE ENCLOSURE. |
| 16 | MAINTAIN AS EMERGENCY EGRESS OPENING. |

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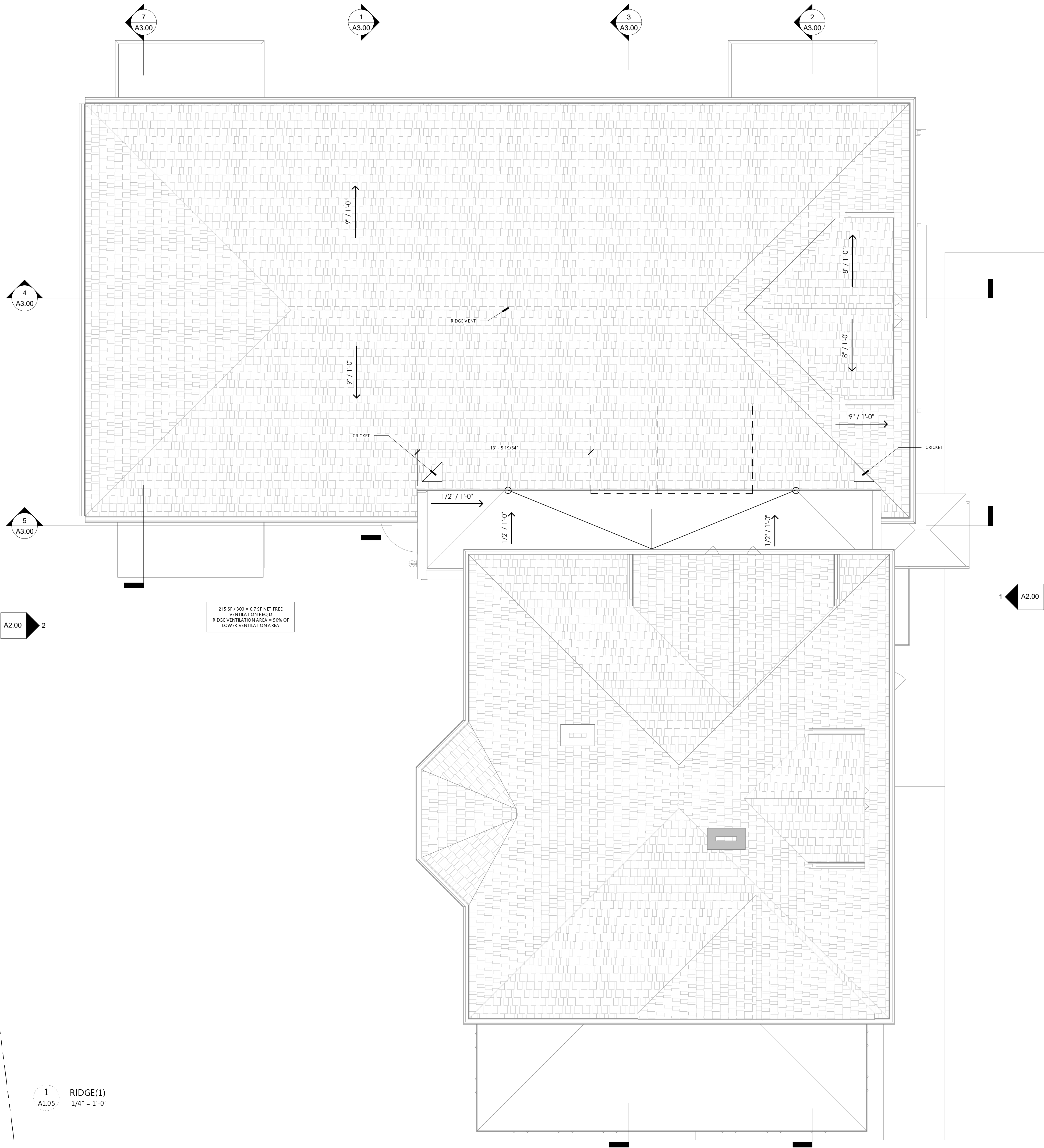
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PROJECT TITLE
**80 E
OLENTANGY**
POWELL, OHIO 43065

PROJECT NO. SJM_2010
ISSUE FINAL P&Z APPLICATION
ISSUE DATE 04.21.2021
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EXTG. ATTIC

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- SEE G1.02 - G1.03 FOR EXTENTS AND TECHNICAL DETAILS OF FIRE-RATED BARRIERS, FIRE-RATED PARTITIONS AND SHAFT WALLS.
- SEE G1.04 FOR UL ASSEMBLIES.
- SEE G1.10 FOR TYPICAL ACCESSIBLE CLEARANCES AND DETAILS.
- EXTERIOR DIMENSIONS ARE TO FACE OF FOUNDATION, FACE OF MASONRY OR FACE OF SHEATHING UNO.
- INTERIOR DIMENSIONS ARE TO FACE OF STUD UNO. VERIFY ALL DIMENSIONS PRIOR TO BEGINNING WORK AND NOTIFY ARCHITECT FOR RESOLUTION OF ANY DISCREPANCIES.
- EXTEND FIRE BARRIERS TO UNDERSIDE OF DECK ABOVE UNO.
- PROVIDE SOUND BATT INSULATION AT ALL TOILET ROOMS AND MECHANICAL ROOMS.
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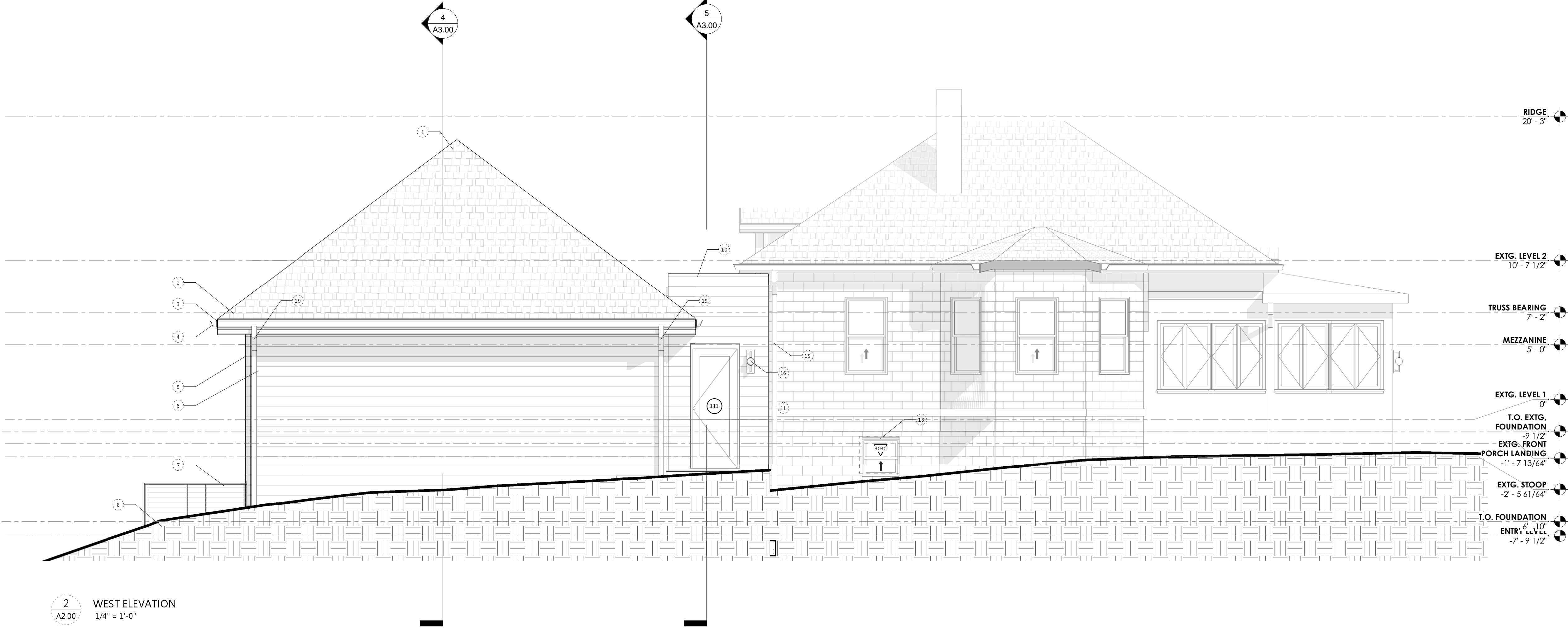
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2 WEST ELEVATION
A2.00
1/4" = 1'-0"



1 EAST ELEVATION
A2.00
1/4" = 1'-0"

ELEVATION NOTES

NO.	NOTE
1	CONTINUOUS RIDGE VENT
2	DIMENSIONAL ASPHALT SHINGLE ROOF
3	FIBER CEMENT FASCIA
4	5" GUTTER
5	FIBER CEMENT TRIM
6	FIBER CEMENT CLAPBOARD SIDING 8"
7	CABLE RAIL
8	COMPOSITE DECKING AND SKIRT BOARD AT DECK PERIMETER
9	FIBER CEMENT CLAPBOARD SIDING 8"
10	DARK BRONZE ANODIZED PARAPET CAP
11	GARDEN ACCESS DOOR
12	REUSE ORIGINAL INTERIOR PORCH WINDOW IN EXTG. OPENING.
13	FIBER CEMENT REFUSE ENCLOSURE W/ GREEN ROOF AND BYPASS SLIDING GATE OPENINGS
14	DARK BRONZE ANODIZED STOREFRONT
15	8" DEEP EXTRUDED SOLID METAL AWNING (ARCHITECTURAL LOUVERS H8CV OR SIM)
16	FEATURE WALL SCONCE
17	ORIGINAL SINGLE PANE WOOD WINDOW TO REMAIN, TYP. @ HOUSE U.N.O.
18	NEW WINDOW IN EXTG. OPENING
19	NEW CHARCOAL GRAY GUTTER

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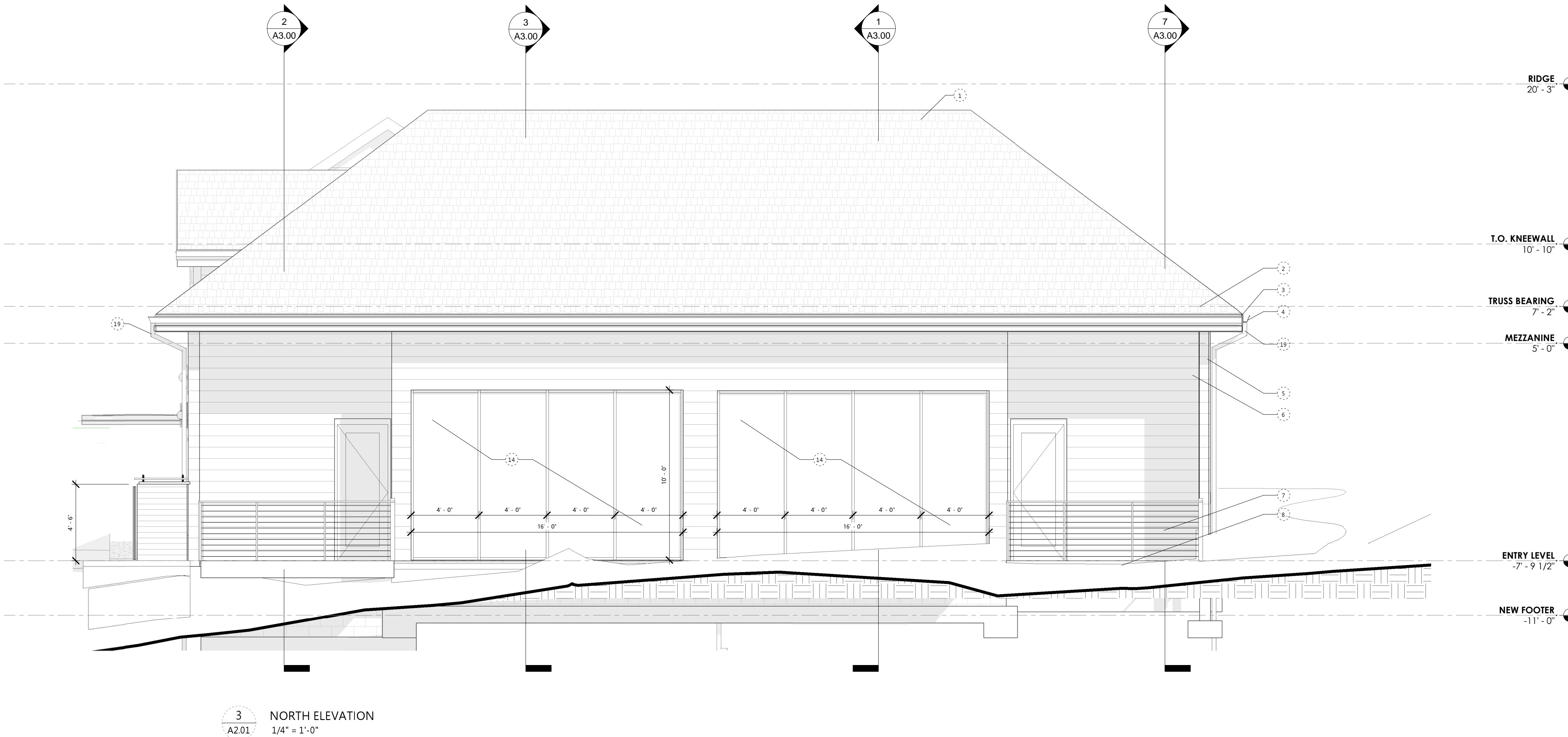
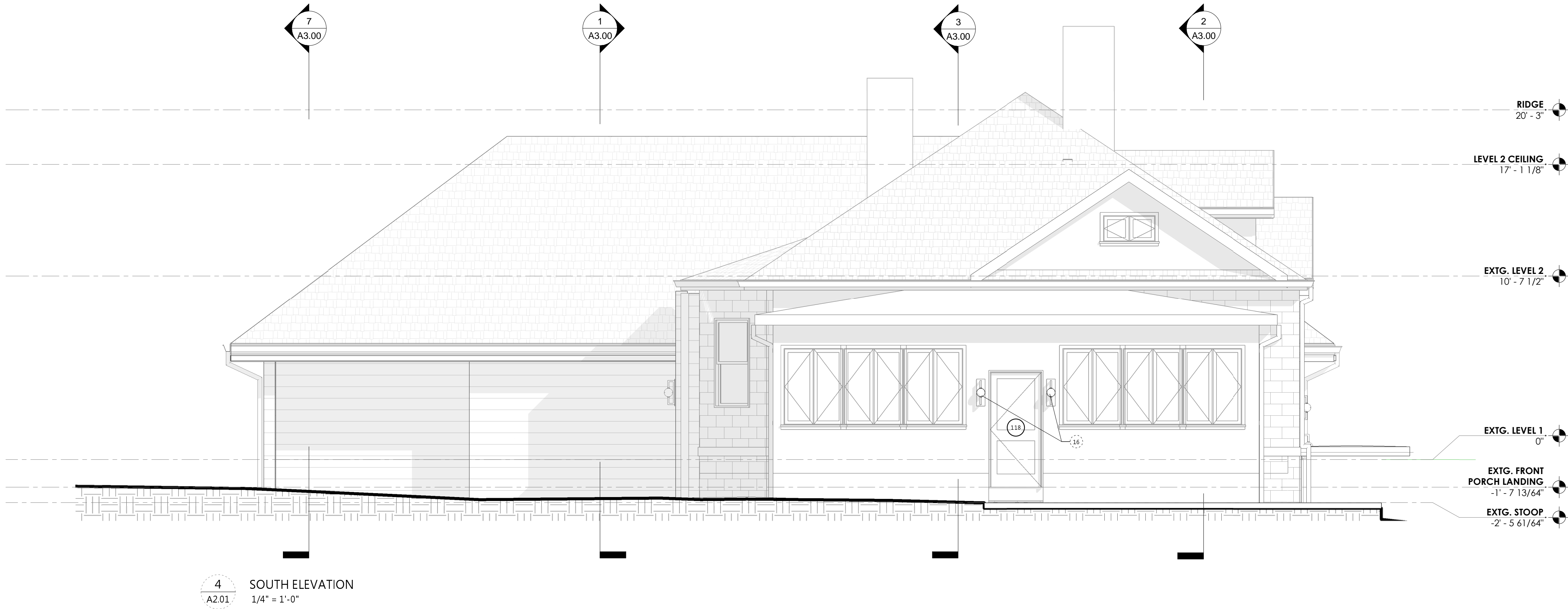
PROJECT TITLE
**80 E
OLENTANGY**
POWELL, OHIO 43065

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ISSUE FINAL P&Z APPLICATION
ISSUE DATE 04.21.2021

SHEET TITLE
**BUILDING
ELEVATIONS**

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ELEVATION NOTES

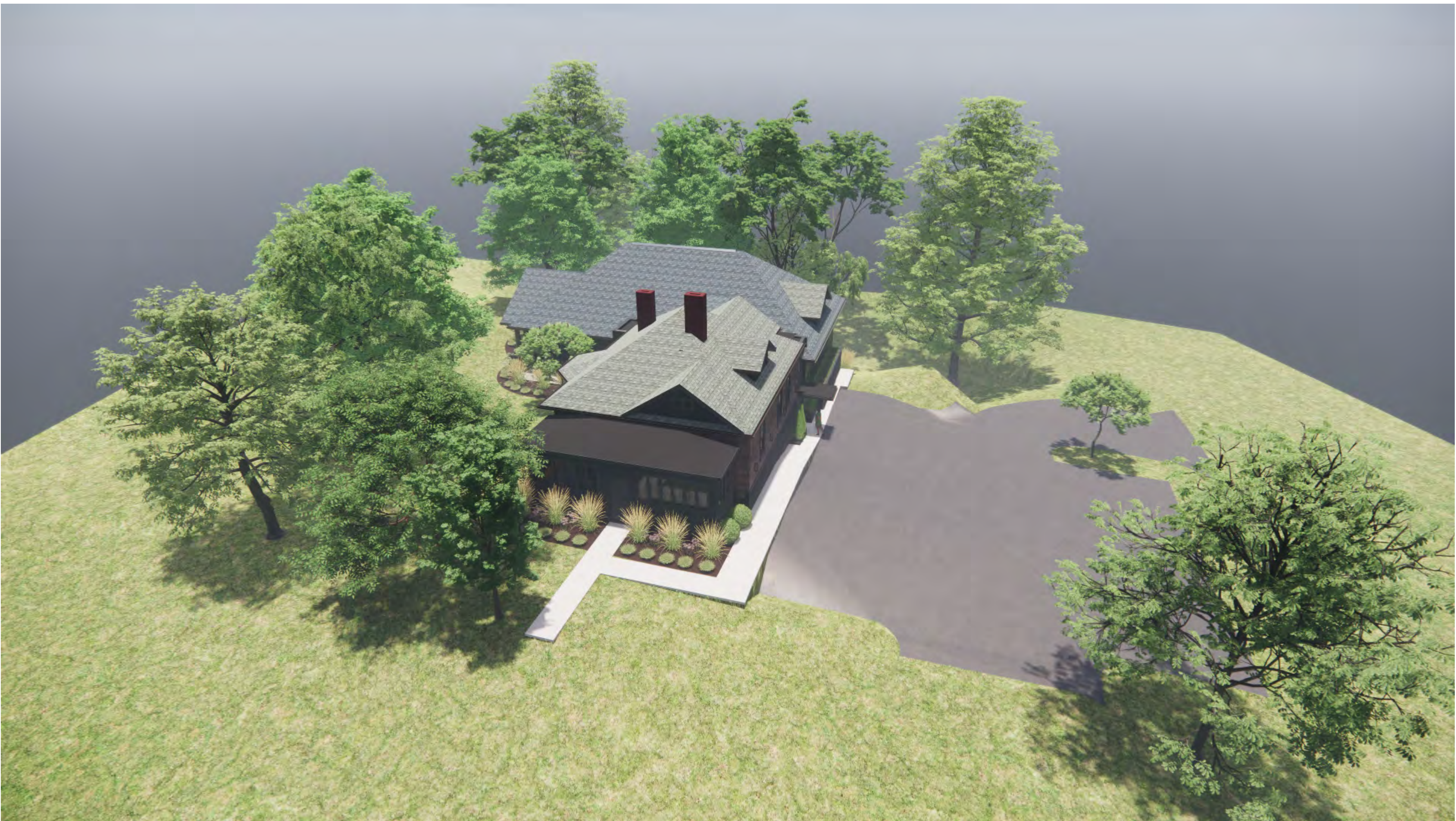
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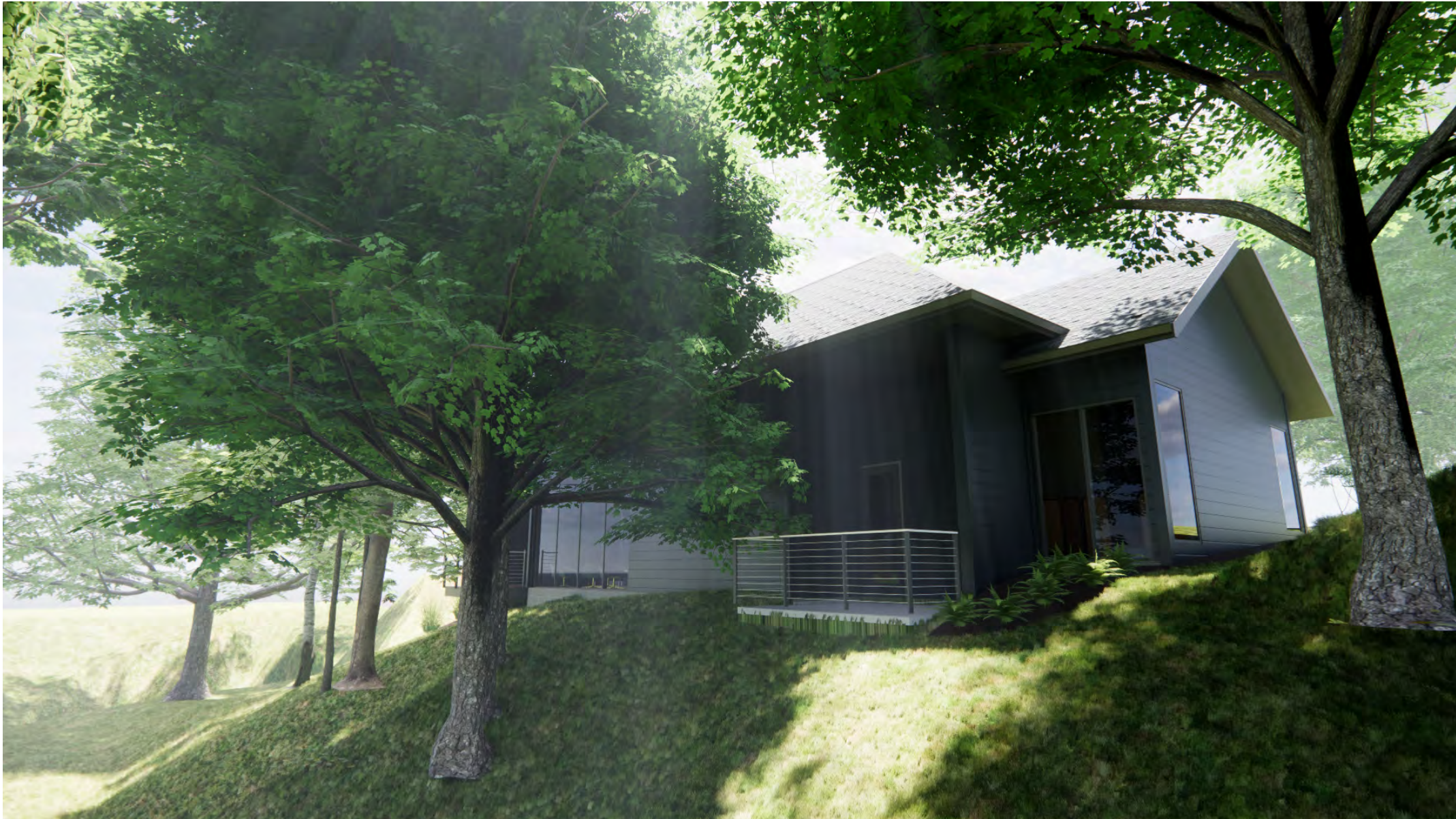
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**80 E
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POWELL, OHIO 43065

PROJECT NO.	SJM_2010
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ISSUE DATE	04.21.2021

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RENDERINGS

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EXTERIOR LIGHTING



PATH LIGHTING

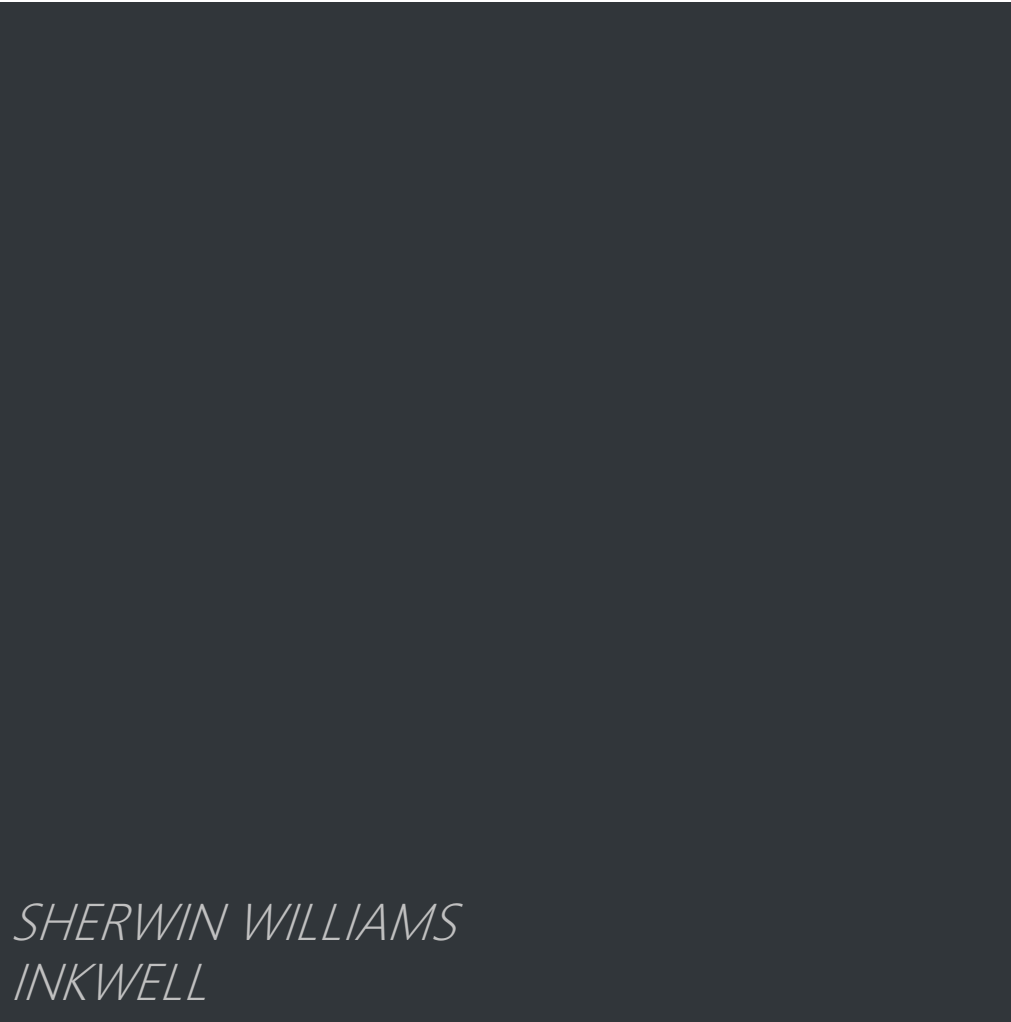


MAIN ENTRANCE
CHANDELIER

FEATURE WALL
SCONCE



EXISTING HOUSE
GLAZED BLOCK WALL



SHERWIN WILLIAMS
INKWELL



CABLE RAILING



DARK BRONZE
STOREFRONT ALUMINUM



8" FIBER CEMENT CLAPBOARD SIDING



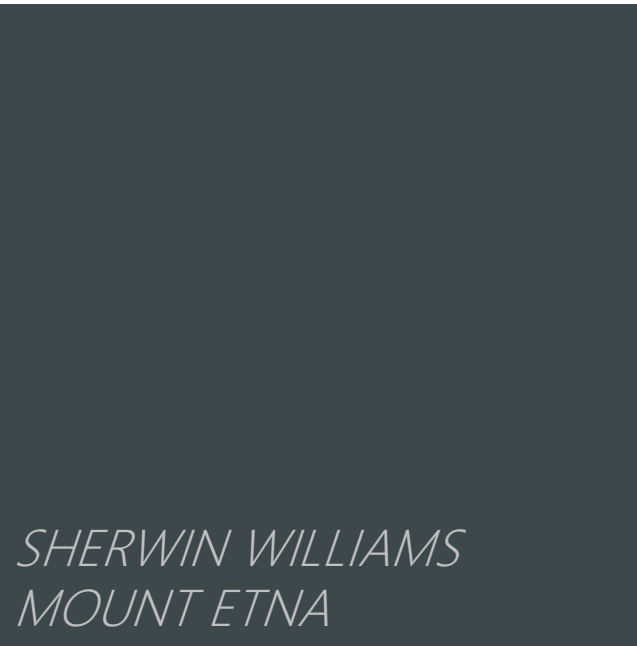
TIMBERTECH DECKING
ENGLISH WALNUT



DIMENSIONAL ROOF SHINGLE



SHERWIN WILLIAMS
DARK NIGHT

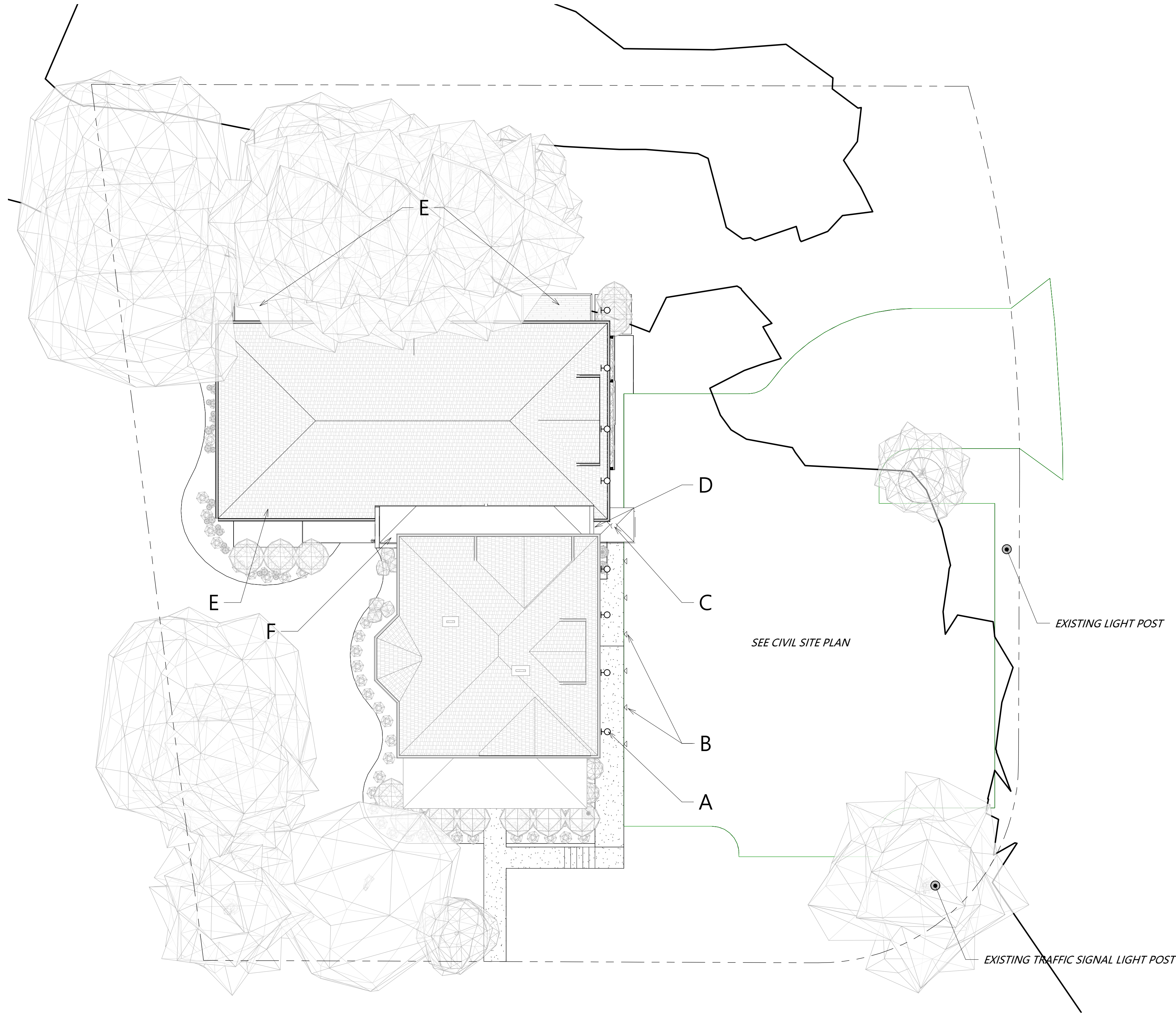


SHERWIN WILLIAMS
MOUNT ETNA

MATERIAL PALETTE

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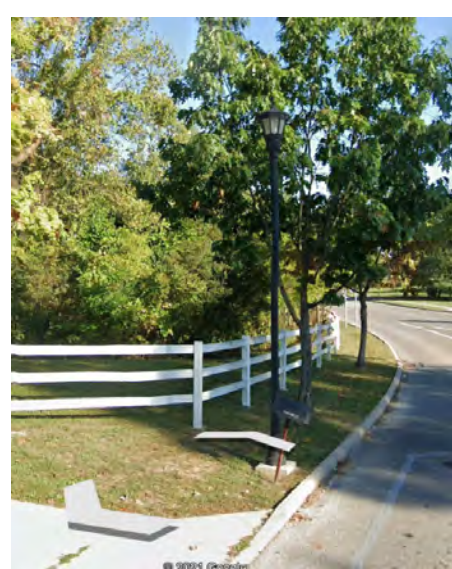
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1 SITE LIGHTING
A8.03 1" = 10'-0"



TRAFFIC LIGHT POST



LIGHT POST



FEATURE WALL SCONCE
A, F



PATH LIGHTING
B

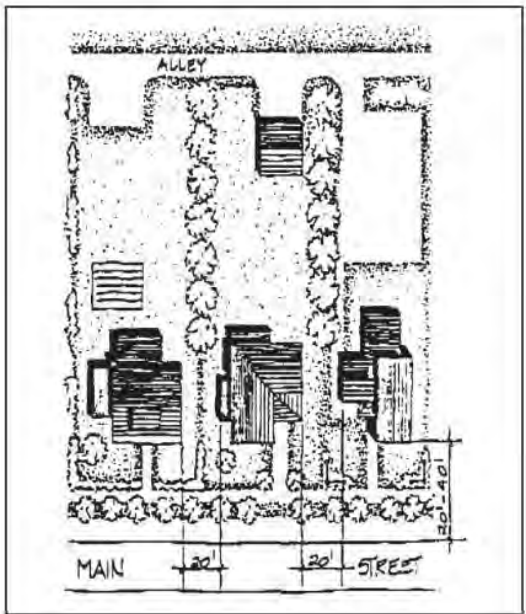


FEATURE CHANDELIER IN
VESTIBULE, D

POWELL ARCHITECTURAL GUIDELINES
LIGHTING

Setbacks

Most buildings in Powell are set back approximately 20 to 40 feet from the road with modest front lawns. The exceptions are the commercial buildings at the corner of Olentangy and Liberty Streets, which are built right up to their property lines at the sidewalks. Rear yards are generally long and narrow. Residential buildings on adjacent lots throughout the City are set approximately 20 feet apart from each other at their sides. New construction should follow the setback lines appropriate to its location and purpose.



Colonial style "coach lights" are not appropriate in the Historic District. These types belong to an earlier historical period, and generally belong on coaches.

Lighting

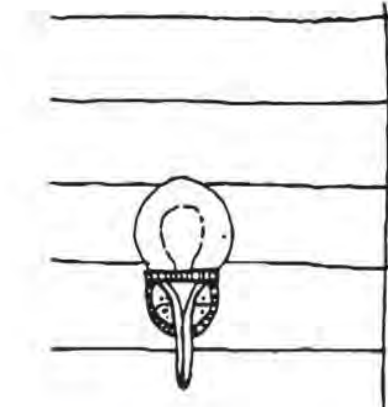
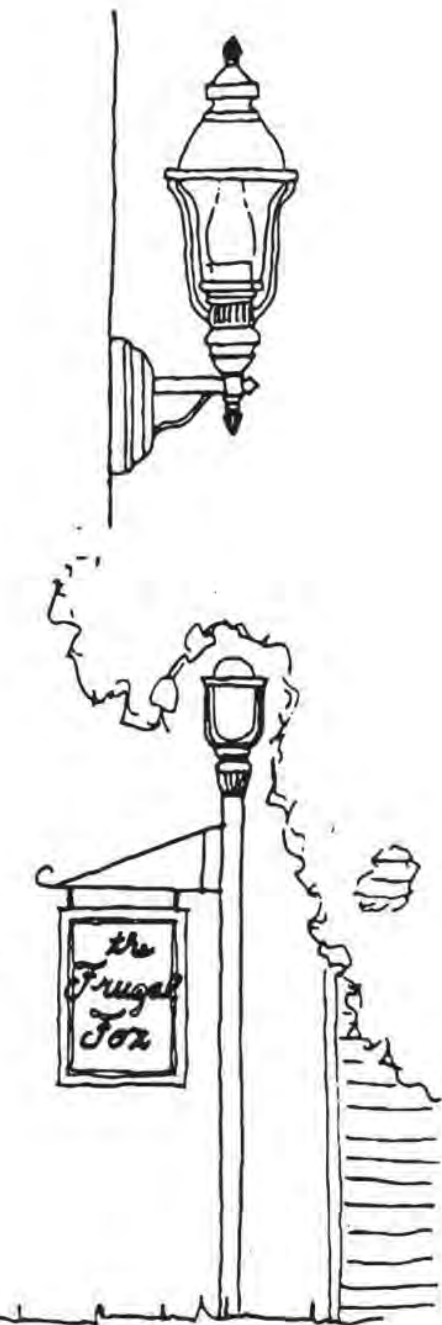
One of the charms of rural areas is the complete darkness of nightfall away from the 24 hour light of the city. However, proper lighting fixtures can increase the safety of Powell, and may become more necessary as development continues. Exterior lighting in the Historic District should be incandescent, and low in wattage. Entrance lights and individual free standing path lights are acceptable. Lighting fixtures should be simple Victorian or turn of the century in design, with round or egg-shaped globes on metal posts with minimal detailing.

Site Considerations

13

Free standing, pole mounted lamps may be used to light paths or drives. These lights should not be taller than the height of the first story of adjacent buildings. Metal posts should be painted in dark, muted colors such as black, brown, or dark green. The more elaborate the shape of the globe, the simpler the detailing of the post should be. Simple globes can be mounted on more detailed posts. All pole mounted lights should be individual. Clusters of lights are not acceptable in the Historic District.

Contemporary lights which incorporate simple, round or oval globes and modest posts or brackets may be appropriate in the Historic District. Frosted globes should be used in all lights in the Historic District, as they will provide softer light than clear globes.



Site Considerations

14

SITE LIGHTING

- A FEATURE WALL SCONCE
- B PATH LIGHTING
- C RECESSED EXTERIOR CAN LIGHT IN AWNING
- D FEATURE HANGING CHANDELIER
- E RECESS EXTERIOR CAN LIGHTS IN DECK OVERHANGS
- F FEATURE WALL SCONCE

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**80 E
OLENTANGY**
POWELL, OHIO 43065

PROJECT NO. SJM_2010
ISSUE FINAL P&Z APPLICATION
ISSUE DATE 04.09.2021

SHEET TITLE
**EXISTING
IMAGES**

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Final Development Plan Application Details

Prepared by Applicant: Gretchen Bonasera, member Good Night Investments, LLC
Location: 80 E Olentangy St (intersection of Olentangy and Grace Drive)
Zoning: Downtown Business District

Gretchen Bonasera is proposing to renovate and expand the current building, converting the existing home to a private social club featuring rare bourbons, fine wines, and chef inspired cocktails with just enough small plates of food served to imbibe responsibly. We anticipate our club to be used as a place to gather for business or social, and to be a great place to come before or after dinner plans at one of the great local restaurants Powell has to offer.

The purpose of this document is to address comments from previous meetings and/or staff reports from the City of Powell Planning Staff, the Historic Downtown Advisory Commission and Liberty Township Fire Dept...

- Site Considerations:

Staff Comment: The access drive is proposed in the least obtrusive location, as it is as far from the Grace Dr/E Olentangy St intersection as possible while maintaining the flood plain from Bartholomew Run. However, staff is concerned that the 24' wide access drive is wider than necessary and requests the applicant work with Staff as well as the Liberty Township Fire Department to decrease the size of the drive, if possible.

Our Design: *Following conversation(s) with the City Engineer, Chrus Huber, the current site plan represents a "pork chop" installed within the proposed driveway entrance per his recommendation. The "pork chop" will prohibit left turn in and out of the site. The Fire Department has requested access accommodations, thus the proposed curb would be a mountable style. Additionally, signage indicating "No Left Turn" will need to be provided. As a result of these changes, the driveway has been widened beyond the 22' desired width to accommodate turning maneuverability while still maintaining the smallest drive width possible due to site constraints.*

HDAC Comment: Brad Coomes asked about where the white fence would be removed.

Our Design: *We will leave as much of the white fence as possible.*

Liberty Township Fire Department Comment: Can the proposed concrete island at the drive entrance be removed or constructed with a mountable or soft curb to provide easier access for our ladder truck in the event of an emergency.

Our Design: *We would propose a mountable curb solution if the "pork chop" curb is required by the City Engineer and planning staff.*

- Parking (PAG, pg. 10)

Staff Comment: Parking in the rear yard is not an option, as this property is a corner lot with a

stream running through the rear. The number of parking spaces proposed is reasonable, as the Zoning Code calls for one parking space per 10 members, and the applicant has expressed that private parking agreements will be created to cover any additional spaces that may be needed. Staff supports the consideration for pervious pavement on this site, which would alleviate stormwater runoff, even though pervious technologies are not called out in the PAG.

Our Design: *The parking plan was taken almost directly from the previously approved project for this site. The current design is asphalt, but we are looking into if pervious pavers would fit in the budget.*

We have 12 vehicular parking spaces and 1 motorcycle space planned for in our lot and have tentative agreements with both the Historical society across the street and The Powell Center regarding leases for additional parking spaces during business hours to meet the requirement for one space available per ten members of the private social club. It is too early to lock in these leases until we have approval from the city to proceed with the project.

HDAC Comment: Concern with getting in and out of Grace drive.

Our Design: *We are following the same parking lot design as was previously approved and have worked with the City Engineer to come up with the current plan. The new drive entrance is located as far north on the site as is technically feasible and will allow room for (3) cars to be waiting at the light without blocking the drive.*

- Sidewalks (PAG, pg. 11)

“Some type of contemporary, all weather path must be provided to allow for increased pedestrian traffic along Olentangy Street and at the Center of the City. Sidewalks should be provided along Olentangy Street from Martin Perry house on the east to the railroad tracks on the west.”

Staff Comment: Sidewalks exist on this property along the Olentangy St frontage, and connect to the Grace Drive intersection.

HDAC Comment: Tom Coffey does not want the front steps removed.

Our Design: *Our plans are to keep the front steps intact.*

- Lighting (PAG, pg. 13)

Staff Comment: Additional exterior lighting will help to create a safer environment for customers and employees. The freestanding path lighting meets the architectural guidelines, but the wall sconces are more modern than the guidelines suggest.

Our Design: *As represented in the photometric study, and based on the lighting specifications provided for the two existing light posts, parking lot lighting is sufficient and ideal with only the addition of the architectural wall sconces.*

The opaque white globes have been chosen to represent the Art Nouveau era consistent with the time period and are in keeping with the Architectural Guidelines, “Contemporary lights which incorporate simple, round or oval globes and modest posts or brackets may be appropriate in the Historic District. Frosted globes should be used in all lights in the Historic District..”

- Signage and Graphics (PAG, pg. 15)

Proposed Signage: The applicant is proposing no signage.

- Building Materials: Siding (PAG, pg. 27)

Proposed siding: 8" fiber cement clapboard siding is proposed for the new addition. The glazed block wall on the existing home will remain.

Staff Comment: Fiber cement board is not addressed in the building materials portion of the PAG. Natural materials are preferred per the PAG.

Our Design: *The fiber cement board is a much superior product compared to natural materials and did not yet exist as a viable option when the PAG was last updated. The width of the siding of the new building was intentionally chosen to match the width of the existing glazed block of the historic building to continue those lines.*

HDAC Comments: Tom Coffey requested that we do our best to save the brick of the foundation of the back porch.

Our Design: *The back porch foundation is sliding to the North which has compromised the porch as a whole. Thankfully the porch was added on a couple years after the original house was built, and we are confident it can be removed without damaging the original brick of the house. The glazed brick on the North wall of the house will be maintained and will be visible inside of the structure.*

HDAC Comments: Tom Coffey wanted to make note that he liked the look of the trash enclosure.

- Asphalt Singles (PAG, pg. 34)

Proposed roofing: Dark gray/black dimensional roof shingle.

Staff Comment: From the submission, it is not clear whether the proposed dimensional roof shingles on the new addition will match the existing home. Page 3 of 5

Our design: *The existing shingles on the house do not yet need replaced. In the near future, when we replace them, they will be replaced to match the same gray shingles on the addition. The new gray color of the shingles will go well with the historic glazed block that we are featuring in the design.*

- Massing: Roofs (PAG, pg. 42)

Proposed Roof: Gable roof with dormers. Please see the roof plan included in the submitted materials.

Staff Comment: The gabled roof is appropriate for the Historic District, however, as the Architectural Advisor notes below, the roof plan is complex. Staff requests the Commission provide comments on whether the roof forms should be simplified.

Architectural Advisors Comments: The interaction of the "atrium/connector" could be improved where the hip roof cuts into the glazing. The connector could be recessed and the solid "crown" increased so that the bottom lines up with the soffit of the new structure. The roof plan looks very complex, there are some concerns with how the valleys and roof penetrations are flashed and treated.

HDAC commented on working with the architectural advisor to simplify the roof lines of the connector between the two buildings.

Our design: *We coordinated directly with the architectural advisor to address these comments*

and they have been incorporated into the current plan: specifically to lower the height of the upper glass window to align with the bottom of the new soffit. Additionally, design and framing details have been revised to eliminate the west wing and gable and the south dormer, thus simplifying the roof.

- Additions (PAG, pg. 44).

“Contemporary design is encouraged as long as it is in harmony with the character of the Historic District. This will continue the tradition of growth and change in Powell, without completely altering the essential character of the City.”

“The addition should be smaller and shorter than the main portion of the building. The roof line of an addition should not appear as a continuation of the main form or roof, nor should it mimic, or “complete” existing forms or roof lines.”

Staff Comment: The proposed addition has a larger footprint than the existing home, however, the ridge of the existing roof and new addition are similar in height, about 20’- 3”.

Architectural Advisor Comments: The differentiation between the existing and new structure is appreciated.

Our Design: *No comment.*

Architectural Elements:

- Windows (PAG, pg. 47)

Proposed Windows: A variety of windows are proposed, please refer to the elevation drawings.

Staff Comment: Staff requests additional detail for the windows, as they appear to lack consistency with the architectural guidelines, or match the window proportions or style of the existing home.

Additional HDAC comment: Tom Coffey wanted us to continue the grid lines of the front windows to the rest of the house.

Our Design: *All of the existing historic windows in the home will stay intact; the only house window that was compromised mid-century was the center window on the east side of the home that was removed and bricked up. It will be restored with one of the original windows from the interior of the home (the interior window is the exact same material, style and size as the other original exterior windows). The existing window replacements currently located on the front of the front porch are simulated divided lite pattern of 4 tall x 3 wide in one fixed panel, as opposed to the original pattern existing on the east and west side of the front porch of 4 tall x 2 wide x 2 casement panels. All of these windows will also be restored and remain in their current condition.*

The windows in the addition do not mimic the double hung sash style of the residential structure due to various criteria including the interior floor plan and floor to floor height. However, their style does tie into the square window panes of the casement windows in the dormers of the house.

HDAC Comment: Brad Croomes asked if the windows on the transition piece of the addition would be tinted. Tom Coffey also asserted that the windows should not be tinted.

Our Design: *The glazing in the addition will be clear float glass, Vitro Solarban 60 Low-E or similar.*

- Doors (PAG, pg. 57)

Proposed Doors: Please refer to the elevation drawings.

Staff Comment: The applicant has not provided sufficient information for Staff to determine whether the proposed doors meet the Historic District guidelines.

Our Design: *The front door to the home will be restored and remain in place. The existing white storm door will be removed and, ideally, replaced to protect the 6 panel solid wood door. The new storm door will be narrow frame charcoal gray or black finish with clear glass. The design intent for the east entry door leading to the addition is an architecturally significant reclaimed historic wood door with ¾ glass. As such, final details and/or cut sheets are not currently available.*

HDAC Comment: Brad Croomes and Tom Coffey should concern that the side door itself not be aluminum storefront glazing.

Our Design: *The door will not be a storefront door.*

- Gutters and Downspouts (PAG, pg. 68)

“Aluminum downspouts may be used for replacement or new construction. In general, downspouts should be painted to match the base wall color of the building.”

Proposed Gutters and Downspouts: 5” gutter, downspouts are not detailed on the drawing set.

Staff Comment: The applicant has not provided sufficient information to determine where the gutters and downspouts are located. The color and material of the gutters and downspouts are not included in the submission. The gutters and downspouts should be located as unobtrusively as possible, and should match those of the existing home.

HDAC comment: Tom Coffey requested half round gutters.

Our Design: *We will follow the staff comment citing PAG p.68. As to placement, the downspouts have been added to building elevations for reference.*

- Painting and Colors (PAG, pg. 70)

Staff Comment: Color samples are included in the submission; however, more clarification is needed where each color is applied.

HDAC Comments: Erin Wesson commenting on liking the plan, especially the paint colors.

Our Design: *Proposed colors are dark colors intended to really let the historic glazed block be showcased (the glazed block will not be painted). Colors include: Sherwin Williams Dark Night, Sherwin Williams Mount Etna, and Sherwin Williams Inkwell. We plan to use the darkest color presented to anchor the foundation of the existing building and cover the lower quality utilitarian foundation block that has sustained damage over the years. This will help feature the beautiful glazed block that is the main floor of the existing building. The slightly lighter dark gray will cover the bulk of the addition with the darker gray anchoring the trash enclosure. The slightly green/bluish gray will accent the door and other features. Additional subtle gold accents will be incorporated to the front of the house in the grooves of the square pillars of the front porch to draw attention to that beautiful design feature.*

Station 321
Administrative Offices
7761 Liberty Road
Powell, Ohio 43065
(740) 938-2021
(740) 938-2031 Fax

Liberty Township

Fire Department

Thomas J. O'Brien, EFO/CFO/MBA/MIFireE
Fire Chief

Station 322
Fire Prevention Bureau
10150 Sawmill Parkway
Powell, Ohio 43065
(740) 938-2022
(740) 938-2032 Fax

04/23/2021

Ms. Gretchen Bonasera
4200 Macduff Way
Dublin Ohio, 43016

Regarding: Serviceability request for The Venery: 80 E. Olentangy St. located in Powell / Liberty Township, Delaware County

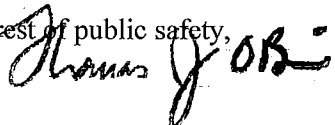
Ms. Bonasera,

There is adequate water supply and The Liberty Township Fire Department can provide fire service to the following parcel in Powell / Liberty Township, Delaware County Ohio; this parcel is within 1.6 miles of the Liberty Township Fire station that is located at 10150 Sawmill Parkway Powell, Ohio 43065.

Delaware County Parcel # 319-425-13-051-002

If you should have any questions please contact me.

In the interest of public safety,

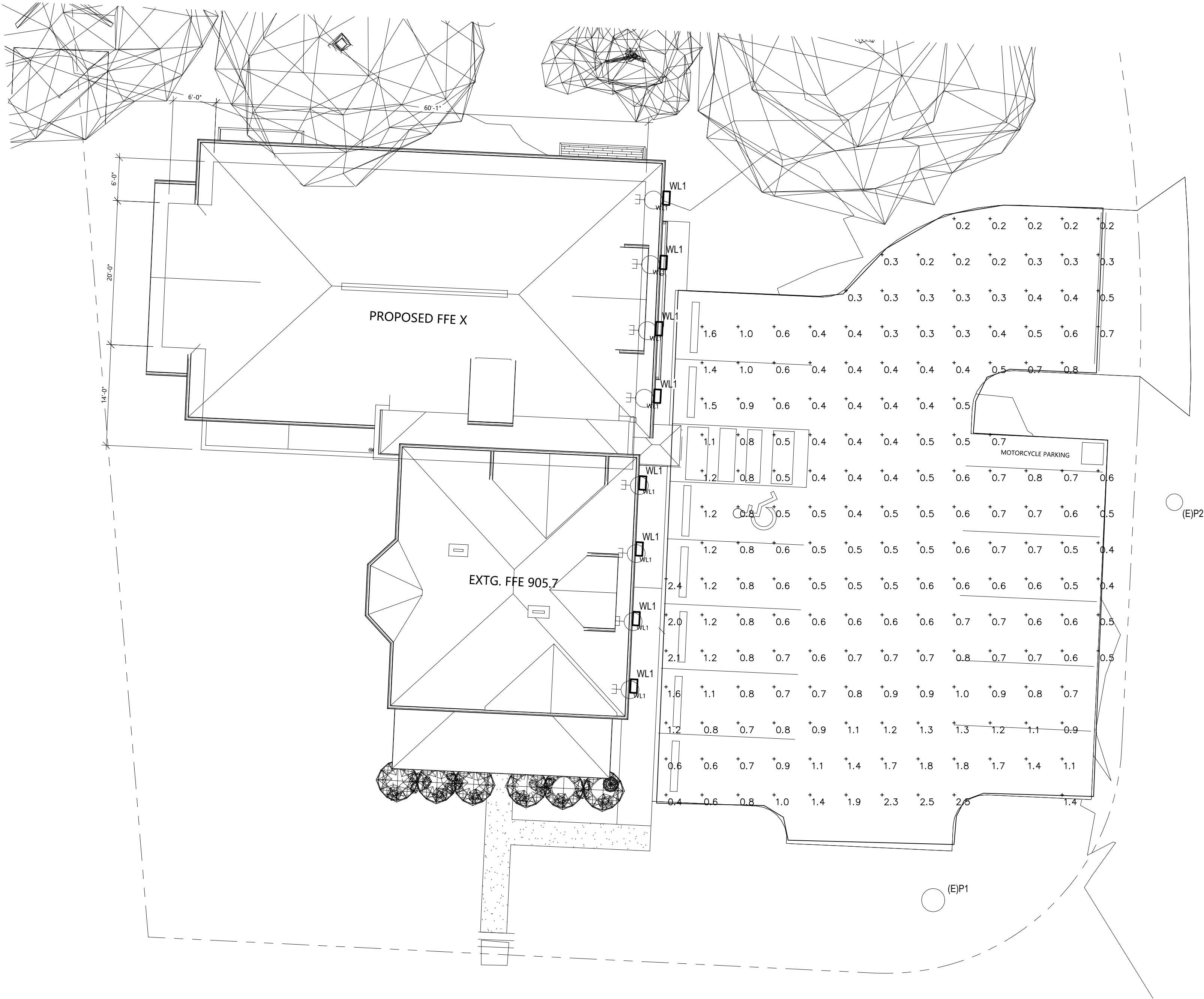


Thomas J. O'Brien, EFO/CFO/MBA/MIFir
Fire Chief
Liberty Township Fire Department #21-117

Cc: Lt. Tom Saunders

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
PARKING LOT	+	0.8 fc	2.5 fc	0.2 fc	12.5:1	4.0:1

LIGHTING FIXTURE SCHEDULE					
MARK	DESCRIPTION	VOLT	LAMP	MOUNT	MANUFACTURER
(E) P1	POLE MOUNTED OUTDOOR PENDANT WITH LED BULB (OWNED BY CITY OF POWELL)	EXIST.	EXIST. 60W LED BULB, 7600 LUM (APPROX.)	MOUNTED TO EXISTING POLE 16' (APPROX.)	EXISTING TO REMAIN
(E) P2	POST TOP LANTERN WITH LED BULB (OWNED BY CITY OF POWELL)	EXIST.	EXIST. 60W LED BULB, 7600 LUM (APPROX.)	MOUNTED TO EXISTING POLE 14' (APPROX.)	EXISTING TO REMAIN
WL1	EXTERIOR WALL PACK	120	60 W INC. 800 LUM (APPROX.) 4000 K	WALL MOUNT @8'-0" A.F.F.	SHADES OF LIGHT #OL20023



SITE PHOTOMETRIC PLAN

SCALE: 1" = 10'-0"

1 Point One Design, Ltd.
Consulting Engineers

9941 York Theta Drive North Royalton, Ohio 44113
440-230-1800 Fax 440-230-1831
cleveland@pointonedesign.com

2800 Corporate Exchange Dr., Suite 270 Columbus, Ohio 43231
614-550-3500 Fax 614-540-3502
columbus@pointonedesign.com

SITE PHOTOMETRIC PLAN

80 E. OLENTANGY STREET
POWELL, OHIO 43065

PROJECT NO. TBD
DRAWN BY: VWE
CHECKED BY: VWE
SCALE: AS NOTED
DATE: 04-09-2021

Sheet No.
SP-1

CHANDELIERS	CEILING LIGHTS	FANS	WALL LIGHTS	LAMPS & SHADES	OUTDOOR LIGHTS	RUGS	HOME DECOR	INSPIRATION	NEW ARRIVALS
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^



VERITAS
OUTDOOR
WALL LIGHT -
SMALL

SKU OL20023

\$158.00

• In stock and ready to ship

Qty 1

ADD TO CART

+ Add to Wish List

Description

Adorn your outdoors with a piece from our Veritas Collection. Offered in a range of sizes, these mid-century fixtures are structured with textured black hardware and center globe shade. Stylish and functional, these glowing components will make your home stand-out on the block.

- **Actual Size:** 18.75"Hx6"Wx8"D
- **Backplate/Canopy Size:** 18.75"Hx5"W Rectangular
- **Bulb Base:** US Candelabra-E12
- **Bulb Included:** No
- **Color:** Black / Opal Glass

- **Indoor-Outdoor:** Yes
- **Limited Warranty:** 1 Year
- **Material:** Aluminum, Glass
- **Max Bulb Wattage:** 60
- **Number of Lights:** 1
- **Safety Rating:** Wet

California Residents See PROP 65 WARNINGS ▾

Reviews



4.0 / 5 • 1 reviews

EXPAND +

SHOP COLLECTION

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VERITAS OUTDOOR
WALL LIGHT -
MEDIUM

\$218.00



VERITAS OUTDOOR
WALL LIGHT -
LARGE

\$338.00

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