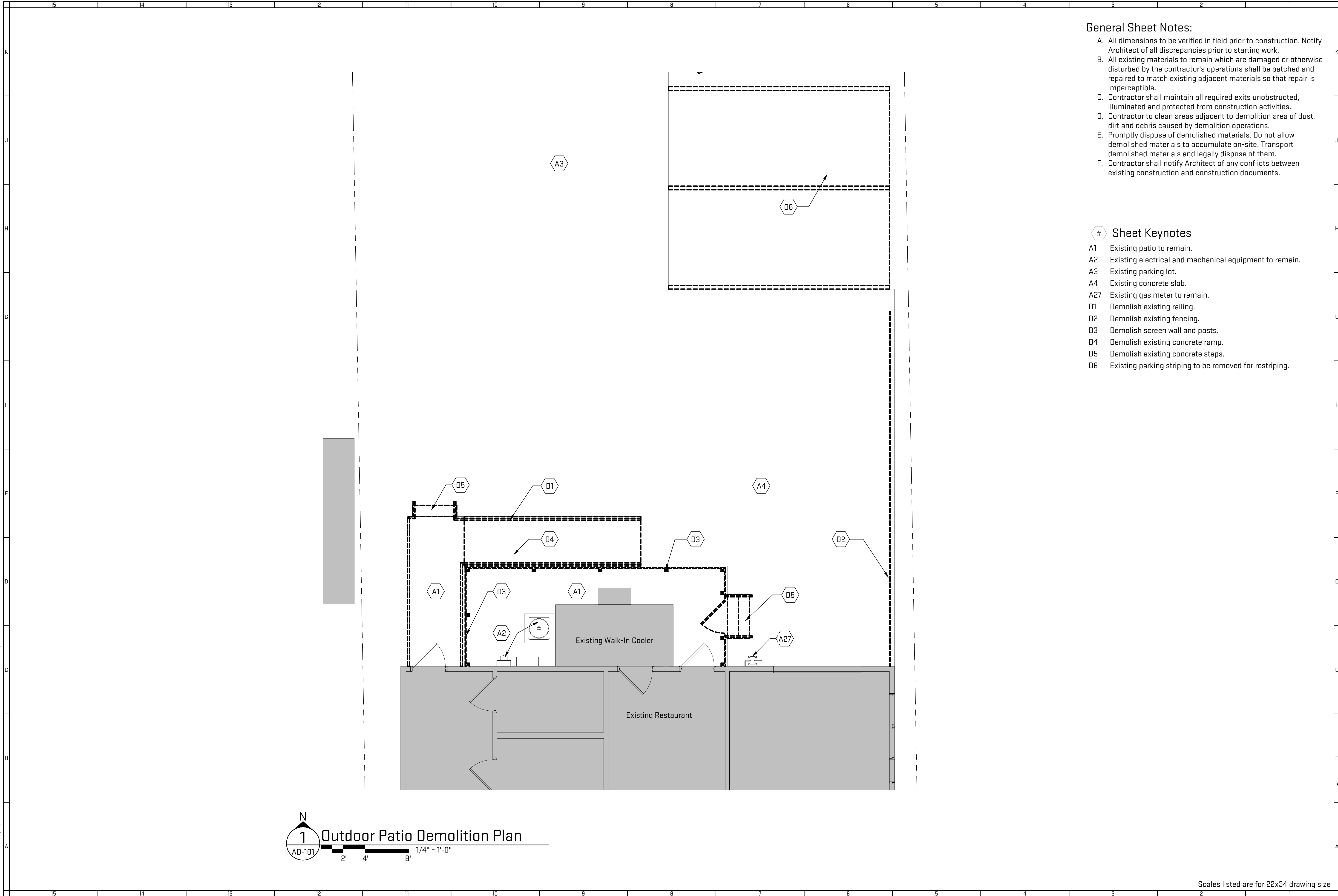


Plot Date/Time: 11/4/2020 12:45:08 PM File Path: C:\Revit Local Files\HHL20\_bill\_kwas.rvt



- General Sheet Notes:**
- A. All dimensions to be verified in field prior to construction. Notify Architect of all discrepancies prior to starting work.
  - B. All existing materials to remain which are damaged or otherwise disturbed by the contractor's operations shall be patched and repaired to match existing adjacent materials so that repair is imperceptible.
  - C. Contractor shall maintain all required exits unobstructed, illuminated and protected from construction activities.
  - D. Contractor to clean areas adjacent to demolition area of dust, dirt and debris caused by demolition operations.
  - E. Promptly dispose of demolished materials. Do not allow demolished materials to accumulate on-site. Transport demolished materials and legally dispose of them.
  - F. Contractor shall notify Architect of any conflicts between existing construction and construction documents.

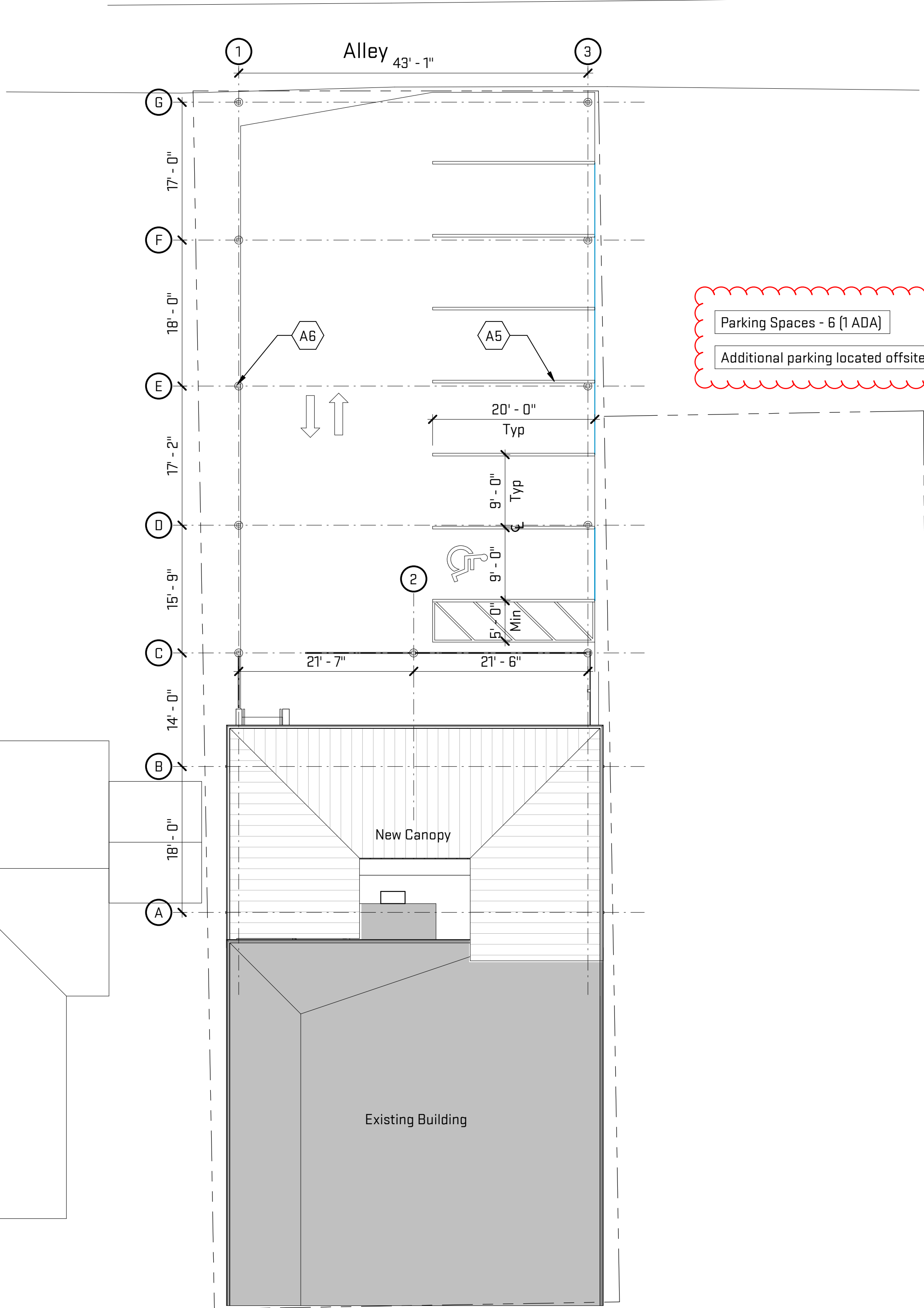
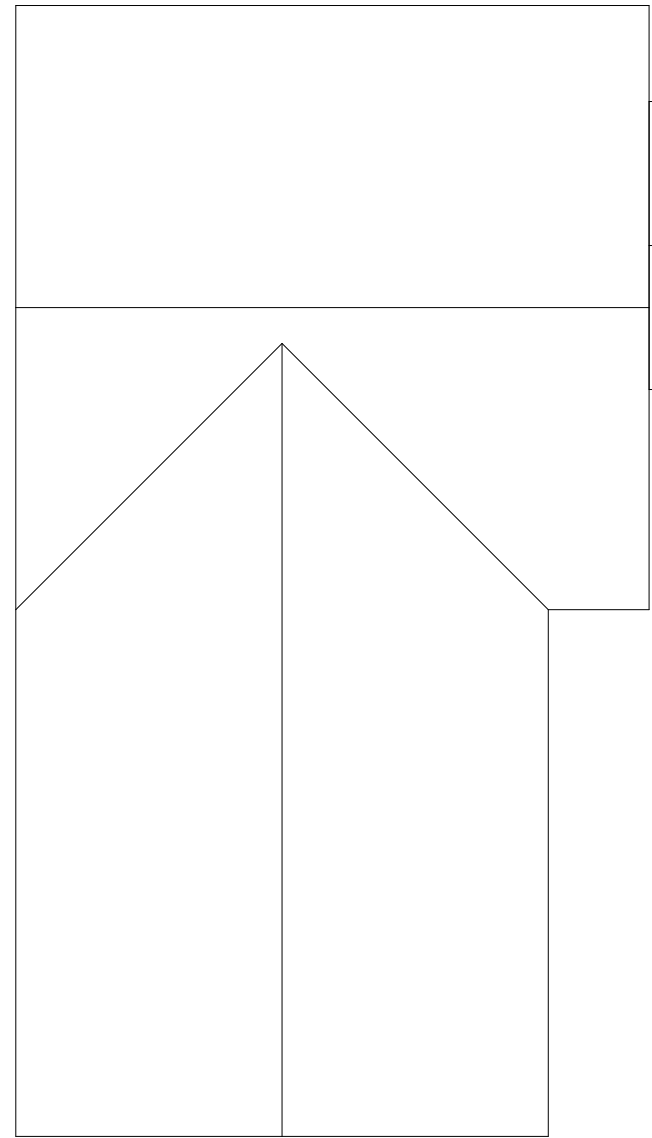
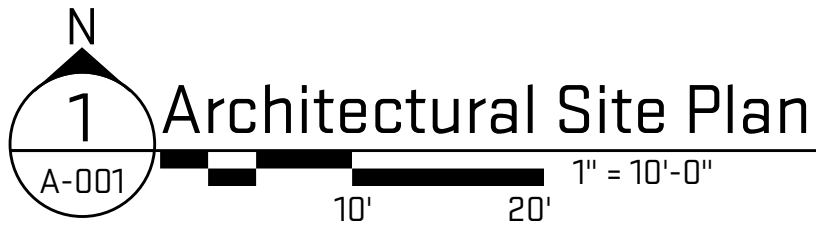
- Sheet Keynotes**
- A1 Existing patio to remain.
  - A2 Existing electrical and mechanical equipment to remain.
  - A3 Existing parking lot.
  - A4 Existing concrete slab.
  - A27 Existing gas meter to remain.
  - D1 Demolish existing railing.
  - D2 Demolish existing fencing.
  - D3 Demolish screen wall and posts.
  - D4 Demolish existing concrete ramp.
  - D5 Demolish existing concrete steps.
  - D6 Existing parking striping to be removed for restriping.

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Job Title: <b>Huli Huli Restaurant - Canopy</b>		26 W Olentangy St, Powell OH 43065
Sheet Title: <b>Outdoor Patio Demolition Plan</b>		Released For: Permit
11/04/2020		Project #
CCS - HHL20		Dwg Date
AD-101		Dwg #



Plot Date/Time: 11/4/2020 12:45:01 PM File Path: C:\Revit Local Files\HHL20\_bill\_l\_kwas.rvt



General Sheet Notes:

- A. All paving on accessible route shall have a maximum slope of 1:20 in direction of travel with a mainum cross-slope of 1:50.
- B. Maximum slope of all accessible parking spaces and access aisles shall be 1:50 in any direction.
- C. All accessible route and parking elements shall be designed and constructed in accordance with 2010 ADA Standards for Accessible Design and Chapter 11 of the Ohio Building Code (ICC/ANSI A117.1 2009).
- D. Fire lane requirements to be coordinated with local jurisdiction Fire Chief and identified in final parking layout and striping.
- E. All parking space layouts to conform to minimum sizing standards per local Zoning Ordinance.
- F. All dimensions shown for parking layout are measured to face of curb or centerline of striping.
- G. Contractor to review site conditions, including slopes and elevations, prior to construction. Coordinate any discrepancies with Architect.
- H. All slopes indicated show arrow pointing in the down slope direction.
- I. All lighting on this site shall be shielded & not encroach upon abuttins properties or right-of-ways. Site lighting poles shall not be higher than 20 feet. All glare shall be eliminated from all light fixtures. Upward directed lighting shall not be permitted.
- J. All landscape areas shall be automatically irrigated.
- K. External lighting is for indication only, reference electrical drawings for actual locations & types of lighting.
- L. Provide control joints in new concrete paving at 5'-0" on center, maximum 3/8" joint width.
- M. Patch or fill all joints along accessible route that are greater than 1/2" in width to be flush with paving.
- N. Areas of existing concrete to be repaired as needed.

# Sheet Keynotes

- A5 New parking striping.
- A6 New 6x6 post, length to be 9'-0" above grade with festoon lighting between each post. Refer to structural for typical footing.

Project Info & Zoning Information

PROJECT SCOPE	
Location	Powell, OH
Parcel #	319-425-16-009-000
Parcel Description	Retail
Address	26 W Olentangy St, Powell, OH 43065
Lot Acreage	0.17 acres

ZONING ORDINANCES	
Zoning District	Downtown Business District
Min. Lot Area	--
Min. Lot Width	--
Setbacks (RLS)	FY 20', SY 10', RY 50'
Minimum Front	20' min   25' max
Minimum side (each)	5'
Rear	5'
Max. Height	35'
Maximum Lot Coverage	20%
Proposed New Work Area	--
Percentage of Lot Area	--

Scales listed are for 22x34 drawing size



Job Title:

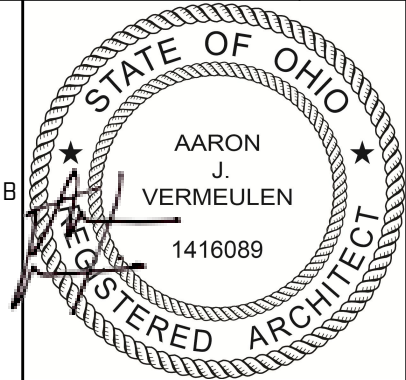
Huli Huli Restaurant - Canopy

26 W Olentangy St, Powell OH 43065

Sheet Title:

Architectural Site Plan

Released For: Permit



11/04/2020

CCS - HHL20

A-001



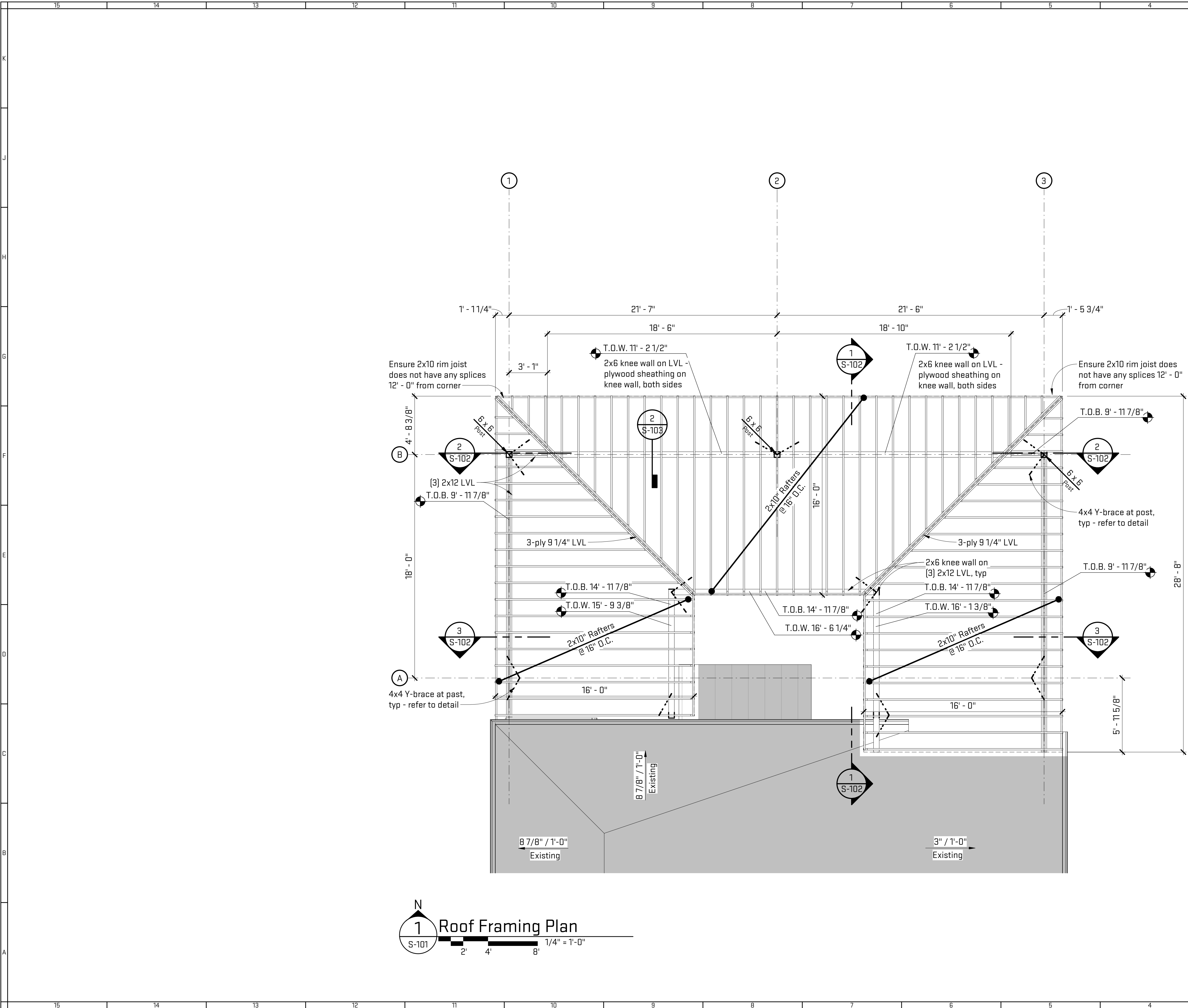
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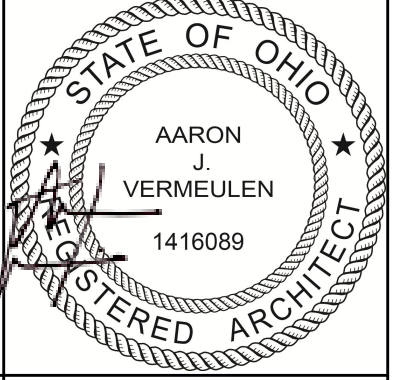
General Sheet Notes:  
A. All elevations are above Grade level.  
B. 2x6 knee walls to have 3/4" exterior plywood sheathing on both sides of knee extending down to bottom of LVL, refer to detail.

# Sheet Keynotes



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Job Title:	Huli Huli Restaurant - Canopy
Sheet Title:	Framing Plan
Released For: Permit	26 W Olentangy St, Powell OH 43065

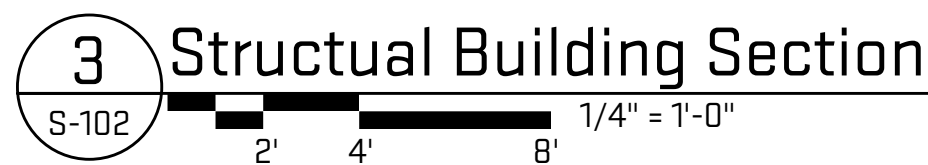


11/04/2020  
CCS - HHL20  
S-101

Project #  
Drawing #

Scales listed are for 22x34 drawing size





## # Sheet Keynotes

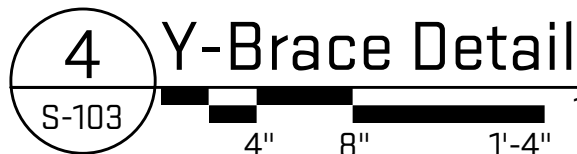
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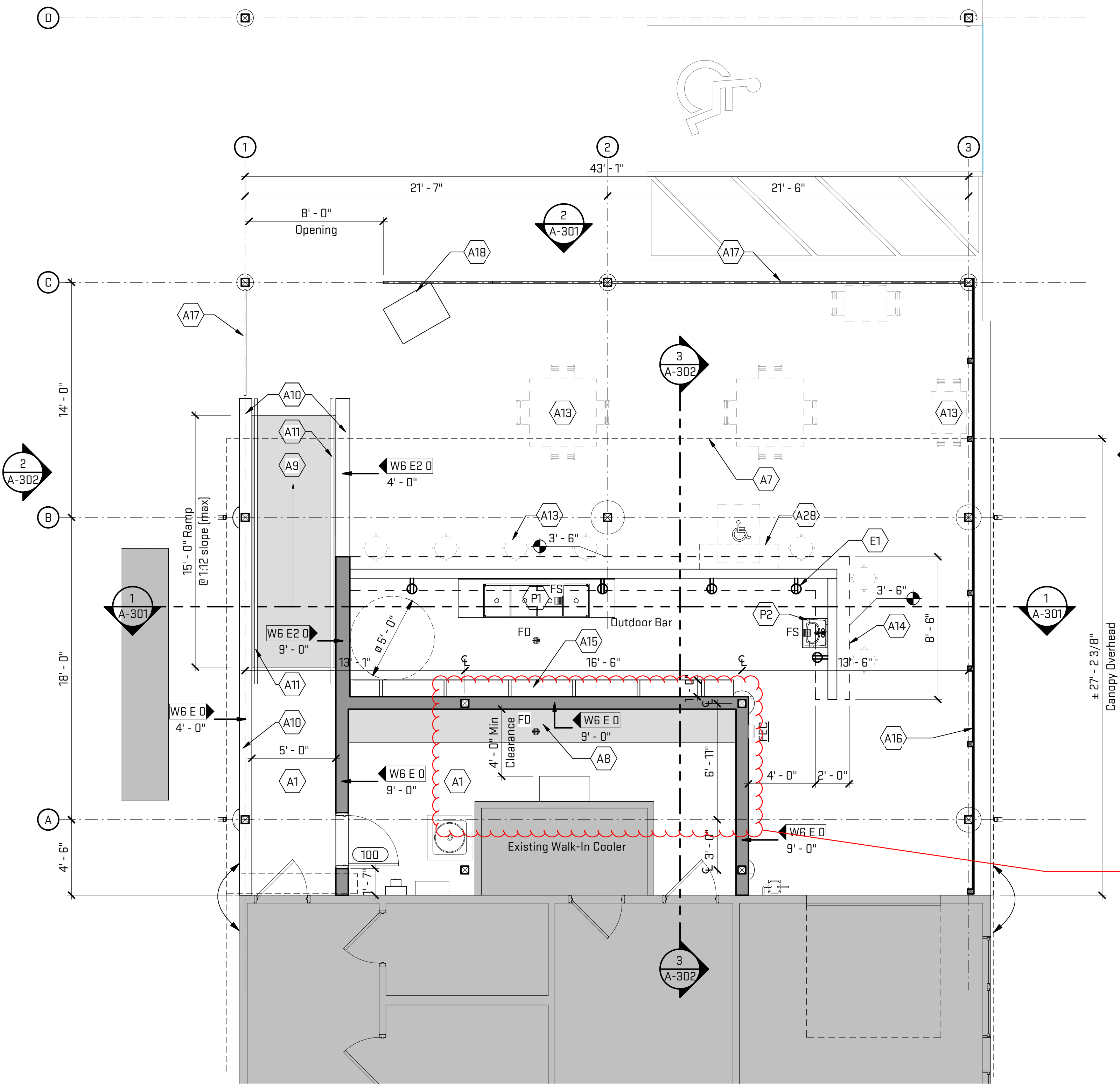


Scales listed are for 22x34 drawing size





Plot Date/Time: 11/4/2020 12:45:03 PM File Path: C:\Revit Local Files\HHL20\_bill\_lkwas.rvt



1 Outdoor Patio Floor Plan  
A-101  
2' 4' 8'  
1/4" = 1'-0"

- General Sheet Notes:
- A. All dimensions to be verified in field prior to construction. Notify architect of all discrepancies prior to starting work.
  - B. All elevations are above Grade level.
  - C. All dimensions on plans are to face of finish face or column centerlines, U.N.D.
  - D. Masonry dimensions are nominal, U.N.D.
  - E. Provide solid blocking/backing in-wall cavities at all wall mounted equipment as indicated by project equipment list and per manufacturers detailed instructions.

# Sheet Keynotes

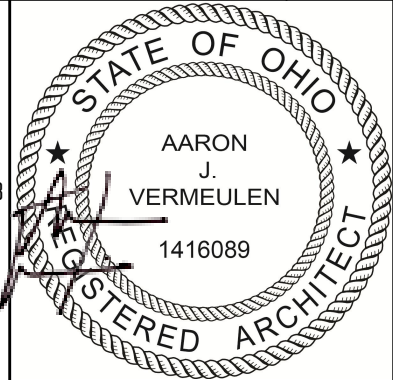
- A1 Existing patio to remain.
- A7 Line of canopy overhead.
- A8 Extend concrete patio, refer to structural drawings.
- A9 New poured concrete ramp, refer to structural drawings.
- A10 New partial height wall.
- A11 New wall mounted handrail.
- A13 Furniture by owner.
- A14 New concrete counter bar.
- A15 New built-in liquor shelf and lighting.
- A16 New fence.
- A17 2" pipe railing.
- A18 Host stand by owner.
- A28 Folding ADA ledge at bar.
- E1 Receptacle, coordinate location with owner.
- P1 Four compartment sink, coordinate location with owner.
- P2 Hand sink, coordinate location with owner.

Open to above and surrounded by new walls, need some water management options

Scales listed are for 22x34 drawing size



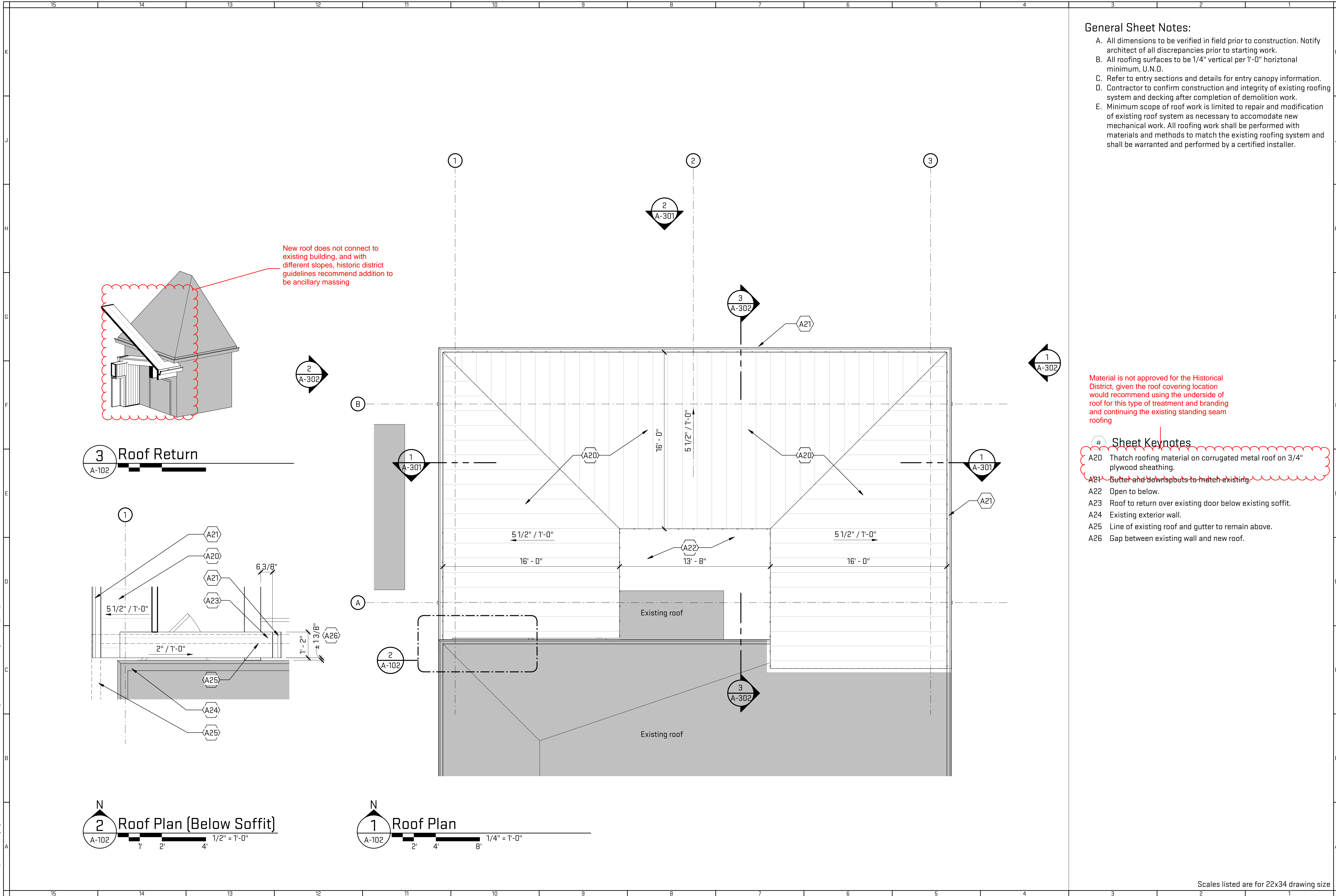
Job Title:	Huli Huli Restaurant - Canopy	26 W Olentangy St, Powell OH 43065
Sheet Title:	Outdoor Patio Floor Plan	Released For: Permit



11/04/2020	Dwg Date
CCS - HHL20	Project #
A-101	Drawing #




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- General Sheet Notes:
- A. All dimensions to be verified in field prior to construction. Notify architect of all discrepancies prior to starting work.
  - B. All roofing surfaces to be 1/4" vertical per 1'-0" horizontal minimum, U.N.D.
  - C. Refer to entry sections and details for entry canopy information.
  - D. Contractor to confirm construction and integrity of existing roofing system and decking after completion of demolition work.
  - E. Minimum scope of roof work is limited to repair and modification of existing roof system as necessary to accomodate new mechanical work. All roofing work shall be performed with materials and methods to match the existing roofing system and shall be warranted and performed by a certified installer.

Material is not approved for the Historical District, given the roof covering location would recommend using the underside of roof for this type of treatment and branding and continuing the existing standing seam roofing

- # Sheet Keynotes
- A20 Thatch roofing material on corrugated metal roof on 3/4" plywood sheathing.
  - A21 Gutter and downspouts to match existing.
  - A22 Open to below.
  - A23 Roof to return over existing door below existing soffit.
  - A24 Existing exterior wall.
  - A25 Line of existing roof and gutter to remain above.
  - A26 Gap between existing wall and new roof.



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Job Title:

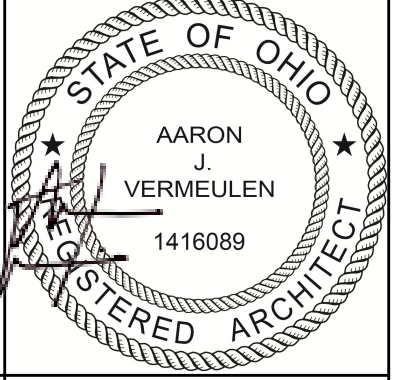
Huli Huli Restaurant - Canopy

26 W Olentangy St, Powell OH 43065

Sheet Title:

Roof Plan

Released For: Permit



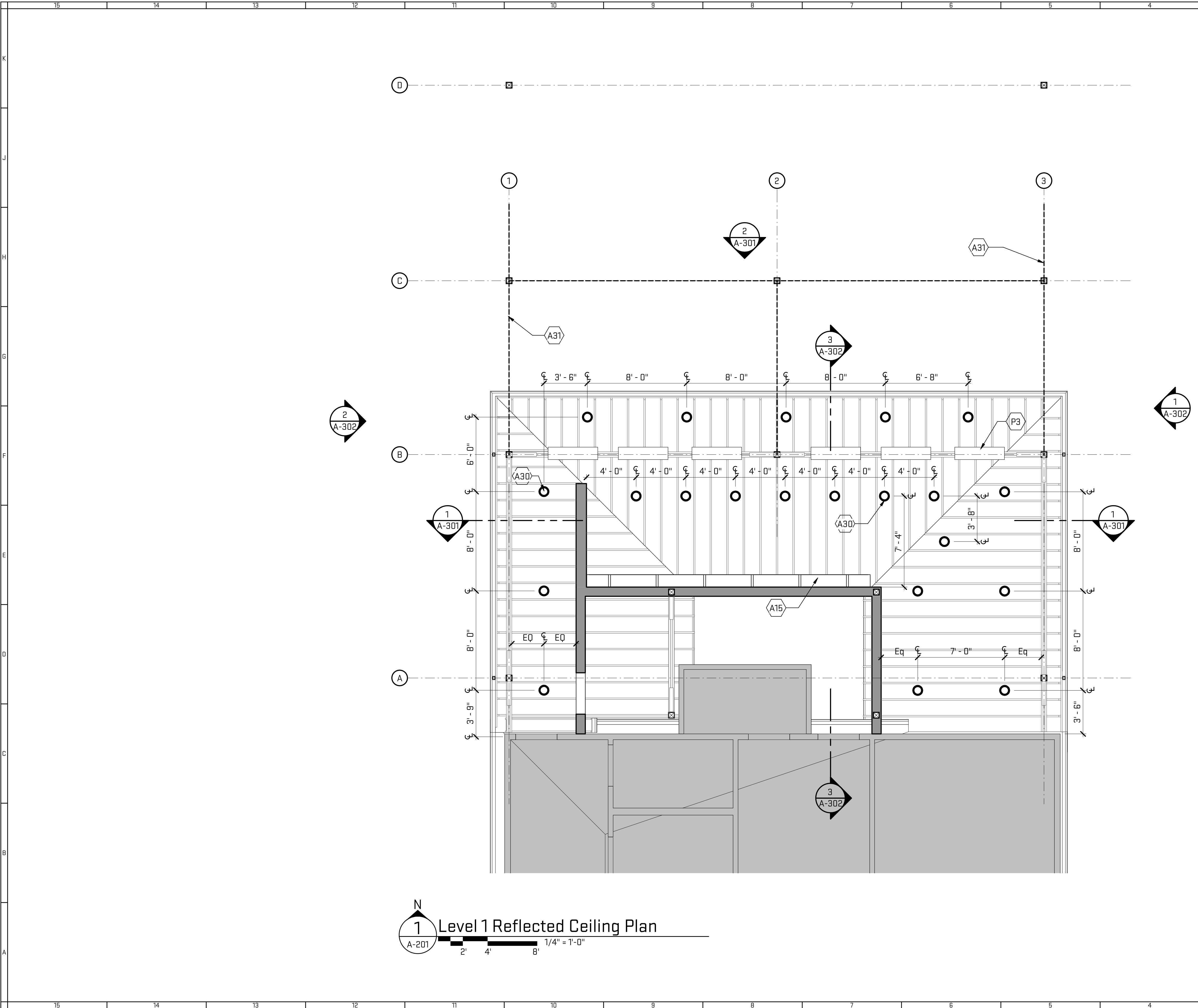
11/04/2020

CCS - HHL20

A-102

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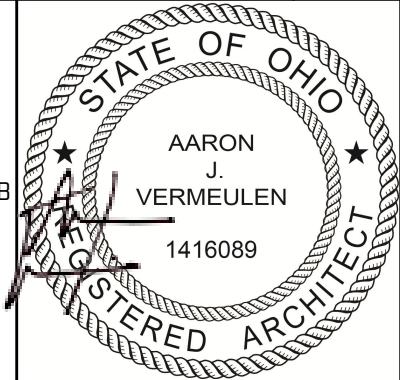
General Sheet Notes:

- A. All pendant light fixtures over bar to be centered over the bar.
- B. Switch all lights back to bar, coordinate location with owner.

# Sheet Keynotes

- A15 New built-in liquor shelf and lighting.
- A30 Pendant light fixture.
- A31 Festoon lighting strung between posts.
- P3 Gas radiant heating.

Job Title:	Huli Huli Restaurant - Canopy
Sheet Title:	Reflected Ceiling Plan
Released For: Permit	26 W Olentangy St, Powell OH 43065



11/04/2020	Project #
CCS - HHL20	Dwg Date
A-201	Dwg Date

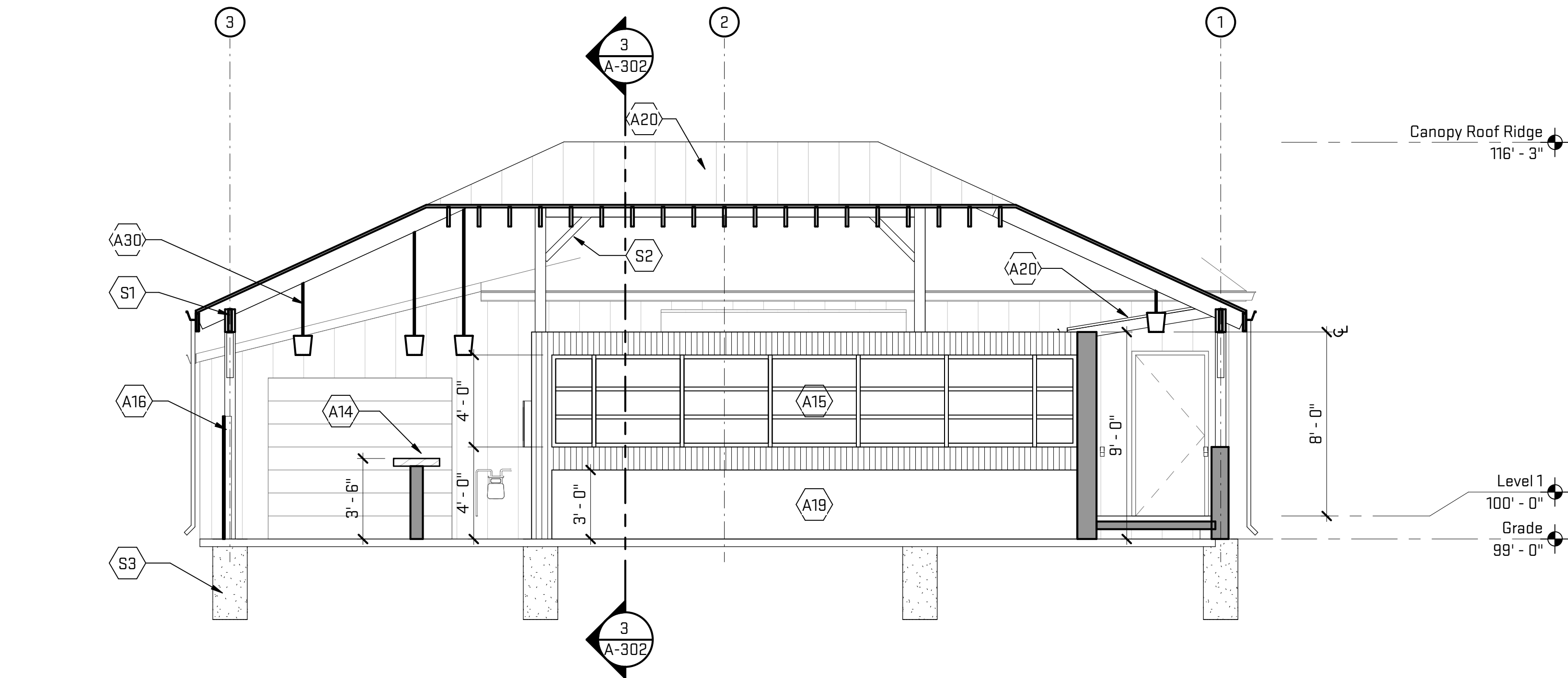
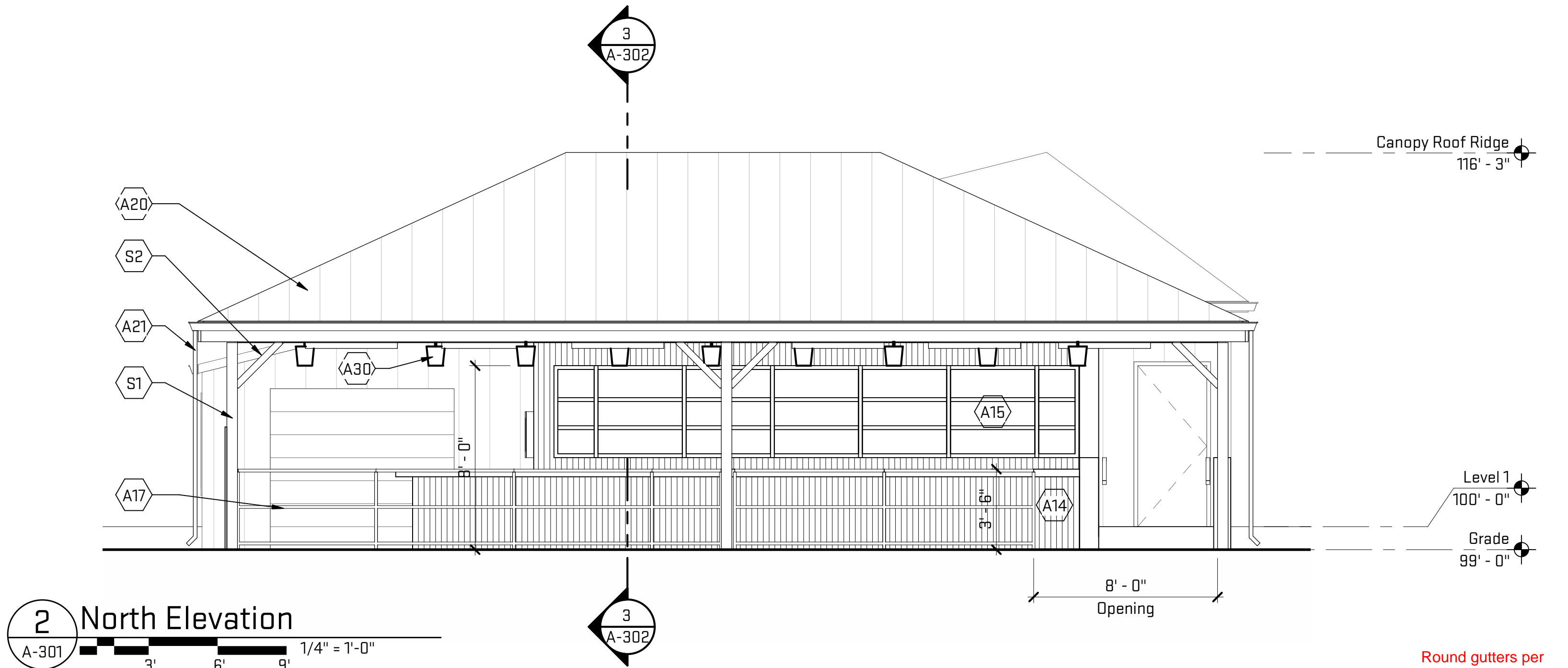


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### General Sheet Notes:

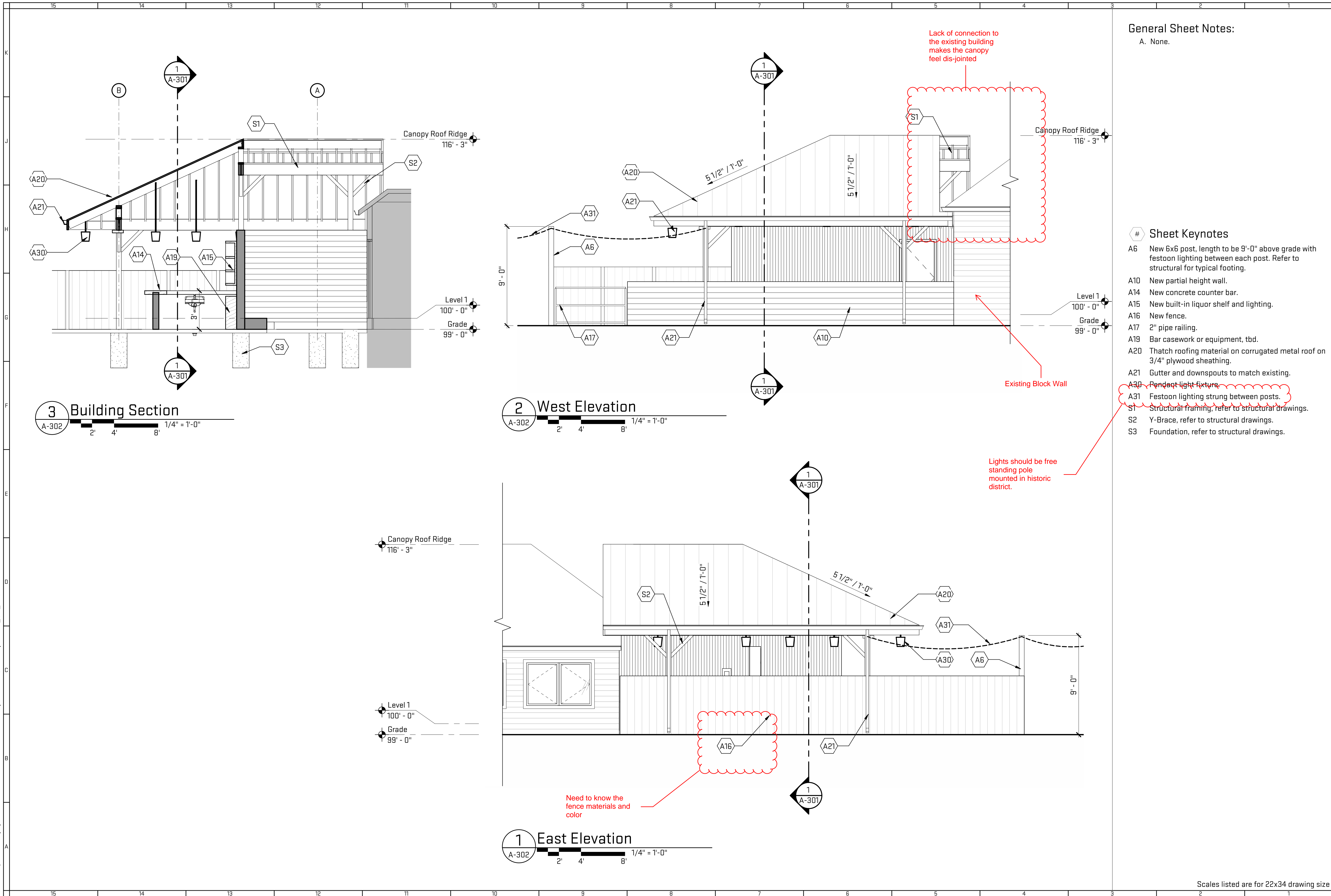
A. None.

### # Sheet Keynotes

- A14 New concrete counter bar.
- A15 New built-in liquor shelf and lighting.
- A16 New fence.
- A17 2" pipe railing.
- A19 Bar casework or equipment, tbd.
- A20 Thatch roofing material on corrugated metal roof on 3/4" plywood sheathing.
- A21 Gutter and downspouts to match existing.
- A30 Pendant light fixture.
- S1 Structural framing, refer to structural drawings.
- S2 Y-Brace, refer to structural drawings.
- S3 Foundation, refer to structural drawings.

Round gutters per historic guidelines and as installed on existing building


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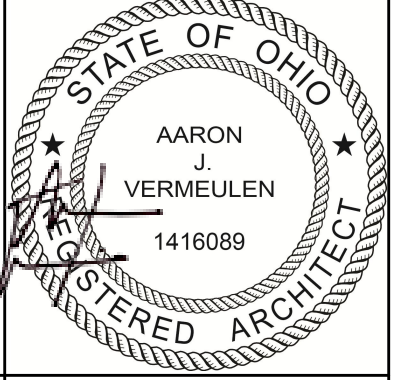
General Sheet Notes:  
A. None.

# Sheet Keynotes

- A6 New 6x6 post, length to be 9'-0" above grade with festoon lighting between each post. Refer to structural for typical footing.
- A10 New partial height wall.
- A14 New concrete counter bar.
- A15 New built-in liquor shelf and lighting.
- A16 New fence.
- A17 2" pipe railing.
- A19 Bar casework or equipment, tbd.
- A20 Thatch roofing material on corrugated metal roof on 3/4" plywood sheathing.
- A21 Gutter and downspouts to match existing.
- A30 Pendant light fixture.
- A31 Festoon lighting strung between posts.
- S1 Structural framing, refer to structural drawings.
- S2 Y-Brace, refer to structural drawings.
- S3 Foundation, refer to structural drawings.

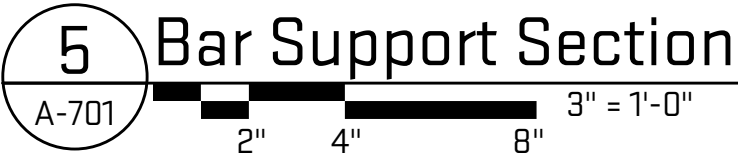


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Job Title: <b>Huli Huli Restaurant - Canopy</b>		26 W Olentangy St, Powell OH 43065	
Sheet Title: <b>Exterior Elevations</b>		Released For: Permit	
			
11/04/2020		Project #	
CCS - HHL20		Drawing #	
<b>A-302</b>			

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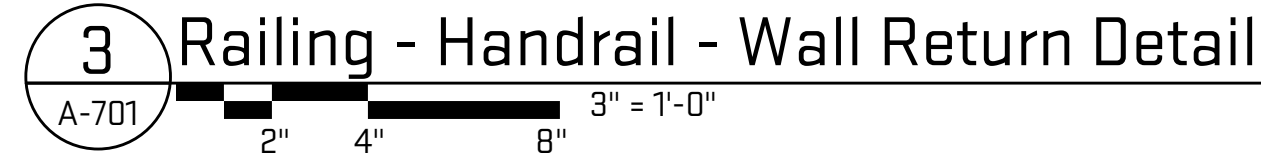


Hardware Set 1	
3	Hinges
1 Ea	Storeroom Lock
1 Ea	Surface Closer
1 Ea	Door Holder
1 Ea	Kick Plate
1 Ea	Gasketing
1 Ea	Threshold

Door Hardware  
(Measured floor to center of hardware)

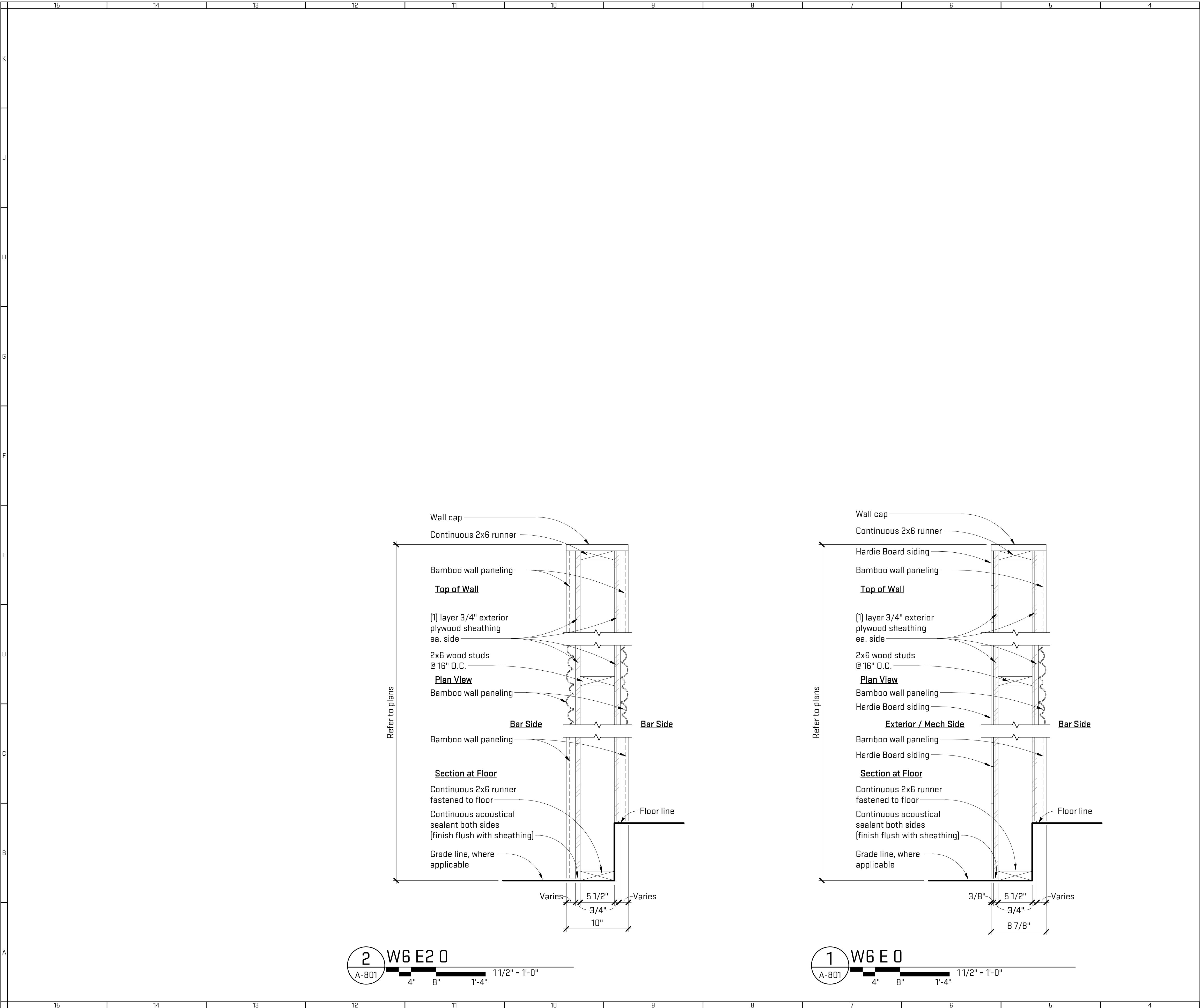
A square is shown with a dashed diagonal line from the top-left corner to the bottom-right corner. The top and left sides are labeled "Per schedule".

Frame Type F1



## # Sheet Keynotes

Plot Date/Time: 11/4/2020 12:45:07 PM File Path: C:\Revit Local Files\HHL20\_bill\_kwas.rvt



General Sheet Notes:

None

# Sheet Keynotes

Partition Type Key:

S6 A 0 ac

- Provide acoustical batt insulation in wall and at head condition per details. See plan for locations.
- Fire rating (in hours). See wall types for UL listing number, if applicable.
- Head condition per partition detail.
- Support material and nominal size per Partition Support Material Key on this sheet (assume default if none listed).

Partition Support Material Key:

S : Light gauge metal stud, 20 GA. UON  
Size: "S" = 3 5/8" (default)  
"S1" = 7/8" Furring  
"S3" = 2 1/2"  
"S6" = 6"

CH : "C-H" metal stud for shaftwall construction.  
Size: "CH" = 4" (default)  
"CH6" = 6"

F : Hat channel furring  
Size: "F" = 7/8" (default)  
"F2" = 1 1/2"

M : Concrete masonry unit (CMU), grout solid  
Size: "M" = 7 5/8" (default)  
"M4" = 3 5/8"  
"M12" = 11 5/8"

Partition Head Condition Definitions:

- "A" = Support material and finish layer(s) extend up to underside of structure above.
- "B" = Support material extends up to underside of structure above. Finish layer(s) extend up to 6" above finish ceiling.
- "C" = Support material and finish layer(s) extend up to 6" above finish ceiling.
- "D" = Support material and finish layer(s) extend up to underside of finish ceiling.
- "E" = Support material and finish layer(s) do not attach to or penetrate the ceiling, but extend up to the height designated by plan.

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Job Title:

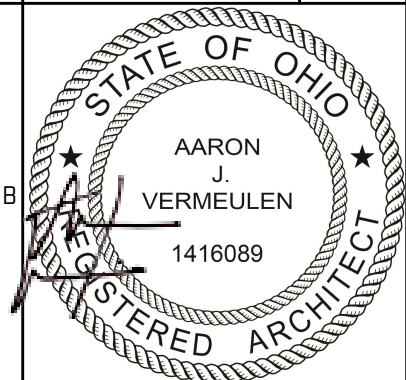
Huli Huli Restaurant -  
Canopy

26 W Olentangy St, Powell OH 43065

Sheet Title:

Partition Types

Released For: Permit



11/04/2020

CCS - HHL20

A-801