



HISTORIC DOWNTOWN ADVISORY COMMISSION (HDAC) CERTIFICATE OF APPROPRIATENESS APPLICATION

ALL ITEMS ON THIS APPLICATION MUST BE COMPLETED.

Per Fee Ordinance 2019-49

Applicant: _____

Address/City/State/Zip: _____

Email Address: _____

Phone No: _____ Cell Phone No: _____ Fax No: _____

Property Owner: _____

Address/City/State/Zip: _____

Email Address: _____

Phone No: _____ Cell Phone No: _____ Fax No: _____

Architect/Designer for Applicant: _____

Address/City/State/Zip: _____

Email Address: _____

Phone No: _____ Cell Phone No: _____ Fax No: _____

Property Address: _____

Lot Number/Subdivision: _____ Existing Use: _____ Proposed Use: _____

Proposed type of Environmental Change:

Checklist:

- ☐ Attach **5 copies** of plot plan as well as any other drawings or written material that will help the Administration and Commission understand the nature of the proposal.
 - ☐ **1 digital copy** (CD, USB, Email) of the complete application packet.
 - ☐ Attach a list of contiguous property owners as well as directly across the street from and within 250 feet of property
 - ☐ Attach the required fee - \$150.00 per unit (New Residential Construction)
 - ☐ Attach the required fee - \$50.00 (Residential Additions/Remodeling)
 - ☐ Attach the required fee - \$250.00 per unit (New Commercial Construction)
 - ☐ Attach the required fee - \$100.00 (Commercial Additions/Remodeling)
 - ☐ Attach the required fee - \$50.00 (Commercial Signs)
 - ☐ Attach the required fee - \$100.00 (Demolition Review)
 - ☐ Post a public notice sign at least (10) days prior to a public hearing or public meeting, pursuant to ordinance 1107.035
- Public notice sign details found [here](#).

(See Over)

I agree to grant the City Staff, the Commission, Board or Council considering this application access to the property that is the subject of this application for the purposes of reviewing this application and posting public notice for this application.

Signature of Applicant: Sarah Mackert Date: _____

Office Use
Received

Office Use
Type/Date: _____
Prepared by: _____
Reviewed by: _____
PAYOR: _____
RECIEPT # _____

City of Powell · 47 Hall Street · Powell, Ohio 43065 · (614) 885-5380 · (614) 885-5339 fax· www.cityofpowell.us

ABREVIATIONS

@ = AT
AB = ANCHOR BOLT
A/C = AIR CONDITIONING
ADJ = ADJACENT
AFF = ABOVE FINISHED FLOOR
AFS = ABOVE FINISHED SLAB
ALS = ACRYLIC LATEX SEALANT
ALUM = ALUMINUM
ANOD = ANODIZED
ARA = AREA OF RESCUE ASSISTANCE
AP = ACCESS PANEL
APPROX = APPROXIMATELY
ARCH = ARCHITECT
AS = ACOUSTICAL SEALANT

B/= BOTTOM OF
B/B = BACK TO BACK
BD = BOARD
BFG = BELOW FINISHED GRADE
BLDG = BUILDING
BLK = BLOCK (BLOCKING)
BM = BEAM
BMT = BUTYL MASTIC TAPE SEALANT
BRK = BRICK
BRS = BUTYL RUBBER SEALANT
BRZ = BRONZE
BSMT = BASEMENT
BTW = BETWEEN
BYD = BEYOND

C/C = CENTER TO CENTER
CIP = CAST-IN-PLACE
CEM = CEMENT
CER = CERAMIC
CFL = COUNTERFLASH (ING)
CJ = CONTROL JOINT
CL = CENTER LINE
CLG = CEILING
CLO = CLOSET
CLR = CLEAR OPENING
CMU = CONCRETE MASONRY UNIT
CO = CLEAN OUT
COL = COLUMN
CONC = CONCRETE
CONST = CONSTRUCTION
CONTR - CONTRACTOR
CONT = CONTINUOUS
COORD = COORDINATE
CORR = CORRIDOR
CPT = CARPET
CT = CERAMIC TILE
CTSK = COUNTERSINK
CTR = CENTER
CU = CUBIC

DB = DIRECT BURIAL
DBL = DOUBLE
DD = DECK DRAIN
DIA = DIAMETER
DIFF = DIFFUSER
DIM = DIMENSION
DIR = DIRECTION
DN = DOWN
DR = DOOR
DS = DOWN SPOUT
DTL = DETAIL
DW = DRY WALL
DWG (S) = DRAWING (S)

EA = EACH
EB = EXPANSION BOLT
EC = EXPOSED CONSTRUCTION
EF = EXHAUST FAN
EJ = EXPANSION JOINT
EL = ELEVATOR
ELEC = ELECTRIC
ELEV = ELEVATION
EOS = EDGE OF SLAB
EQ = EQUAL
EQUIP = EQUIPMENT
EXIST - G = EXISTING
EXT = EXTERIOR

F = FEMALE
FA = FIRE ALARM
FACP = FIRE ALARM CONTROL PANEL
FB = FACE BRICK
F/C = FAN COIL
FD = FLOOR DRAIN
FE = FIRE EXTINGUISHER
FEC = FIRE EXTINGUISHER CABINET
FF = FINISHED FLOOR
FIN = FINISH (ED)
FIXT = FIXTURE
FLR = FLOOR
FLUOR = FLUORESCENT
FND = FOUNDATION
FOC = FACE OF CONCRETE
FOF = FACE OF FINISH
FOS = FACE OF STUD
FSD = FIRE SEPARATION DISTANCE
FRT = FIRE RETARDANT TREATED
FT = FEET
FTG = FOOTING
FV = FIELD VERIFY

G = GAS
GA = GAUGE
GALV = GALVANIZED
GC = GENERAL CONTRACTOR
GEN - L = GENERAL
GL = GLASS
GR = GRANITE
GRND = GROUND
GST = GLAZED STRUCTURAL TILE
GWB = GYPSUM WALL BOARD

HB = HOSE BIBB
BDW = HARDWARE
HWDW = HARDWOOD
HM = HOLLOW METAL
HORIZ = HORIZONTAL
HR = HOUR
HS = HIGH STRENGTH
HT = HEIGHT
HVAC = HEATING, VENTILATION, A/C

ID = INSIDE DIAMETER
IG = INSIDE GLAZED
IN = INCH
INFO = INFORMATION
INSUL = INSULATION
INT = INTERIOR

J = JOIST
JAN = JANITOR
JB = JUNCTION BOX
JC = JANITORS CLOSET
JT = JOINT

KIT = KITCHEN
KP = KICK PLATE

L = LENGTH
LAM = LAMINATE (D)
LAV = LAVATORY
LB = POUND
LBL = LABEL
LH = LEFT HAND
LIN = LINEAR
LLH = LONG LEG HORIZONTAL
LLV = LONG LEG VERTICAL
LV = LINEAR FEET
LP = LOW POINT
LT (G) = LIGHTING (ING)
LVPL = LEVELING PLATE
LVR = LOUVER

M = MALE
MACH = MACHINE
MAINT = MAINTENANCE
MAR = MARBLE
MAS = MASONRY
MATL = MATERIAL
MAX = MAXIMUM
MDF = MEDIUM DENSITY FIBER
MDO = MEDIUM DENSITY OVERLAY
MECH = MECHANICAL
MEMB = MEMBRANE
MEZZ = MEZZANINE
MFD = MANUFACTURED
MFR = MANUFACTURER
MGR = MANAGER
MGT = MANAGEMENT
MH = MAN HOLE
MIN = MINIMUM
MIR = MIRROR
MISC = MISCELLANEOUS
MO = MASONRY OPENING
MP = METAL PANEL
MTD = MOUNTED
MTG = MEETING
MTL = METAL

N = NORTH
NAT = NATURAL
NIC = NOT IN CONTRACT
NO = NUMBER
NOM = NOMINAL
NTS = NOT TO SCALE

O.R.C. = OHIO RESIDENTIAL CODE
OA = OVERALL
OC = ON CENTER
OD = OUTSIDE DIAMETER
OH = OPPOSITE HAND
O/O = OUT TO OUT
OPNG = OPENING
OPP = OPPOSITE
OZ = OUNCE

PARTN = PARTITION
PC = PERPENDICULAR
PCP = PRECAST CONCRETE PLATE
PERF = PERFORATED
PFN = PREFINISH (ED)
PH = PHASE
P/L = PROPERTY LINE
PL = PLATE
PLAM = PLASTIC LAMINATE
PLY WD = PLY WOOD
PR = PAIR
PREFAB = PREFABRICATED
PSF = POUNDS PER SQUARE FOOT
PSI = POUNDS PER SQUARE INCH
P.T. = PRESSURE TREATED
PT = PAINT
PTD = PAINTED

QT = QUARRY TILE
QTY = QUALITY
QUANT = QUANTITY

R = RADIUS
RA = RETURN AIR
RB = RESILIENT BASE
RC = REINFORCED CONCRETE
RD = ROOF DRAIN
REF = REFERENCE
REG = REGISTER
REINF = REINFORCED
REQ - D = REQUIRED
REV = REVISION
RFL = REFLECTED
RGTR = REGISTER
RI = RISER
RM = ROOM
RMV = REMOVE
RO = ROUGH OPENING
RoW = RIGHT OF WAY

S = SOUTH
SA = SUPPLY AIR
SD = SMOKE DETECTOR
SECT = SECTION
SGG = SILICONE GLAZING GASKET
SGS = SILICONE GLAZING SEALANT
SHT = SHEET
SHTG = SHEATHING
SIM = SIMILAR
SJS = SILICONE JOINT SEALANT
SPEC = SPECIFICATION
SQ = SQUARE
SOFT = SQUARE FEET
SOYD = SQUARE YARD
SS = STAINLESS STEEL
ST = SEALANT TAPE
STD = STANDARD
STM = STORM
STOR = STORAGE
STRUCT = STRUCTURAL
SUSP = SUSPENDED
SYS = SYSTEM

T = TOWNHOUSE
T/ = TOP OF
TEL = TELEPHONE
TEMP = TEMPERATURE
TH = TOWNHOUSE
THK = THICK (NESS)
THR = THRESHOLD
TYP = TYPICAL

UC = UNDERCUT
UG = UNDERGROUND
UNF = UNFINISHED
UNO = UNLESS NOTED OTHERWISE

VA = VOLT-AMPS
VAL = VALVE
VERT = VERTICAL
VEST = VESTIBULE
VIF = VERIFY IN FIELD
VCT = VINYL COMPOSITION TILE
VWC = VINYL WALL COVERING

W = WEST
W/ = WITH
W/O = WITH OUT
WC = WATER CLOSET
WCO = WALL CLEAN OUT
WD = WOOD
WDW = WINDOW
WRB = WEATHER RESISTIVE BARRIER
WPR = WATERPROOFING
WPT = WORK POINT
WT = WEIGHT
WWF = WELDED WIRE FABRIC

YD = YARD

SYMBOLS LEGEND

	BUILDING SECTION	AREA NAME 100 SF	AREA TAG
	WALL SECTION	ROOM NAME 101	ROOM TAG
	DETAIL SECTION	NOTE	CODED NOTE
	DETAIL CALLOUT	KEYNOTE	
	EXTERIOR ELEVATION	REVISION TAG	
	INTERIOR ELEVATION	WALL TAG	
	ELEVATION	WINDOW TAG	
	SPOT ELEVATION	DOOR TAG	
	STRUCTURAL GRID LINE	FLOOR/ROOF TAG	
	MATCH LINE	ACCESSORY TAG	
	CENTERLINE		

MATERIALS LEGEND

	EARTH		GRAVEL		GEOLOGICAL ROCK
	CONCRETE		GROUT		MORTAR
	MASONRY		CMU		FIREBRICK
	STONE		RUBBLE		SLATE
	METAL		ALUMINUM		BRASS
	WOOD		ROUGH		BLOCKING
	FINISH		PLYWOOD (LARGE SCALE)		CORK
	FINISHES		GYPSUM PLASTER		CERAMIC TILE
	INSULATION		BATT/ LOOSE		RIGID
	GLASS		GLASS		SPRAY FOAM

HDAC DRAWING INDEX

G0.00	COVER SHEET
G0.01	SITE PLAN (ARCHITECTURAL)
G1.03	FLOOR, CEILING & WALL ASSEMBLIES
A1.00	FOUNDATION PLAN
A1.01	EXISTING BASEMENT + NEW LEVEL 1 PLAN
A1.02	EXISTING LEVEL 1 PLAN
A1.03	NEW MEZZANINE PLAN
A1.04	EXISTING ATTIC
A1.05	ROOF PLAN
A2.00	BUILDING ELEVATIONS
A2.01	BUILDING ELEVATIONS
A8.00	RENDERINGS
A8.01	RENDERINGS
A8.02	MATERIAL PALETTE
A8.03	SITE LIGHTING
A8.04	EXISTING IMAGES
CIVIL	CIVIL SITE PLAN

PROJECT SUMMARY

PARCEL SUMMARY:	DELAWARE COUNTY PARCEL NO. 31942513051002 0.46 ACRES
PROJECT DESCRIPTION:	THE PROJECT CONSISTS OF A CHANGE OF OCCUPANCY WITH ALTERATIONS TO AN EXISTING 2,772 SF IIIB STRUCTURE LOCATED WITHIN THE VILLAGE OF POWELL, OHIO. A 2,821 SF ADDITION OF TYPE VB CONSTRUCTION WILL BE ADDED TO THE NORTH. THESE COMBINED SPACES WILL ACCOMMODATE AN A-2 ASSEMBLY OCCUPANCY WITH SUPPORTING OFFICE, RESTROOMS, STORAGE, UTILITY AND CIRCULATION AS REQUIRED FOR A PRIVATE SOCIAL CLUB.

THE VENERY

80 E OLENTANGY STREET POWELL, OHIO 43065

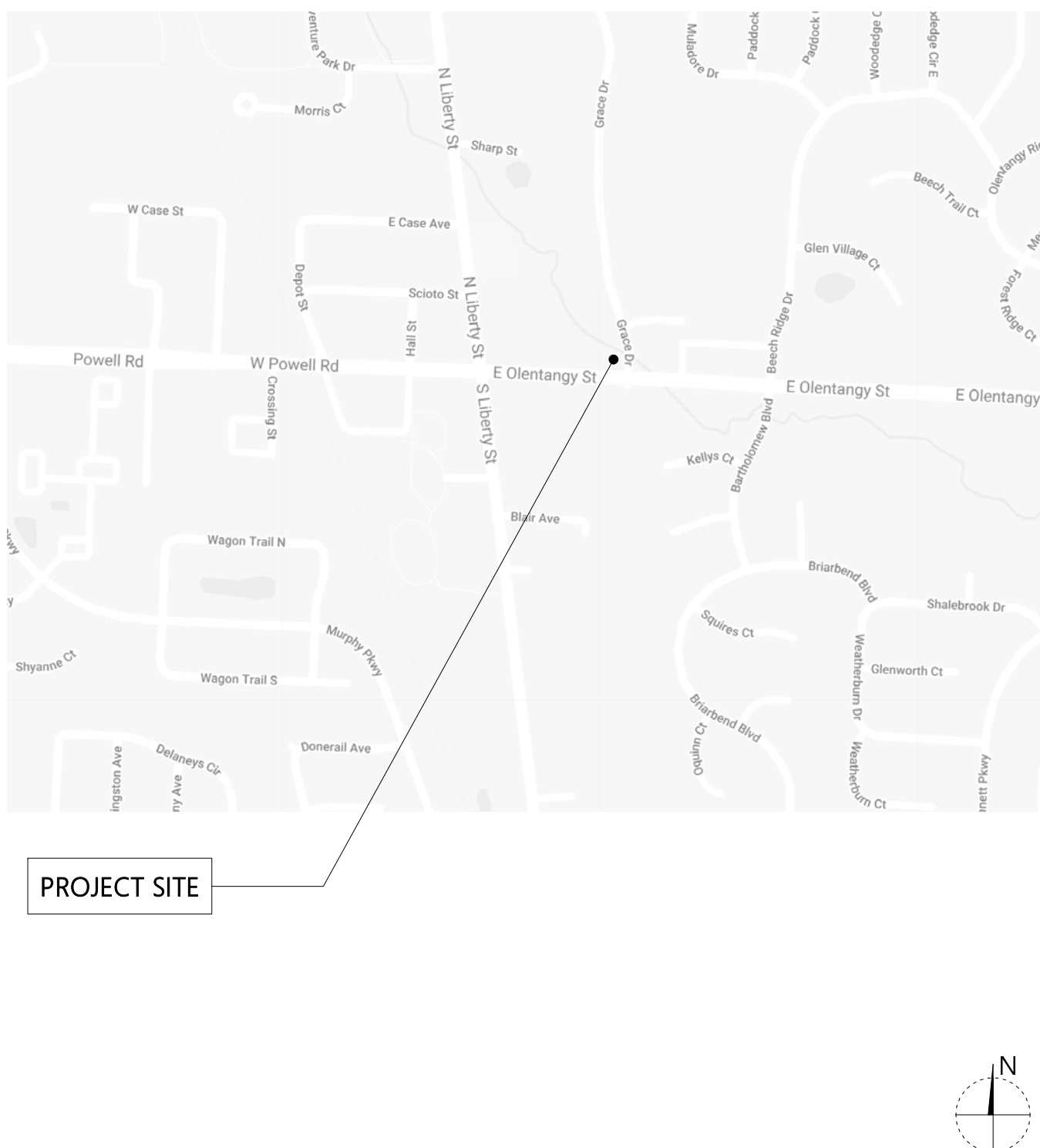
PROJECT DIRECTORY

Owner:	Goodnight Investments Michael + Gretchen Bonasera thefoodsmith@foodsmith.com Owner Phone No.
Architect:	SJM studio, LLC Sarah Mackert sjm@sjmstudioilc.com (937) 215-0845
Civil Engineer:	IBI Group Eric Chenevey eric.chenevey@ibigroup.com 614.679.3645
Structural Engineer:	Ehlers Engineering, LLC Derek Ehlers, PE derek@ehlersengineering.com 614.330.2298
MEP Engineer:	Allemang Engineering, LLC Donald K. Allemang, PE dalleman@columbus.rr.com 614.580.9006
General Contractor:	Lincoln Construction Greg Schmitt gschmitt@lincolnconstruction.com 614.457.0180

APPLICABLE CODES

VILLAGE OF POWELL, PLANNING AND ZONING CODE
2017 OHIO BUILDING CODE (OBC) + AMENDMENTS
2017 OHIO PLUMBING CODE (OPC) + AMENDMENTS
2017 OHIO MECHANICAL CODE (OMC) + AMENDMENTS
2017 NATIONAL ELECTRIC CODE (NEC) , NFPA 70
ICC A117.1-2009 ACCESSIBLE + USABLE BUILDINGS + FACILITIES
2012 INTERNATIONAL ENERGY CONSERVATION CODE + AMENDMENTS
2015 INTERNATIONAL FUEL GAS CODE
ASHRAE 90.1 2010
NATIONAL FIRE ALARM + SIGNALING CODE (NFPA 72-10)
OHIO FIRE CODE 2017

VICINITY MAP



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SJMstudio
www.SJMstudioilc.com
COLUMBUS 1254 Eastwood Avenue, Columbus, OH 43209 T: 937.215.0845

DATE REVISION

PROJECT TITLE
THE VENERY

80 E OLENTANGY STREET
POWELL, OHIO 43065

PROJECT NO. SIM_2010
ISSUE HDAC
ISSUE DATE 03.29.2021

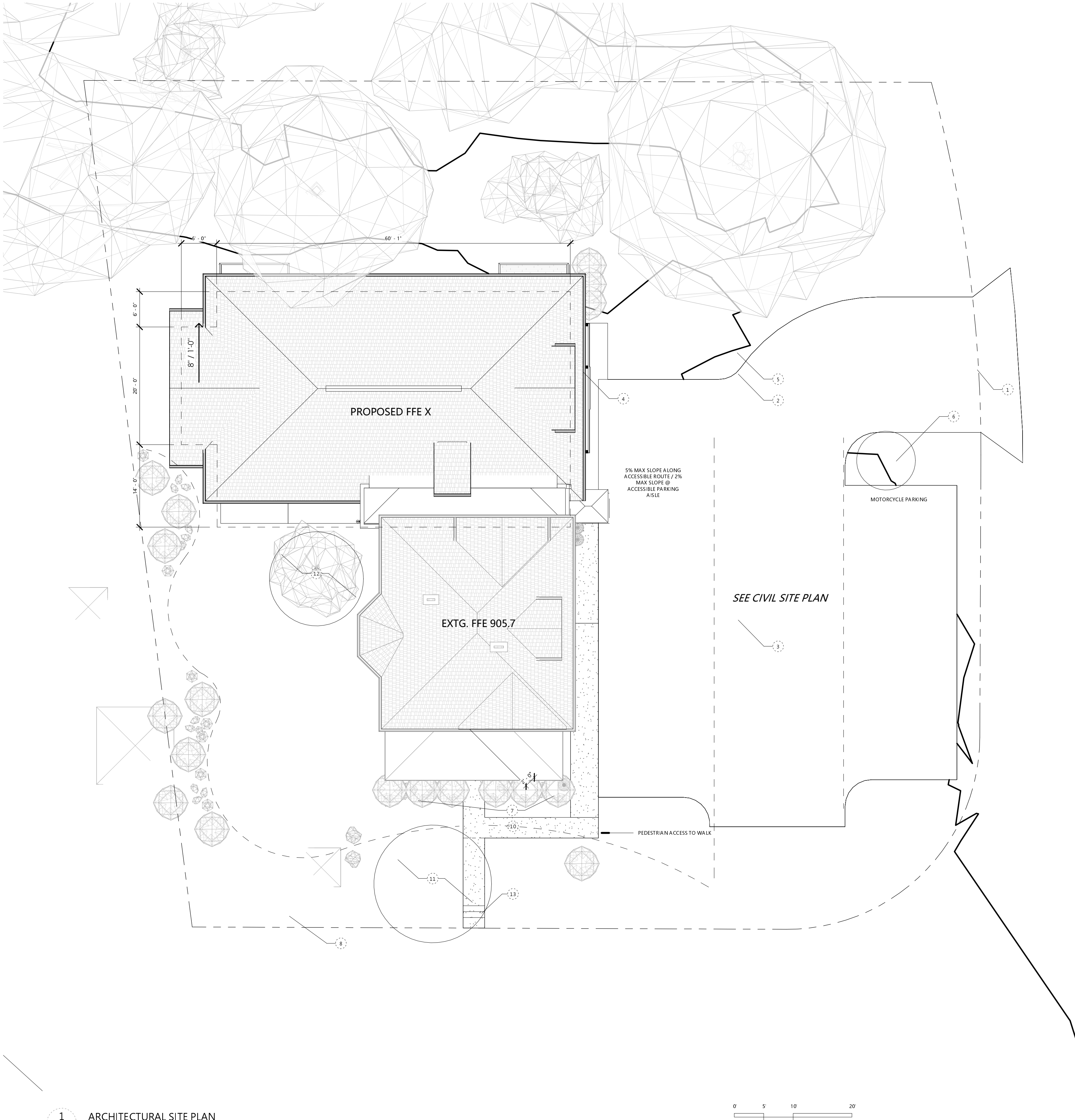
SHEET TITLE
COVER SHEET

SHEET NO.

G0.00
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1
G0.01 ARCHITECTURAL SITE PLAN
1" = 10'-0"

GENERAL ZONING INFORMATION

PARCEL NO.	DELAWARE COUNTY NO. 319-425-13-051-002
ZONING DISTRICT	DB - DOWNTOWN BUSINESS DISTRICT
HEIGHT DISTRICT	H-35

SITE DATA

PROPERTY ADDRESS:	80 E OLENTANGY POWELL, OH 43065
PROPERTY OWNER:	GOODNIGHT INVESTMENTS
OWNER ADDRESS:	4200 MACDUFF WAY DUBLIN, OH 43016
TOTAL LOT AREA:	20,201.79 SF / 0.46 ACRES
TOTAL PRINCIPAL BUILDING FOOTPRINT AREA:	1323 SF EXISTING BUILDING 2193 SF NEW ADDITION 319 SF NEW DECK (COVERED) 44 SF NEW DECK (UNCOVERED) 3,879 SF TOTAL
TOTAL ACCESSORY BUILDING AREA:	2,556 SF
TOTAL COVERED AREA:	4,040 SF OR 20%

SITE SCHEDULE

LOT USAGE:	20% MAX. ALLOWABLE 20% PROPOSED
BUILDING HEIGHT:	35.00' MAX. ALLOWABLE 25.00' PROPOSED
FRONT (SOUTH):	20' MIN - 25' MAX ALLOWABLE 26' EXISTING
FRONT (EAST):	20' MIN - 25' MAX ALLOWABLE 68.5' EXISTING
REAR (NORTH):	5.00' MIN. ALLOWABLE 31' PROPOSED
WEST SIDE:	5.00' MIN. ALLOWABLE 8.75' PROPOSED

SITE PLAN LEGEND

---	PROPERTY LINE
- - - -	MINIMUM SETBACK LINE
- . - . -	PROPOSED SETBACK LINE
(W)	EXISTING WELL

SITE PLAN NOTES

NO.	NOTE
1	PROPOSED CURB CUT AND DRIVE ACCESS TO NEW PARKING LOT
2	PROPOSED SEGMENTAL RETAINING WALL (VERSA-LOK OR SIM)
3	PROPOSED PARKING (SEE CIVIL SITE PLAN)
4	PROPOSED REFUSE, RECYCLING AND MISC. STORAGE ENCLOSURE
5	PROPOSED ENTRANCE LANDSCAPING AREA 1. MAINTAIN EXISTING CONTRIBUTING TREES, SHRUBS AND NATIVE WOODLAND PLANTS
6	PROPOSED ENTRANCE LANDSCAPING AREA 2. MAINTAIN EXISTING CONTRIBUTING TREES. NEW LANDSCAPING REQUIRED
7	PROPOSED ENTRANCE LANDSCAPING AREA 3. MAINTAIN EXISTING CONTRIBUTING TREES, SHRUBS AND NATIVE WOODLAND PLANTS
8	PROPOSED ENTRANCE LANDSCAPING AREA 4. MAINTAIN EXISTING CONTRIBUTING TREES, SHRUBS AND NATIVE WOODLAND PLANTS
10	PROPOSED NEW PAVER WALK + STAIR
11	PROTECT AND MAINTAIN EXISTING GINKGO BILOBA TREE
12	PROPOSED SMALL ORNAMENTAL TREE (NATIVE OHIO FLOWERING DOGWOOD "CANUS FLORIDA" OR EASTERN REDBUD "CERCIS CANADENSIS")
13	EXISTING STEPS

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PROJECT TITLE
THE VENERY
80 E OLENTANGY STREET
POWELL, OHIO 43065
PROJECT NO. SJM_2010
ISSUE HDAC
ISSUE DATE 03.29.2021
SHEET TITLE
**ARCHITECTURAL
SITE PLAN**

SHEET NO.
G0.01
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ROOF TYPE LEGEND

NO.	ASSEMBLY DESCRIPTION	COMMENTS
R1		NOT RATED TYPICAL NEW ROOF
R2		NOT RATED

FOUNDATION TYPE LEGEND

NO.	ASSEMBLY DESCRIPTION	COMMENTS
F1		NOT RATED TYPICAL FOUNDATION WALL

WALL TYPE LEGEND

NO.	ASSEMBLY DESCRIPTION	COMMENTS
EW1		NOT RATED EXTERIOR WALL TYPICAL (LOAD-BEARING AND NON-LOADBEARING) *PER OBC 1405.3.3
EW2		NOT RATED EXTERIOR PARTITION (LOAD BEARING AND NON-LOADBEARING) *PER OBC 1405.3.3
W1		INTERIOR PARTITION - GWB 1 SIDE (NON-LOADBEARING)
W2		INTERIOR PARTITION - GWB 2 SIDES (NON-LOADBEARING)
W3		INTERIOR PARTITION - GWB 2 SIDES (NON-LOADBEARING) STC 49 BASED ON NCC (NATIONAL GYPSUM COMPANY) 2009027 *SOUNDBREAK XP OR SIM.
W4		INTERIOR PARTITION - GWB 2 SIDES (BEARING WALL AND SHEAR WALL)
W5		INTERIOR PARTITION - GWB 2 SIDES (BEARING WALL)
W6		INTERIOR PARTITION - GWB 1 SIDE

REFERENCE WALL SECTIONS FOR EXTERIOR WALL DETAILS & ENLARGED FLOOR PLANS FOR ACOUSTIC BATT INSULATION.
*GWBs APPLIED VERTICALLY OR HORIZONTALLY WITH 6d COOLER OR WALLBOARD NAILS @ 7" O.C. W/ END JOINTS ON NAILING MEMBERS. STAGGER JOINTS EA. SIDE.

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THE VENERY

80 E OLENTANGY STREET
POWELL, OHIO 43065

PROJECT NO. SJM_2010

ISSUE HDAC

ISSUE DATE 03.29.2021

SHEET TITLE

FLOOR, CEILING,
& WALL
ASSEMBLIES

SHEET NO.

G1.03

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2. SEE G1.02 - G1.03 FOR EXTENTS AND TECHNICAL DETAILS OF FIRE-RATED BARRIERS, FIRE-RATED PARTITIONS AND SHAFT WALLS.
3. SEE G1.04 FOR UL ASSEMBLIES.
4. SEE G1.10 FOR TYPICAL ACCESSIBLE CLEARANCES AND DETAILS.
5. EXTERIOR DIMENSIONS ARE TO FACE OF FOUNDATION, FACE OF MASONRY OR FACE OF SHEATHING UNO.
6. INTERIOR DIMENSIONS ARE TO FACE OF STUD UNO.
7. VERIFY ALL DIMENSIONS PRIOR TO BEGINNING WORK AND NOTIFY ARCHITECT FOR RESOLUTION OF ANY DISCREPANCIES.
8. EXTEND FIRE BARRIERS TO UNDERSIDE OF DECK ABOVE UNO.
9. PROVIDE SOUND BATT INSULATION AT ALL TOILET ROOMS AND MECHANICAL ROOMS.
10. PROVIDE 5/8" CEMENT BACKER BOARD AT ALL TILE WALL LOCATIONS W/ BLOCKING BEHIND ALL CEMENT BACKER BOARD SHEET.
11. PROVIDE 5/8" MOISTURE RESISTANT GWB AT ALL WET WALL LOCATIONS.
12. COMPLY WITH MANUFACTURER INSTRUCTIONS FOR INSTALLATION OF BUILDING MATERIALS AND FF&E.
13. LOCATION AND SIZE OF PENETRATIONS/MEMBRANE PENETRATIONS OF FLOORING ASSEMBLIES ARE APPROXIMATE. GC TO FIELD VERIFY SIZE AND LOCATION.
14. CONSULT OWNER TO VERIFY PROJECT SALVAGE REQUIREMENTS OF ITEMS NOT IDENTIFIED FOR REUSE HERE PRIOR TO REMOVAL START.
15. PROTECT EXISTING ORIGINAL ARCHITECTURE THROUGHOUT INCLUDING WINDOWS, DOORS, MISC. GLASS CASEWORK, MILLWORK, STAIRS, RAILINGS, HARDWARE AND (TO THE GREATEST EXTENT POSSIBLE) PLASTER.
16. COMMERCIAL SPACE SCOPE:
 - A. GC TO PROVIDE "WARM GRAY BOX," INCLUDING PLUMBING ROUGH-IN, ELECTRICAL SERVICE, TEMPORARY HEAT, FINAL FINISH ALL GWB SURFACES

NO.	NOTE
1	INACCESSIBLE EXT. CRAWL SPACE CONDITIONS TO BE VERIFIED IN FIELD.
2	EXTG. VENTILATION OPENINGS IN CRAWL SPACE FOUNDATION WALL, TYP. OF (3)
3	REMOVE EXT. STONE MASONRY AS REQ'D TO PROVIDE NEW SECURE, INSTALLED CRAWL SPACE ACCESS PANEL
4	EXTG. SPLIT SYSTEM AHU TO REMAIN. RECONFIGURE EXTG. DUCTWORK AS REQ'D TO ACCOMMODATE OVERHEAD CLEARANCE IN BASEMENT ROOM 1 AND 2
5	PROVIDE NEW OPENING IN EXTG. LOAD BEARING MASONRY WALL
6	PROVIDE NEW 4' CONC. SLAB THROUGHOUT BASEMENT
7	PROVIDE NEW 8" DOUBLE WYTHE BRICK MASONRY WALL ON 16" WIDE X 8" DEEP REINFORCED CONC. FOOTER AS INDICATED
8	MAINTAIN AS EMERGENCY EGRESS OPENING
9	NEW 90 MINUTE FIRE-RATED DOOR IN EXTG. OPENING
10	INFILL EXTG. WINDOW OPENING W/ MASONRY TO MATCH EXTG.
11	INFILL EXTG. DOOR OPENING W/ MASONRY TO MATCH EXTG.
12	GULLY GUARDRAIL, 42"
13	65 GALLON REFUSE / RECYCLING TOTES AND/OR LAWNMOWER AND MAINTENANCE STORAGE CONCEALED IN REFUSE ENCLOSURE
16	MAINTAIN AS EMERGENCY EGRESS OPENING

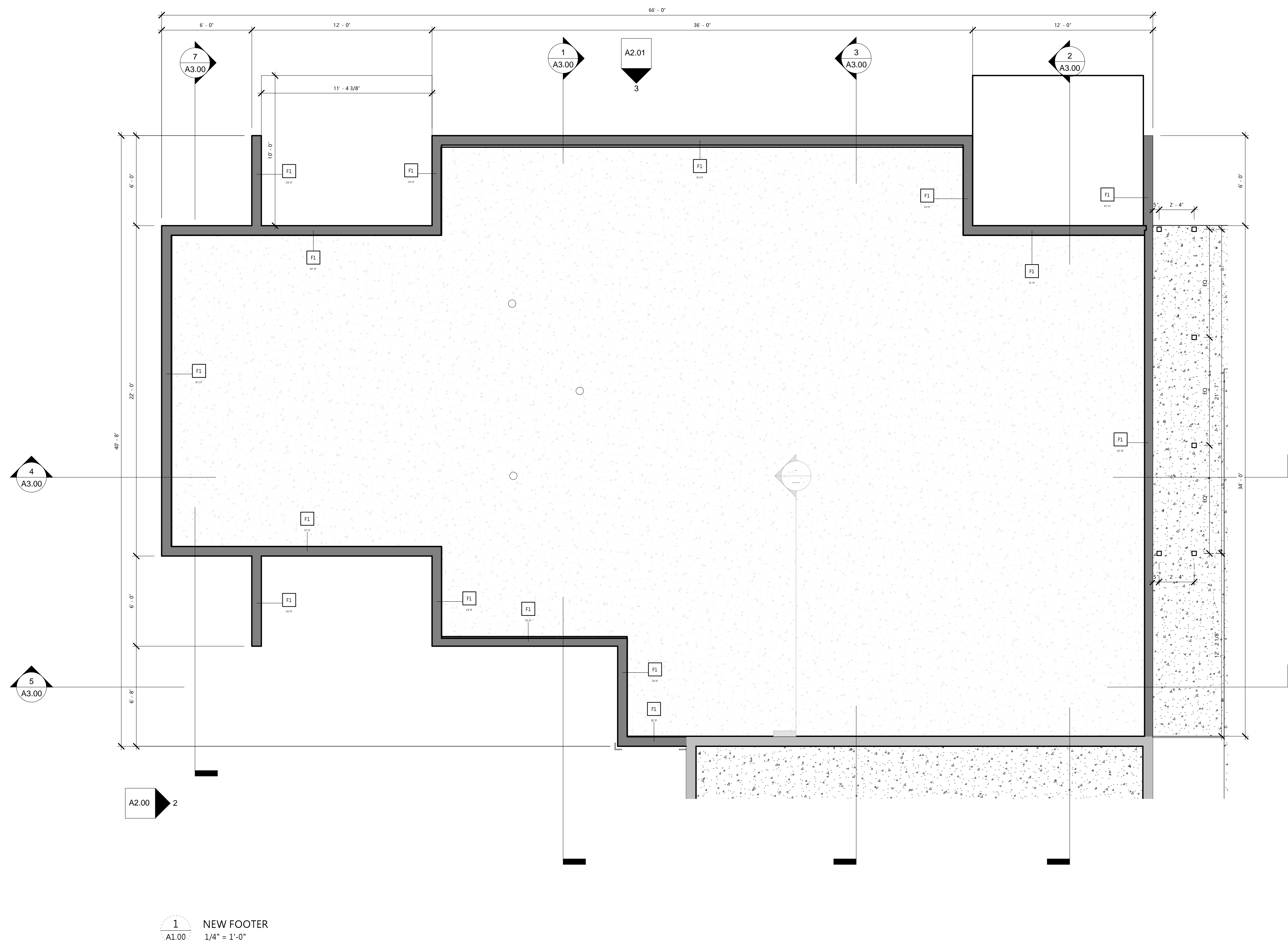
#	DATE	REVISION
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80 E OLENTANGY STREET
POWELL, OHIO 43065

PROJECT NO.	SJM_2010
ISSUE	HDAC
ISSUE DATE	03.29.2021

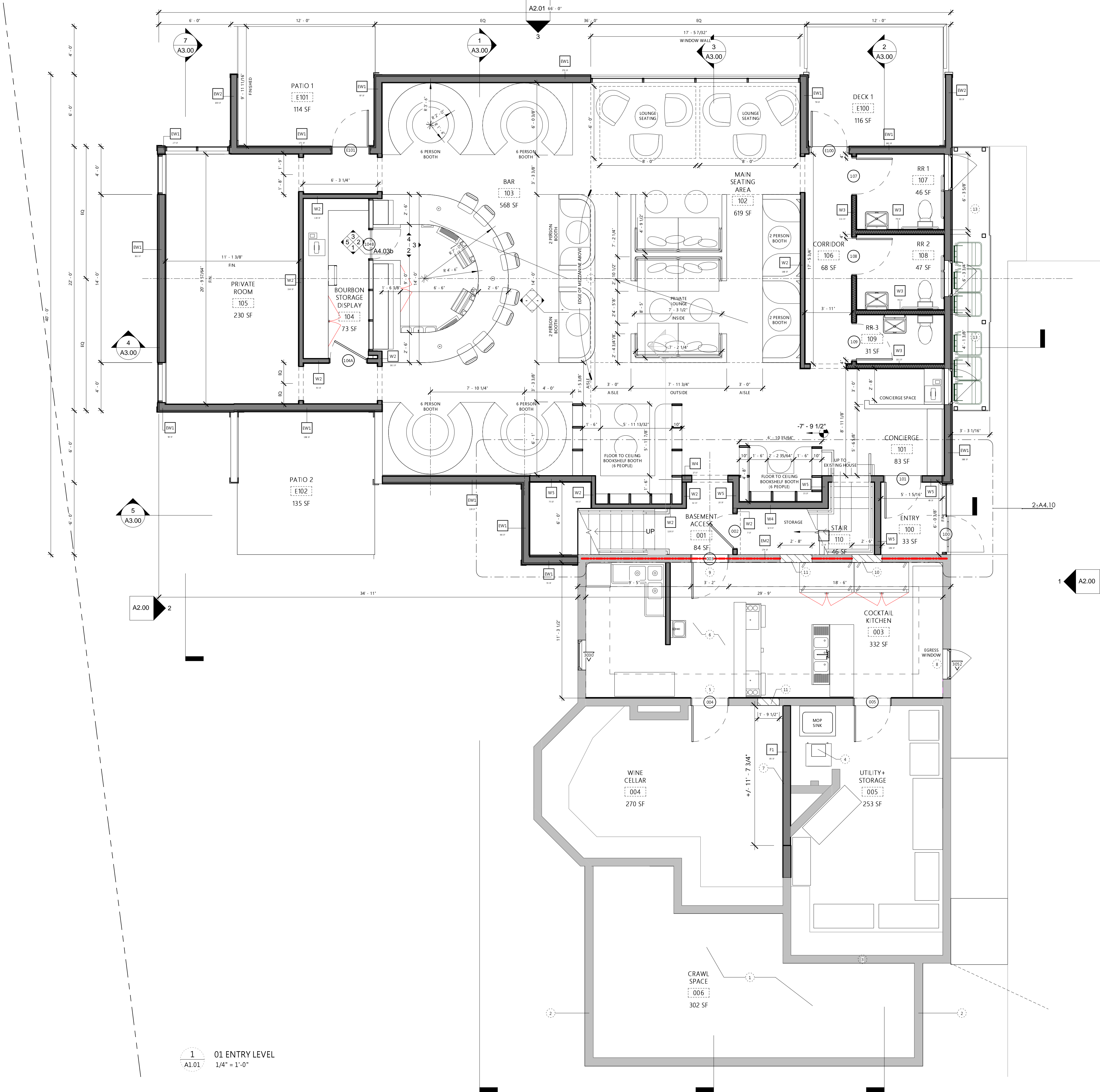
SHEET NO. _____

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1
A1.01
01 ENTRY LEVEL
1/4" = 1'-0"

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- SEE G1.04 FOR UL ASSEMBLIES.
- SEE G1.10 FOR TYPICAL ACCESSIBLE CLEARANCES AND DETAILS.
- EXTERIOR DIMENSIONS ARE TO FACE OF FOUNDATION, FACE OF MASONRY OR FACE OF SHEATHING UNLESS NOTED.
- INTERIOR DIMENSIONS ARE TO FACE OF STUD UNO, VERIFY ALL DIMENSIONS PRIOR TO BEGINNING WORK AND NOTIFY ARCHITECT FOR RESOLUTION OF ANY DISCREPANCIES.
- EXTEND FIRE BARRIERS TO UNDERSIDE OF DECK ABOVE UNO.
- PROVIDE SOUND BATT INSULATION AT ALL TOILET ROOMS AND MECHANICAL ROOMS.
- PROVIDE 5/8" CEMENT BACKER BOARD AT ALL TILE WALL LOCATIONS W/ BLOCKING BEHIND ALL CEMENT BACKER BOARD SEAMS.
- PROVIDE 5/8" MOISTURE RESISTANT GWB AT ALL WET WALL LOCATIONS.
- COMPLY WITH MANUFACTURER INSTRUCTIONS FOR INSTALLATION OF BUILDING MATERIALS AND FF&E LOCATION AND SIZE OF PENETRATIONS/MEMBRANE PENETRATIONS OF FIRE-RATED ASSEMBLIES ARE APPROXIMATE. GC TO FIELD VERIFY SIZE AND LOCATION.
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- PROTECT EXISTING ORIGINAL ARCHITECTURE THROUGHOUT INCLUDING WINDOWS, DOORS, MISC. GLASS, CASEWORK, MILLWORK, STAIRS, RAILINGS, HARDWARE AND (TO THE GREATEST EXTENT POSSIBLE) PLASTER.
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| 11 | INFILL EXTG. DOOR OPENING W/ MASONRY TO MATCH EXTG. |
| 12 | GLASS GUARDRAIL, 42" |
| 13 | 65 GALLON REFUSE / RECYCLING TOTES AND/OR LAWN CARE AND MAINTENANCE STORAGE CONCEALED IN REFUSE ENCLOSURE. |
| 16 | MAINTAIN AS EMERGENCY EGRESS OPENING. |

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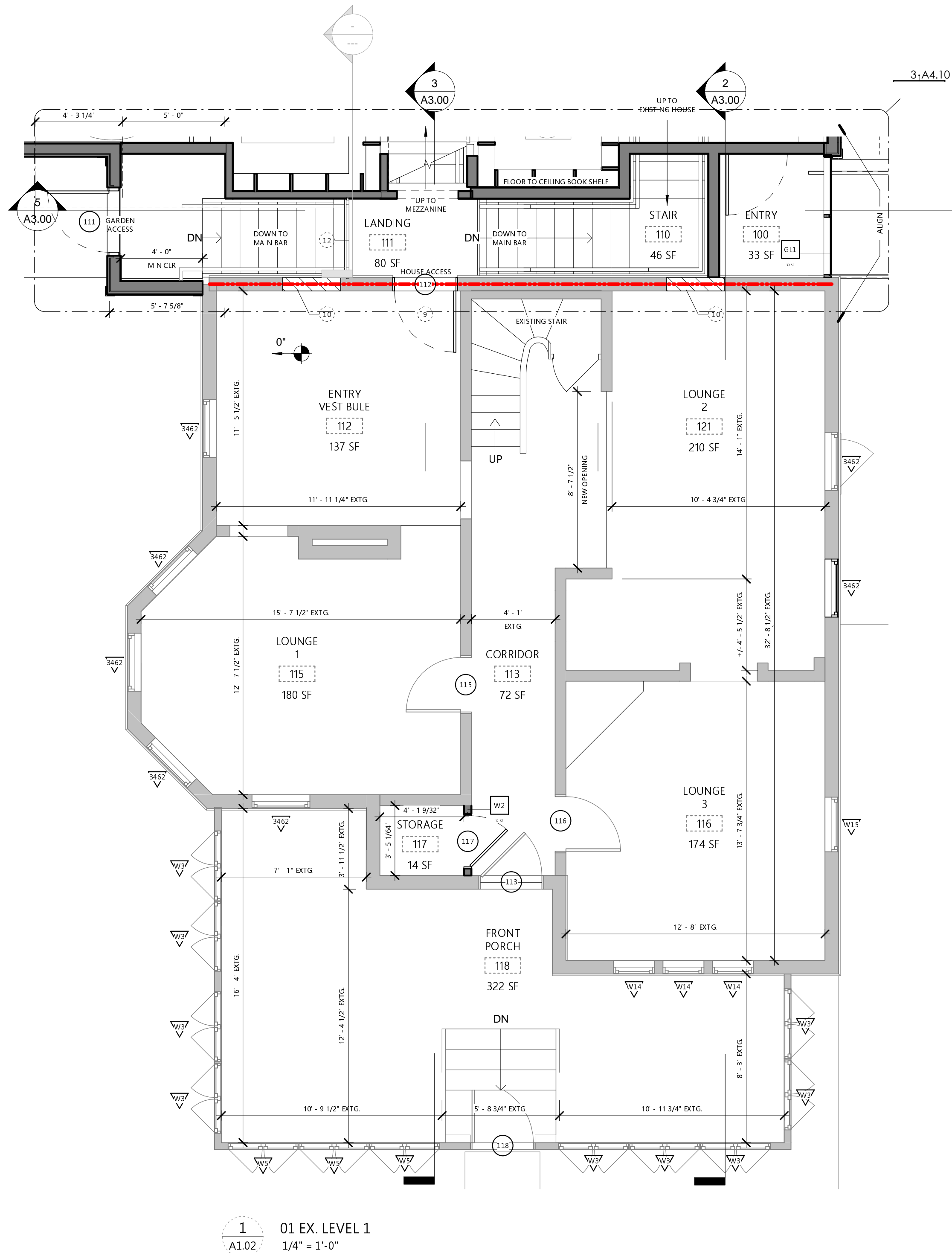
PROJECT TITLE
THE VENERY

80 E OLENTANGY STREET
POWELL, OHIO 43065

PROJECT NO. SJM_2010
ISSUE HDAC
ISSUE DATE 03.29.2021

SHEET TITLE
**EXTG. BASEMENT
+ NEW LEVEL 1
PLAN**

SHEET NO.
A1.01
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PROJECT TITLE
THE VENERY

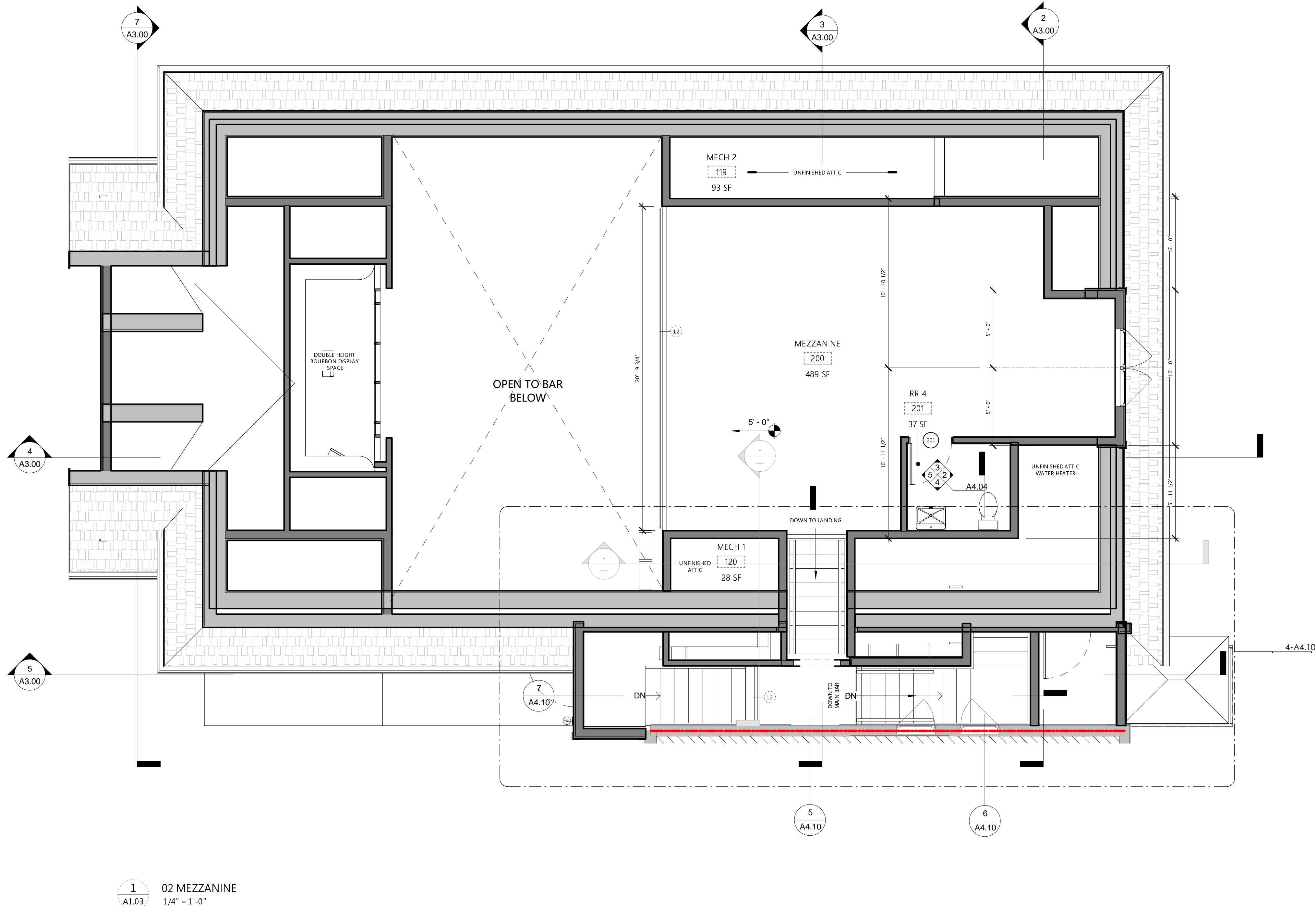
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PROJECT NO. SJM_2010
ISSUE HDAC
ISSUE DATE 03.29.2021

SHEET TITLE
**EXTG. LEVEL 1
PLAN**

SHEET NO.
A1.02

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THE VENERY

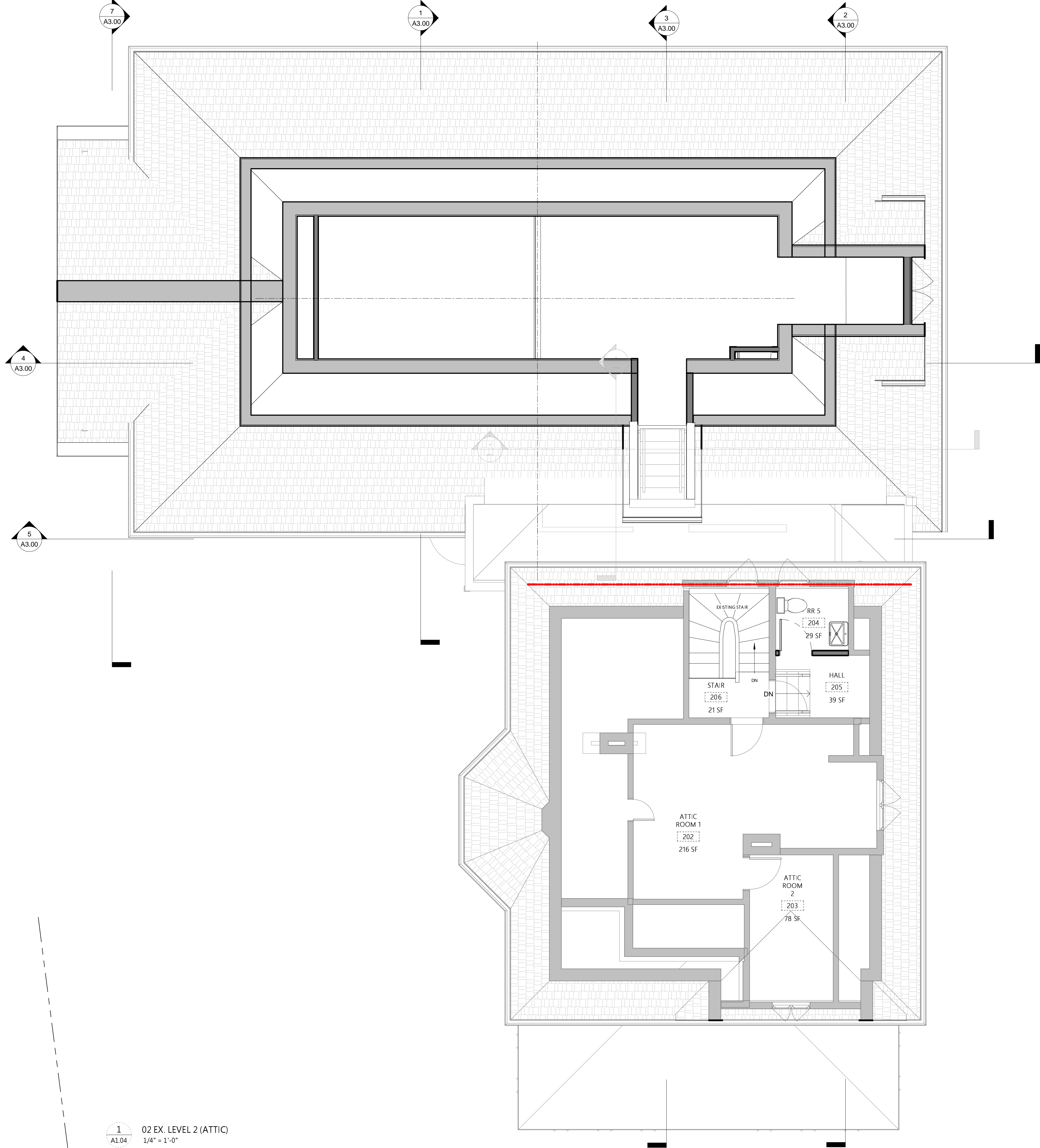
80 E OLENTANGY STREET
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PROJECT NO. SJM_2010
ISSUE HDAC
ISSUE DATE 03.29.2021

SHEET TITLE
NEW
MEZZANINE
PLAN

SHEET NO.
A1.03

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1
A1.04
02 EX. LEVEL 2 (ATTIC)
1/4" = 1'-0"

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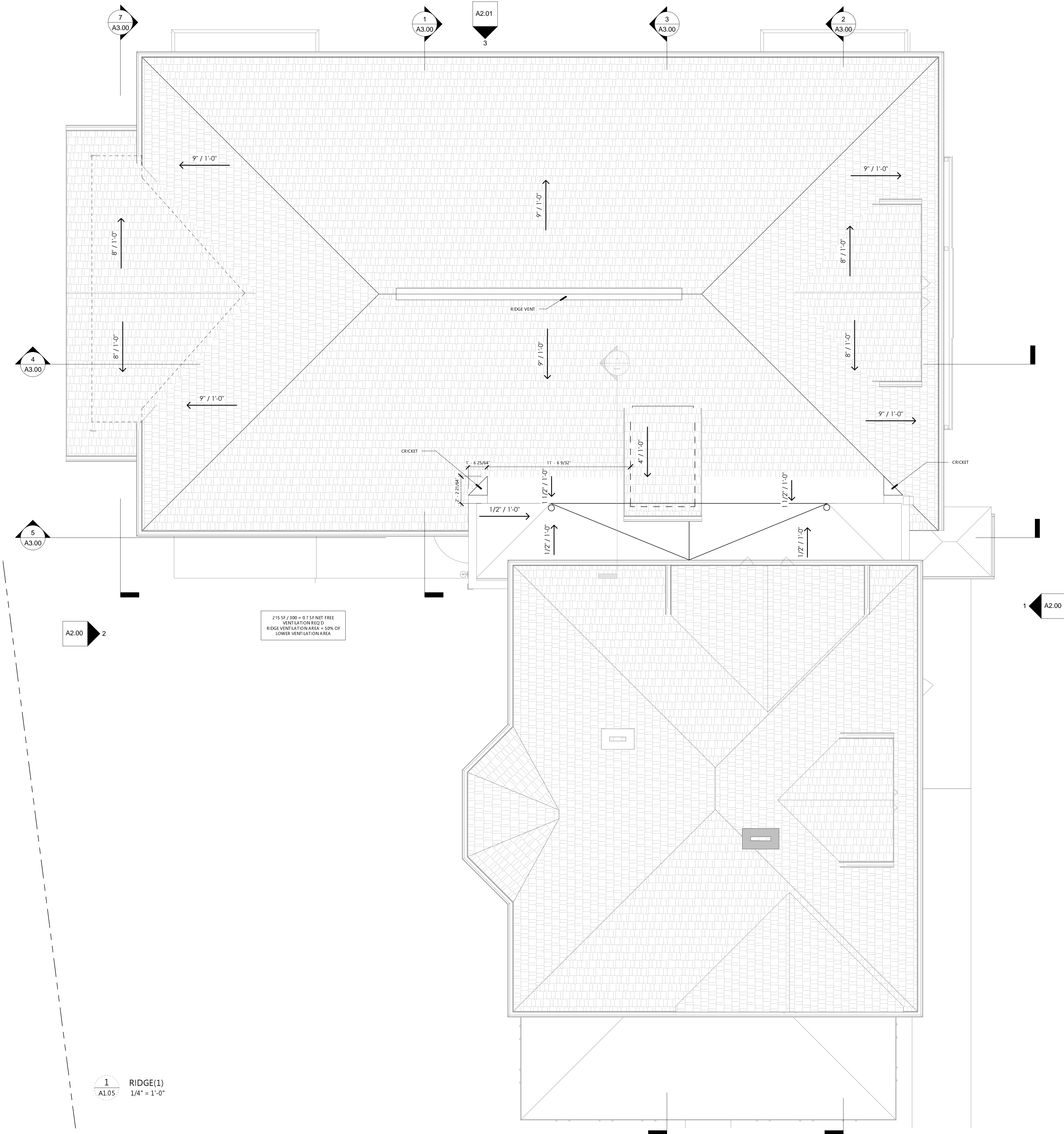
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DATE REVISION

PROJECT TITLE
THE VENERY
80 E OLENTANGY STREET
POWELL, OHIO 43065
PROJECT NO. SJM_2010
ISSUE HDAC
ISSUE DATE 03.29.2021
SHEET TITLE
EXTG. ATTIC

SHEET NO.
A1.04
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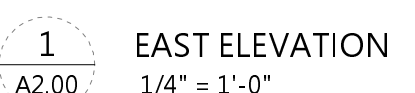
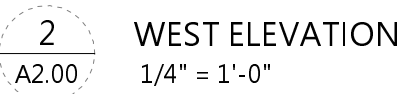
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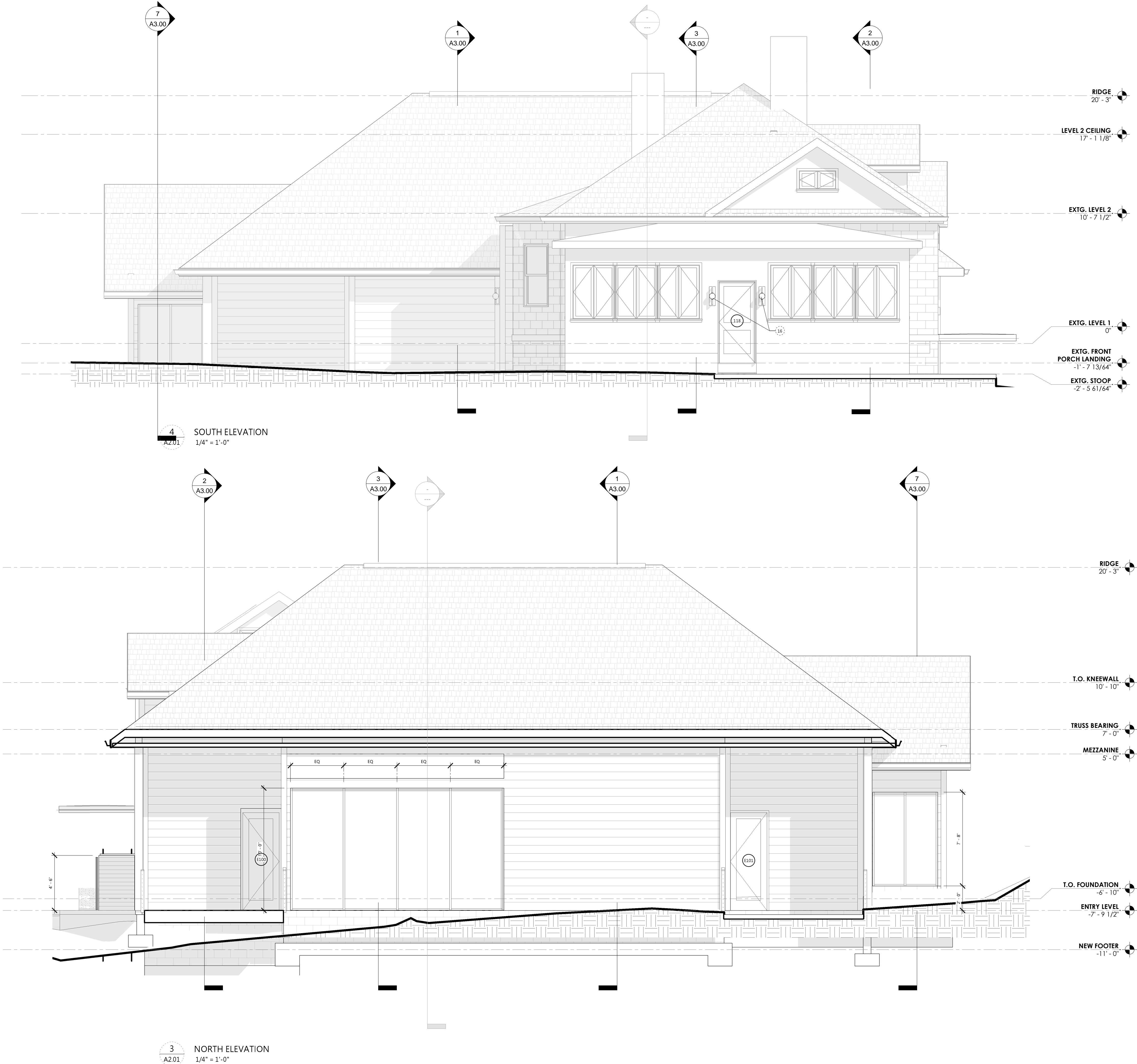
NO.	NOTE
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- 2 CONTINUOUS RIDGE VENT
3 DIMENSIONAL ASPHALT SHINGLE ROOF
4 FIBER CEMENT FASCIA
5 5" GUTTER
6 FIBER CEMENT TRIM
7 FIBER CEMENT CLAPBOARD SIDING 8"
8 CABLE RAIL
9 COMPOSITE DECKING AND SKIRT BOARD AT DECK PERIMETER
10 FIBER CEMENT CLAPBOARD SIDING 8"
11 DARK BRONZE ANODIZED PARAPET CAP
12 GARDEN ACCESS STAIR
13 NEW WINDOW IN EXTG. OPENING
14 FIBER CEMENT REFUSE ENCLOSURE W/ GREEN ROOF AND BYPASS
15 SLIDING GATE OPENINGS
16 DARK BRONZE ANODIZED STOREFRONT
17 8" DEEP EXTRUDED SOLID METAL AWNING (ARCHITECTURAL
18 LOUVERS H8CV OR SIM)
19 FEATURE WALL SCONE



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ELEVATION NOTES

NO.	NOTE
1	CONTINUOUS RIDGE VENT
2	DIMENSIONAL ASPHALT SHINGLE ROOF
3	FIBER CEMENT FASCIA
4	5" GUTTER
5	FIBER CEMENT TRIM
6	FIBER CEMENT CLAPBOARD SIDING 8"
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14	DARK BRONZE ANODIZED STOREFRONT
15	8" DEEP EXTRUDED SOLID METAL AWNING (ARCHITECTURAL LOUVERS H8CV OR SIM)
16	FEATURE WALL SCNCE

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ISSUE HDAC
ISSUE DATE 03.29.2021

SHEET TITLE
BUILDING ELEVATIONS

SHEET NO.
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SHEET TITLE
RENDERINGS

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EXTERIOR LIGHTING



PATH LIGHTING



MAIN ENTRANCE
CHANDELIER

FEATURE WALL
SCONCE



EXISTING HOUSE
GLAZED BLOCK WALL



SHERWIN WILLIAMS
INKWELL



CABLE RAILING



DARK BRONZE
STOREFRONT ALUMINUM



8" FIBER CEMENT CLAPBOARD SIDING



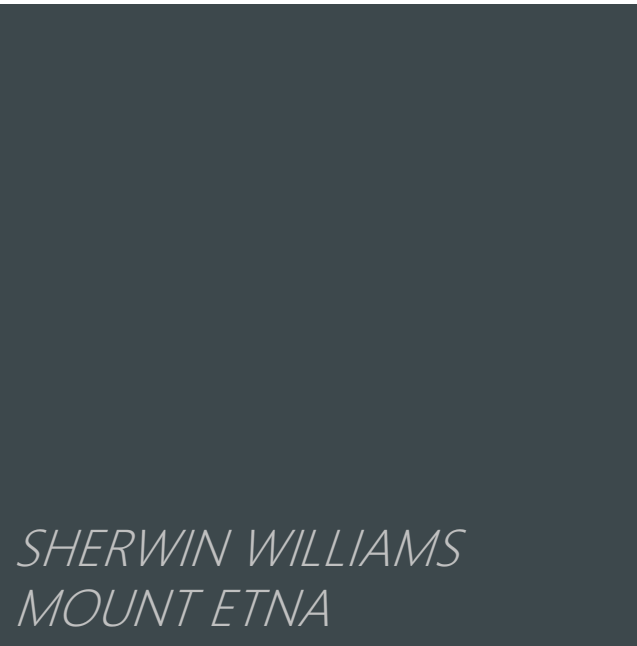
TIMBERTECH DECKING
ENGLISH WALNUT



DIMENSIONAL ROOF SHINGLE



SHERWIN WILLIAMS
DARK NIGHT



SHERWIN WILLIAMS
MOUNT ETNA

MATERIAL PALETTE

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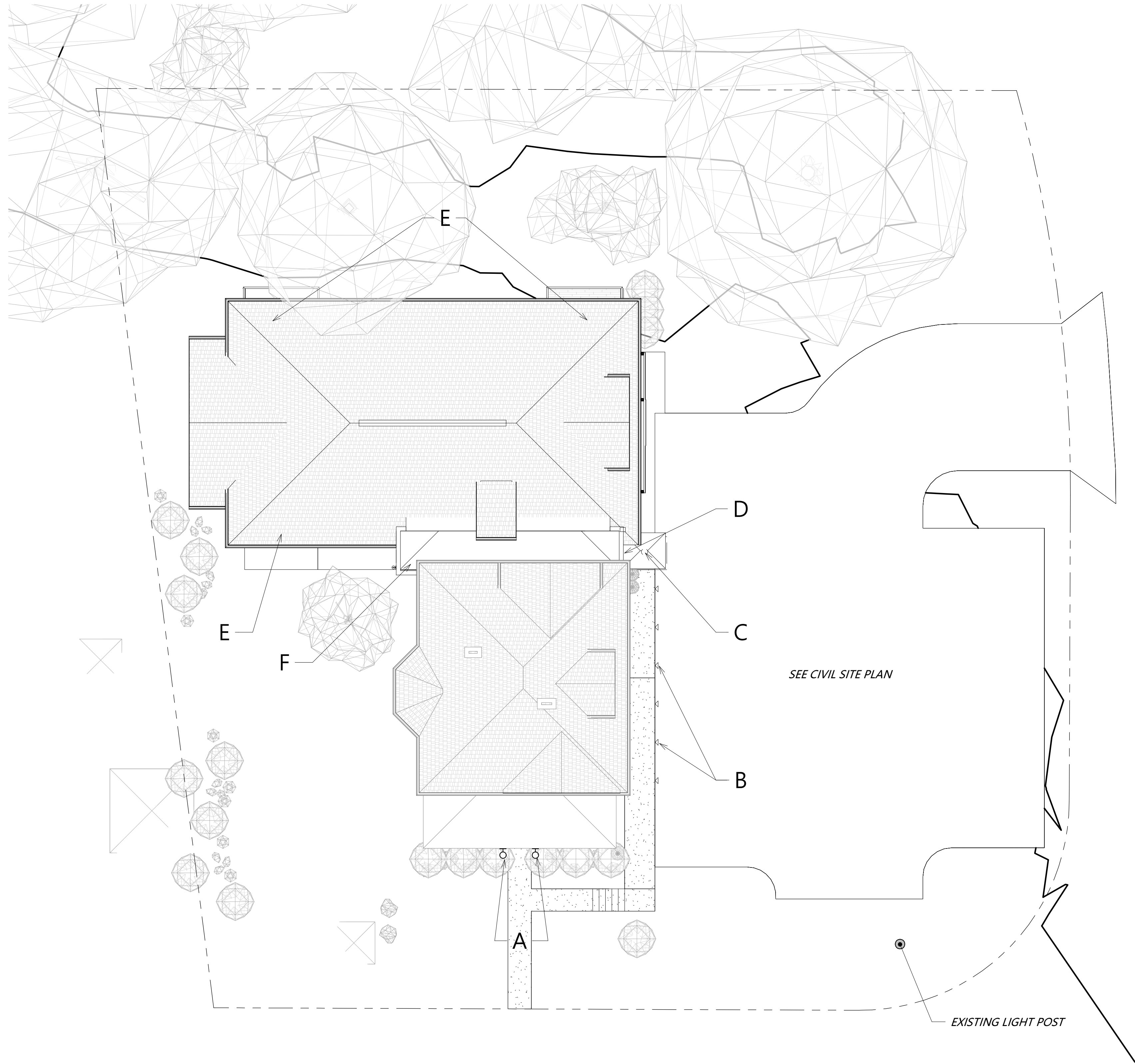
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**MATERIAL
PALETTE**

SHEET NO.

A8.02

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COLUMBUS 1254 Eastwood Avenue, Columbus, OH 43078 T: 937.215.0845



FEATURE WALL SCONE
A, F



PATH LIGHTING
B

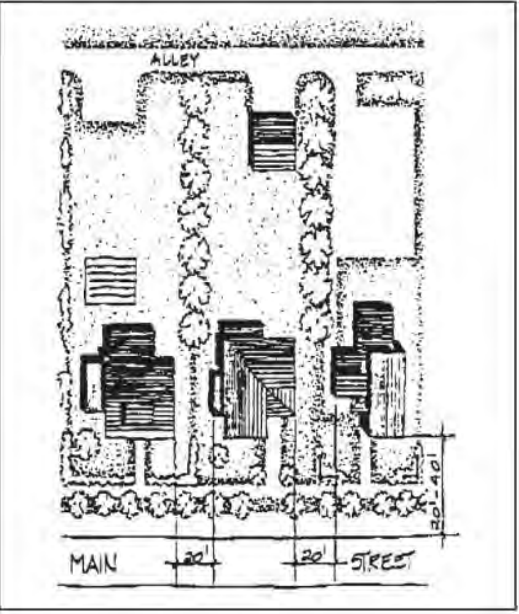


FEATURE CHANDELIER IN
VESTIBULE, D

POWELL ARCHITECTURAL GUIDELINES
LIGHTING

Setbacks

Most buildings in Powell are set back approximately 20 to 40 feet from the road with modest front lawns. The exceptions are the commercial buildings at the corner of Olentangy and Liberty Streets, which are built right up to their property lines at the sidewalks. Rear yards are generally long and narrow. Residential buildings on adjacent lots throughout the City are set approximately 20 feet apart from each other at their sides. New construction should follow the setback lines appropriate to its location and purpose.



Colonial style "coach lights" are not appropriate in the Historic District. These types belong to an earlier historical period, and generally belong on coaches.

Lighting

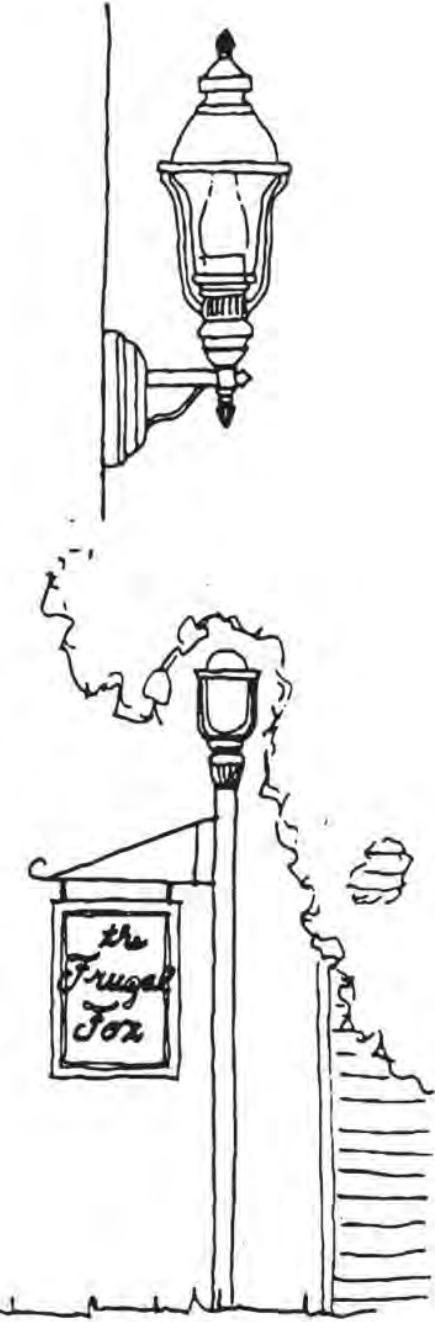
One of the charms of rural areas is the complete darkness of nightfall away from the 24 hour light of the city. However, proper lighting fixtures can increase the safety of Powell, and may become more necessary as development continues. Exterior lighting in the Historic District should be incandescent, and low in wattage. Entrance lights and individual free standing path lights are acceptable. Lighting fixtures should be simple Victorian or turn of the century in design, with round or egg-shaped globes on metal posts with minimal detailing.

Site Considerations

13

Free standing, pole mounted lamps may be used to light paths or drives. These lights should not be taller than the height of the first story of adjacent buildings. Metal posts should be painted in dark, muted colors such as black, brown, or dark green. The more elaborate the shape of the globe, the simpler the detailing of the post should be. Simple globes can be mounted on more detailed posts. All pole mounted lights should be individual. Clusters of lights are not acceptable in the Historic District.

Contemporary lights which incorporate simple, round or oval globes and modest posts or brackets may be appropriate in the Historic District. Frosted globes should be used in all lights in the Historic District, as they will provide softer light than clear globes.



Site Considerations

14

SITE LIGHTING

- A FEATURE WALL SCONE
- B PATH LIGHTING
- C RECESSED EXTERIOR CAN LIGHT IN AWNING
- D FEATURE HANGING CHANDELIER
- E RECESS EXTERIOR CAN LIGHTS IN DECK OVERHANGS
- F FEATURE WALL SCONE

NOT FOR CONSTRUCTION
PRELIMINARY

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DATE REVISION

PROJECT TITLE
THE VENERY

80 E OLENTANGY STREET
POWELL, OHIO 43065

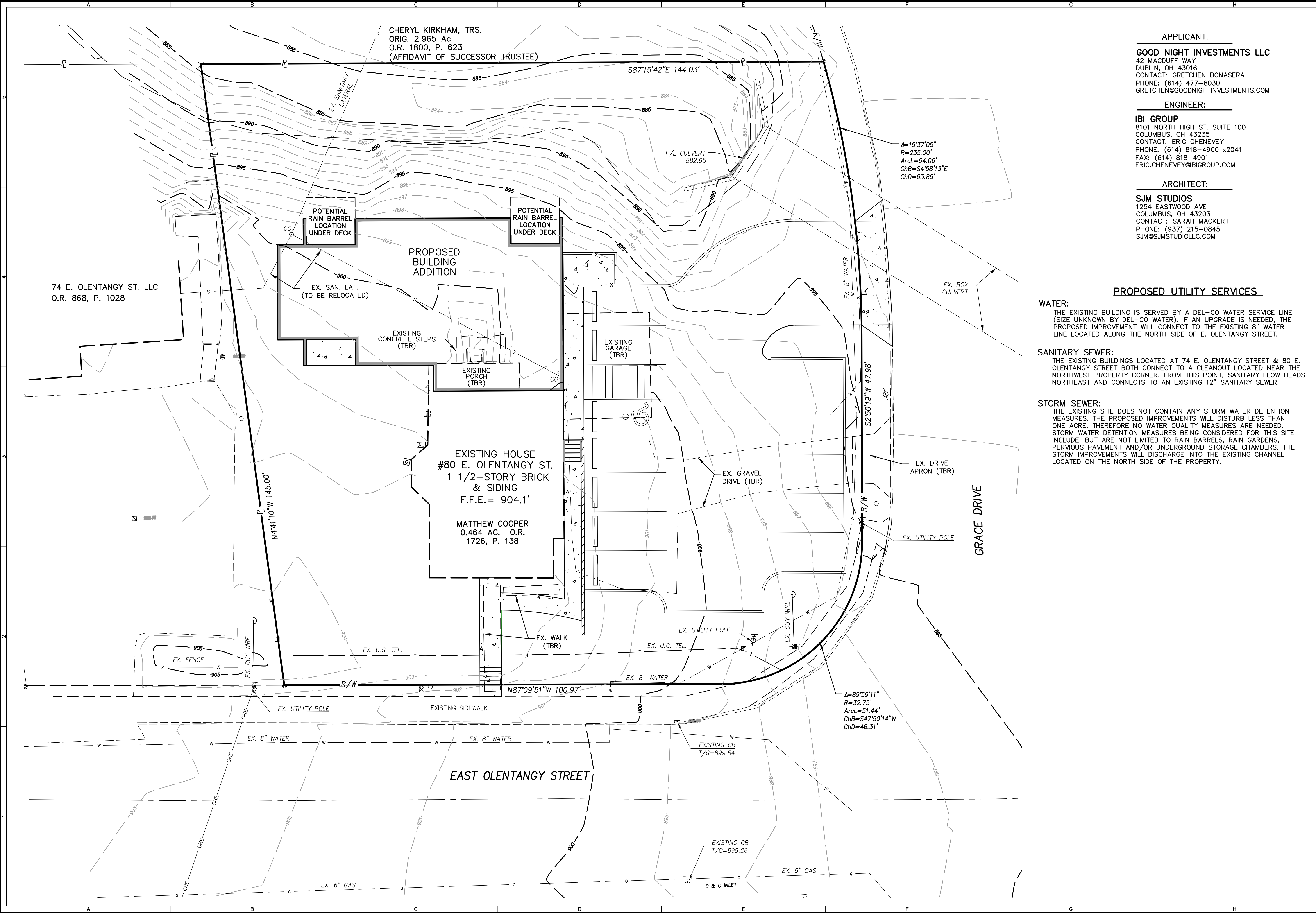
PROJECT NO. SJM_2010
ISSUE HDAC
ISSUE DATE 03/29/21

SHEET TITLE
**EXISTING
IMAGES**

SHEET NO.

A8.04

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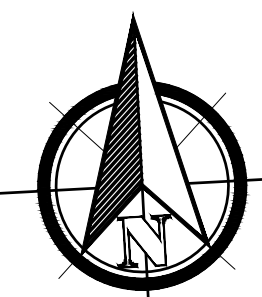
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PROPOSED UTILITY SERVICES

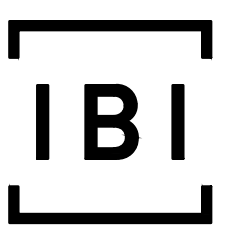
WATER:
THE EXISTING BUILDING IS SERVED BY A DEL-CO WATER SERVICE LINE (SIZE UNKNOWN BY DEL-CO WATER). IF AN UPGRADE IS NEEDED, THE PROPOSED IMPROVEMENT WILL CONNECT TO THE EXISTING 8" WATER LINE LOCATED ALONG THE NORTH SIDE OF E. OLENTANGY STREET.

SANITARY SEWER:
THE EXISTING BUILDINGS LOCATED AT 74 E. OLENTANGY STREET & 80 E. OLENTANGY STREET BOTH CONNECT TO A CLEANOUT LOCATED NEAR THE NORTHWEST PROPERTY CORNER. FROM THIS POINT, SANITARY FLOW HEADS NORTHEAST AND CONNECTS TO AN EXISTING 12" SANITARY SEWER.

STORM SEWER:
THE EXISTING SITE DOES NOT CONTAIN ANY STORM WATER DETENTION MEASURES. THE PROPOSED IMPROVEMENTS WILL DISTURB LESS THAN ONE ACRE, THEREFORE NO WATER QUALITY MEASURES ARE NEEDED. STORM WATER DETENTION MEASURES BEING CONSIDERED FOR THIS SITE INCLUDE, BUT ARE NOT LIMITED TO RAIN BARRELS, RAIN GARDENS, PERVIOUS PAVEMENT AND/OR UNDERGROUND STORAGE CHAMBERS. THE STORM IMPROVEMENTS WILL DISCHARGE INTO THE EXISTING CHANNEL LOCATED ON THE NORTH SIDE OF THE PROPERTY.



GRAPHIC SCALE
10 5 0 5 10
(IN FEET)
1 inch = 10 ft.



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Contact: Eric Chenevey Ext: 2041
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REVISION:

SUBMISSION:

☐ PRELIMINARY ENGINEERING SET

☒ AGENCY REVIEW SET

☐ CONSTRUCTION DOCUMENT SET

☐ AS-BUILT DOCUMENT SET

STAMP:

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DELAWARE COUNTY

THE VENERY

80 E. OLENTANGY ST.
POWELL, OH 43065

DESIGN	DRAFT	CHECK
LS	LS	EPC

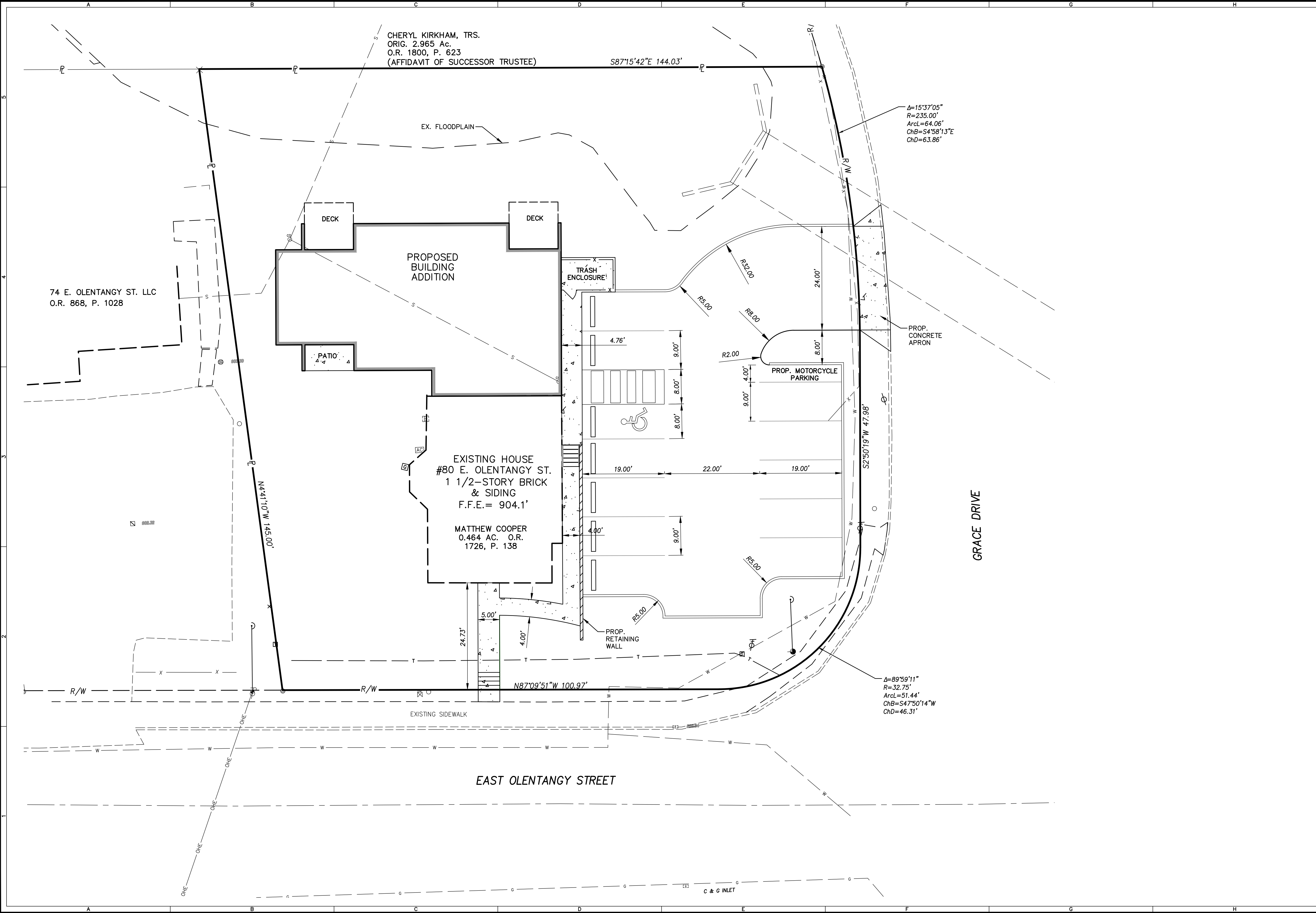
IBI NO.: 133470

DATE: MARCH 5, 2021

SCALE:

SHEET TITLE:
PRELIMINARY UTILITY PLAN

SHEET NO.: 1/3



GRAPHIC SCALE

105010

(IN FEET)

1 inch = 10 ft.

IBI

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DELAWARE COUNTY

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POWELL, OH 43065

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LS	LS	EPC

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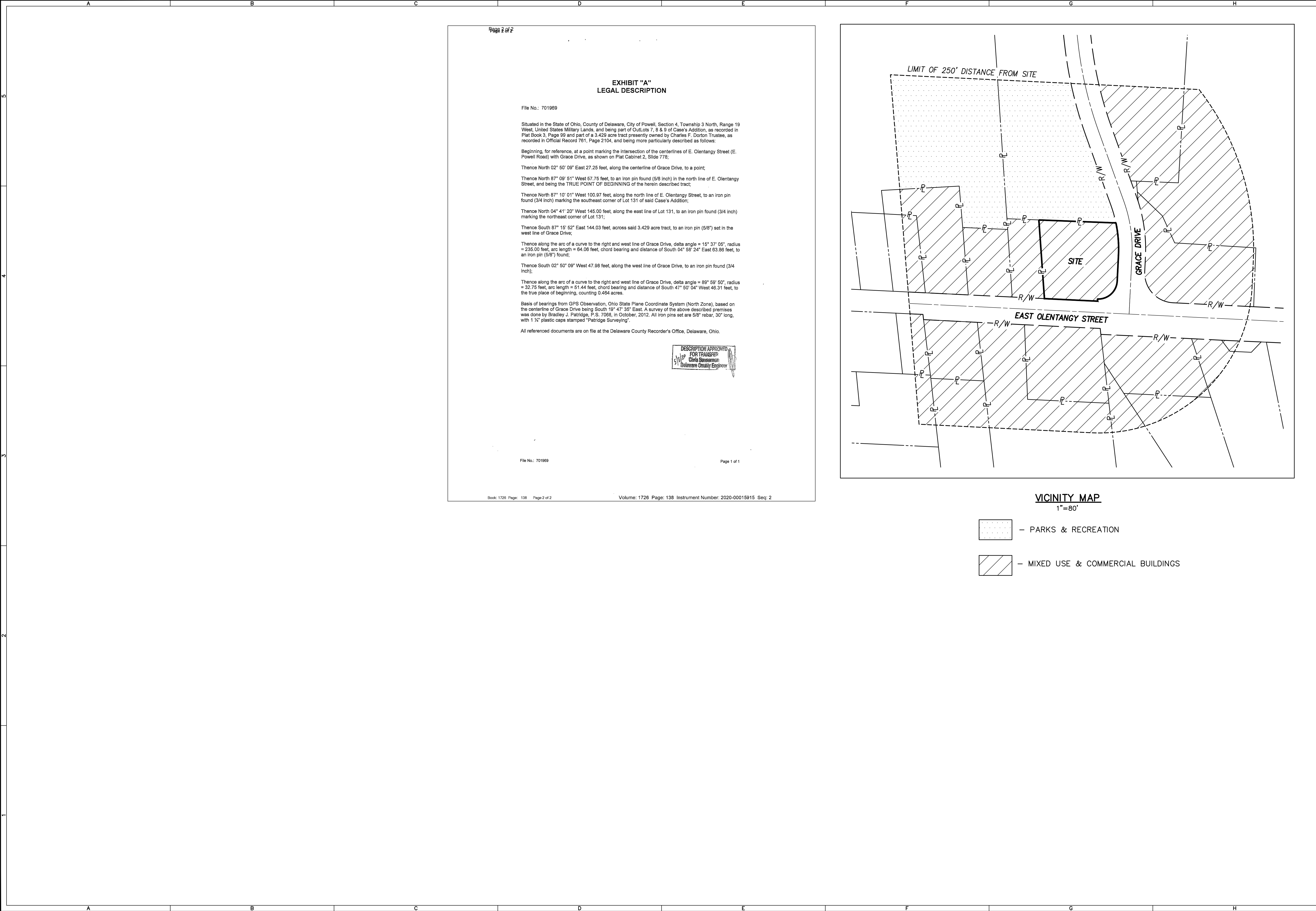
DATE: MARCH 5, 2021

SCALE:

SHEET TITLE:

PRELIMINARY SITE PLAN

SHEET NO.: 2/3



GRAPHIC SCALE

80 40 0 80

(IN FEET)

1 inch = 40 ft.

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REVISION:

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IBI NO.: 133470

DATE: MARCH 5, 2021

SCALE:

SHEET TITLE:

VICINITY MAP & LEGAL DESCRIPTION

SHEET NO.: 3/3