



PLANNING AND ZONING COMMISSION (P&Z)
MAJOR AMENDMENT TO DEVELOPMENT PLAN TEXT APPLICATION

ALL ITEMS ON THIS APPLICATION MUST BE COMPLETED.

Application Fee: \$1100.00
Per Fee Ordinance 2019-49

Applicant: Sandra LaFontaine, LaFontaine Architecture & Design, Inc.
Address/City/State/Zip: 5844 North High Street, Worthington, Ohio 43085
Email Address: sandra@lafontainearchitecture.com
Phone No: 614.436.5800 Cell Phone No: 740.814.6639 Fax No: na
Property Owner: EyeCare Professionals (InsignBusiness Development LLC)
Address/City/State/Zip: 9711 C Sawmill Pkwy, Powell, Ohio 43065
Email Address: drcooley@eyecarepowell.com drmillar@eyecarepowell.com
Phone No: 614.793.0700 Cell Phone No: _____ Fax No: 614.793.0084
Architect/Designer for Applicant: LaFontaine Architecture & Design, Inc.
Address/City/State/Zip: 5844 North High Street, Worthington, Ohio 43085
Email Address: sandra@lafontainearchitecture.com
Phone No: 614.436.5800 Cell Phone No: 740.814.6639 Fax No: na
Property Address: 265 North Liberty Street
Lot Number/Subdivision: parcel: 319-426-01-004-000 Existing Use: PC (o fice) Proposed Use: PC (medical office)

Reason for Administrative Review (attach necessary documents):

See attached narrative and drawings.

Checklist:

- ☐ Legal description of the property
 - ☐ Vicinity Map
 - ☐ Written Text explaining nature of amendment being requested.
 - ☐ Amended Final Development Plan drawing(s) (site plan, elevation drawings, etc.) needed to show proposed amendment.
 - ☐ Provide any other information that may useful to the Planning and Zoning Commission or City Staff in the space below or attach additional pages.
 - ☐ 5 copies of all drawings, text, any other items, and application
 - ☐ 1 digital copy (CD, USB, Email) of the complete application packet.
 - ☐ Attach the required fee - \$1100.00
 - ☐ Post a public notice sign at least (10) days prior to a public hearing or public meeting, pursuant to ordinance 1107.035
- Public notice sign details found [here](#).

(See Over)

APPROVAL SHALL EXPIRE AND MAY BE REVOKED IF CONSTRUCTION DOES NOT BEGIN
WITHIN TWO (2) YEARS FROM THE DATE OF ISSUANCE OF APPROVAL.

I agree to grant the City Staff, the Commission, Board or Council considering this application access to the property that is the subject of this application for the purposes of reviewing this application and posting public notice for this application.

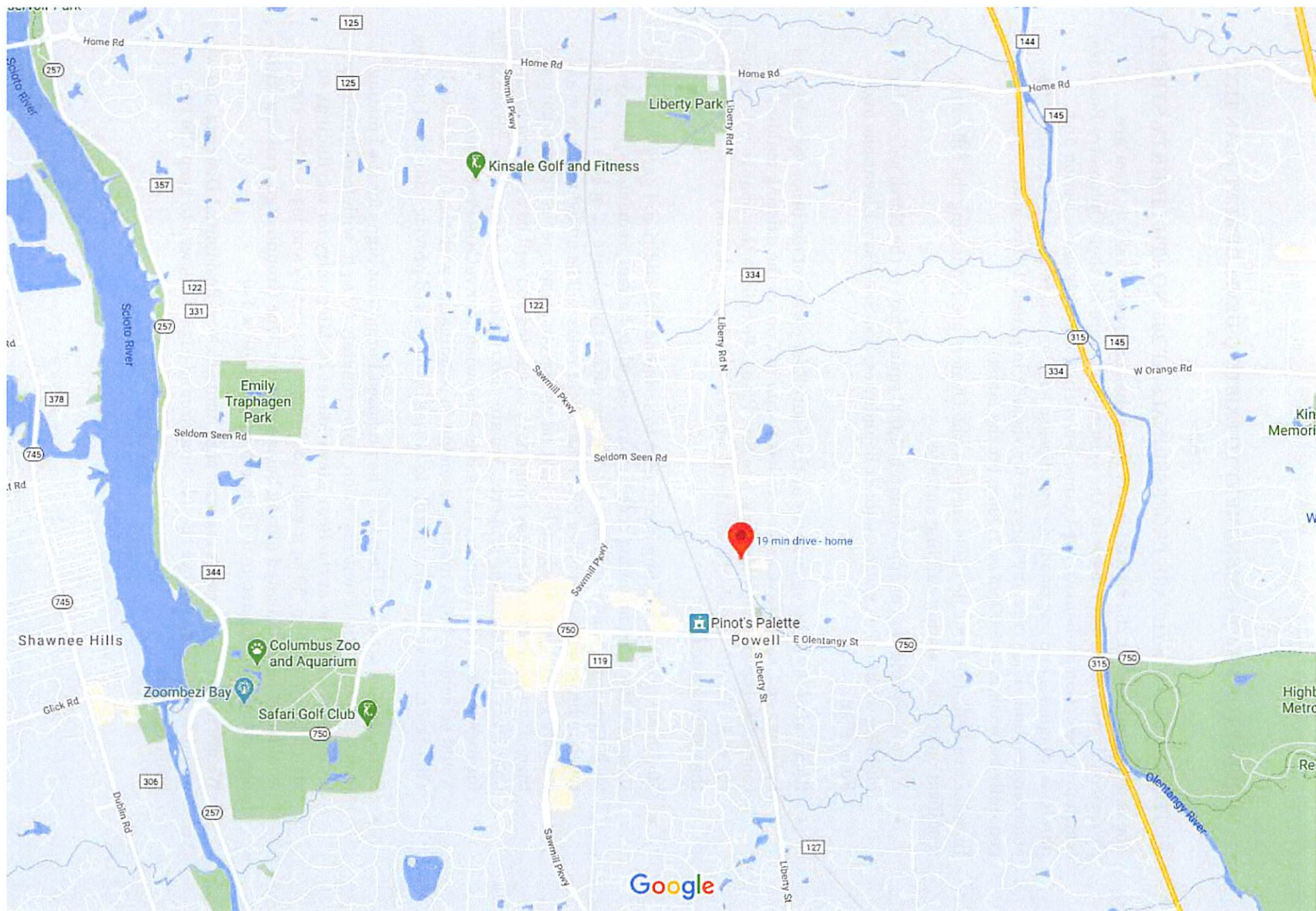
Signature of Applicant: Sandra LaFontaine

Date: 24 November 2020

Office Use
Received

Office Use
Type/Date: <u>CK 8053 11/24/20</u>
Base Fee: <u>\$1100.00</u>
Prepared by: <u>AV</u>
Reviewed by: <u>AV</u>
PAYOR: <u>Eye Care Professionals</u>
RECIEPT # <u>8324</u>

City of Powell · 47 Hall Street · Powell, Ohio 43065 · (614) 885-5380 · (614) 885-5339 fax· www.cityofpowell.us



REQUEST FOR MAJOR AMENDMENT TO EXISTING DEVELOPMENT PLAN TEXT

for

FUTURE HOME OF EYECARE PROFESSIONALS AT 265 NORTH LIBERTY STREET

The existing building at 265 North Liberty Street has been purchased by EyeCare Professionals, which plans to renovate the existing structure for their Optometry Business, which provides: Comprehensive eye exams, lens fitting and eyeglass selection and purchase, diagnosis and treatment for eye disease such as cataracts and glaucoma, eye emergencies, and vision care and services for visually impaired. Office hours would generally be: 8:00am to 5:00pm or 7:00pm (at the latest)

In order to adequately provide these services, the Owners are requesting the following modifications to the existing building and site:

- A one-story addition of approximately 1,600 square foot to the North side of the building within the existing setback boundaries. See Site Plan, Elevations and Floor Plan.
- Removal of the existing curb cut at the SouthEast corner of the property; relocated to center on Grace Drive and curve left to run in front of the existing building and connect to the existing driveway. See Site Plan. We believe this change will reduce the risk of traffic accidents on Liberty and allow better control of traffic in and out of the existing site.
- Modification of the existing parking lot to accommodate additional parking spaces. Based on the current zoning code we have calculated a requirement of 33 spaces, with 2 required to be handicapped. We can currently achieve 32 spaces including two handicapped spaces. (See Site Plan) Light poles will be added to the new and existing parking lot. Parking lot lighting will be on a timer device to automatically turn off an hour after business hours have concluded and will be arranged to direct light away from adjoining property. We are also requesting a drive to be provided for future access to the adjoining lot that is also owner by EyeCare Professionals. This would be achieved by a mutual easement in coordination with the City of Powell. This easement would allow traffic to access both lots and provide additional parking.
- Signage: (See attached Item C3) The proposed Permanent Signs for the building include: One at the Front Elevation, approximately 50 sq ft. with face illuminated letters and logo. One at the Rear Elevation (at building entry for wayfinding), to match the front sign, 50 sq ft with face illuminated letters and logo. (Rear sign would only be illuminated during business hours. One Ground Sign, existing with new aluminum cabinet, 6'-0" high, top cabinet 6'-0" x 4'-0".

We are aware this exceeds the wall sign limits in Non-Residential Districts, but we would be willing to remove the existing Ground Sign if allowed to keep the two building signs.

REQUEST FOR MAJOR AMENDMENT TO EXISTING DEVELOPMENT PLAN TEXT
for
FUTURE HOME OF EYECARE PROFESSIONALS AT 265 NORTH LIBERTY STREET
ITEM C2: Applicable Zoning Requirements

General Information:

Zoning: No change – PC, Planned Commercial District, (Lot: 319-426-01-004-000)

- **Section 1143.15:**

Permitted Use: Medical Office

Min. Street Frontage: 160 feet

Min. Distance Between Buildings: 50 feet

Min. Side Yards: 25 feet

Min. Front Yard: 60 feet

Min. Rear Yard: 30 feet

Maximum Lot Coverage 20%, Allowable = approximately 10,733 sq. ft.

Existing= 3,300 sq ft, **Proposed = 4,900 sq ft.**

Maximum Building Height: 35', two stories

Existing Building =	First Floor	3,300 sq ft.
	<u>Second Floor</u>	<u>1,600 sq ft.</u>
	Total	4,900 sq ft.

Proposed Addition= First Floor 1,600 sq ft

Total 6,500 sq ft

- **Section 1149.05 Off-Street Parking Design Standards:**

90-degree angle parking, 9' x 19' with 22' Aisle

Lighting per item (l)

- **Section 1149.07 Parking Space Requirements:**

Use: Professional Business-Medical Office

(18) One parking space per 200 square feet of floor area:

6,500 sq ft divided by 200 = 32.5 33 Parking Space Required

- **Section 1149.08 Handicapped Parking:**

Up to 110: One space for each 25 parking spaces = 2 required parking spaces.

- **Section 1149.11 Off-Street Loading Space Requirements:**

The proposed use of the space will not require pickup or delivery of merchandise or supplies and therefore is not required to have a loading space.

- **Section 1151.04 General Requirements for All Signs and Districts:**

(b) Colors: not more than five colors may be used per sign. No neon or fluorescent.

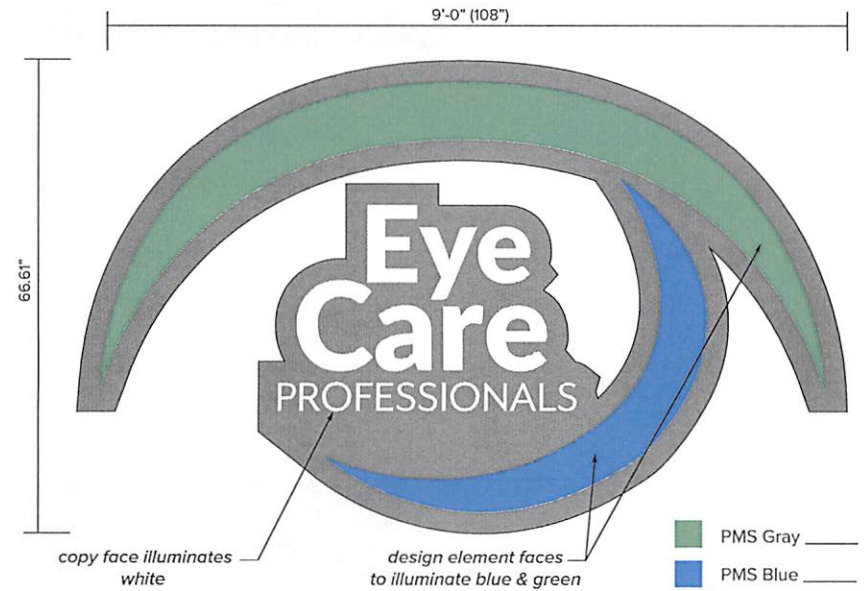
- **Section 1151.05 Permanent Signs:**

(b) Non-Residential Districts: Wall Signs, no more than one shall be permitted. A secondary wall sign no more than 75% of the size of the primary wall sign shall be permitted if the property front two or more public streets. Freestanding signs. No more than one sign shall be permitted per lot frontage.

(2) Maximum area and height: Wall Signs: One square foot per one foot of the length of the wall on which the sign is to be attached up to a max. of 36 sq ft. Freestanding Signs: Not to exceed 48 sq ft with a max height of eight feet.



East Elevation Render



Building Mounted Sign - Pan with face illuminated letters & logo



**Eye Care Professionals
Exterior Signage**
11/4/20
rev 11/18/20

Project address:
256 NORTH LIBERTY ST.
POWELL, OH 43065

Project Layout
☐ Approved
☐ Approved as Noted

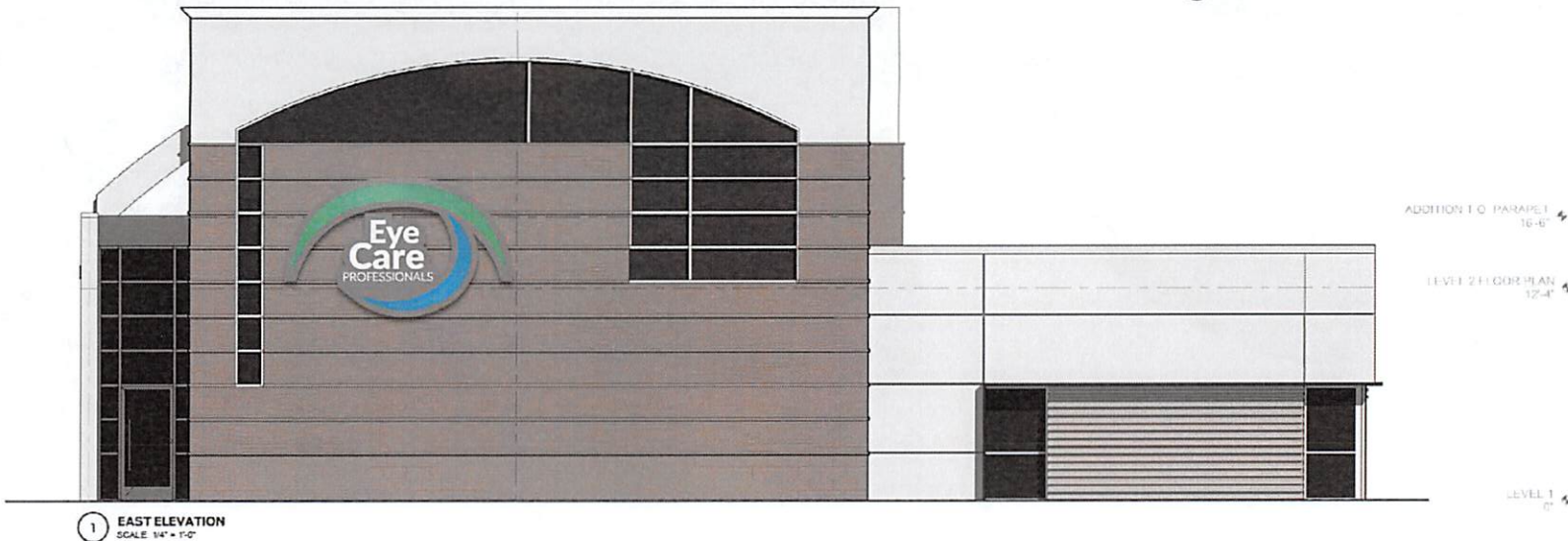
Approval Signature _____

Sales: MH
Design: BT
Dwg: #20-059

1



2 WEST ELEVATION
SCALE: 1/4" = 1'-0"



1 EAST ELEVATION
SCALE: 1/4" = 1'-0"



**Eye Care Professionals
Exterior Signage**

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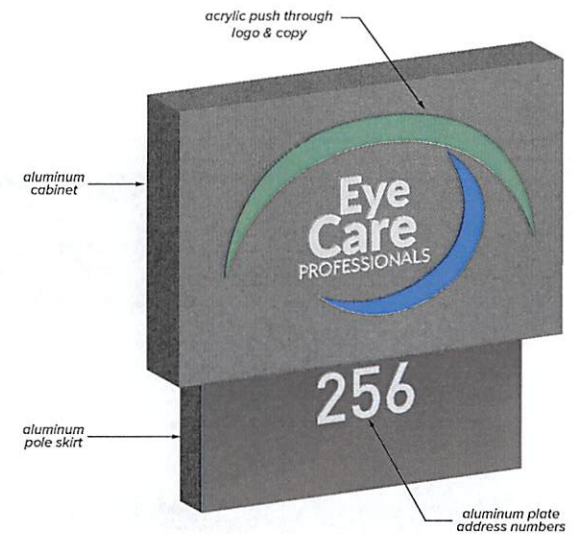
Project Layout
O Approved
O Approved as Noted

Approval Signature _____

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COLUMBUS SIGN COMPANY

1515 E. Fifth Ave. Columbus, OH 43219 P: (614)252-3133 F: (614)252-2494 WWW.COLUMBUSSIGN.COM



Ground Sign - Cabinet w/ push through lettering & internal illumination



**Eye Care Professionals
Exterior Signage**
11/4/20 rev 11/18/20
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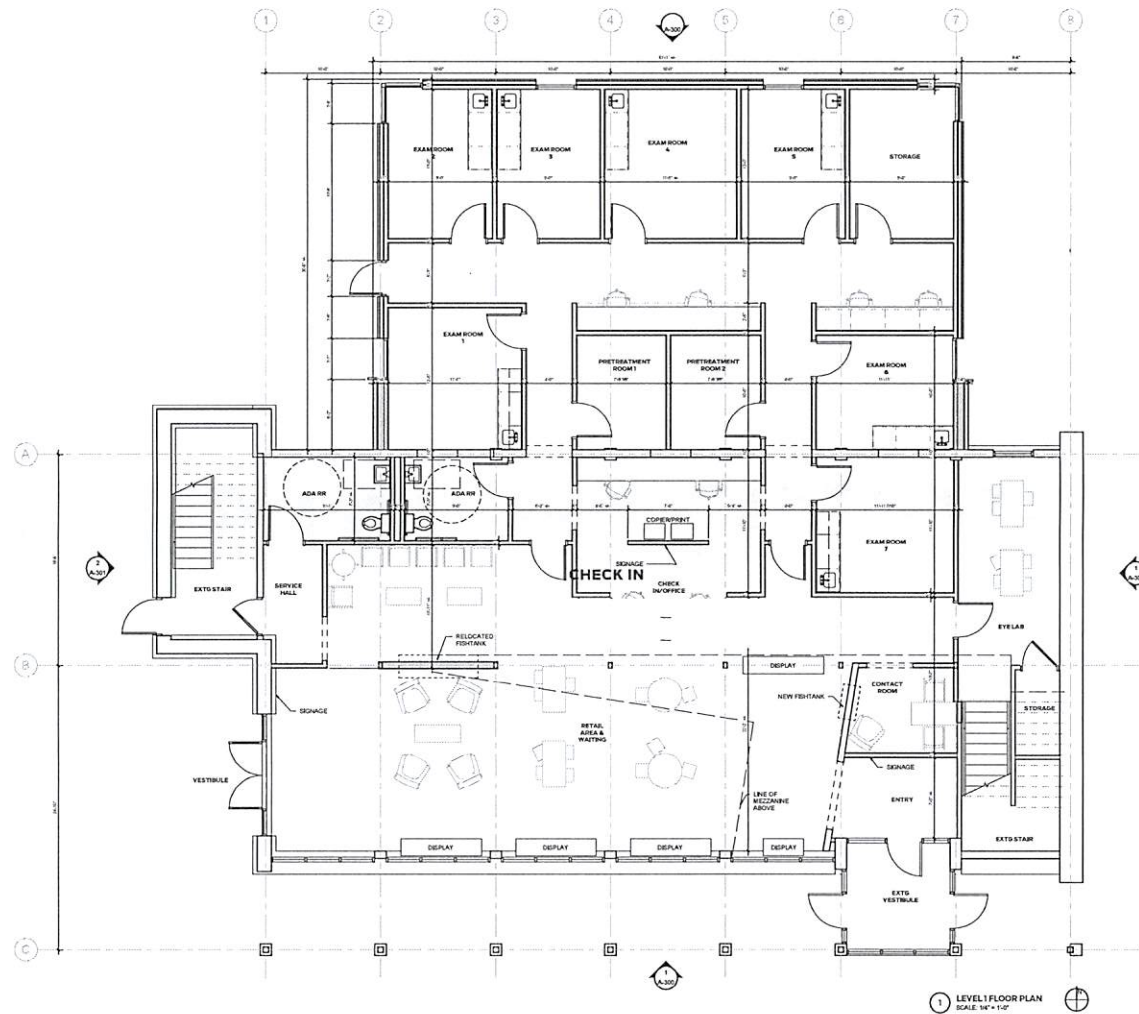
3

EXISTING PHOTOS

256 NORTH LIBERTY STREET



FIRST FLOOR PLAN



MATERIAL PRECEDENTS

BUILDING MATERIAL PALETTE

256 NORTH LIBERTY STREET

BRICK FOR NEW ADDITION



EXTERIOR ACCENT COLOR

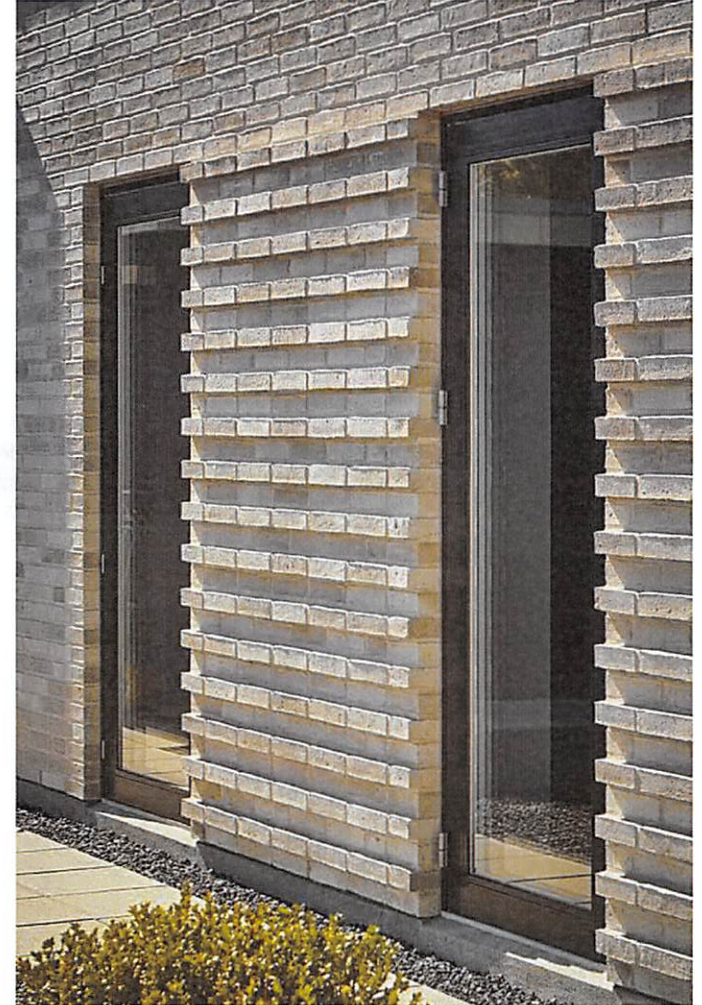
SW 7067
Cityscape
Interior / Exterior
Location Number: 236-C5

PAINT APPLIED TO EXISTING
BRICK

SW 7063
Nebulous White
Interior / Exterior
Location Number: 257-C5

PAINT APPLIED TO EXISTING
STRUCTURE

BRICK PATTERN ON NEW ADDITION

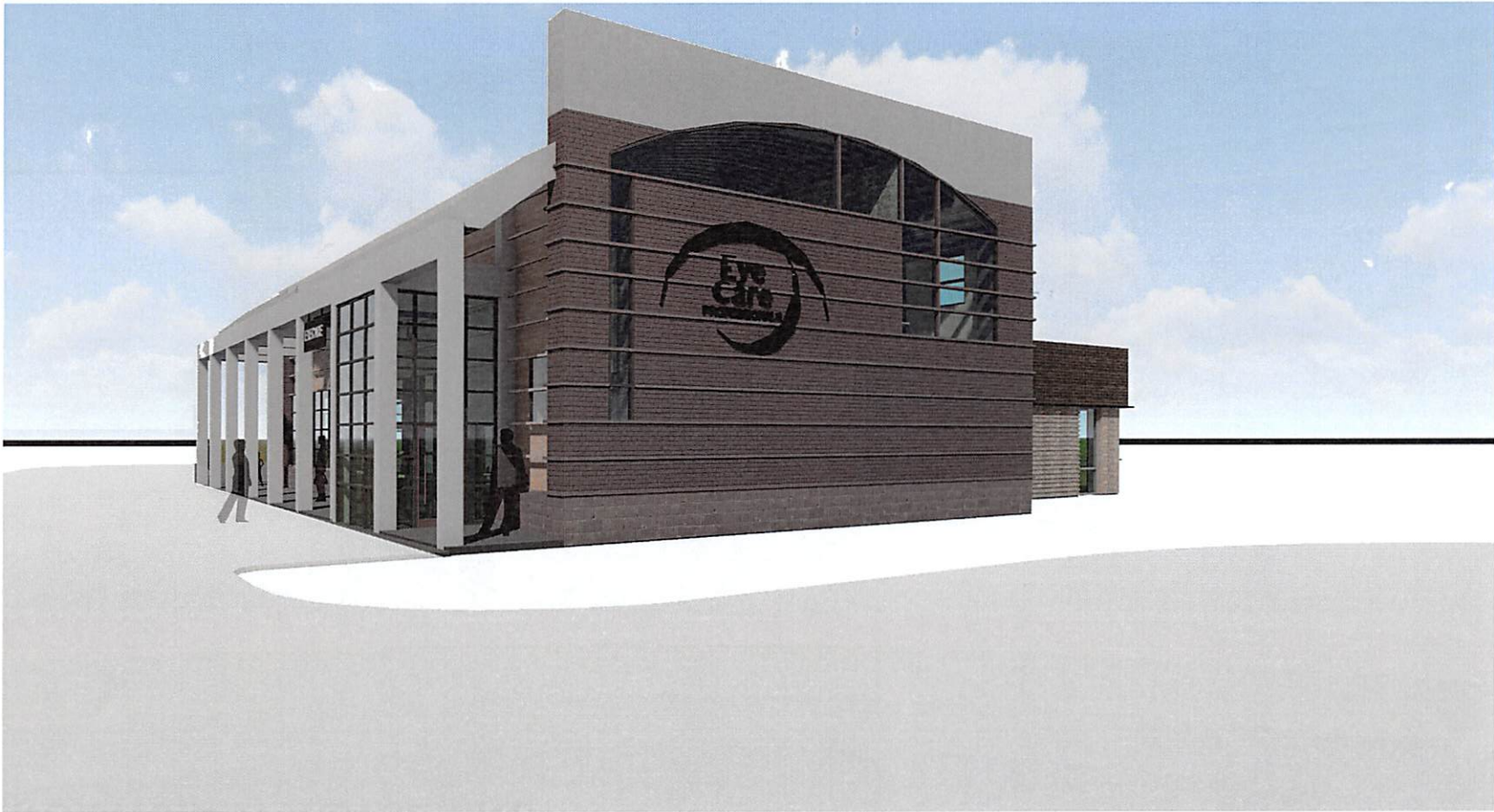


EXTERIOR RENDERINGS

NORTHEAST RENDERING



SOUTHEAST RENDERING

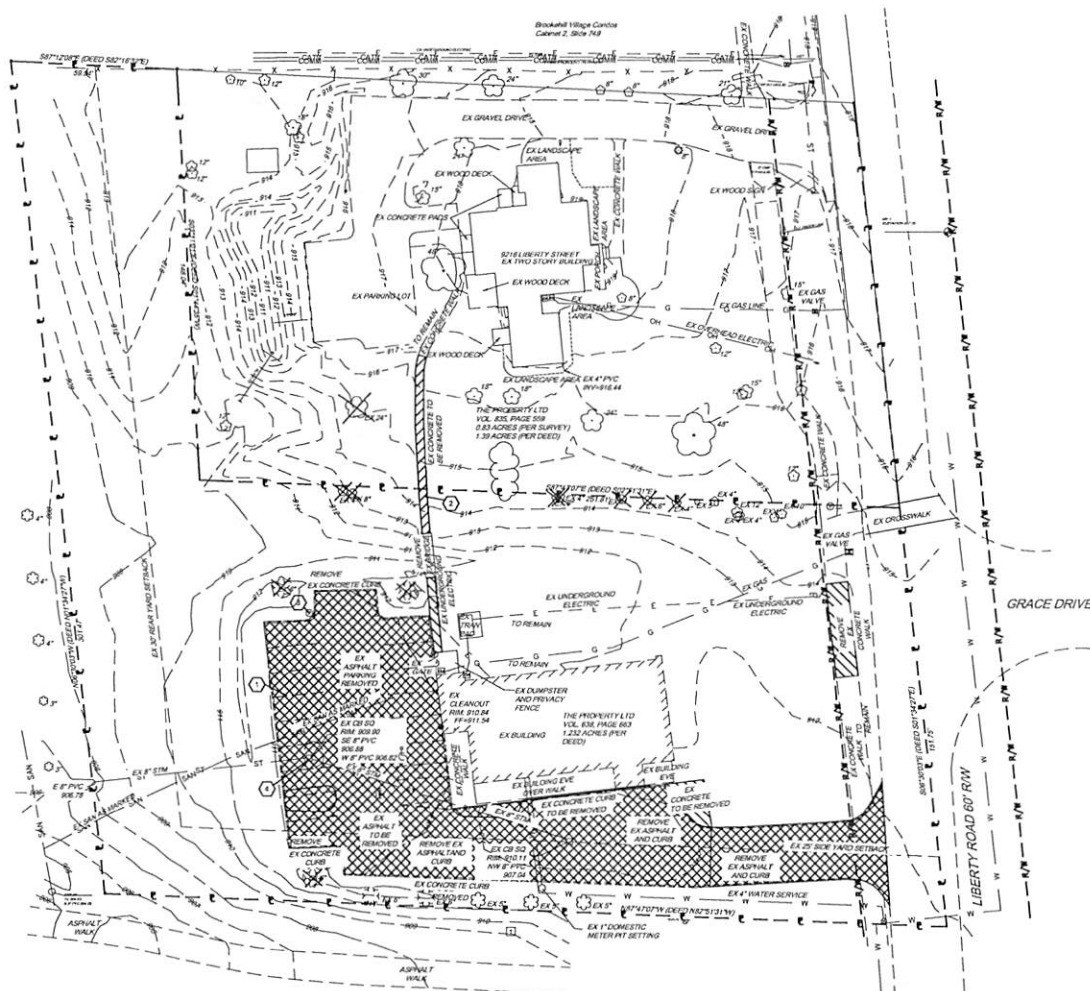


NORTHWEST RENDERING



SOUTHWEST RENDERING





LEGEND

- ASPHALT PAVEMENT AND CONCRETE CURB DEMOLITION AREA
- CONCRETE DEMOLITION AREA
- TREE REMOVAL

PLAN NOTES

1. REMOVE EXISTING PARKING LOT STRIPPING (TYP)
2. REMOVE EXISTING CONCRETE WALK
3. REMOVE AND RELOCATE BASKETBALL HOOP
4. REMOVE AND REPLACE EXISTING CATCH BASIN

GENERAL NOTES

1. UTILITIES: THE CONTRACTOR SHALL GIVE DUE NOTICE TO THE OWNERS OF ALL UTILITIES AND SHALL SEE THAT THEIR PROPERTY IS PROPERLY SUPPORTED AND PROTECTED BEFORE DISTURBING, UNDERMINING OR INTERFERING WITH THE SAME. AND IN NO CASE SHALL THE SERVICE OF ANY SUCH UTILITY BE INTERRUPTED OR INTERFERED WITH WITHOUT WRITTEN CONSENT OF THE OWNER THEREOF. AND IN CASE OF SEWER, PIPE, CONDUIT, POLE OR OTHER PUBLIC UTILITY PROPERTY IS DAMAGED OR MUST BE MOVED OR SUPPORTED, THE REPAIR, REMOVAL OR SUPPORTING SHALL BE DONE BY THE CONTRACTOR AND SHALL PAY ALL NECESSARY EXPENSE IN CONNECTION THEREWITH.
2. DAMAGES TO THE ADJACENT PROPERTY OR STRUCTURES MUST BE CAREFULLY GUARDED AGAINST ESPECIALLY IN MAKING EXCAVATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES TO THE FULL EXTENT, IF THE SAME ARE OCCASIONED THROUGH NEGLIGENCE OR FAILURE ON HIS PART, OR THAT OF ANYONE IN HIS EMPLOY, TO TAKE ALL NECESSARY OR PROPER PRECAUTIONS TO PREVENT THE SAME, AND HE SHALL ASSURE ALL RISK OF DAMAGE TO ANY PORTION OF HIS WORK.
3. ALL EXISTING STRUCTURES INCLUDING PAVEMENT AS CALLED FOR TO BE REMOVED SHALL BE DEPOSED OF OFF-SITE IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL GUIDELINES.

DEMOLITION NOTES

1. THIS PLAN IS INTENDED TO PROVIDE MINIMUM GUIDELINES FOR SITE DEMOLITION. IT SHOULD BE NOTED THAT ALL MANHOLE FRAMES, PAVEMENT SIGNS, POLES, CURBING, CONCRETE WALKS, UTILITIES, ETC. SHALL BE REMOVED AS NECESSARY TO CONSTRUCT WORK, UNLESS OTHERWISE NOTED TO REMAIN. THROUGHOUT THE CONSTRUCTION PROCESS, THE CONTRACTOR SHALL INFORM THE ENGINEER IMMEDIATELY OF ANY FIELD DISCREPANCIES FROM DATA AS SHOWN ON DESIGN PLANS. THIS INCLUDES ANY UNPUBLISHED CONDITIONS, SURFACE OR OTHERWISE FOR EVALUATION AND RECOMMENDATIONS. ANY CONTRADICTION BETWEEN ITEMS OF THIS PLAN/PLAN SET, OR BETWEEN THE PLANS AND ON-SITE CONDITIONS MUST BE RESOLVED BEFORE RELATED CONSTRUCTION HAS BEEN INITIATED.
2. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR IS REQUIRED TO HAVE THE PROJECT LAND SURVEYOR STAKE OR FLAG CLEARING LIMITS. A MINIMUM OF 48 HOURS NOTICE IS REQUIRED. CLEARING LIMITS ARE THE EDGE OF THE PROPERTY AND THE LIMITS OF WORK.
3. ALL EXISTING STRUCTURES WITHIN THE CONSTRUCTION AREA, UNLESS OTHERWISE NOTED TO REMAIN, SHALL BE REMOVED AND DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL GUIDELINES. ANY BURNING ON-SITE SHALL BE SUBJECT TO LOCAL ORDINANCES.
4. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND ANY EARTH MOVING OPERATIONS. SILT FENCE SHALL BE INSTALLED AT THE LIMITS OF IMPACT AREAS ACCORDING TO THE DETAILS SHOWN ON SHEET C7.3.
5. CONTRACTOR RESPONSIBLE FOR REPAIRS AND RESTORATION OF AREAS DISTURBED BY UTILITY SERVICE. INSTALLATION INCLUDING FULL DEPTH PAVEMENT REPAIR.

EXISTING CONDITIONS NOTES

1. UNDERGROUND FACILITIES, UTILITIES AND STRUCTURES HAVE BEEN PLOTTED FROM FIELD OBSERVATION AND THEIR LOCATION MUST BE CONSIDERED APPROXIMATE ONLY. SANDS DECKER CPE, LLC OR KARPINSKI ENGINEERING NOR ANY OF THEIR EMPLOYEES TAKE RESPONSIBILITY FOR THE LOCATION OF ANY UNDERGROUND STRUCTURES AND/OR UTILITIES NOT SHOWN THAT MAY EXIST. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UNDERGROUND STRUCTURES AND/OR UTILITIES LOCATED PRIOR TO EXCAVATION BY CALLING 811 THREE (3) BUSINESS DAYS PRIOR TO EXCAVATION AS REQUIRED BY LAW.



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EYECARE PROFESSIONALS
SCHEMATIC DESIGN
POWELL, OH 43065

Job Number: 20205
Design Set
Date: 11.20.2020

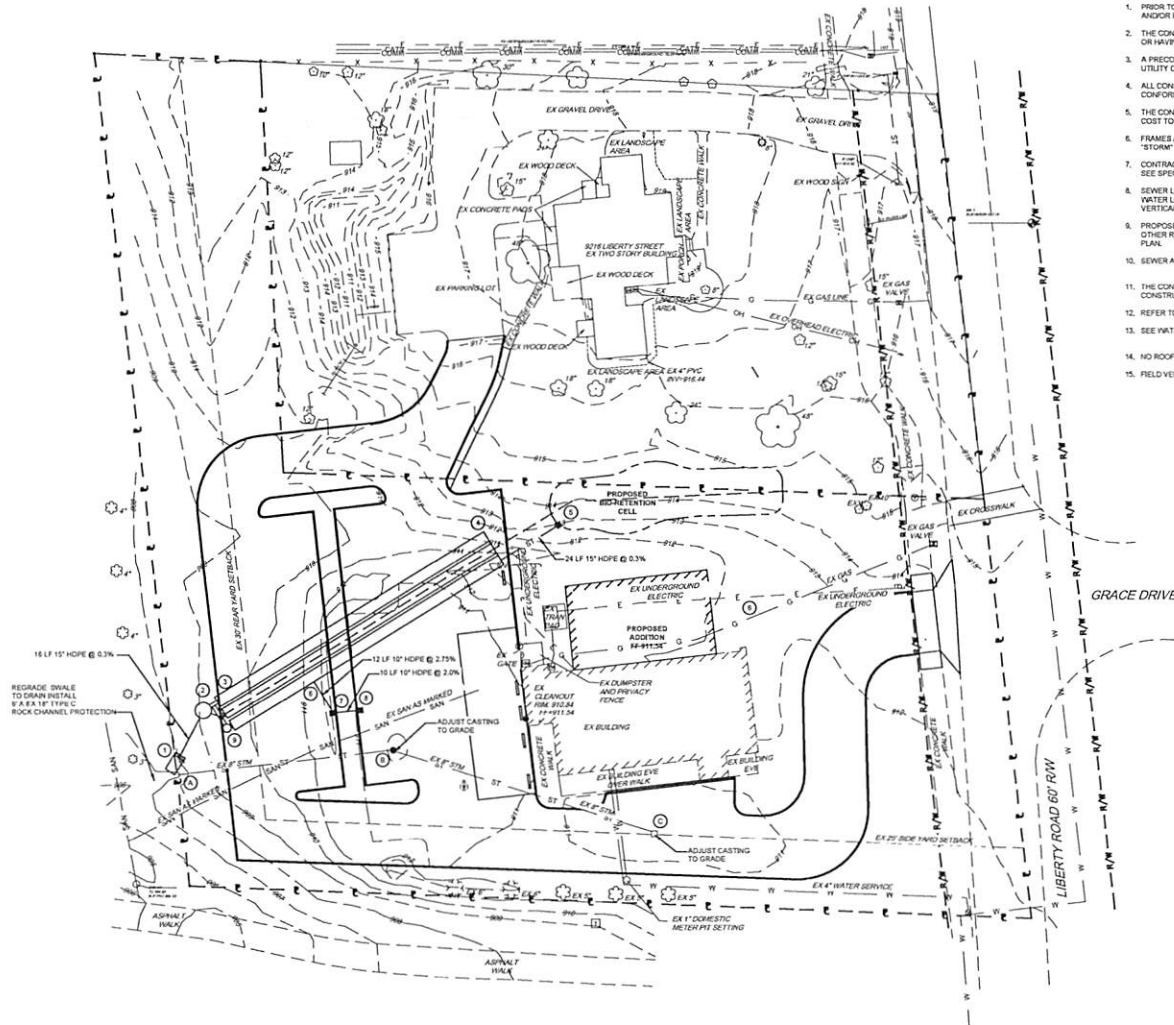
Seal:

EXISTING AND
DEMOLITION PLAN

C2.0



FULL SIZE SHEET (24"x36")
SCALE: 1" = 20'-0"



UTILITY NOTES

1. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER, ARCHITECT AND/OR OWNER, IN ORDER TO OBTAIN AND/OR PAY ALL THE NECESSARY LOCAL PERMITS, FEES AND BONDS.
2. THE CONTRACTOR SHALL PROVIDE A MINIMUM NOTICE OF FOURTEEN (14) DAYS TO ALL CORPORATIONS, COMPANIES AND/OR LOCAL AUTHORITIES OWNING OR HAVING JURISDICTION OVER UTILITIES RUNNING TO, THROUGH OR ACROSS PROJECT AREAS PRIOR TO DEMOLITION AND/OR CONSTRUCTION ACTIVITIES.
3. A PRECONSTRUCTION MEETING SHALL BE HELD WITH THE OWNER, ENGINEER, ARCHITECT, CONTRACTOR, LOCAL OFFICIALS, AND ALL PROJECT-RELATED UTILITY COMPANIES (PUBLIC AND PRIVATE) PRIOR TO START OF CONSTRUCTION.
4. ALL CONSTRUCTION SHALL CONFORM TO THE CITY STANDARDS AND REGULATIONS, UNLESS OTHERWISE SPECIFIED. ALL CONSTRUCTION ACTIVITIES SHALL CONFORM TO LABOR OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) RULES AND REGULATIONS.
5. THE CONTRACTOR IS RESPONSIBLE FOR PAYMENT OF ALL UTILITY CONNECTION FEES, APPLICATION FEES, SERVICE CONNECTION FEE AND TAP IN FEE, COST TO BE INCLUDED IN BASE BID.
6. FRAMES AND COVERS: MANHOLE FRAMES AND COVERS SHALL BE OF HEAVY DUTY DESIGN AND PROVIDE A 24 INCH DIA. CLEAR OPENING. THE WORD "STORM" SHALL BE CAST INTO THE CENTER OF THE UPPER FACE OF EACH COVER WITH MINIMUM 3" LETTERS.
7. CONTRACTOR SHALL PLACE 4" WIDE METAL WIRE IMPREGATED PLASTIC WARNING TAPE OVER ENTIRE LENGTH OF ALL GRAVITY SEWERS AND SERVICES. SEE SPECIFICATIONS FOR COLOR CODE.
8. SEWER LINES SHALL BE LOCATED AT LEAST TEN (10) FEET HORIZONTALLY FROM AN EXISTING OR PROPOSED WATER LINE. WHEN A SEWER LINE CROSSES A WATER LINE, THE SEWER LINE SHALL EXTEND A MINIMUM OF TEN (10) FEET TO EACH SIDE OF THE WATER LINE. THE SEWER LINE SHALL ALSO MAINTAIN A VERTICAL SEPARATION OF NOT LESS THAN 18 INCHES.
9. PROPOSED RIM ELEVATIONS OF STORM STRUCTURES ARE APPROXIMATE. FINAL ELEVATIONS AREA TO BE SET FLUSH WITH FINISHED GRADE. ADJUST ALL OTHER RIM ELEVATIONS OF MANHOLES, WATER GATES, GAS GATES AND OTHER UTILITIES TO FINISHED GRADE AS SHOWN ON THE GRADING AND THE UTILITY PLANS.
10. SEWER AND ALL APPURTENANCES SHALL BE CONSTRUCTED AND TESTED IN ACCORDANCE WITH THE STATE AND CITY SPECIFICATIONS AND DETAILS.
11. THE CONTRACTOR IS TO VERIFY WITH THE ARCHITECT'S PLAN THE LOCATIONS OF ALL UTILITIES SUB LOCATION WITHIN THE BUILDING PRIOR TO CONSTRUCTION.
12. REFER TO SPECIFICATIONS FOR ADDITIONAL DETAILS.
13. SEE WATER MAIN TRENCH DETAIL, FOR YEST VEST WATER AUTHORITY REQUIREMENTS.
14. NO ROOF, STORM OR CELLAR SEEPAGE WATER OR GROUND WATER OF ANY NATURE SHALL BE ALLOWED TO ENTER THE SANITARY SEWER SYSTEM.
15. FIELD-VERIFY ALL EXISTING STORM AND SANITARY INVERTS PRIOR TO CONSTRUCTION.

PIPE MATERIAL NOTES

1. STORM SEWER: HOPE 14-12
2. UNDERDRAIN - 8" PERF. PVC SDR 35

LEGEND

- ① PROPOSED STORM STRUCTURE I.D.
- ② EXISTING STORM STRUCTURE I.D.

EXISTING STORM STRUCTURE TABLE

ID	STRUCTURE	RIM	INVERTS
A	ENDWALL	-	8" NE 906.78
B	CATCH BASIN	909.9	8" SE 906.88
C	CATCH BASIN	910.11	8" NW 910.11

PROPOSED STORM STRUCTURE TABLE

ID	STRUCTURE	RIM	INVERTS
1	ENDWALL	-	RIM 20
2	CONTROL STRUCT.	-	016' E 704.00
3	MC SC 7.50	-	INV 707.80
4	MC SC 7.50	-	INV 707.05
5	2-28 BASIN	710.00	10" 707.08
6	MC SC 7.50	911.17	10" 707.33
7	2-28 BASIN	910.75	10" 14' NW 707.47
8	2-28 BASIN	911.25	10" NW 707.87
9	WEIR MANHOLE	-	15" N 907.00



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Job Number: 20203
Design Set
Date: 11.20.2020

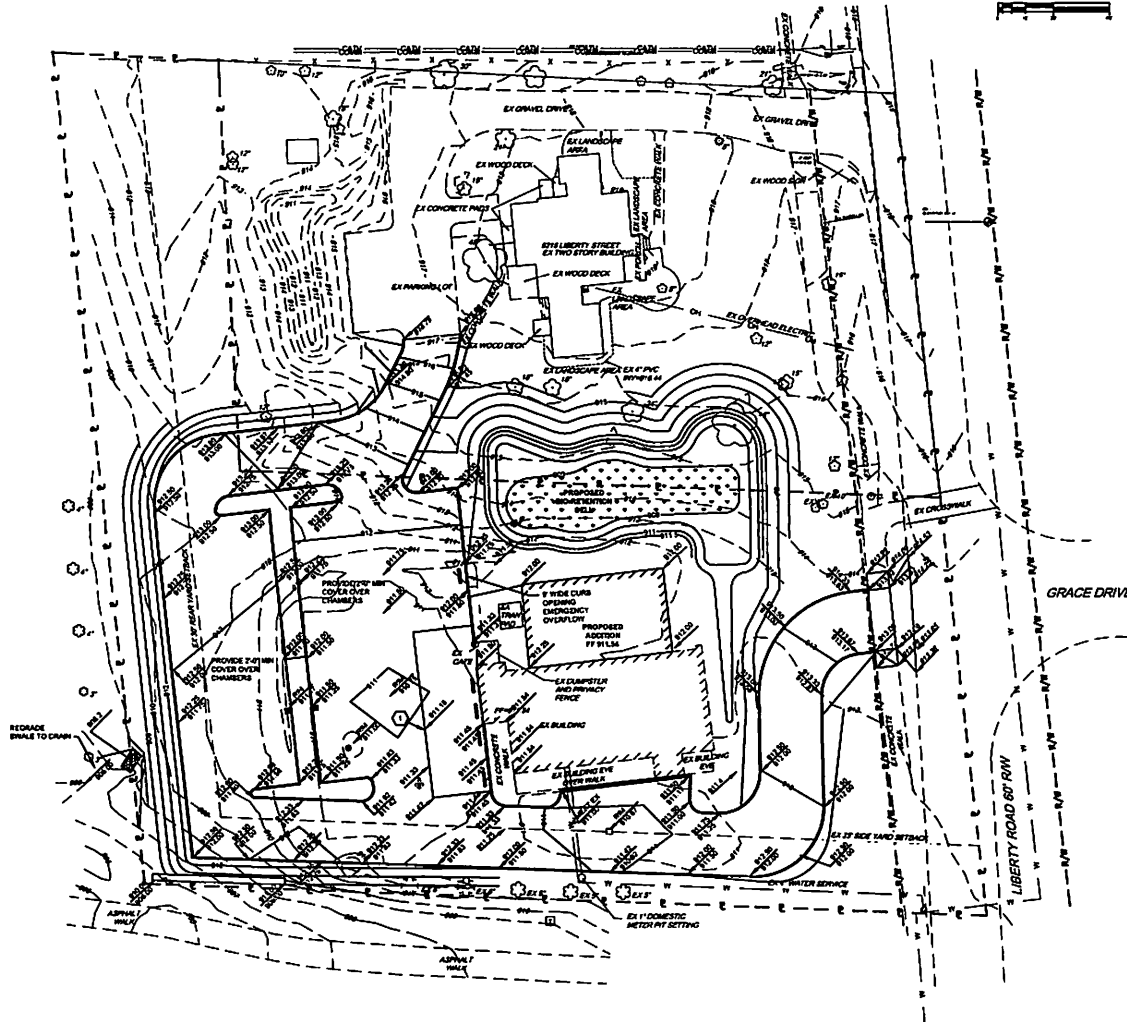
Seal:

UTILITY
PLAN

C4.0



FULL SIZE SHEET (22"X34")
SCALE 1"=20'



GENERAL NOTES

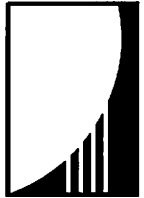
1. UNDERGROUND FACILITIES, UTILITIES AND STRUCTURES HAVE BEEN PLOTTED FROM FIELD OBSERVATION AND THEIR LOCATION MUST BE CONSIDERED APPROXIMATE ONLY. METHER BROS. DESIGN C/O, LLC NOR ANY OF THEIR EMPLOYEES TAKE RESPONSIBILITY FOR THE LOCATION OF ANY UNDERGROUND STRUCTURES AND/OR UTILITIES NOT SHOWN THAT MAY EXIST. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UNDERGROUND STRUCTURES AND/OR UTILITIES LOCATED PRIOR TO EXCAVATION BY CALLING 811.
2. ELEVATIONS SHOWN ARE TIED TO THE NORTH AMERICAN VERTICAL DATUM 1988 (NAVD83).
3. SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
4. ALL STORM STRUCTURES SHALL BE PRECAST UNLESS OTHERWISE SPECIFIED. SEE UTILITY PLAN FOR STORM STRUCTURE SCHEDULE AND SHEET C502 & C510 FOR STORM DETAILS.

PLAN NOTES

1. CROSS SLOPE ON ADA ACCESSIBLE SPACE CONCRETE PAD SHALL NOT EXCEED 2.0% IN ANY DIRECTION.

LEGEND

870.00	PROPOSED TOP OF CURB ELEVATION
864.00	PROPOSED BOTTOM OF CURB ELEVATION
870.00	PROPOSED SPOT ELEVATION
870.00	EXISTING TOP OF CURB ELEVATION
864.00	EXISTING BOTTOM OF CURB ELEVATION
870.00	EXISTING ELEVATION



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Job Number: 20205
Design Set
Date: 11.20.2020
Scale:

GRADING
PLAN

C5.0



BIO RETENTION CELL MAINTENANCE

IT IS THE OWNER'S RESPONSIBILITY TO MAINTAIN AND MAKE ALL NECESSARY REPAIRS TO THE FACILITY LOCATED ON THE PROPERTY TO ENSURE ITS ORIGINAL DESIGNED FUNCTION INCLUDING BUT NOT LIMITED TO THE FOLLOWING:

NO-RETENTION CELL MONTHLY MAINTENANCE

1. WATER PLANTS UPON GROWTH IS ESTABLISHED.
2. PRUNE AND TRIM PLANTS/GRASS AS NEEDED.
3. REMOVE LITTER AND DEBRIS.
4. REMOVAL OF WOODY VEGETATIVE GROWTH FROM POND AREA INCLUDING EMBANKMENTS.
5. REMOVAL OF TRASH AND/OR SEDIMENT ACCUMULATION.
6. REMOVAL OF OBSTRUCTIONS IN OFFICER AND/OR OUTLETS.
7. INSPECT FOR SOIL DAMAGE.

NO-RETENTION CELL SEMI-ANNUAL MAINTENANCE

CHECK AND REPAIR AREAS OF EROSION.

NO-RETENTION CELL ANNUAL MAINTENANCE

1. REPAIR AND/OR REPLACE ANY DAMAGED STRUCTURES (E.G. CATCH BASIN).
2. REPLACE ANY DAMAGED VEGETATION.
3. ADD OR REPLACE MULCH AS NEEDED.
4. DEBRIS SHOULD BE REMOVED FROM OVERFLOW SPILLWAY AND ORNATE.

NO-RETENTION CELL PLANNED MAINTENANCE

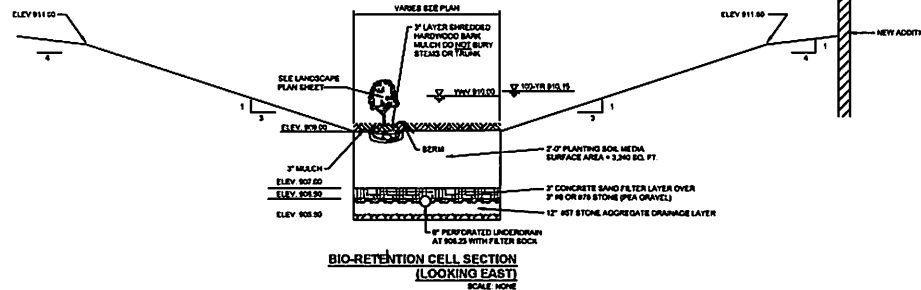
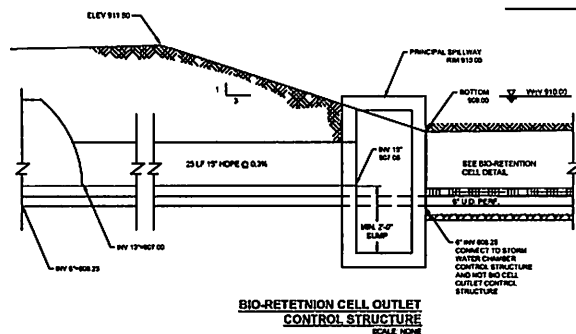
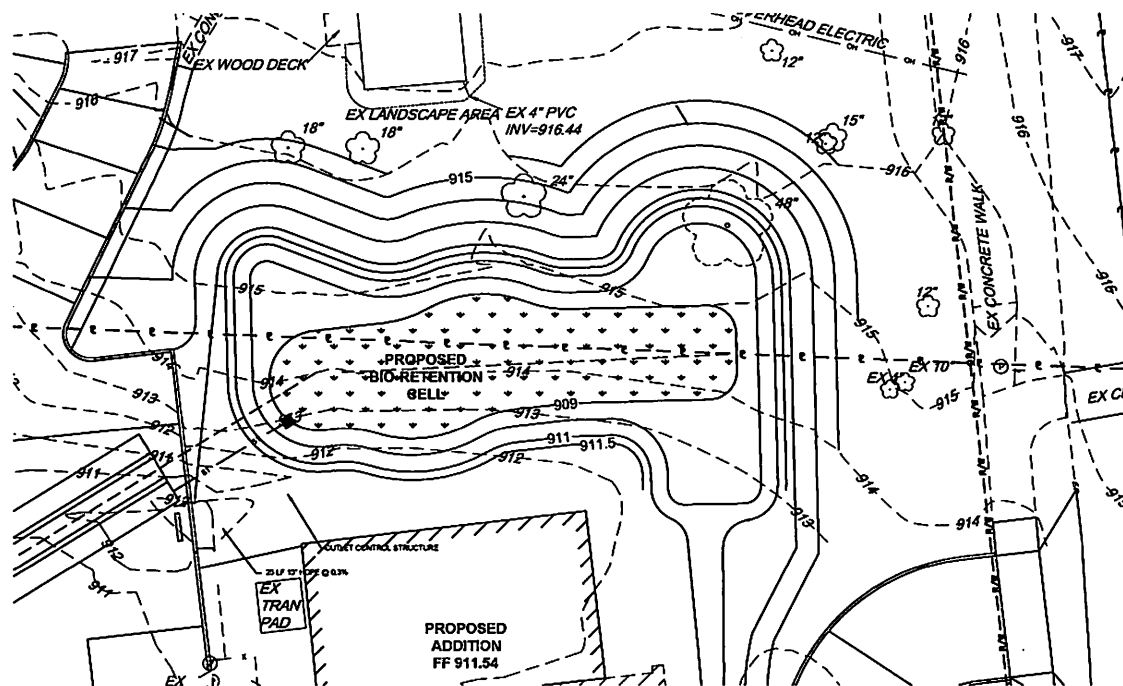
TEST SOIL AND ADJUST AS NECESSARY TO MAINTAIN IN 5.5-6.0 PH RANGE.

NO-RETENTION CELL 2-3 YEAR MAINTENANCE

CHECK PLANTING SOIL AND FILTER LAYER FOR CLOGGING, REPLACING NECESSARY PORTIONS.

CONSTRUCTION NOTES

1. TIMING OF CONSTRUCTION: CONSTRUCTION OF BIORETENTION PRACTICES SHALL TAKE PLACE AFTER LAND GRADING IS COMPLETE AND THE CONTINUING CONSTRUCTION AREA HAS BEEN STABILIZED. CONSTRUCTION MAY TAKE PLACE IF THE ENTIRE CONTINUING AREA CAN BE EFFECTIVELY SHIELDED WITH CONSTRUCTION EROSION CONTROL AND FULLY VEGETATED COVER PROTECTS ALL SOIL AREAS. CONSTRUCTION SHALL NOT OCCUR DURING PERIODS OF RECIPIENT INADEQUATE CLOSING OF SOILS. SEDIMENT, FILTER OR PLANTING MEDIA MAY OCCUR.
2. EDUCATION: SOILS AND UNDER: EDUCATE THE TRAFFIC TO PLANT SEDIMENT BARRIERS TO PROTECT FACILITY SOILS BY FOOT TRAFFIC. AN INFRA-SOIL LAYER OF UNIFORM CONSTRUCTION SHALL HELP TO AVOID THE IMPACT. SOME SEDIMENT OF SOILS AT THE FINAL GRADE WILL OCCUR IF A BUCKET WITHOUT TRENCHES IS USED. IF THIS SEDIMENT OCCURS, IT SHALL BE RECOVERED BY FUNCTIONING A FIVE INCHES DEEP WITH AN APPROPRIATE TOOL. BIORETENTION LINED WITH PLASTIC SHALL USE A MINIMUM SOIL LAYER AND TAKE MEASURES TO AVOID PUNCTURE OF THE LAYER.
3. PLANTING SOILS: SOIL MUST BE TESTED BY A CERTIFIED LABORATORY TO INSURE THEY MEET REQUIRED SPECIFICATIONS. DOCUMENTATION OF CERTIFICATION TESTING SHALL BE AVAILABLE ON SITE TO SITE INSPECTORS. THE PLANTING SOIL SHALL BE PLACED IN 15 INCH LIFTS AND LOOSELY SETTLED BY GENTLE SOILING WITH WATER TO PROMOTE SETTLING. PLANTING SOIL SHOULD BE PLACED TO ADEQUATELY APPROXIMATELY 10 INCHES THIN TRUCK GRADE TO ALLOW FOR SETTLING.
4. MULCH: PLACE MULCH ONCE SUFFICIENT SETTLING OF THE PLANTING SOIL HAS OCCURRED IN ORDER TO AVOID EXCESS CONSTRUCTION. BIORETENTION VEGETATED WITH TURF SHALL BE RECOVERED.



LEGEND



GENERAL NOTE

1. CONTRACTOR SHALL RETAIN A GEOTECHNICAL ENGINEER TO PROVIDE AN INFILTRATION TEST AT THE PROPOSED BIORETENTION CELL. THE GEOTECHNICAL ENGINEER SHALL PROVIDE A REPORT WITH THEIR RESULTS OF THE TESTS.
2. THE BIO RETENTION CELL SOIL, MULCH AND GRAVEL SHALL BE INSTALLED AT THE END OF CONSTRUCTION WHEN THE UPSTREAM WATERSHED HAS BEEN ESTABLISHED WITH GRASS.

BIO-RETENTION CELL NOTES

SOIL MEDIA SHALL CONSIST OF THE FOLLOWING:

1. TEXTURE CLASS LOAMY SAND, HAVING NO LESS THAN 80% SAND AND NO GREATER THAN 10% CLAY. CORRESPONDING ONLY THE MINERAL FRACTION OF THE SOIL.
2. PH RANGE 5.2-6.0.
3. SOIL BULK DENSITY 800 PPM MAXIMUM.
4. DECOMPOSED ORGANIC MATTER: 50% BY WEIGHT (NOTE: THIS TRANSLATES TO 6.25% ORGANIC MATTER BY VOLUME, SEE NOTE ON CREATING A SUSTAINABLE SOIL MEDIA BELOW).
5. PHOSPHORUS: PHOSPHORUS OF THE PLANTING MEDIA SHOULD FALL BETWEEN 10 AND 30 MG/100 G (PPM) AS DETERMINED BY THE MEDIAN TEST. FOR SETS IN WATERSHEDS WITH A PHOSPHORUS LOAD, OR SETS WITH HIGH PHOSPHORUS LOADS, THE PHOSPHORUS CONTENT OF THE PLANTING MEDIA SHOULD FALL BETWEEN 10 AND 30 MG/100 G AS DETERMINED BY THE MEDIAN TEST.
6. SAND ADDED SHALL BE CLEAN AND MEET ASTM 600 OR ASTM 600 WITH A GRAIN SIZE OF 0.075-0.425 INCHES.

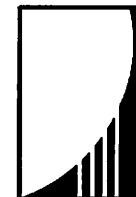
CREATING SUSTAINABLE SOIL MEDIA

TO MEET THE ABOVE SOIL MEDIA CRITERIA, THE FOLLOWING MEDIA (BY VOLUME) IS RECOMMENDED AS A STARTING POINT:

1. SAND: 75 PARTS CLEAN SAND (E.G., ASTM 600 OR EQUIVALENT) + 1% FINE SAND NO. 200 SIEVE, NATIVE SOIL: 13 PARTS (TOTAL: 86% SAND OR CLAY (TEXTURE)).
2. DECOMPOSED ORGANIC MATTER: 1 PART (LEAF LITTER, PINE BARK FINE, MULCH FINE, ETC.).
3. BASED ON TESTING EXPERIENCE AND NATIVE SOIL CHARACTERISTICS, THE SAND, SOIL OR ORGANIC MATTER CONTENT CAN BE ADJUSTED TO ACHIEVE THE DESIRED MEDIA. THE SOIL MEDIA SUPPLIER SHOULD PRETEST THE SAND, NATIVE SOIL, AND ORGANIC MATTER TO EVALUATE THEIR PHOSPHORUS CONTENT. THE SOIL MEDIA SUPPLIER MUST PRESENT A SOIL TEST SHOWING THE PLANTING MEDIA MEETS THE CRITERIA ABOVE.

NO-RETENTION STORM WATER PRACTICE

BIORETENTION CELL PRACTICE SELECTED DUE TO WATERSHED SIZE AND AVAILABLE LAND FOR BOTH WATER QUALITY AND QUANTITY FACILITY. IN ADDITION, PROVIDING A CENTRAL LANDSCAPED AREA THAT CAN INCORPORATED ORDIN STORM WATER PRACTICES ADDS AESTHETIC APPEAL TO THE SITE.



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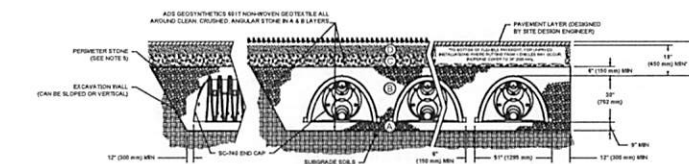
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Job Number: 20205
Design Set
Date: 11.20.2020

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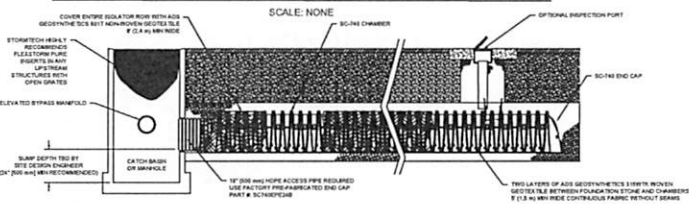
**STORMWATER
MANAGEMENT PLAN**

C6.0

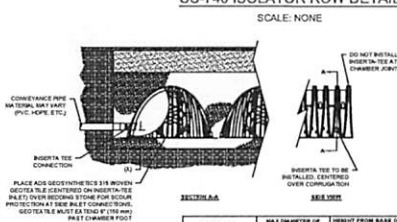


- NOTES:**
- SC-740 CHAMBERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM F1818 STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS.
 - SC-740 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2707 STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS.
 - "ACCEPTABLE FILL MATERIAL" TABLE ABOVE PROVIDES MATERIAL LOCATION, DESCRIPTION, SPACING, AND COMPACTION REQUIREMENTS FOR FOUNDATION, EMBANKMENT, AND FILL MATERIALS.
 - THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING CAPACITY OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
 - PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED SEPARATION WALLS.
 - ONCE LAYER C-2 IS PLACED, ANY SOLID MATERIAL CAN BE PLACED IN LAYER C-1 UP TO THE FINISHED GRADE. MUST PROVIDE SUBGRADE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER C-2 OR IF AT THE SITE DESIGN ENGINEER'S DISCRETION.

UNDERGROUND STORM WATER MANAGEMENT TRENCH SECTION A-A



SC-740 ISOLATOR ROW DETAIL

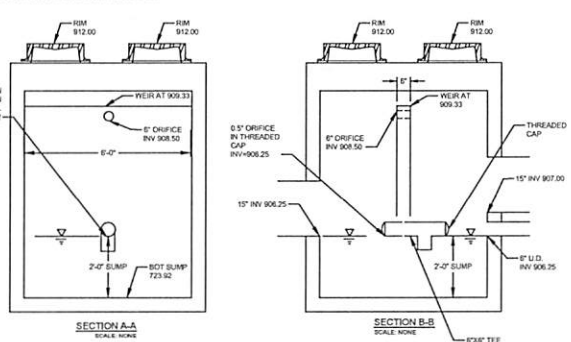


INSERTA-TEE SIDE INLET DETAIL

ACCEPTABLE FILL MATERIALS: STORMTECH SC-740 CHAMBER SYSTEMS

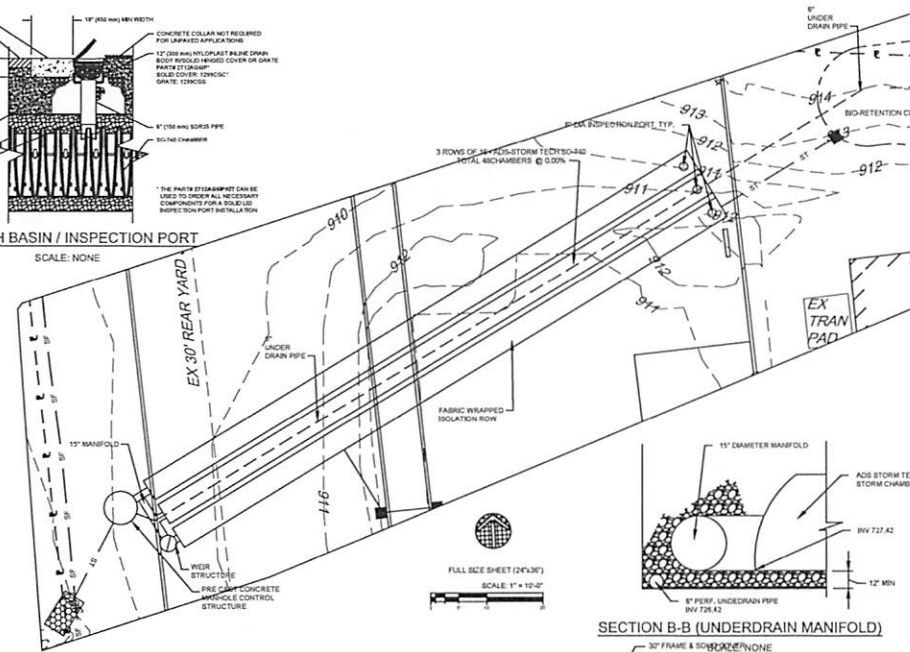
MATERIAL LOCATION	DESCRIPTION	ASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D. FILL FILL MATERIAL FOR LAYER C-1 STARTS FROM THE TOP OF THE C-2 LAYER TO THE BOTTOM GRADE ABOVE. NOTE THAT PAVEMENT SUBGRADE MUST BE PART OF THE C-1 LAYER.	ANY SOLID/ROCK MATERIALS, NATIVE SOILS, OR PER ENGINEER'S PLANS, CHECK PLANS FOR PAVEMENT SUBGRADE REQUIREMENTS.	NA	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PRESSURE INFLATION TESTS MAY BE REQUIRED FOR MATERIALS AND PREPARATION REQUIREMENTS.
E. FILL FILL MATERIAL FOR LAYER C-2 STARTS FROM THE TOP OF THE UNDERGROUND STONE (OR LAYERS) TO 18" AND ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBGRADE MAY BE A PART OF THE C-2 LAYER.	GRAVELLY, WELL-GRADED SOLID/ROCK MATERIALS, <10% Fines, OR PROCESSED AGGREGATE, OR FLUENT, FINE-TEXTURED, OR UNGRADED FINE-TEXTURED SOILS MAY BE A PART OF THE C-2 LAYER.	ASHTO M141 A-1, A-3, A-2 OR ASHTO M147 3. SS1, A, 4. 4. 5. 5. 6. 6. 7. 7. 8. 8. 9. 9.	BEFORE COMPACTION AFTER 12" (300 mm) OF MATERIAL OVER THE CHAMBER IS REACHED, COMPACT ADDITIONAL LAYERS IN 12" (300 mm) LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL-GRADED MATERIAL, AND 94% RELATIVE DENSITY FOR PROCESSED AGGREGATE. MATERIALS SHALL BE COMPACTED TO A MIN. 95% DYNAMIC PUNCH NOT TO EXCEED 1000 LB (454 kg) DYNAMIC PUNCH NOT TO EXCEED 2000 LB (907 kg).
F. UNDERGROUND STONE FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE (OR LAYERS) TO THE C-2 LAYER ABOVE.	CLEAN, CRUSHED, ANGULAR STONE	ASHTO M87 3. SS1, A, 4. 4. 5. 5. 6. 6. 7. 7. 8. 8. 9. 9.	NO COMPACTION REQUIRED.
G. FOUNDATION STONE FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	CLEAN, CRUSHED, ANGULAR STONE	ASHTO M87 3. SS1, A, 4. 4. 5. 5. 6. 6. 7. 7. 8. 8. 9. 9.	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE.

- PLEASE NOTE:**
- THE LISTED ASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR M-8 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 8, 1/2" MAXIMUM SIZE, M-8 STONE."
 - STORMTECH COMPACTION REQUIREMENTS ARE MET FOR A LOCAL TON MATERIALS WHEN PLACED AND COMPACTIONED IN 12" (300 mm) LIFTS USING TWO PLAT COVERS WITH A 1000 LBS (454 kg) COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGN, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.



SECTION A-A

SECTION B-B

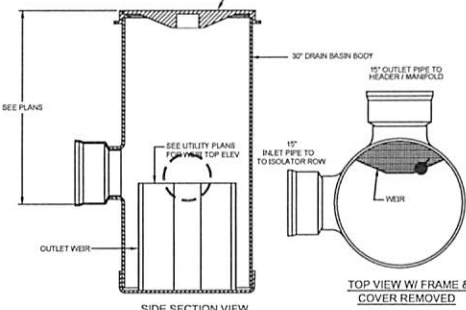


6" CATCH BASIN / INSPECTION PORT

SCALE: NONE

SECTION B-B (UNDERDRAIN MANIFOLD)

SCALE: NONE



NYLOPLAST WEIR MANHOLE

SCALE: NONE

SC-740 CHAMBER SYSTEM MAINTENANCE PLAN - EVERY 6 MONTHS

- STEP 1: INSPECT ISOLATOR ROW FOR SEDIMENT**
- A. INSPECTION PORTS**
- REMOVE / OPEN LID ON INSPECTION PORT #1 & BOTH WEIR MANHOLES
 - USING A FLASHLIGHT AND STADIUM ROD, MEASURE DEPTH OF SEDIMENT AT BOTH ACCESS POINTS, AND RECORD ON MAINTENANCE LOG.
 - COVER A CAMERA INTO ISOLATOR ROW FOR VISUAL INSPECTION OF SEDIMENT LEVELS, (OPTIONAL).
 - IF SEDIMENT IS AT OR ABOVE 3" JETVAC CLEAN OUT WILL BE REQUIRED.
- B. STORM WATER STORAGE CHAMBER**
- REMOVE COVER FROM INSPECTION PORTS ON NORTH SIDE OF CHAMBERS
 - USING A FLASHLIGHT INSPECT DOWN THE ROW THROUGH OUTLET PIPE USING MIRRORS OR POLES OR CAMERA TO AVOID COMPROMISE SPACE ENTRY
 - IF SEDIMENT IS ACCUMULATING IN CHAMBER CONTACT MANUFACTURER ADVANCED DRAINAGE SOLUTIONS FOR FURTHER DIRECTION.
- STEP 2: CLEAN OUT ISOLATOR ROW USING THE JETVAC PROCESS**
- A FIXED CLOSET CLEANING NOZZLE WITH REAR FACING SPRAY OF 40° OR MORE IF PREFERRED
 - APPLY MULTIPLE PASSES OF JETVAC UNTIL BACKFLUSH WATER IS CLEAN
 - VACUUM STRUCTURE BUMP AS REQUIRED
 - REPLACE ALL COVERS, GRATES, FILTERS, AND LIDS. RECORD OBSERVATIONS AND ACTIONS.
- STEP 3: INSPECT AND CLEAN BASINS, FILTER INSERTS, AND MANHOLES IN THE PARKING LOT.**
- NOTE:**
- IF STORM WATER IN UNDERGROUND SYSTEM IS NOT DRAINING AFTER 48 HOURS, INSPECT BOTH SIDES OF WEIR MANHOLE. REMOVE ANY FOREIGN MATERIAL FROM BOTH CHAMBERS. IF NO CLOG EXISTS, CONTACT THE CITY SEWER DEPARTMENT TO INSPECT CITY MANHOLE FOR CLOGS.



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STORMWATER
MANAGEMENT PLAN

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**EYECARE PROFESSIONALS
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Seat

C8.0



1. ALL SURFACE SLOPES WITHIN ADA SPACES SHALL NOT EXCEED 2.0% IN ANY DIRECTION



1. THE BAR AND WORDING ARE TO BE WHITE.
2. LETTERING IS TO BE CENTERED ON THE STOP BAR.
3. SEE SITE PLAN FOR LOCATION AND ORIENTATION.

NOTE: HEIGHT SHOWN IS FROM GROUND TO BOTTOM OF SIGN



1. SIGNS ARE TO CONFORM TO MUNICIPALITY PARKING STANDARDS
2. HANDICAP SYMBOL IS TO BE PAINTED WHITE ON BLUE BACKGROUND



1. TRAFFIC PAINT SHALL BE PER SPECIFICATIONS.
2. PARKING SPACES AND ISLANDS PER DRIVE AISLE MAY VARY. REFER TO SITE PLAN FOR ADDITIONAL INFORMATION.
3. REFER TO SITE PLAN FOR STRIPING LAYOUT, AND EXCEPTIONS TO THIS DETAIL.



1. BASE BOLTS SHALL BE SHF-10 x 1 1/2" GRADE 8 OR ASTMA 302.
2. BOLTS AND NUTS SHALL BE FLATNER HEAD TYPE OR INSTALLED WITH FLAT FLATNERS UNDER BOLT HEAD & NUT.

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