



PLANNING AND ZONING COMMISSION (P&Z) MAJOR AMENDMENT TO DEVELOPMENT PLAN TEXT APPLICATION

ALL ITEMS ON THIS APPLICATION MUST BE COMPLETED.

Application Fee: \$1100.00
Per Fee Ordinance 2019-49

Applicant: Sandra LaFontaine, LaFontaine Architecture & Design, Inc.

Address/City/State/Zip: 5844 North High Street, Worthington, Ohio 43085

Email Address: sandra@lafontainearchitecture.com

Phone No: 614.436.5800 Cell Phone No: 740.814.6639 Fax No: na

Property Owner: EyeCare Professionals (Insight Business Development LLC)

Address/City/State/Zip: 9711 C Sawmill Pkwy, Powell, Ohio 43065

Email Address: drcooley@eyecarepowell.com drmillar@eyecarepowell.com

Phone No: 614.793.0700 Cell Phone No: Fax No: 614.793.0084

Architect/Designer for Applicant: LaFontaine Architecture & Design, Inc.

Address/City/State/Zip: 5844 North High Street, Worthington, Ohio 43085

Email Address: sandra@lafontainearchitecture.com

Phone No: 614.436.5800 Cell Phone No: 740.814.6639 Fax No: na

Property Address: 265 North Liberty Street

Lot Number/Subdivision: parcel: 319-426-01-004-000 Existing Use: PC (office) Proposed Use: PC (medical office)

Reason for Administrative Review (attach necessary documents):

See attached narrative and drawings.

Checklist:

- ☐ Legal description of the property
 - ☐ Vicinity Map
 - ☐ Written Text explaining nature of amendment being requested.
 - ☐ Amended Final Development Plan drawing(s) (site plan, elevation drawings, etc.) needed to show proposed amendment.
 - ☐ Provide any other information that may useful to the Planning and Zoning Commission or City Staff in the space below or attach additional pages.
 - ☐ **5 copies** of all drawings, text, any other items, and application
 - ☐ **1 digital copy** (CD, USB, Email) of the complete application packet.
 - ☐ Attach the required fee - \$1100.00
 - ☐ Post a public notice sign at least (10) days prior to a public hearing or public meeting, pursuant to ordinance 1107.035
- Public notice sign details found [here](#).

(See Over)

**APPROVAL SHALL EXPIRE AND MAY BE REVOKED IF CONSTRUCTION DOES NOT BEGIN
WITHIN TWO (2) YEARS FROM THE DATE OF ISSUANCE OF APPROVAL.**

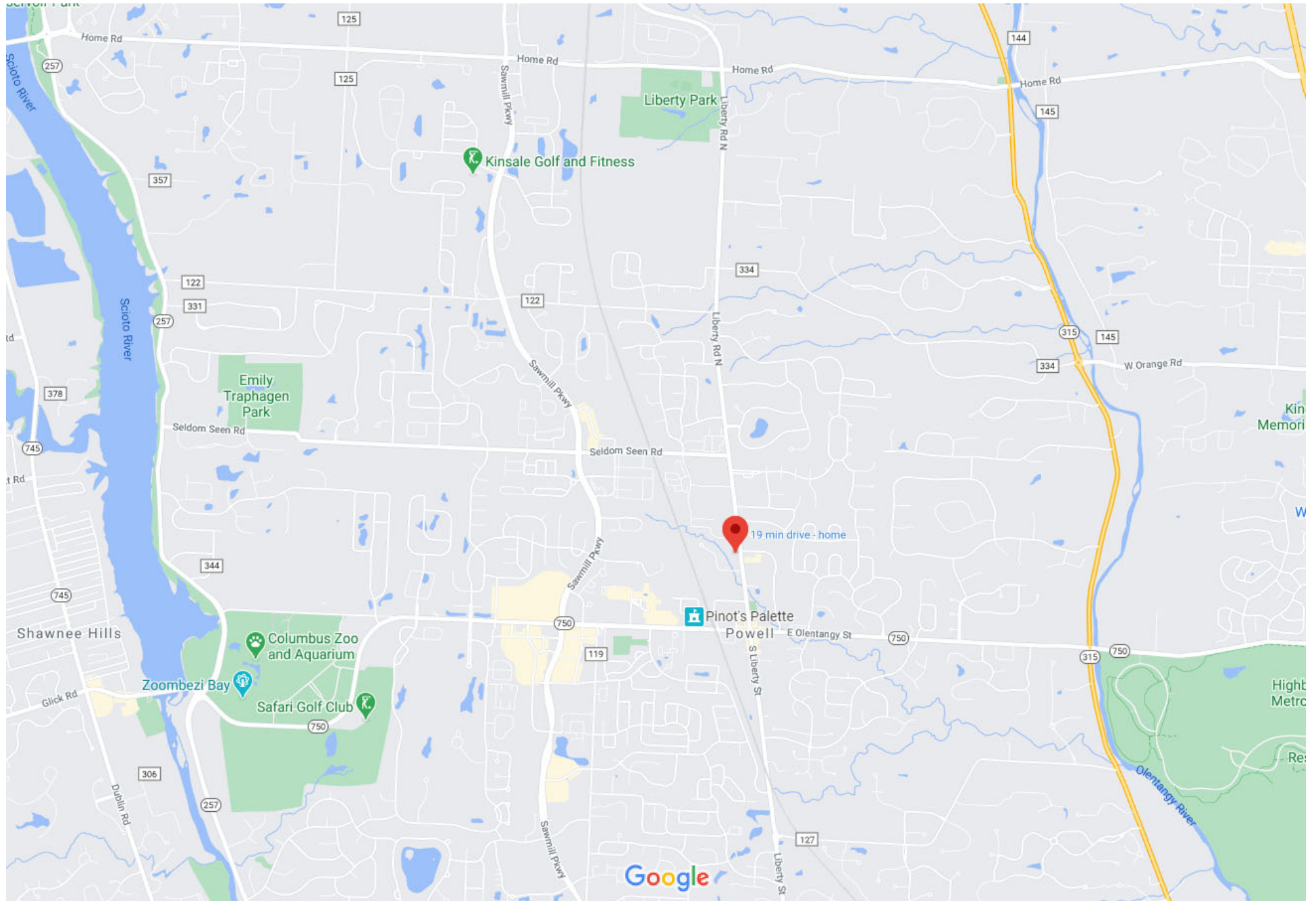
I agree to grant the City Staff, the Commission, Board or Council considering this application access to the property that is the subject of this application for the purposes of reviewing this application and posting public notice for this application.

Signature of Applicant: Sandra LaFontaine Date: 24 November 2020

Office Use
Received

Office Use
Type/Date: _____
Base Fee: <u>\$1100.00</u>
Prepared by: _____
Reviewed by: _____
PAYOR: _____
RECIEPT # _____

City of Powell · 47 Hall Street · Powell, Ohio 43065 · (614) 885-5380 · (614) 885-5339 fax· www.cityofpowell.us



REQUEST FOR MAJOR AMENDMENT TO EXISTING DEVELOPMENT PLAN TEXT

for

FUTURE HOME OF EYECARE PROFESSIONALS AT 265 NORTH LIBERTY STREET

The existing building at 265 North Liberty Street has been purchased by EyeCare Professionals, which plans to renovate the existing structure for their Optometry Business, which provides: Comprehensive eye exams, lens fitting and eyeglass selection and purchase, diagnosis and treatment for eye disease such as cataracts and glaucoma, eye emergencies, and vision care and services for visually impaired. Office hours would generally be: 8:00am to 5:00pm or 7:00pm (at the latest)

In order to adequately provide these services, the Owners are requesting the following modifications to the existing building and site:

- A one-story addition of approximately 1,600 square foot to the North side of the building within the existing setback boundaries. See Site Plan, Elevations and Floor Plan.
- Removal of the existing curb cut at the SouthEast corner of the property; relocated to center on Grace Drive and curve left to run in front of the existing building and connect to the existing driveway. See Site Plan. We believe this change will reduce the risk of traffic accidents on Liberty and allow better control of traffic in and out of the existing site.
- Modification of the existing parking lot to accommodate additional parking spaces. Based on the current zoning code we have calculated a requirement of 33 spaces, with 2 required to be handicapped. We can currently achieve 32 spaces including two handicapped spaces. (See Site Plan) Light poles will be added to the new and existing parking lot. Parking lot lighting will be on a timer device to automatically turn off an hour after business hours have concluded and will be arranged to direct light away from adjoining property. We are also requesting a drive to be provided for future access to the adjoining lot that is also owner by EyeCare Professionals. This would be achieved by a mutual easement in coordination with the City of Powell. This easement would allow traffic to access both lots and provide additional parking.
- Signage: (See attached Item C3) The proposed Permanent Signs for the building include: One at the Front Elevation, approximately 50 sq ft. with face illuminated letters and logo. One at the Rear Elevation (at building entry for wayfinding), to match the front sign, 50 sq ft with face illuminated letters and logo. (Rear sign would only be illuminated during business hours. One Ground Sign, existing with new aluminum cabinet, 6'-0" high, top cabinet 6'-0" x 4'-0".

We are aware this exceeds the wall sign limits in Non-Residential Districts, but we would be willing to remove the existing Ground Sign if allowed to keep the two building signs.

REQUEST FOR MAJOR AMENDMENT TO EXISTING DEVELOPMENT PLAN TEXT
for
FUTURE HOME OF EYECARE PROFESSIONALS AT 265 NORTH LIBERTY STREET
ITEM C2: Applicable Zoning Requirements

General Information:

Zoning: No change – PC, Planned Commercial District, (Lot: 319-426-01-004-000)

- **Section 1143.15:**

Permitted Use: Medical Office

Min. Street Frontage: 160 feet

Min. Distance Between Buildings: 50 feet

Min. Side Yards: 25 feet

Min. Front Yard: 60 feet

Min. Rear Yard: 30 feet

Maximum Lot Coverage 20%, Allowable = approximately 10,733 sq. ft.

Existing= 3,300 sq ft, **Proposed = 4,900 sq ft.**

Maximum Building Height: 35', two stories

Existing Building =	First Floor	3,300 sq ft.
	<u>Second Floor</u>	<u>1,600 sq ft.</u>
	Total	4,900 sq ft.

Proposed Addition= First Floor 1,600 sq ft

Total 6,500 sq ft

- **Section 1149.05 Off-Street Parking Design Standards:**

90-degree angle parking, 9' x 19' with 22' Aisle

Lighting per item (l)

- **Section 1149.07 Parking Space Requirements:**

Use: Professional Business-Medical Office

(18) One parking space per 200 square feet of floor area:

6,500 sq ft divided by 200 = 32.5 33 Parking Space Required

- **Section 11149.08 Handicapped Parking:**

Up to 110: One space for each 25 parking spaces = 2 required parking spaces.

- **Section 1149.11 Off-Street Loading Space Requirements:**

The proposed use of the space will not require pickup or delivery of merchandise or supplies and therefore is not required to have a loading space.

- **Section 1151.04 General Requirements for All Signs and Districts:**

(b) Colors: not more than five colors may be used per sign. No neon or fluorescent.

- **Section 1151.05 Permanent Signs:**

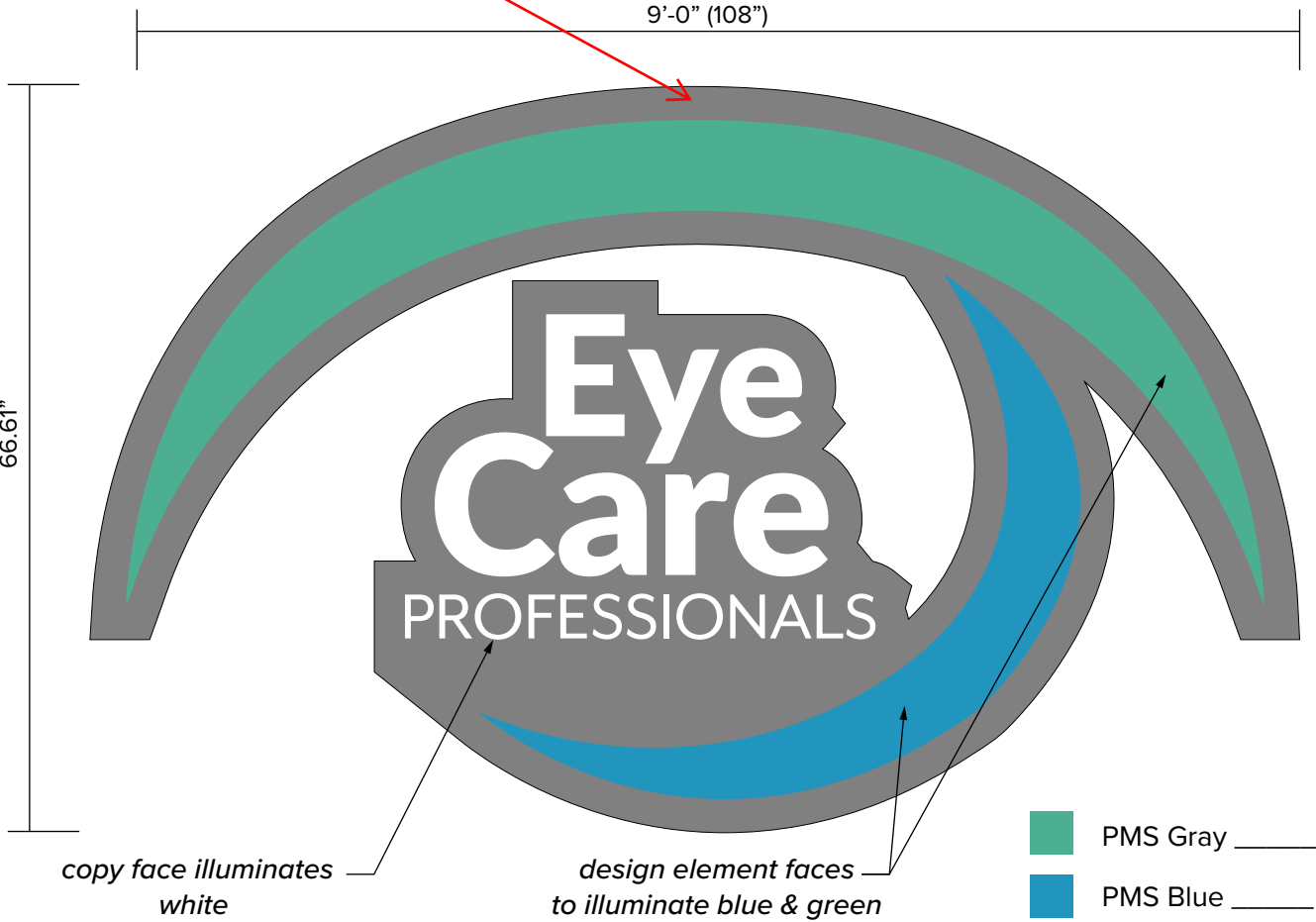
(b) Non-Residential Districts: Wall Signs, no more than one shall be permitted. A secondary wall sign no more than 75% of the size of the primary wall sign shall be permitted if the property front two or more public streets. Freestanding signs. No more than one sign shall be permitted per lot frontage.

(2) Maximum area and height: Wall Signs: One square foot per one foot of the length of the wall on which the sign is to be attached up to a max. of 36 sq ft. Freestanding Signs: Not to exceed 48 sq ft with a max height of eight feet.

Currently measuring
~ 49.5 SF which is
greater than the
allowable 36 SF



East Elevation Render



Building Mounted Sign - Pan with face Illuminated letters & logo



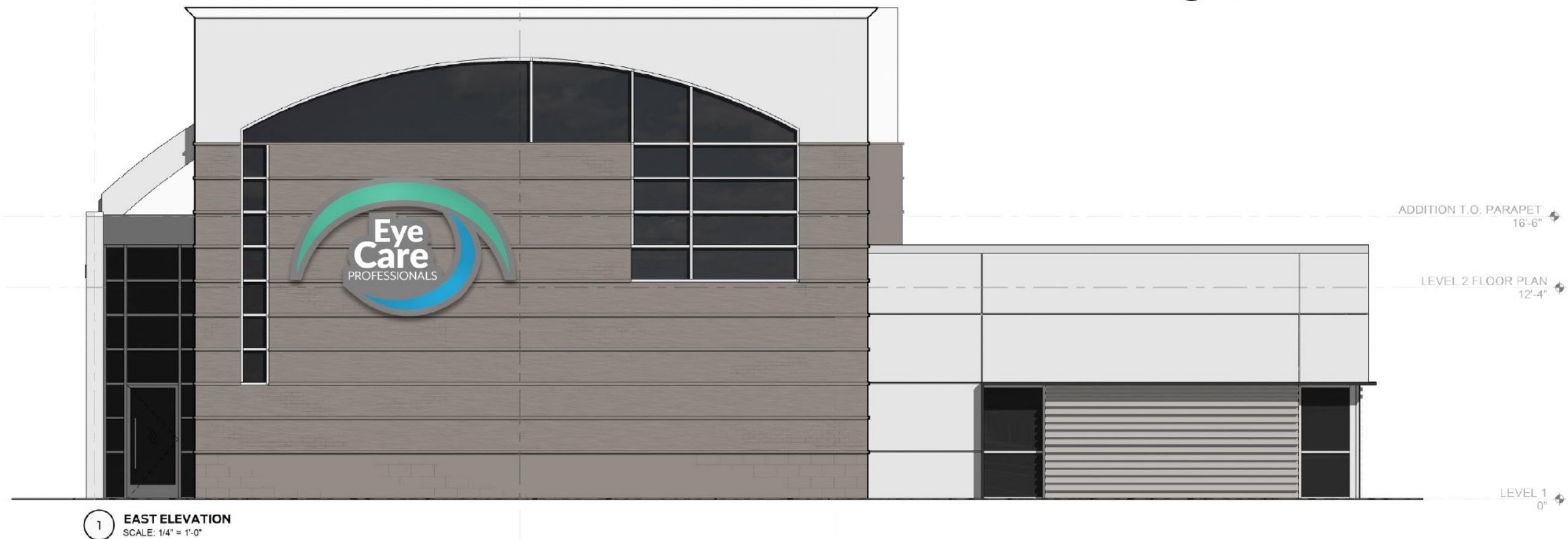
**Eye Care Professionals
Exterior Signage**
11/4/20
rev 11/18/20

Project address:
256 NORTH LIBERTY ST.
POWELL, OH 43065

Project Layout
☐ Approved
☐ Approved as Noted

Approval Signature

Sales: MH
Design: BT
Dwg: #20-059



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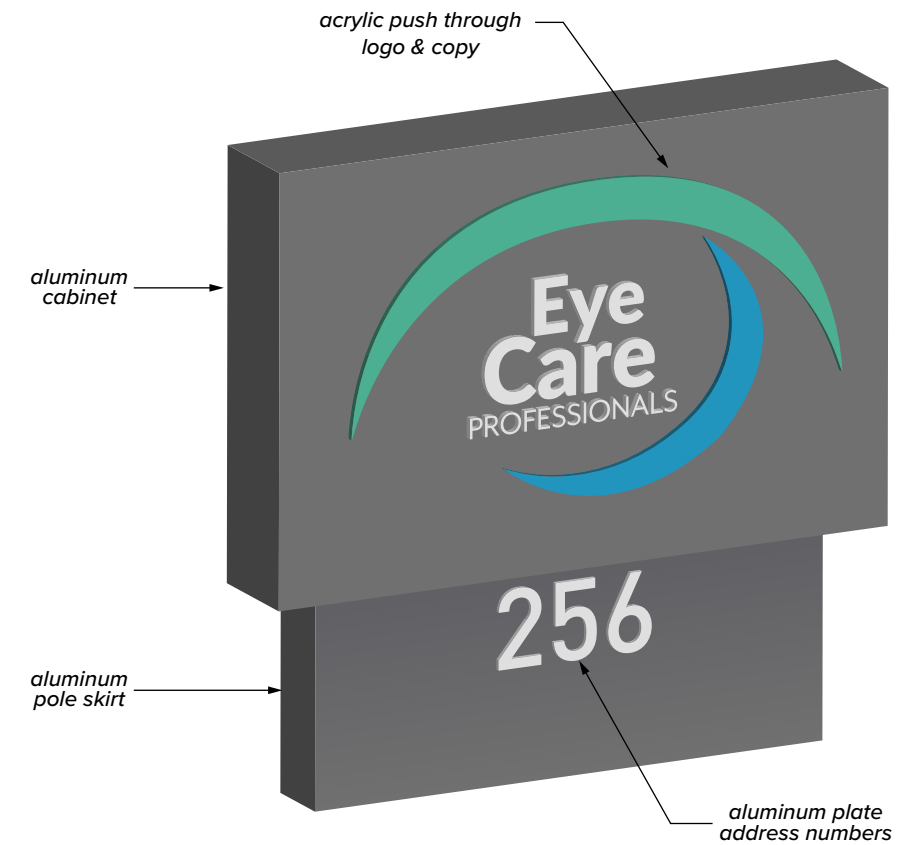
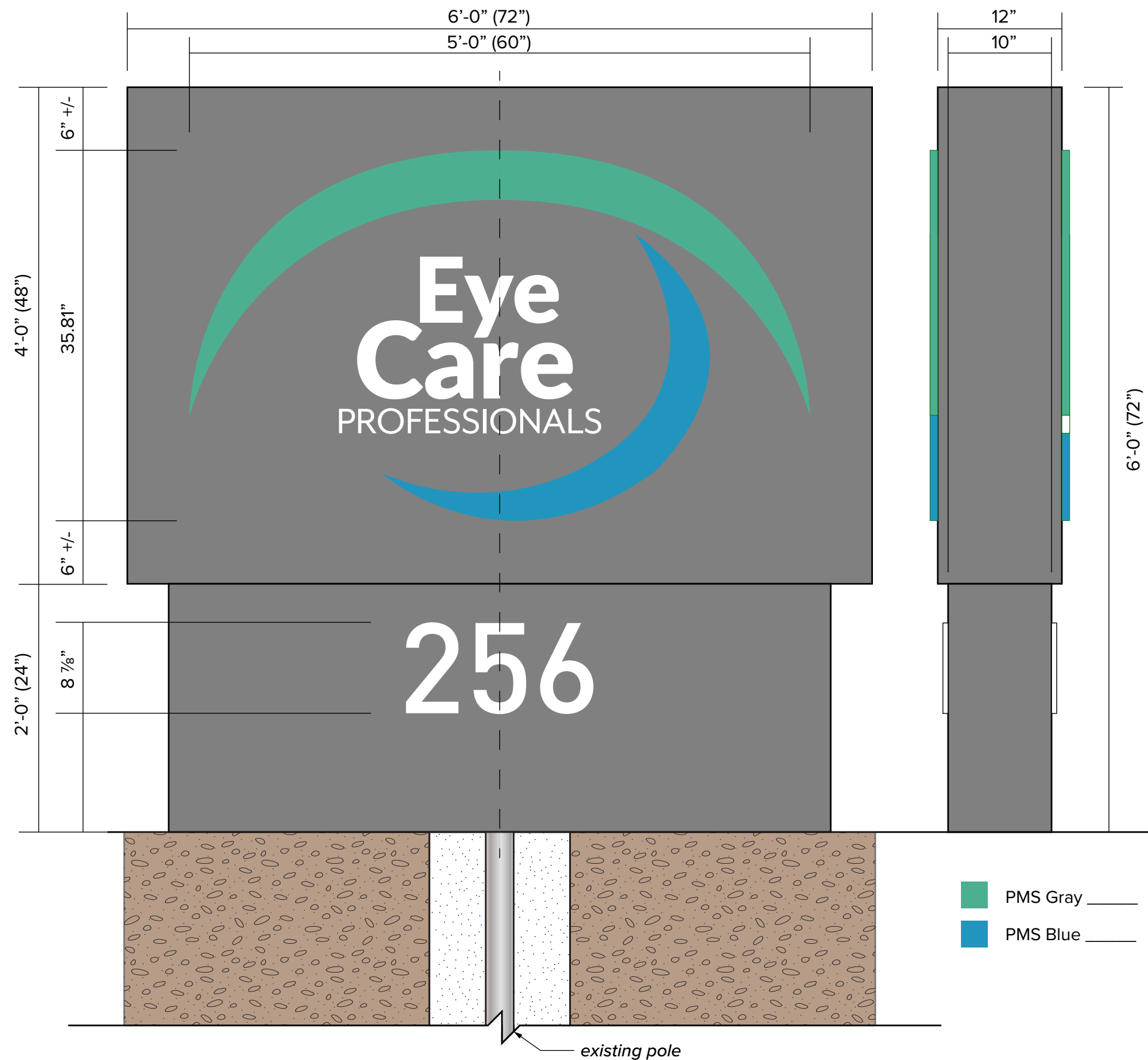
Approval Signature _____

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Design: BT

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2



Ground Sign - Cabinet w/ push through lettering & internal illumination



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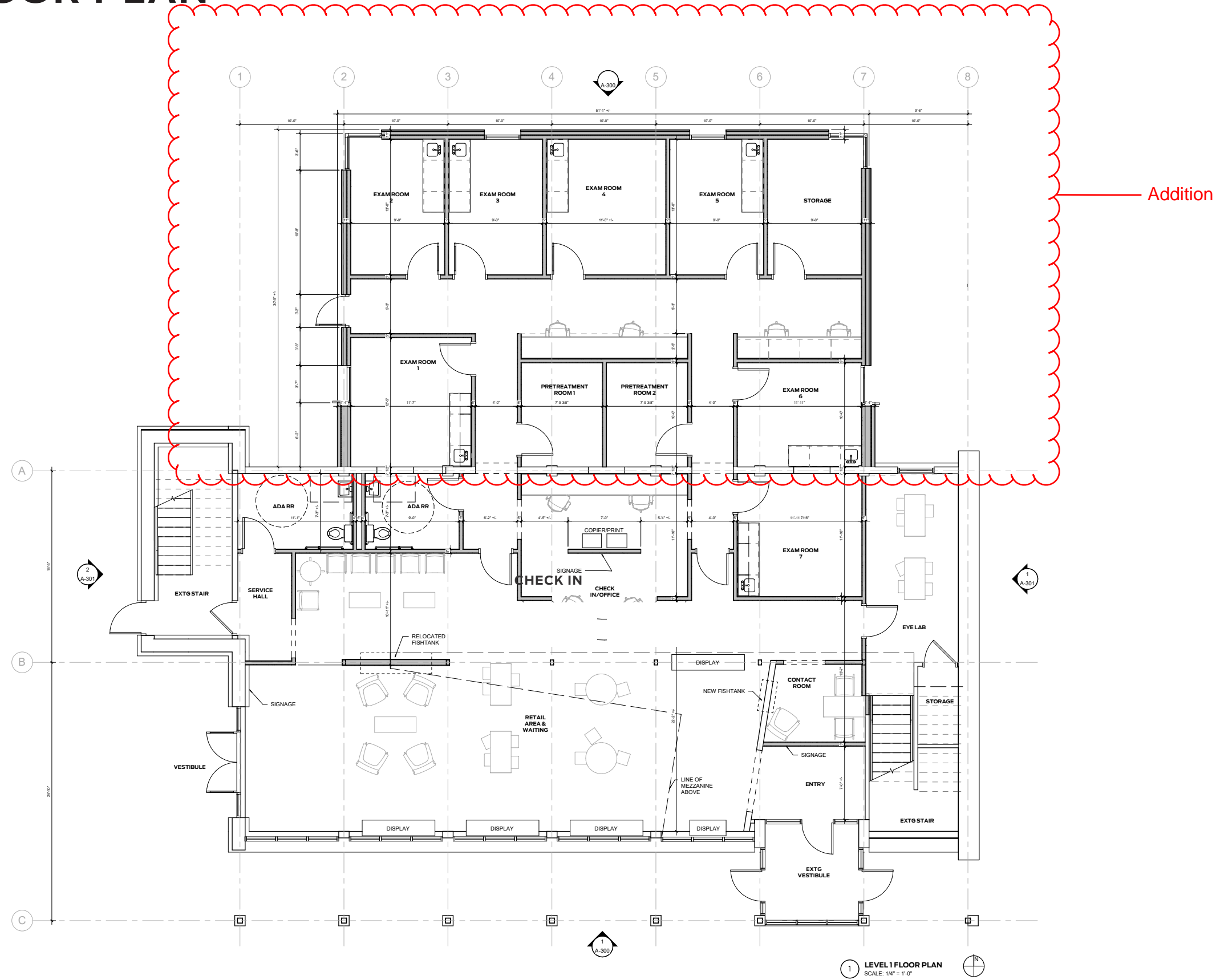
Dwg: #20-059

EXISTING PHOTOS

256 NORTH LIBERTY STREET



FIRST FLOOR PLAN



MATERIAL PRECEDENTS

BUILDING MATERIAL PALETTE

256 NORTH LIBERTY STREET

BRICK FOR NEW ADDITION



EXTERIOR ACCENT COLOR

SW 7067
Cityscape
Interior / Exterior
Location Number: 236-C5

PAINT APPLIED TO EXISTING
BRICK

SW 7063
Nebulous White
Interior / Exterior
Location Number: 257-C5

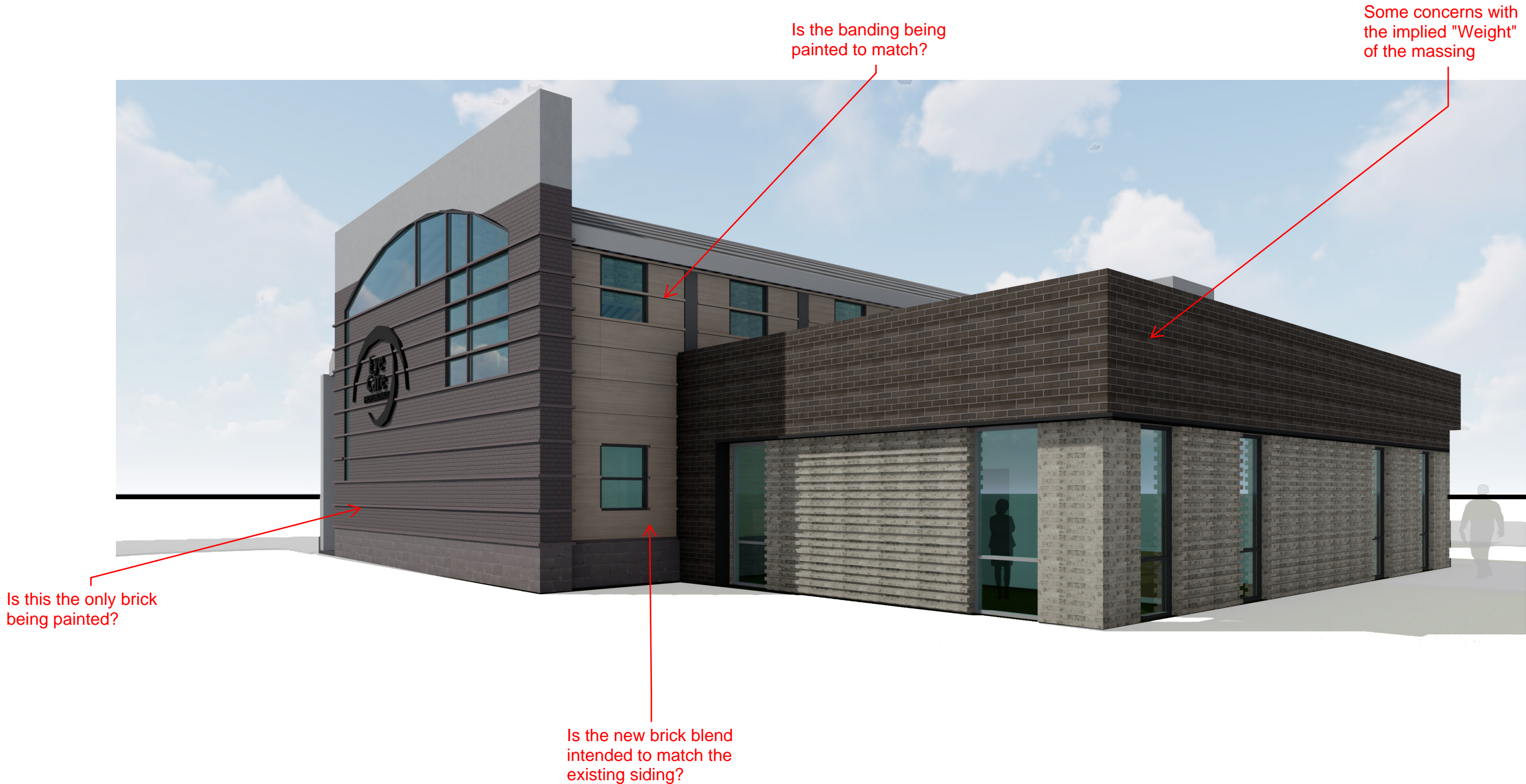
PAINT APPLIED TO EXISTING
STRUCTURE

BRICK PATTERN ON NEW ADDITION



EXTERIOR RENDERINGS

NORTHEAST RENDERING



SOUTHEAST RENDERING

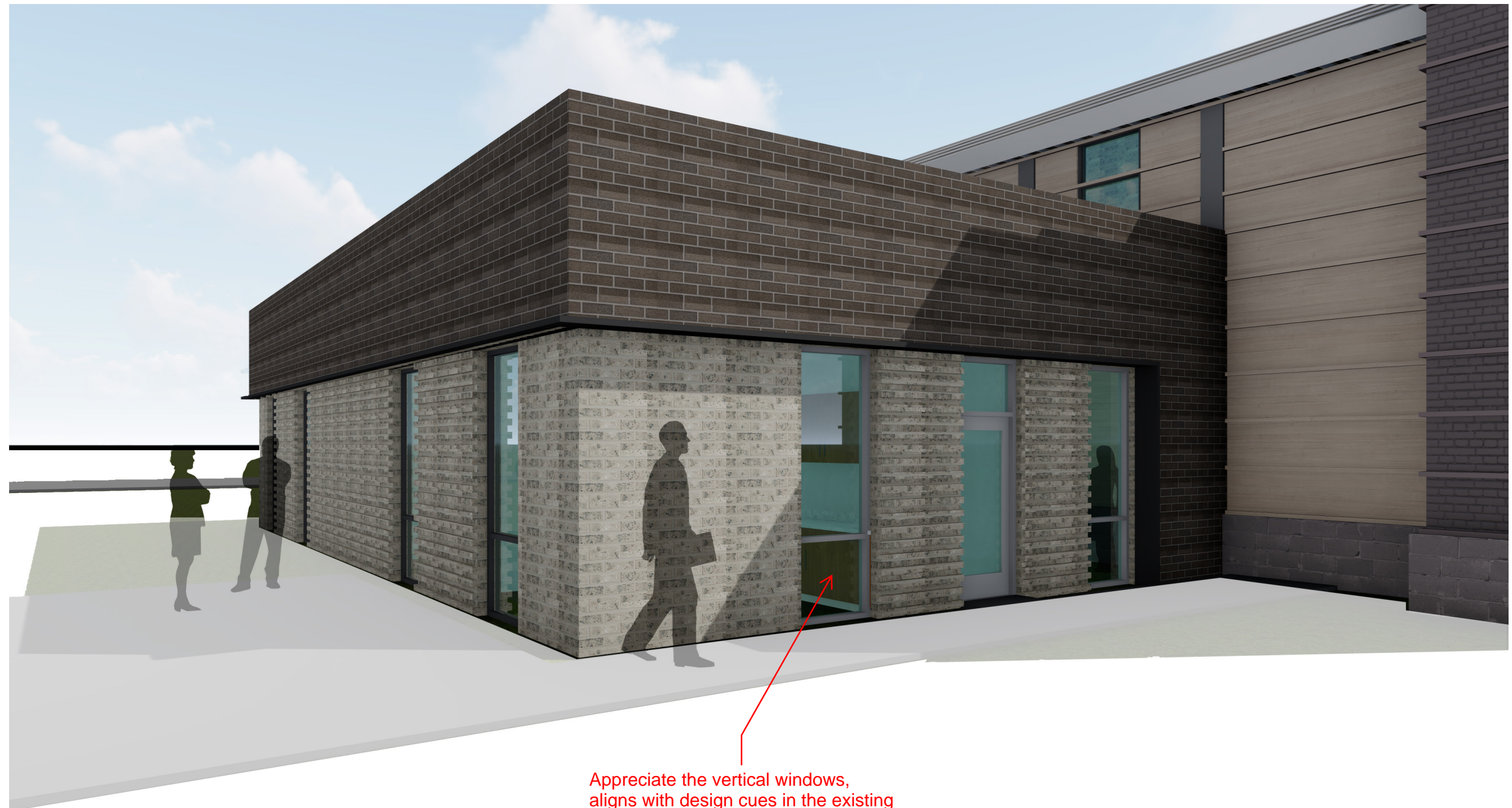
Would like the applicant to consider a simplification of the color/material palette. Currently the proposed building has siding, block, cast stone, stucco, steel structure, painted brick, and (2) natural brick blends.

Would like to review pulling paint up to the cap to have this appear as a single mass



Is the intent to differentiate the color massing or to match. It is difficult to tell from the renderings.

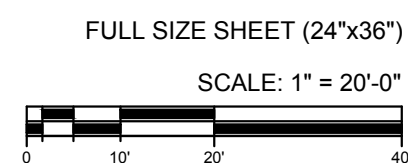
NORTHWEST RENDERING



Appreciate the vertical windows,
aligns with design cues in the existing
building as well as the brick
corbeling.

SOUTHWEST RENDERING





ASPHALT PAVEMENT AND CONCRETE CURB
DEMOLITION AREA



CONCRETE DEMOLITION AREA



TREE REMOVAL

 PLAN NOTES

- 1 REMOVE EXISTING PARKING LOT STRIPING (TYP.)
- 2 REMOVE EXISTING CONCRETE WALK
- 3 REMOVE AND RELOCATE BASKETBALL HOOP
- 4 REMOVE AND REPLACE EXISTING CATCH BASIN

GENERAL NOTES

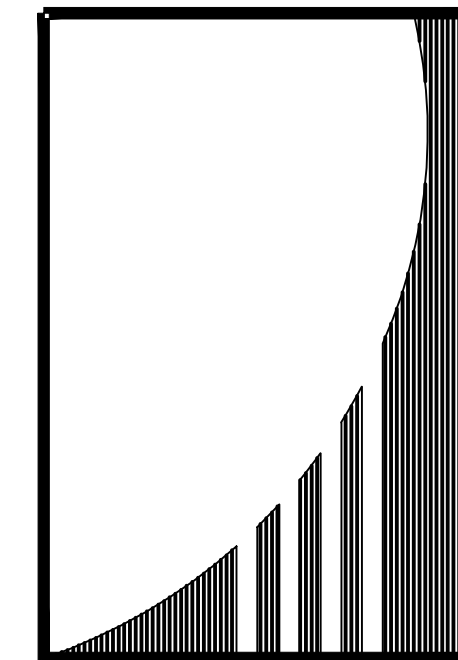
1. UTILITIES: THE CONTRACTOR SHALL GIVE DUE NOTICE TO THE OWNERS OF ALL UTILITIES AND SHALL SEE THAT THEIR PROPERTY IS PROPERLY SUPPORTED AND PROTECTED BEFORE DISTURBING, UNDERMINING, OR INTERFERING WITH THE SAME. AND IN NO CASE SHALL THE SERVICE OF ANY SUCH UTILITY BE DISRUPTED OR INTERFERED WITH, WITHOUT WRITTEN CONSENT OF THE OWNER THEREOF, AND IN CASE OF SEWER, PIPE, CONDUIT, POLE OR OTHER PUBLIC UTILITY PROPERTY IS DAMAGED OR MUST BE MOVED OR SUPPORTED, THE REPAIR, REMOVAL OR SUPPORTING SHALL BE DONE BY THE CONTRACTOR AND SHALL PAY ALL NECESSARY EXPENSE IN CONNECTION THEREWITH.
2. DAMAGES TO THE ADJACENT PROPERTY OR STRUCTURES MUST BE CAREFULLY GUARDED AGAINST, ESPECIALLY IN MAKING EXCAVATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES TO THE FULL EXTENT, IF THE SAME ARE OCCASIONED THROUGH NEGLIGENCE OR FAILURE ON HIS PART, OR THAT OF ANYONE IN HIS EMPLOY, TO TAKE ALL NECESSARY OR PROPER PRECAUTIONS TO PREVENT THE SAME, AND HE SHALL ASSUME ALL RISK OF DAMAGE TO ANY PORTION OF HIS WORK.
3. ALL EXISTING STRUCTURES INCLUDING PAVEMENT AS CALLED FOR TO BE REMOVED SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL GUIDELINES.

DEMOLITION NOTES

1. THIS PLAN IS INTENDED TO PROVIDE MINIMUM GUIDELINES FOR SITE DEMOLITION. IT SHOULD BE NOTED THAT ALL MANMADE FEATURES, PAVEMENT, SIGNS, POLES, CURBING, CONCRETE WALKS, UTILITIES, ETC. SHALL BE REMOVED AS NECESSARY TO CONSTRUCT WORK, UNLESS OTHERWISE NOTED TO REMAIN. THROUGHOUT THE CONSTRUCTION PROCESS, THE CONTRACTOR SHALL INFORM THE ENGINEER IMMEDIATELY OF ANY FIELD DISCREPANCIES FROM DATA AS SHOWN ON DESIGN PLANS. THIS INCLUDES ANY UNFORESEEN CONDITIONS, SUBSURFACE OR OTHERWISE FOR EVALUATION AND RECOMMENDATIONS. ANY CONTRADICTION BETWEEN ITEMS OF THIS PLAN/PLAN SET, OR BETWEEN THE PLANS AND ON-SITE CONDITIONS MUST BE RESOLVED BEFORE RELATED CONSTRUCTION HAS BEEN INITIATED.
2. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR IS REQUIRED TO HAVE THE PROJECT LAND SURVEYOR STAKE OR FLAG CLEARING LIMITS, A MINIMUM OF 48 HOURS NOTICE IS REQUIRED. CLEARING LIMITS ARE THE EDGE OF THE PROPERTY AND THE LIMITS OF WORK.
3. ALL EXISTING STRUCTURES WITHIN THE CONSTRUCTION AREA, UNLESS OTHERWISE NOTED TO REMAIN, SHALL BE REMOVED AND DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL GUIDELINES. ANY BURNING ON-SITE SHALL BE SUBJECT TO LOCAL ORDINANCES.
4. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND ANY EARTH MOVING OPERATIONS. SILT FENCE SHALL BE INSTALLED AT THE LIMITS OF IMPACT AREAS ACCORDING TO THE DETAILS SHOWN ON SHEET C7.0.
5. CONTRACTOR RESPONSIBLE FOR REPAIRS AND RESTORATION OF AREAS DISTURBED BY UTILITY SERVICE INSTALLATION INCLUDING FULL DEPTH PAVEMENT REPAIR.

EXISTING CONDITIONS NOTES

1. UNDERGROUND FACILITIES, UTILITIES AND STRUCTURES HAVE BEEN PLOTTED FROM FIELD OBSERVATION AND THEIR LOCATION MUST BE CONSIDERED APPROXIMATE ONLY. SANDS DECKER CPS, LLC OR KARPINSKI ENGINEERING NOR ANY OF THEIR EMPLOYEES TAKE RESPONSIBILITY FOR THE LOCATION OF ANY UNDERGROUND STRUCTURES AND/OR UTILITIES NOT SHOWN THAT MAY EXIST. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UNDERGROUND STRUCTURES AND/OR UTILITIES LOCATED PRIOR TO EXCAVATION BY CALLING 811 THREE (3) BUSINESS DAYS PRIOR TO EXCAVATION, AS REQUIRED BY LAW.



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EYECARE PROFESSIONALS
SCHEMATIC DESIGN
POWELL, OH 43065

Job Number: 20205
Design Set
Date: 11.20.2020

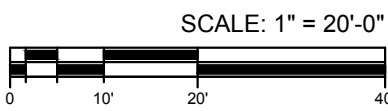
Seal:

EXISTING AND
DEMOLITION PLAN

C2.0



FULL SIZE SHEET (24"x36")



Brookhill Village Condos
Cabinet 2, Slide 749

LEGEND

- STANDARD DUTY ASPHALT PAVEMENT IN PARKING STALLS
- HEAVY DUTY ASPHALT PAVEMENT IN ACCESS AISLES
- PROPOSED REINFORCED CONCRETE PAVEMENT
- PROPOSED 4" CONCRETE SIDEWALK
- PROPOSED RAIN GARDEN AREA

PLAN NOTES

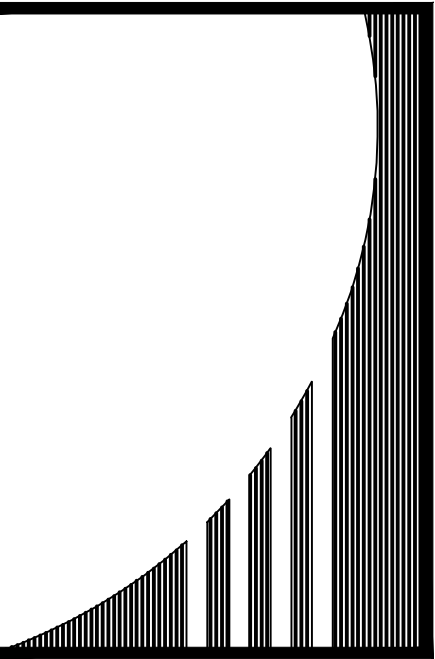
- 1 REINFORCED CONCRETE APRON
- 2 MEET EXISTING ASPHALT AND SEAL JOINT
- 3 PROPOSED VERALOCK RETAINING WALL
- 4 CURB RAMP
- 5 ADA SIGN/BOLLARD

Need to be reviewed
with city, how will this
be treated if it
becomes (2) owners
again.

Where is the ground
sign located?

Has the realignment
been review with the
county engineer?
How will this work
given that 3 sides are
regulated and one is
uncontrolled?

How tall will retaining
wall be?



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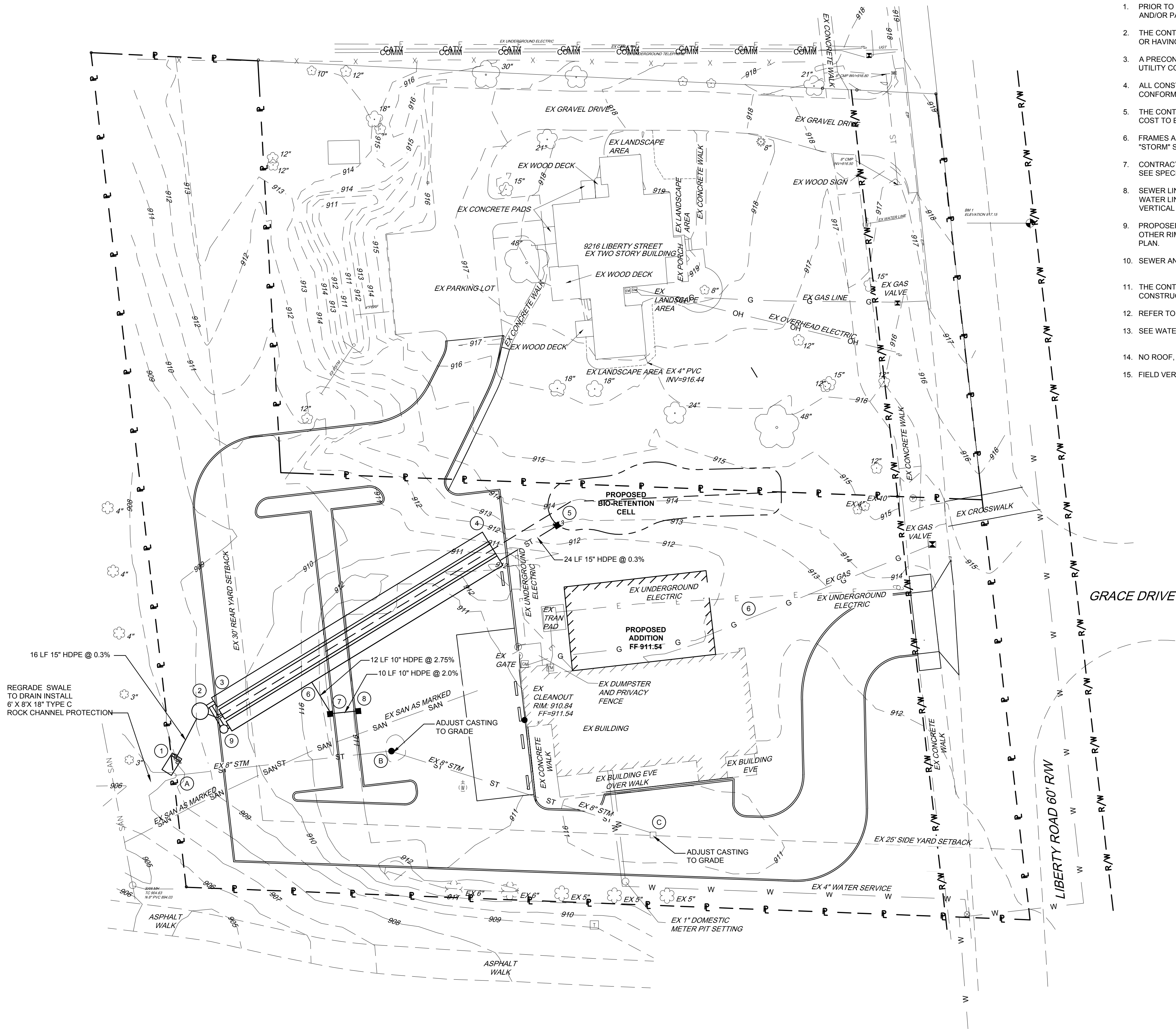
SITE LAYOUT
PLAN

C3.0



FULL SIZE SHEET (24"x36")

SCALE: 1" = 20'-0"



UTILITY NOTES

1. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER, ARCHITECT AND/OR OWNER, IN ORDER TO OBTAIN AND/OR PAY ALL THE NECESSARY LOCAL PERMITS, FEES AND BONDS.
2. THE CONTRACTOR SHALL PROVIDE A MINIMUM NOTICE OF FOURTEEN (14) DAYS TO ALL CORPORATIONS, COMPANIES AND/OR LOCAL AUTHORITIES OWNING OR HAVING JURISDICTION OVER UTILITIES RUNNING TO, THROUGH OR ACROSS PROJECT AREAS PRIOR TO DEMOLITION AND/OR CONSTRUCTION ACTIVITIES.
3. A PRECONSTRUCTION MEETING SHALL BE HELD WITH THE OWNER, ENGINEER, ARCHITECT, CONTRACTOR, LOCAL OFFICIALS, AND ALL PROJECT-RELATED UTILITY COMPANIES (PUBLIC AND PRIVATE) PRIOR TO START OF CONSTRUCTION.
4. ALL CONSTRUCTION SHALL CONFORM TO THE CITY STANDARDS AND REGULATIONS, UNLESS OTHERWISE SPECIFIED. ALL CONSTRUCTION ACTIVITIES SHALL CONFORM TO LABOR OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) RULES AND REGULATIONS.
5. THE CONTRACTOR IS RESPONSIBLE FOR PAYMENT OF ALL UTILITY CONNECTION FEES, APPLICATION FEES, SERVICE CONNECTION FEE AND TAP IN FEE. COST TO BE INCLUDED IN BASE BID.
6. FRAMES AND COVERS: MANHOLE FRAMES AND COVERS SHALL BE OF HEAVY DUTY DESIGN AND PROVIDE A 24 INCH DIA., CLEAR OPENING. THE WORD "STORM" SHALL BE CAST INTO THE CENTER OF THE UPPER FACE OF EACH COVER WITH RAISED, 3" LETTERS.
7. CONTRACTOR SHALL PLACE 4" WIDE METAL WIRE IMPREGNATED PLASTIC WARNING TAPE OVER ENTIRE LENGTH OF ALL GRAVITY SEWERS AND SERVICES. SEE SPECIFICATIONS FOR COLOR CODE.
8. SEWER LINES SHALL BE LOCATED AT LEAST TEN (10) FEET HORIZONTALLY FROM AN EXISTING OR PROPOSED WATER LINE. WHEN A SEWER LINE CROSSES A WATER LINE, THE SEWER LINE SHALL EXTEND A MINIMUM OF TEN (10) FEET TO EACH SIDE OF THE WATER LINE. THE SEWER LINE SHALL ALSO MAINTAIN A VERTICAL SEPARATION OF NOT LESS THAN 18 INCHES.
9. PROPOSED RIM ELEVATIONS OF STORM STRUCTURES ARE APPROXIMATE. FINAL ELEVATIONS AREA TO BE SET FLUSH WITH FINISHED GRADE. ADJUST ALL OTHER RIM ELEVATIONS OF MANHOLES, WATER GATES, GAS GATES AND OTHER UTILITIES TO FINISHED GRADE AS SHOWN ON THE GRADING AND THE UTILITY PLAN.
10. SEWER AND ALL APPURTENANCES SHALL BE CONSTRUCTED AND TESTED IN ACCORDANCE WITH THE STATE AND CITY SPECIFICATIONS AND DETAILS.
11. THE CONTRACTOR IS TO VERIFY WITH THE ARCHITECT'S PLAN THE LOCATIONS OF ALL UTILITIES STUB LOCATION WITHIN THE BUILDING PRIOR TO CONSTRUCTION.
12. REFER TO SPECIFICATIONS FOR ADDITIONAL DETAILS.
13. SEE WATER MAIN TRENCH DETAIL FOR WEST VIEW WATER AUTHORITY REQUIREMENTS
14. NO ROOF, STORM OR CELLAR SEEPAGE WATER OR GROUND WATER OF ANY NATURE SHALL BE ALLOWED TO ENTER THE SANITARY SEWER SYSTEM.
15. FIELD VERIFY ALL EXISTING STORM AND SANITARY INVERTS PRIOR TO CONSTRUCTION.

PIPE MATERIAL NOTES

1. STORM SEWER: HDPE N-12
2. UNDERDRAIN - 6" PERF. PVC SDR 35

LEGEND

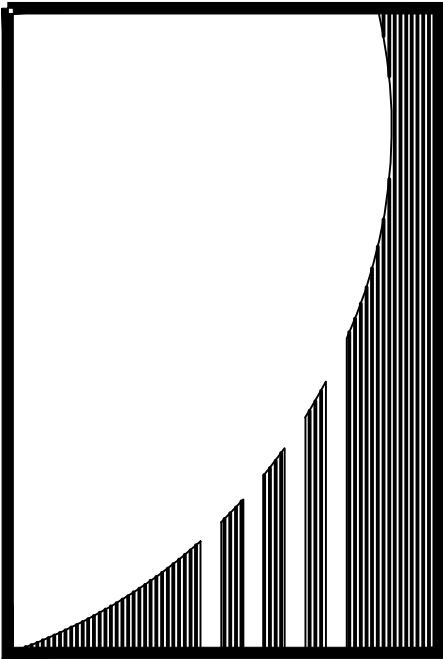
- (1) PROPOSED STORM STRUCTURE I.D.
(A) EXISTING STORM STRUCTURE I.D.

EXISTING STORM STRUCTURE TABLE

ID	STRUCTURE	RIM	INVERTS	
A	ENDWALL	-	8" NE 906.78	
B	CATCH BASIN	909.9	8" SE 906.88	W 8" 906.82
C	CATCH BASIN	910.11	8" NW 910.11	

PROPOSED STORM STRUCTURE TABLE

ID	STRUCTURE	RIM	INVERTS	
1	ENDWALL	-	806.20	
2	CONTROL STRUC.		(SEE DETAIL)	
3	MC SC-740	-	INV 707.00	6" U.D. 706.25
4	MC SC-740	-	INV 707.01	6" U.D. 706.25
5	2-2B BASIN	710.00	15" 707.08	
6	MC SC-740	911.17	10" 707.33	
7	2-2B BASIN	910.75	10" E & NW 707.67	
8	2-2B BASIN	911.25	10" NW 707.87	
9	WEIR MANHOLE	-	15" N 907.00	15" E 908.00



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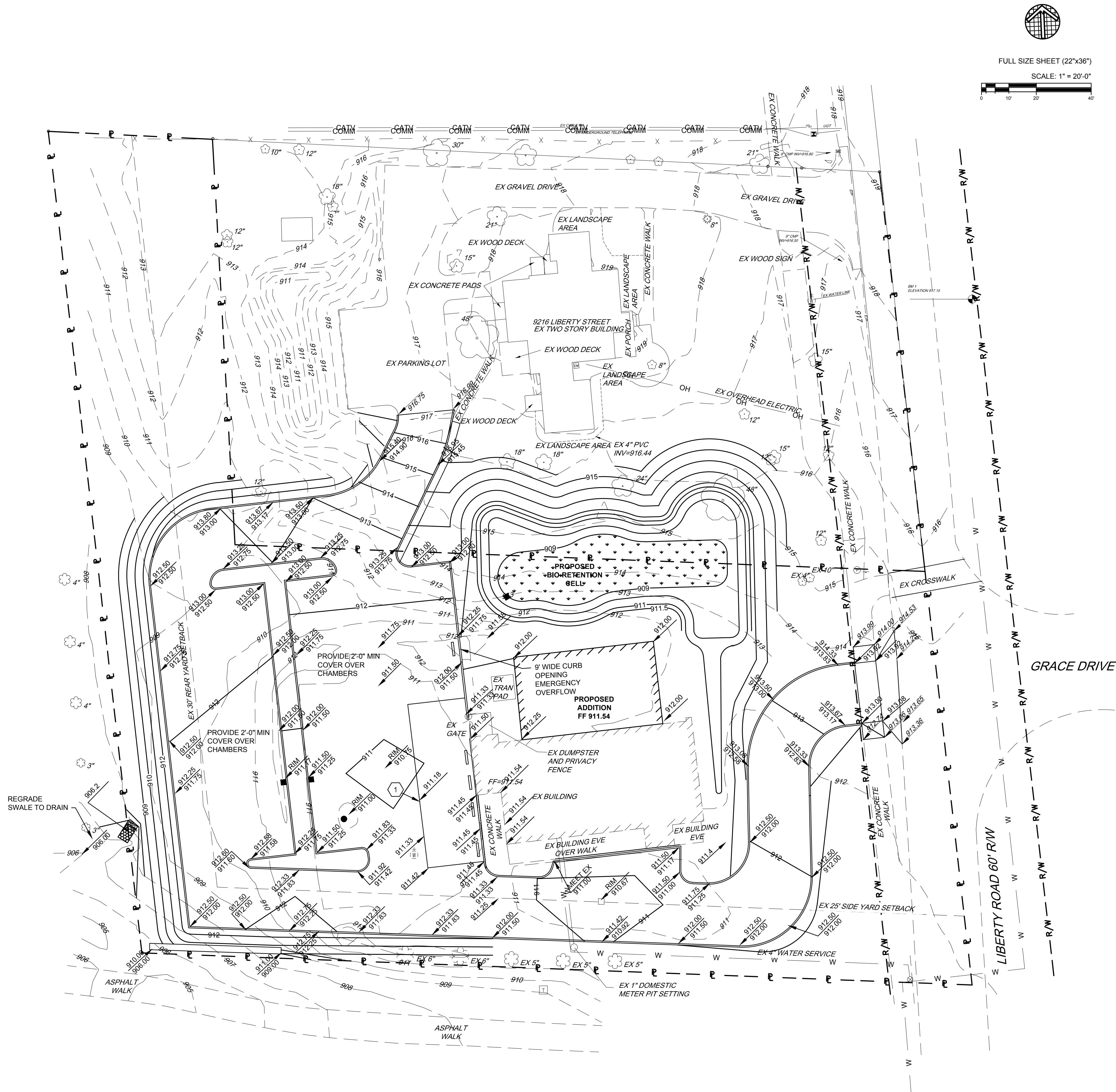
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Seal:

UTILITY
PLAN

C4.0



GENERAL NOTES

1. UNDERGROUND FACILITIES, UTILITIES AND STRUCTURES HAVE BEEN PLOTTED FROM FIELD OBSERVATION AND THEIR LOCATION MUST BE CONSIDERED APPROXIMATE ONLY. NEITHER SANDS DECKER CPS, LLC NOR ANY OF THEIR EMPLOYEES TAKE RESPONSIBILITY FOR THE LOCATION OF ANY UNDERGROUND STRUCTURES AND/OR UTILITIES NOT SHOWN THAT MAY EXIST. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UNDERGROUND STRUCTURES AND/OR UTILITIES LOCATED PRIOR TO EXCAVATION BY CALLING 811.
2. ELEVATIONS SHOWN ARE TIED TO TO THE NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88).
3. SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
4. ALL STORM STRUCTURES SHALL BE PRECAST UNLESS OTHERWISE SPECIFIED. SEE UTILITY PLAN FOR STORM STRUCTURE SCHEDULE AND SHEET C10.0 & C11.0 FOR STORM DETAILS.

PLAN NOTES

- 1 CROSS SLOPE ON ADA ACCESSIBLE SPACE CONCRETE PAD SHALL NOT EXCEED 2.00% IN ANY DIRECTION

LEGEND

908.00	→	PROPOSED TOP OF CURB ELEVATION
908.50	→	PROPOSED BOTTOM OF CURB ELEVATION
909.00	→	PROPOSED SPOT ELEVATION
908.50	→	EXISTING TOP OF CURB ELEVATION
908.00	→	EXISTING BOTTOM OF CURB ELEVATION
907.50	→	EXISTING ELEVATION

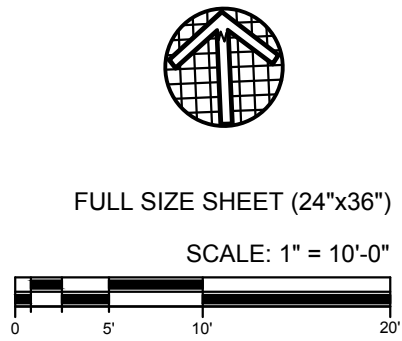
EYECARE PROFESSIONALS SCHEMATIC DESIGN POWELL, OH 43065

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Seal:

GRADING
PLAN

C5.0



**BIO RETENTION CELL
MAINTENANCE**

MAINTENANCE:
IT IS THE OWNER'S RESPONSIBILITY TO MAINTAIN AND MAKE ALL NECESSARY REPAIRS TO THE FACILITY LOCATED ON THE PROPERTY TO ENSURE ITS ORIGINAL DESIGNED FUNCTION INCLUDING BUT NOT LIMITED TO THE FOLLOWING:

BIO-RETENTION CELL MONTHLY MAINTENANCE

1. WATER PLANTS UNTIL GROWTH IS ESTABLISHED.
2. PRUNE AND WSEED PLANTINGS/MUCH AREA AS NEEDED
3. REMOVE LITTER AND DEBRIS
4. REMOVAL OF WOODY VEGETATIVE GROWTH FROM POND AREA INCLUDING EMBANKMENTS
5. REMOVAL OF TRASH AND/OR SEDIMENT ACCUMULATION
6. REMOVAL OF OBSTRUCTIONS IN ORIFICES AND/OR OUTLETS
7. INSPECT FOR SALT DAMAGE

BIO-RETENTION CELL SEMI ANNUAL MAINTENANCE

CHECK AND REPAIR AREAS OF EROSION

BIO-RETENTION CELL ANNUAL MAINTENANCE

1. REPAIR AND/OR REPLACE ANY DAMAGED STRUCTURES (I.E. CATCH BASINS)
2. REPLACE ANY DAMAGED VEGETATION
3. ADD OR REPLACE MULCH AS NEEDED
4. DEBRIS SHOULD BE REMOVED FROM OVERFLOW SPILLWAY AND GRATES.

BIO-RETENTION CELL BI-ANNUAL MAINTENANCE

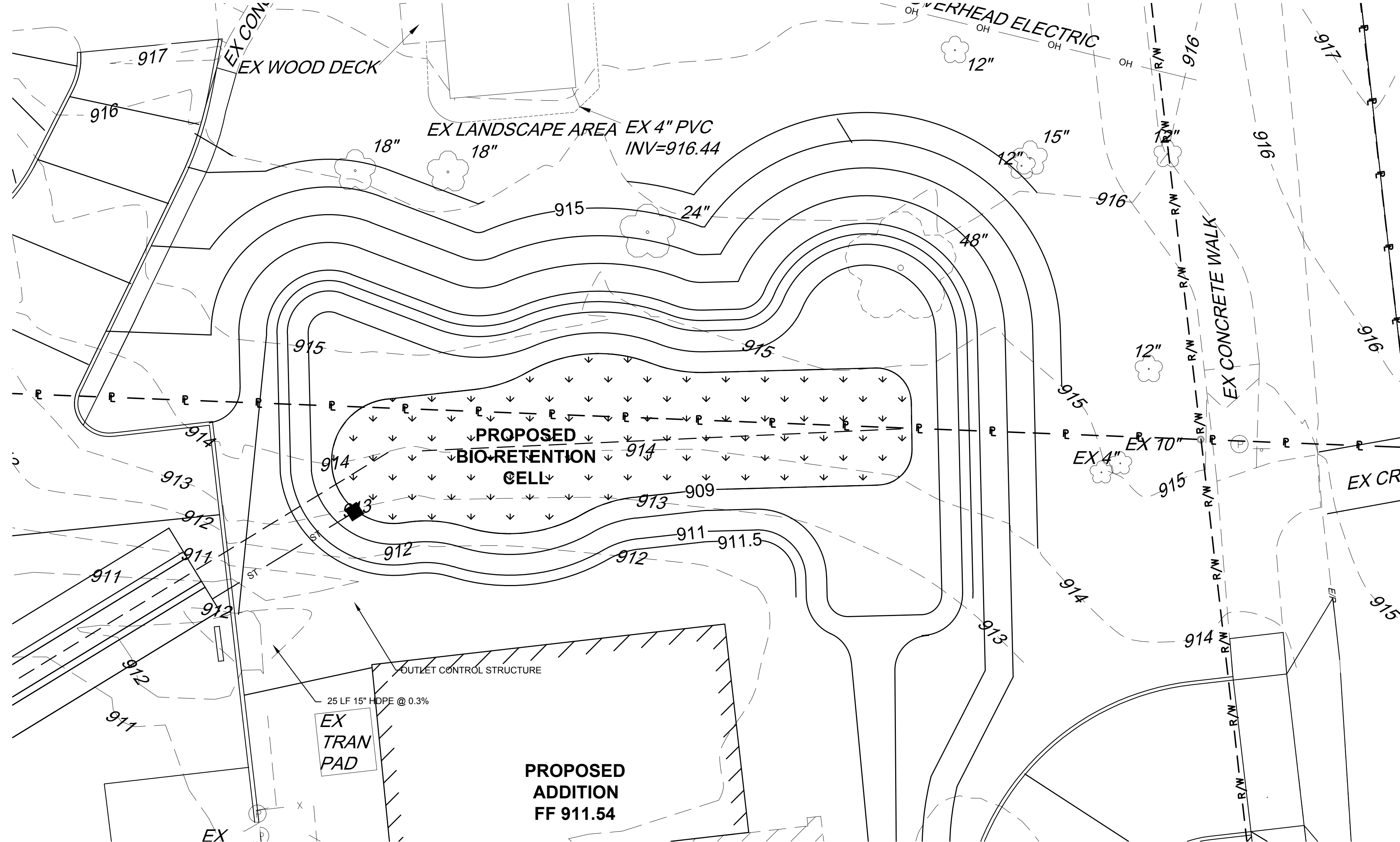
TEST SOIL AND ADJUST AS NECESSARY TO MAINTAIN IN 5.2- 8.0 PH RANGE

BIO-RETENTION CELL 2-10 YEARS MAINTENANCE

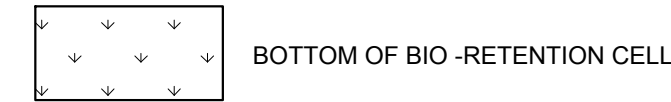
CHECK PLANTING SOIL AND FILTER LAYER FOR CLOGGING, REPLACING NECESSARY PORTIONS

CONSTRUCTION NOTES

1. TIMING OF CONSTRUCTION - CONSTRUCTION OF BIORETENTION PRACTICES SHALL TAKE PLACE AFTER LAND GRADING IS COMPLETE AND THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED. CONSTRUCTION MAY TAKE PLACE IF THE ENTIRE CONTRIBUTING AREA CAN BE EFFECTIVELY DIVERTED UNTIL CONSTRUCTION IS COMPLETE AND FULLY-VEGETATED COVER PROTECTS ALL SOIL AREAS. CONSTRUCTION SHALL NOT OCCUR DURING PERIODS OF RECIPIENT SINCE CLOGGING OF SOILS, BEDDING, FILTER OR PLANTING MEDIA MAY OCCUR.
2. EXCAVATION, SOILS AND LINERS - EXCAVATE THE TRENCH TO PLAN DIMENSIONS BEING CAREFUL TO PROTECT IN-SITU SOILS BY AVOIDING COMPACTION OF THE TRENCH WITH EQUIPMENT OR FOOT TRAFFIC. AN INITIAL 2-3" H LAYER OF UNIFORM CONSTRUCTION SAND WILL HELP TO AVOID THIS IMPACT. SOME SMEARING OF SOILS AT THE FINAL GRADE WILL OCCUR IF A BUCKET WITHOUT TEETH IS USED. IF THIS SMEARING OCCURS, IT SHALL BE REMEDIATED BY FRACTURING A FEW INCHES DEEP WITH AN APPROPRIATE TOOL. BIORETENTION LINED WITH PLASTIC SHALL USE A MINIMUM 30-MIL LINER AND TAKE MEASURES TO AVOID PUNCTURE OF THE LINER.
3. PLANTING SOILS - SOILS MUST BE TESTED BY A CERTIFIED LABORATORY TO INSURE THEY MEET REQUIRED SPECIFICATIONS. DOCUMENTATION OF CERTIFICATION TESTING SHALL BE AVAILABLE ONSITE TO SITE INSPECTORS. THE PLANTING SOIL SHALL BE PLACED IN 12 INCH LIFTS AND LIGHTLY SETTLED BY GENTLE SOAKING WITH WATER (TO PROMOTE SETTLING). PLANTING SOIL SHOULD BE PLACED TO ADEPTH APPROXIMATELY 5% HIGHER THAN FINISH GRADE TO ALLOW FOR SETTLING.
4. MULCH - PLACE MULCH ONCE SUFFICIENT SETTLING OF THE PLANTING SOIL HAS OCCURRED IN ORDER TO AVOID EXCESS COMPACTION. BIORETENTION VEGETATED WITH TURF SHALL BE SODDED



LEGEND



GENERAL NOTE

1. CONTRACTOR SHALL RETAIN A GEOTECHNICAL ENGINEER TO PROVIDE AN INFILTRATION TEST AT THE PROPOSED BIO-RETENTION CELL. THE GEOTECHNICAL ENGINEER SHALL PROVIDE A REPORT WITH THEIR RESULTS OF THE TESTS.
2. THE BIO RETENTION CELL SOIL MIX AND GRAVEL SHALL BE INSTALLED AT THE END OF CONSTRUCTION WHEN THE UPSTREAM WATERSHED HAS BEEN STABILIZED WITH GRASS.

BIO-RETENTION CELL NOTES

SOIL MIX SHALL CONSIST OF THE FOLLOWING:

1. TEXTURE CLASS: LOAMY SAND, HAVING NO LESS THAN 80% SAND AND NO GREATER THAN 10% CLAY. CONSIDERING ONLY THE MINERAL FRACTION OF THE SOIL.
2. PH RANGE: 5.2 - 8.0.
3. SOLUBLE SALTS: 500 PPM MAXIMUM.
4. DECOMPOSED ORGANIC MATTER: 3-5% BY WEIGHT (NOTE: THIS TRANSLATES TO 8-20% ORGANIC MATTER BY VOLUME. SEE NOTE ON "CREATING A SUITABLE SOIL MEDIA" BELOW).
5. PHOSPHORUS: PHOSPHORUS OF THE PLANTING MEDIA SHOULD FALL BETWEEN 15 AND 60 MG/KG (PPM) AS DETERMINED BY THE MEHLICH III TEST. FOR SITES IN WATERSHEDS WITH A PHOS- PHORUS TMDL OR SITES WITH HIGH PHOSPHORUS LOADS, THE PHOSPHORUS CONTENT OF THE PLANTING MEDIA SHOULD FALL BETWEEN 10 AND 30 MG/KG AS DETERMINED BY THE MEHLICH III TEST.
6. SAND ADDED SHALL BE CLEAN AND MEET AASHTO M-6 OR ASTM C-33 WITH A GRAIN SIZE OF 0.02-0.04" INCHES.

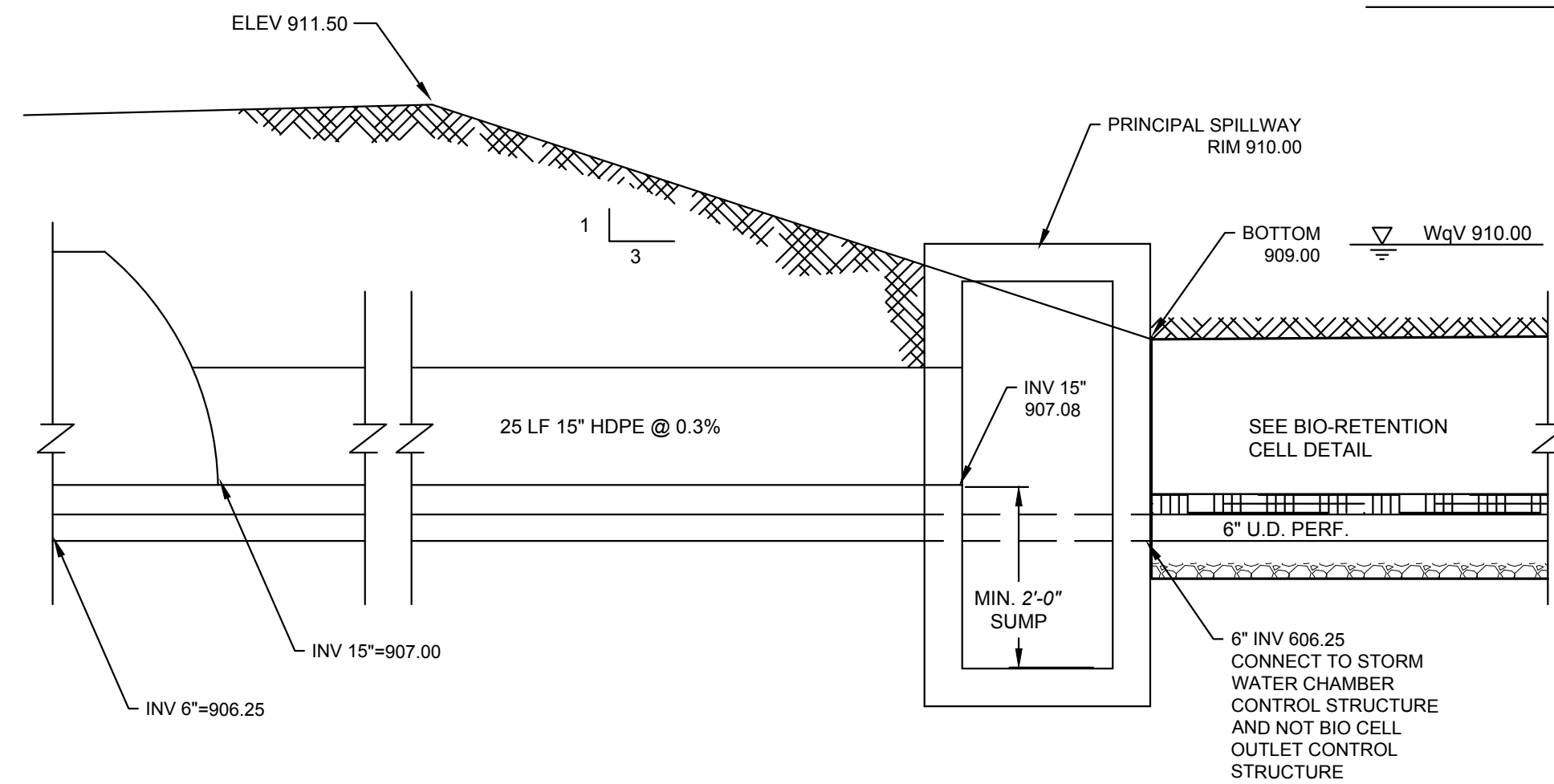
CREATING SUITABLE SOIL MEDIA:

TO MEET THE ABOVE SOIL MEDIA CRITERIA, THE FOLLOWING MIX (BY VOLUME) IS RECOMMENDED AS A STARTING POINT:

1. SAND: 7.5 PARTS CLEAN SAND (I.E., ASTM C-33 OR EQUIVALENT, < 1% PASSING NO. 200 SIEVE) NATIVE SOIL: 1.5 PART (LOAM, SILT LOAM OR CLAY LOAM TEXTURE)
2. DECOMPOSED ORGANIC MATTER: 1 PART (LEAF COMPOST, PINE BARK FINES, MULCH FINES, ETC.)
3. BASED ON TESTING, EXPERIENCE AND NATIVE SOIL CHARACTERISTICS THE SAND, SOIL OR ORGANIC MATTER CONTENT CAN BE ADJUSTED TO ACHIEVE THE DESIRED MIX. THE SOIL MIX SUPPLIER SHOULD PRE-TEST THE SAND, NATIVE SOIL AND ORGANIC MATTER TO EVALUATE THEIR PHOSPHORUS CONTENT. THE SOIL MIX SUPPLIER MUST PRESENT A SOIL TEST SHOWING THE PLANTING MEDIA MEETS THE CRITERIA ABOVE.

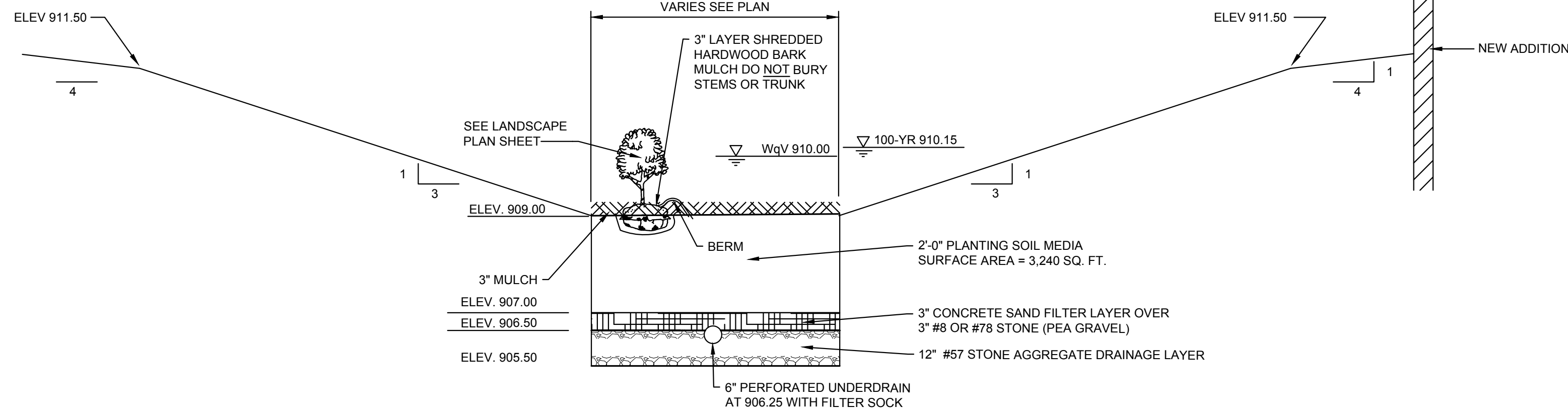
BIO RETENTION STORM WATER PRACTICE:

BIO-RETENTION CELL PRACTICE SELECTED DUE TO WATERSHED SIZE AND AVAILABLE LAND FOR BOTH A WATER QUALITY AND QUANTITY FACILITY. IN ADDITION, PROVIDING A CENTRAL LANDSCAPED AREA THAT CAN INCORPORATED GREEN STORM WATER PRACTICES ADDS AESTHETIC APPEAL TO THE SITE.



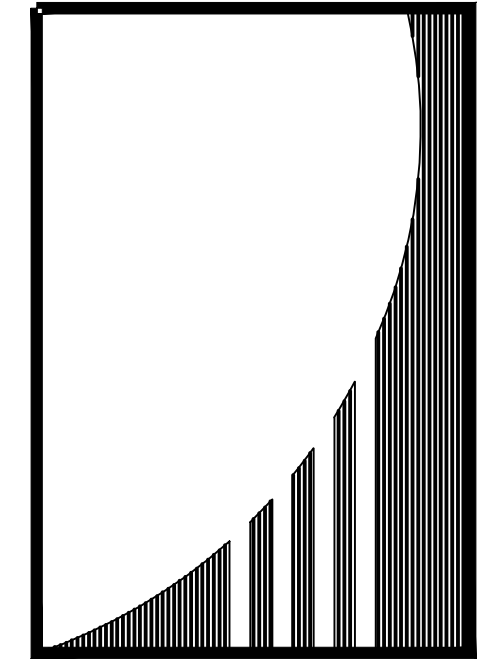
**BIO-RETENTION CELL OUTLET
CONTROL STRUCTURE**

SCALE: NONE



**BIO-RETENTION CELL SECTION
(LOOKING EAST)**

SCALE: NONE



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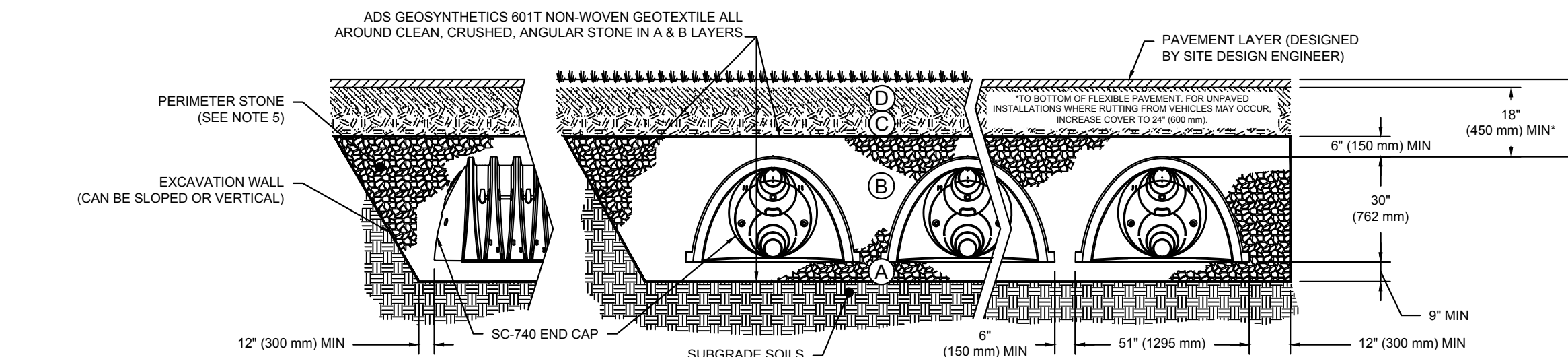
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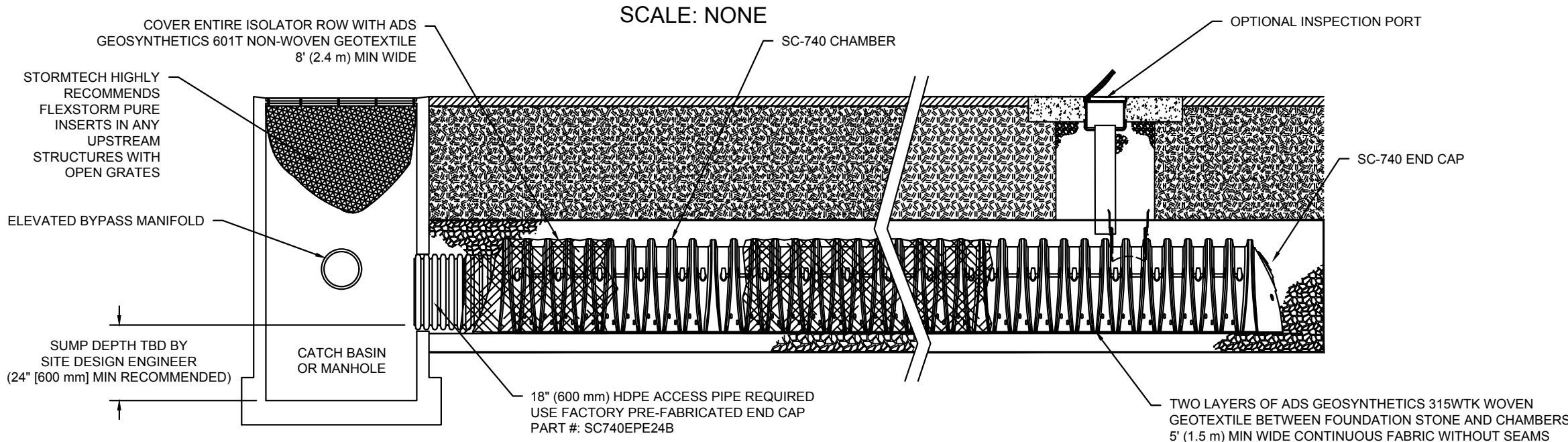
STORMWATER
MANAGEMENT PLAN

C6.0

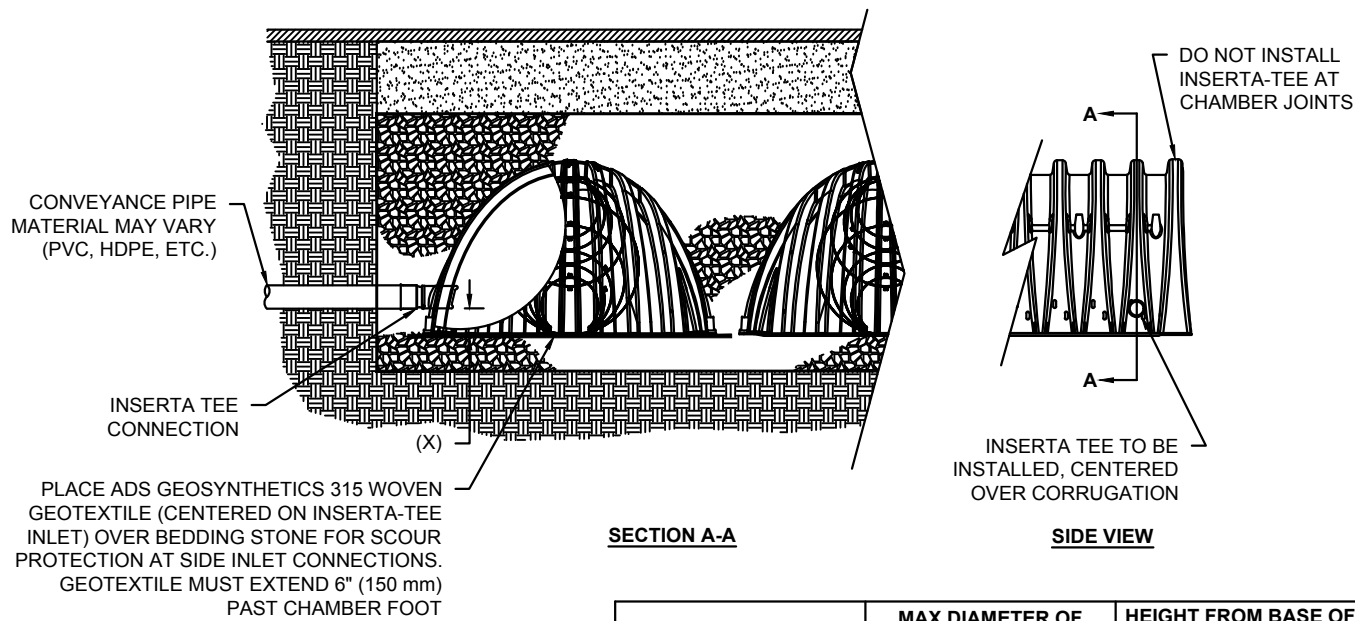


- NOTES:**
- SC-740 CHAMBERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM F2418 "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS", OR ASTM F2922 "STANDARD SPECIFICATION FOR POLYETHYLENE (PE) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
 - SC-740 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
 - "ACCEPTABLE FILL MATERIALS" TABLE ABOVE PROVIDES MATERIAL LOCATIONS, DESCRIPTIONS, GRADATIONS, AND COMPACTION REQUIREMENTS FOR FOUNDATION, EMBEDMENT, AND FILL MATERIALS.
 - THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
 - PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
 - ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.

UNDERGROUND STORM WATER MANAGEMENT TRENCH SECTION A-A



SC-740 ISOLATOR ROW DETAIL



SECTION A-A

SIDE VIEW

CHAMBER	MAX DIAMETER OF INSERTA TEE	HEIGHT FROM BASE OF CHAMBER (X)
SC-310	6" (150 mm)	4" (100 mm)
SC-740	10" (250 mm)	4" (100 mm)
DC-780	10" (250 mm)	4" (100 mm)
MC-3500	12" (300 mm)	6" (150 mm)
MC-4500	12" (300 mm)	8" (200 mm)

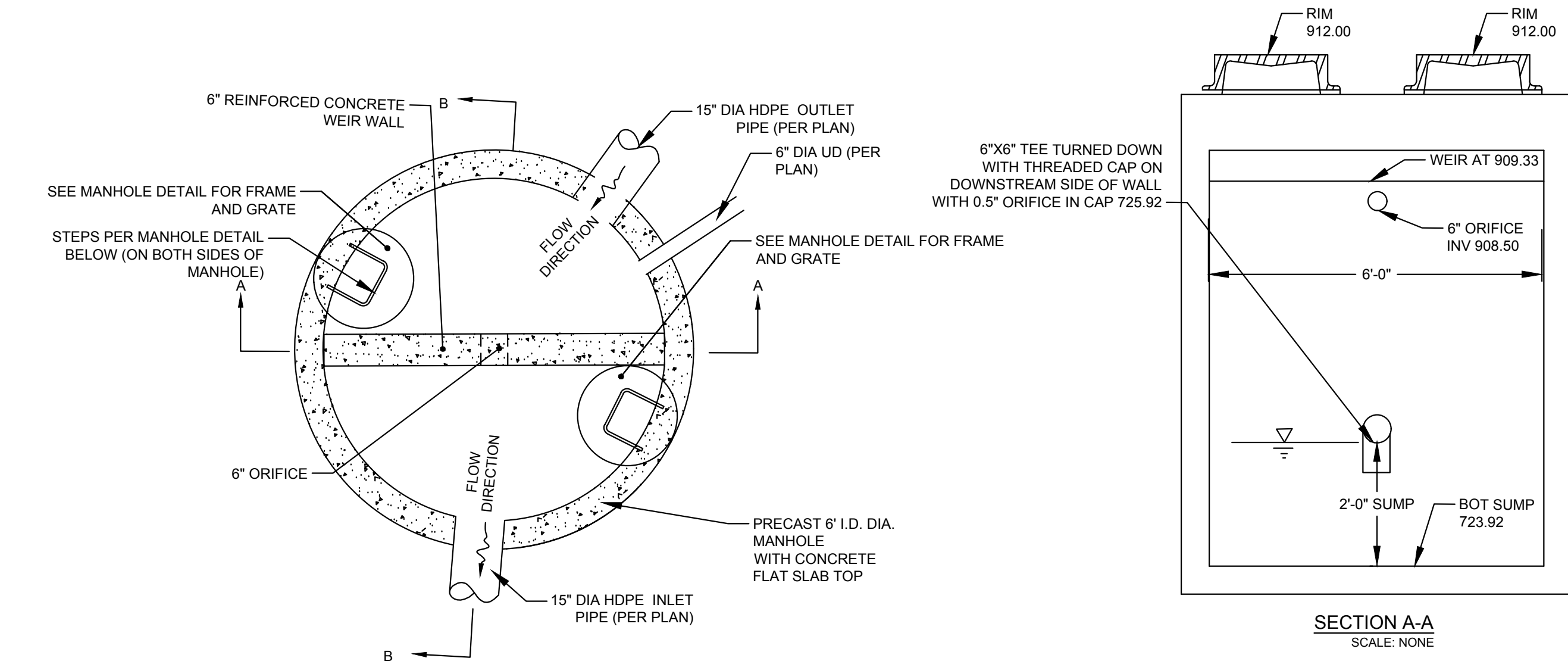
NOTE:
PART NUMBERS WILL VARY BASED ON INLET PIPE MATERIALS. CONTACT STORMTECH FOR MORE INFORMATION.

INSERTA-TEE SIDE INLET DETAIL

ACCEPTABLE FILL MATERIALS: STORMTECH SC-740 CHAMBER SYSTEMS

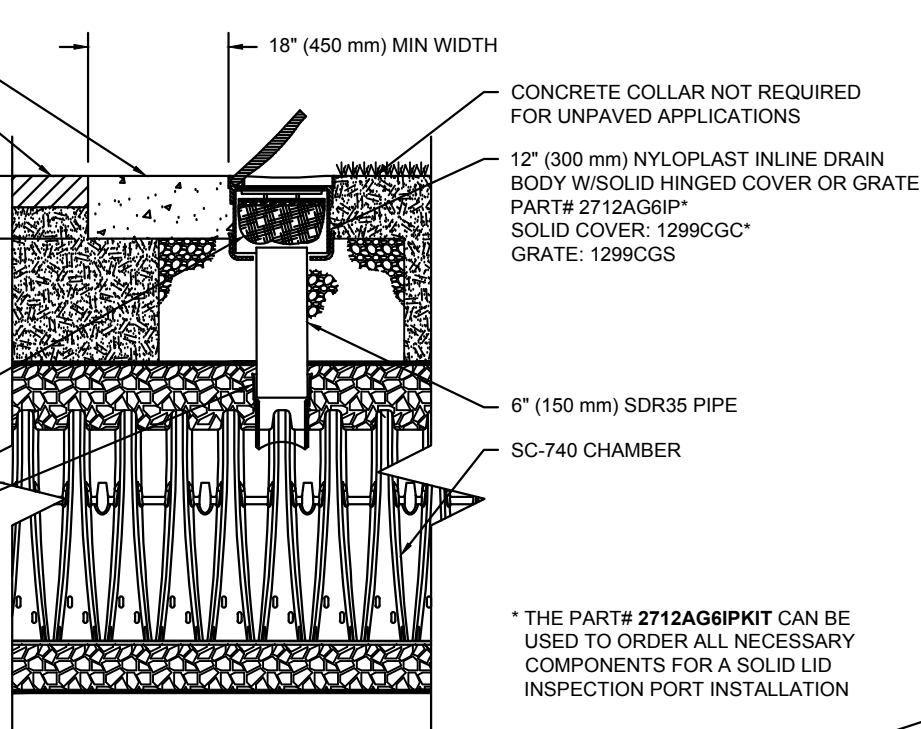
MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER.	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE (B' LAYER) TO 18" (450 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	AASHTO M145 ¹ A-1, A-2-4, A-3 OR AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	BEGIN COMPACTIONS AFTER 12" (300 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 6" (150 mm) MAX LIFTS TO A MIN. 98% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 lbs (53 kN). DYNAMIC FORCE NOT TO EXCEED 20,000 lbs (89 kN).
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE (A' LAYER) TO THE 'C' LAYER ABOVE.	AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. ^{2,3}

PLEASE NOTE:
1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
2. STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 6" (150 mm) (MAX) LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.
3. WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.



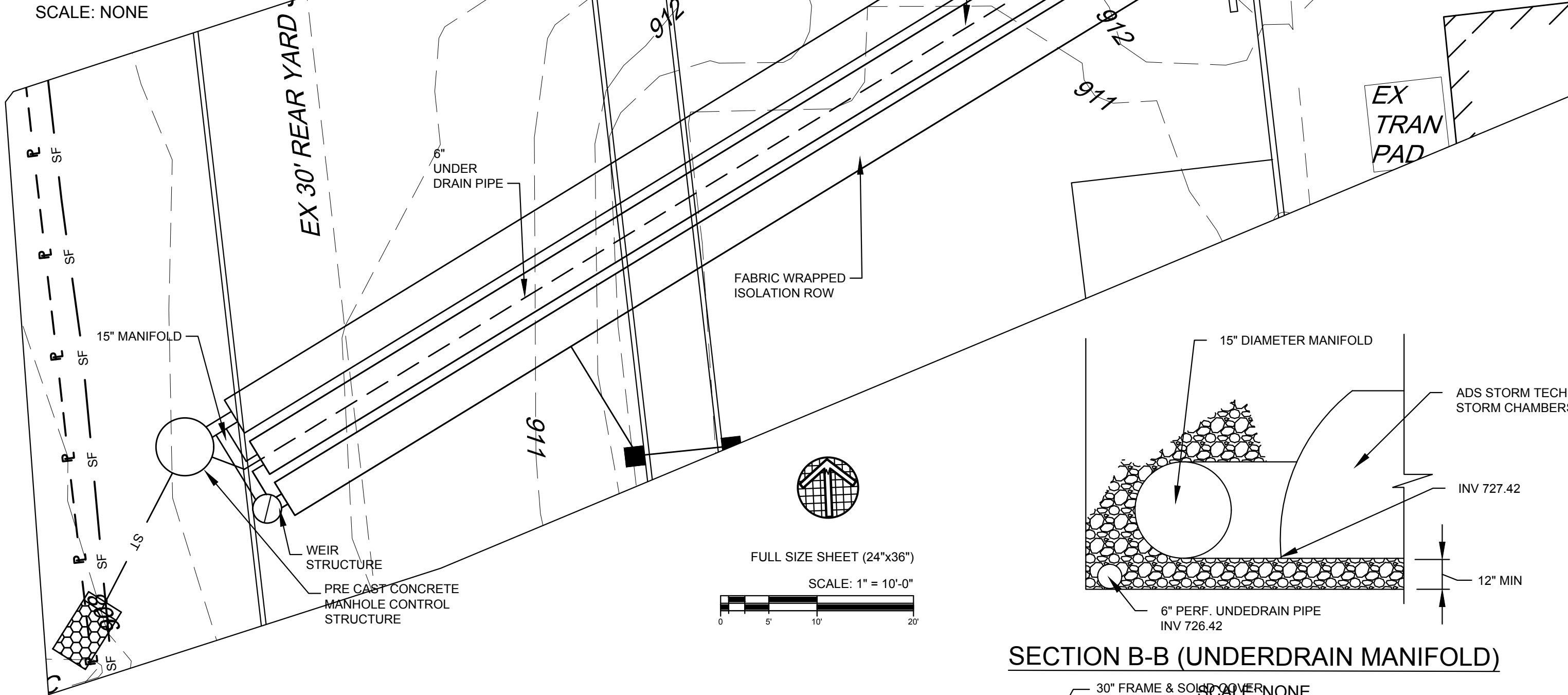
SECTION A-A

SCALE: NONE



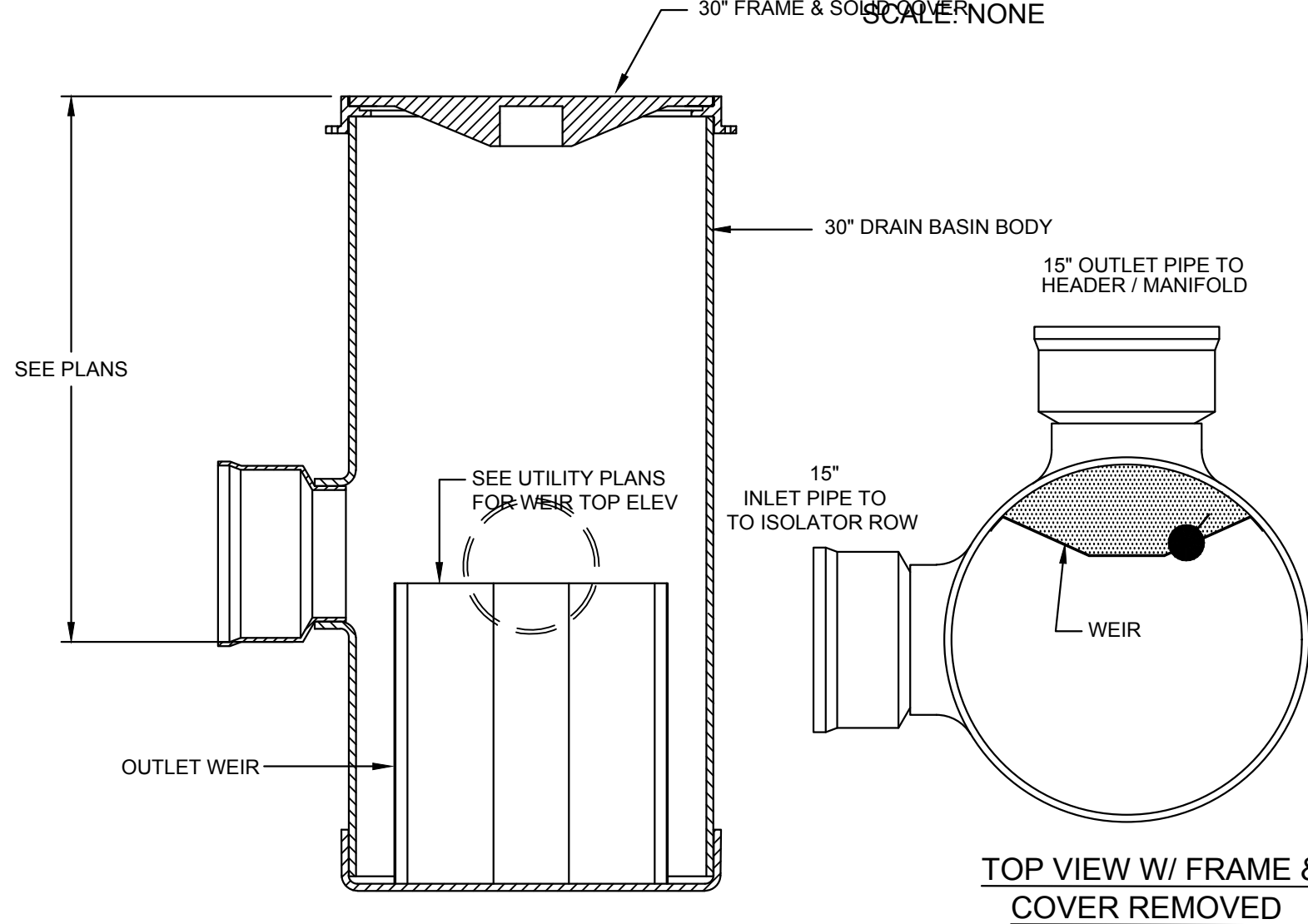
6" CATCH BASIN / INSPECTION PORT

SCALE: NONE



SECTION B-B (UNDERDRAIN MANIFOLD)

SCALE: NONE



SIDE SECTION VIEW

NYLOPLAST WEIR MANHOLE

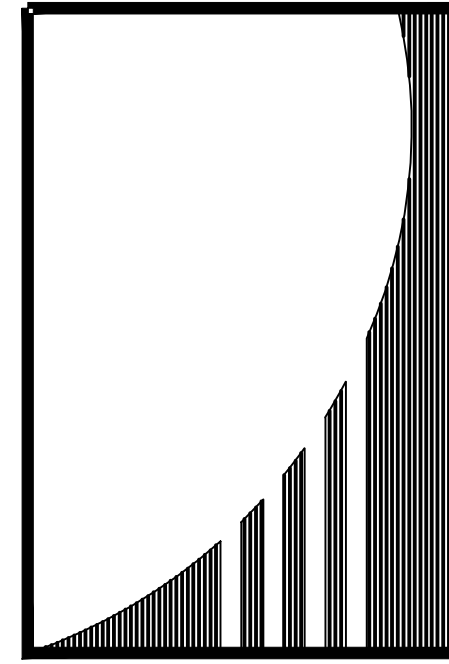
SCALE: NONE

SC-740 CHAMBER SYSTEM MAINTENANCE PLAN - EVERY 6 MONTHS

- STEP 1 / INSPECT ISOLATOR ROW FOR SEDIMENT**
- INSPECTION PORTS
 - REMOVE / OPEN LID ON INSPECTION PORT #1 & BOTH WEIR MANHOLES
 - USING A FLASHLIGHT AND STADIA ROD, MEASURE DEPTH OF SEDIMENT AT BOTH ACCESS POINTS, AND RECORD ON MAINTENANCE LOG.
 - LOWER A CAMERA INTO ISOLATOR ROW FOR VISUAL INSPECTION OF SEDIMENT LEVELS. (OPTIONAL)
 - IF SEDIMENT IS AT OR ABOVE 3" JETVAC CLEAN OUT WILL BE REQUIRED.
- B. STORM WATER STORAGE CHAMBER**
- REMOVE COVER FROM INSPECTION PORTS ON NORTH SIDE OF CHAMBERS
 - USING A FLASHLIGHT INSPECT DOWN THE ROW THROUGH OUTLET PIPE USING MIRRORS ON POLES OR CAMERA TO AVOID CONFINED SPACE ENTRY
 - IF SEDIMENT IS ACCUMULATING IN CHAMBER CONTACT MANUFACTURER ADVANCED DRAINAGE SOLUTIONS FOR FURTHER DIRECTION.

- STEP 2 / CLEAN OUT ISOLATOR ROW USING THE JETVAC PROCESS**
- A FIXED CULVERT CLEANING NOZZLE WITH REAR FACING SPREAD OF 45° OR MORE IF PREFERRED
 - APPLY MULTIPLE PASSES OF JETVAC UNTIL BACKFLUSH WATER IS CLEAN
 - VACUUM STRUCTURE SUMP AS REQUIRED
- STEP 3 / REPLACE ALL COVERS, GRATES, FILTERS, AND LIDS; RECORD OBSERVATIONS AND ACTIONS.**
- STEP 4 / INSPECT AND CLEAN BASINS, FILTER INSERTS, AND MANHOLES IN THE PARKING LOT.**

NOTE 1
IF STORM WATER IN UNDERGROUND SYSTEM IS NOT DRAINING AFTER 48 HOURS, INSPECT BOTH SIDES OF WEIR MANHOLE, REMOVE ANY FOREIGN MATERIAL FROM BOTH CHAMBERS. IF NO CLOG EXISTS, CONTACT THE CITY SEWER DEPARTMENT TO INSPECT CITY MANHOLE FOR OBSTRUCTIONS.



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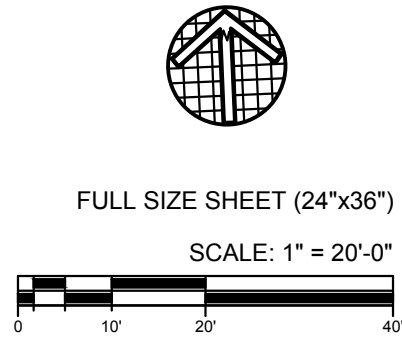
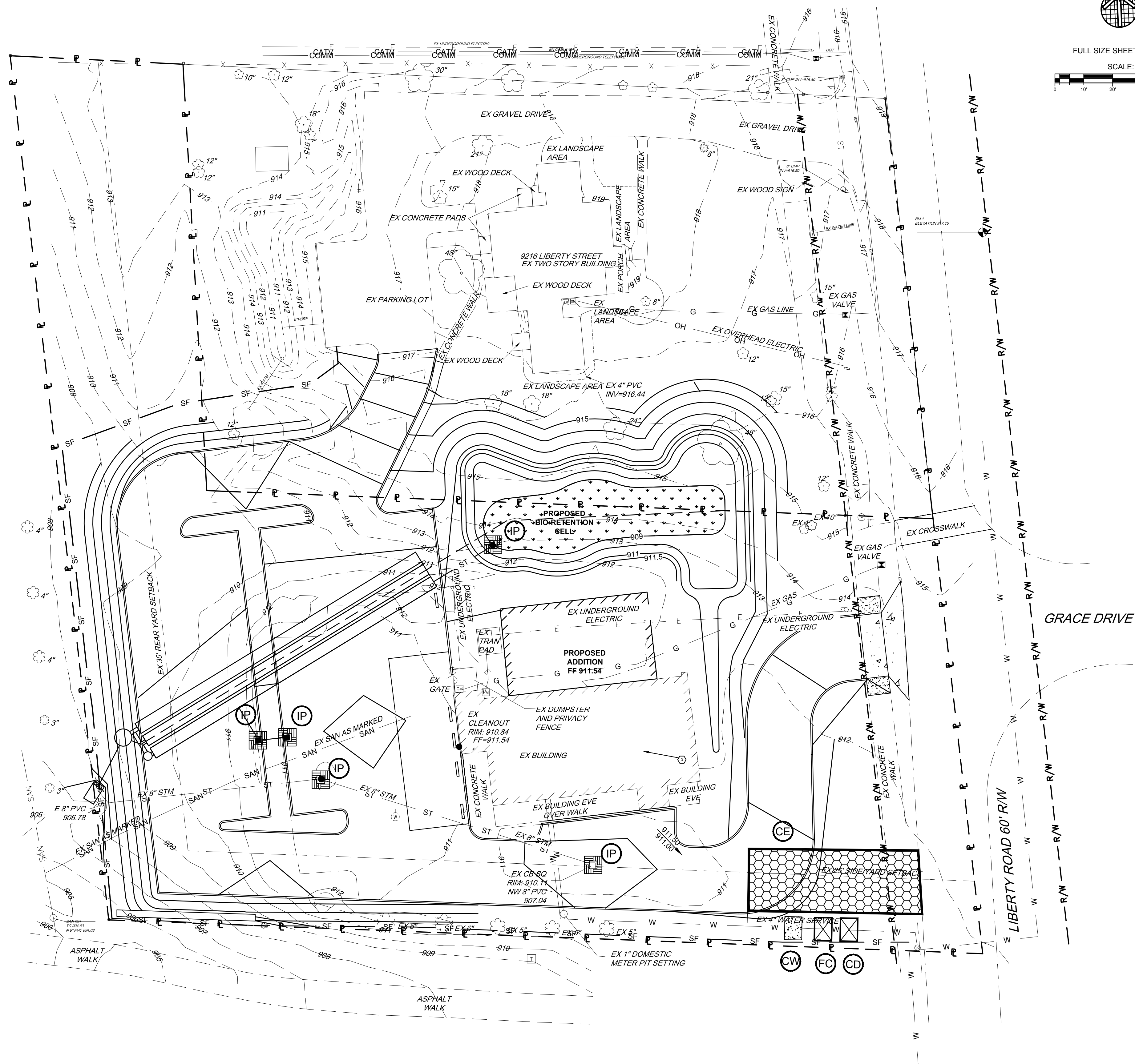
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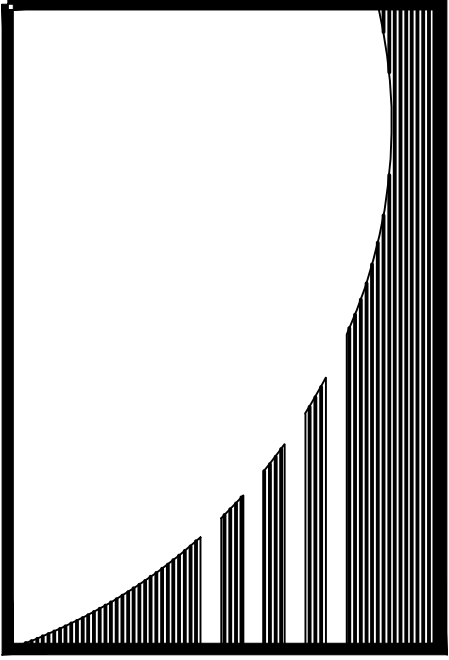
Seal:

STORMWATER
MANAGEMENT PLAN

C7.0



SWPPP LEGEND		BMPs UTILIZED ON THIS PROJECT "X"
	IP STORM DRAIN INLET PROTECTION	X
	TS TEMPORARY SEEDING	X
	PS PERMANENT SEEDING	
	DC DUST CONTROL	X
	CW CONCRETE WASHOUT	X
	CF 8'-0" CHAIN-LINK FENCE	
	FS FILTER SOCK	
	SF SILT FENCE	X
	CD COVERED AND LEAK PROOF CONSTRUCTION DEBRIS DUMPSTER	X
	FC FUEL CONTAINMENT DYKE AND CHEMICAL STORAGE/MIXING AREA	X
	CE CONSTRUCTION ENTRANCE	X



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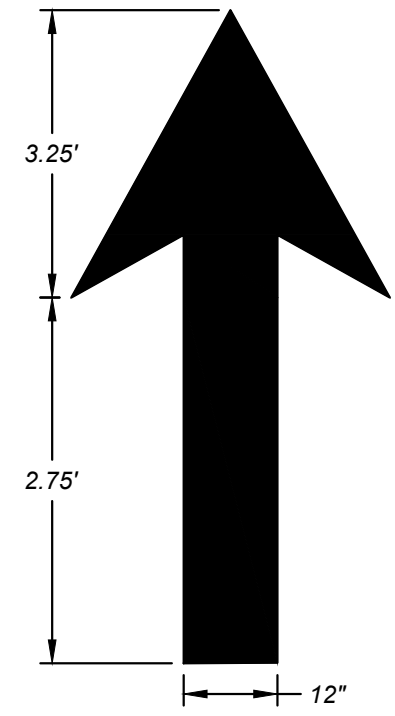
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SWPPP
PLAN

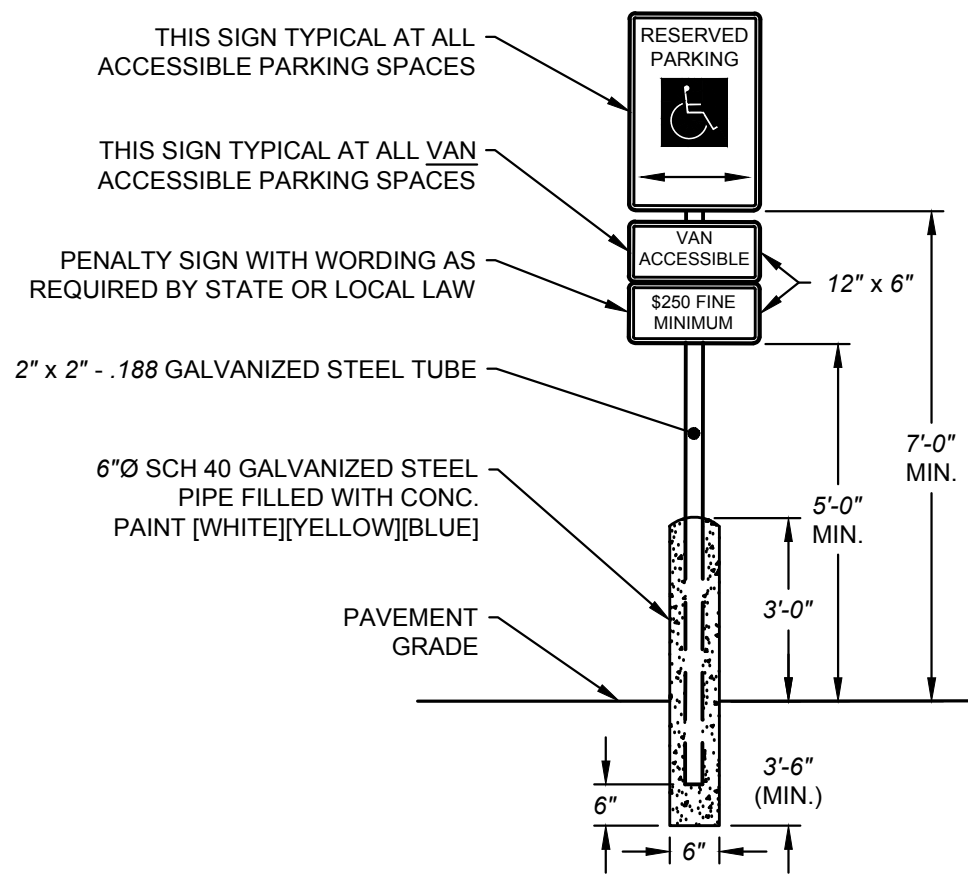
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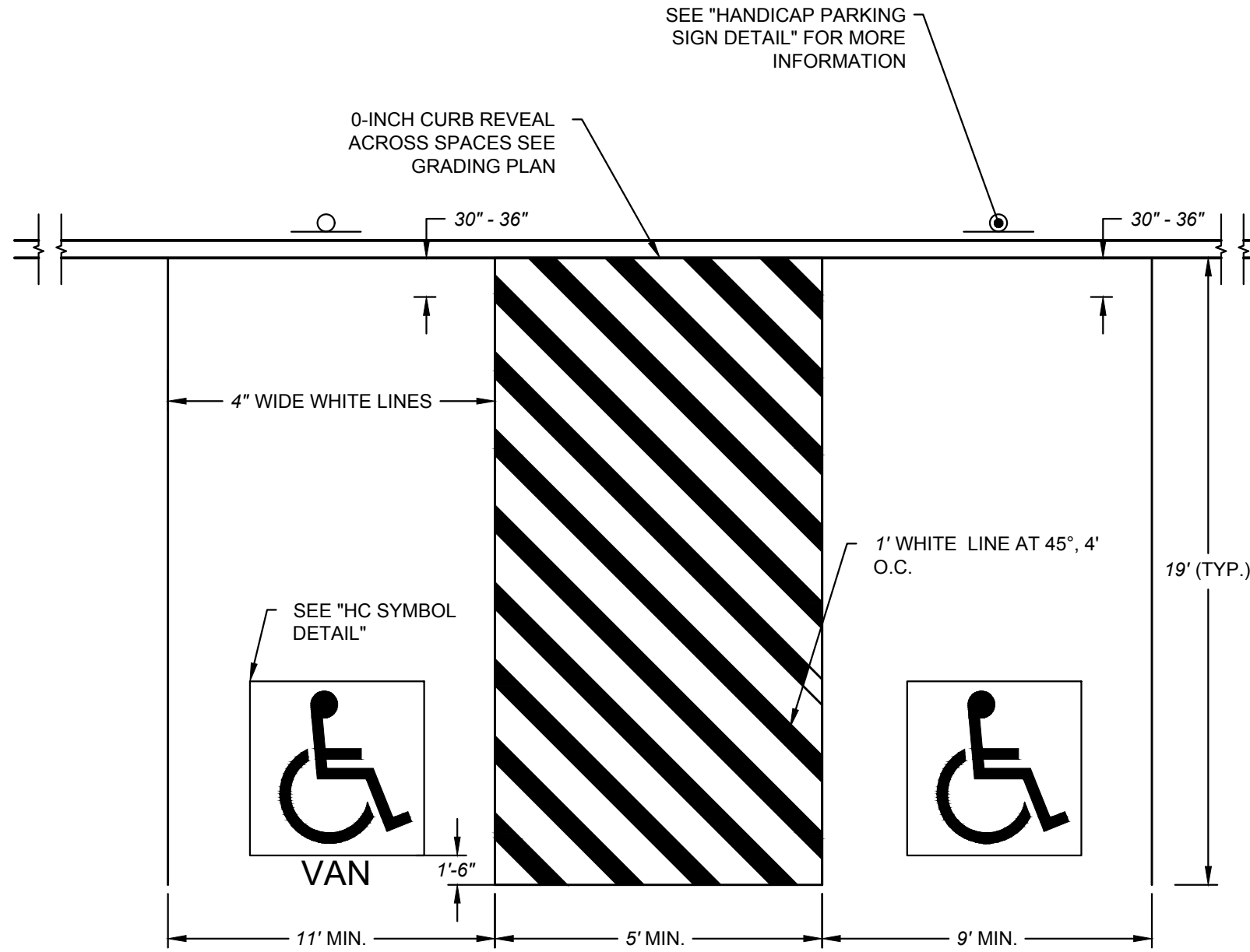
DIRECTIONAL TRAFFIC ARROWS DETAIL
SCALE: NONE

NOTES:

1. COLOR OF ARROWS SHALL BE YELLOW.



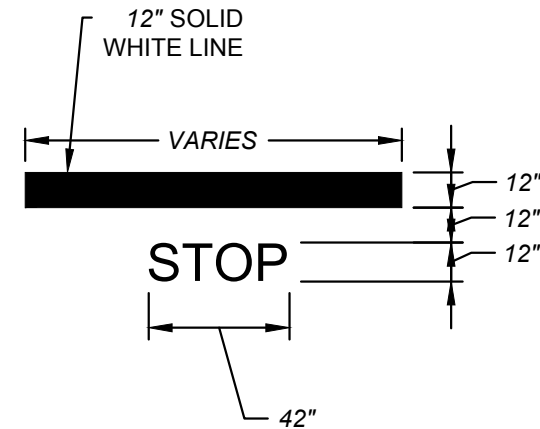
HANDICAP PARKING SIGN DETAIL
SCALE: NONE



VAN ACCESSIBLE PARKING SPACE DETAIL
SCALE: NONE

NOTES:

1. ALL SURFACE SLOPES WITHIN ADA SPCAES SHALL NOT EXCEED 2.00% IN ANY DIRECTION.



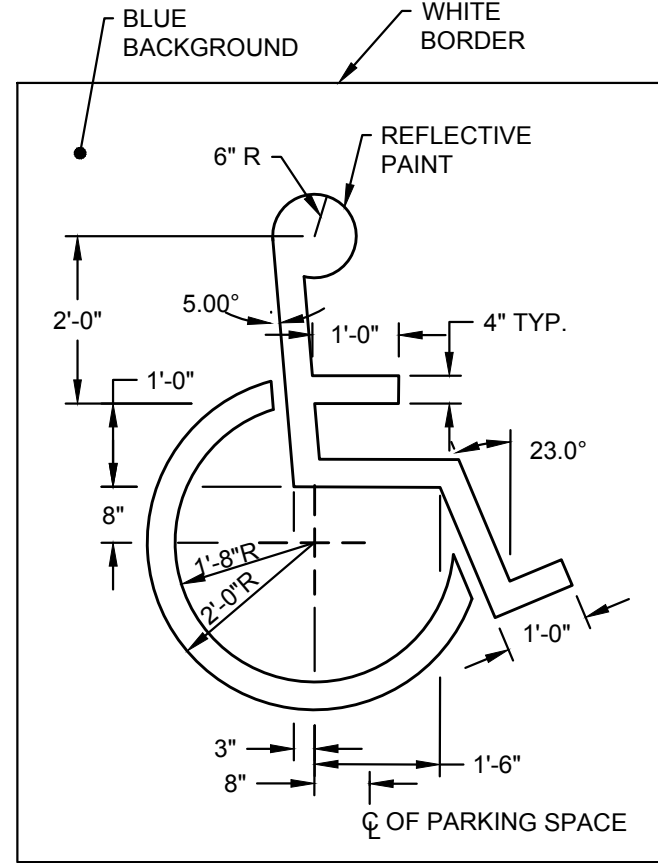
STOP BAR DETAIL
SCALE: NONE

NOTES:

1. THE BAR AND WORDING ARE TO BE WHITE.
2. LETTERING IS TO BE CENTERED ON THE STOP BAR.
3. SEE SITE PLAN FOR LOCATION AND ORIENTATION.

TRAFFIC CONTROL SCHEDULE						
SIGN NUMBER	SIGN	SIZE OF SIGN		DESCRIPTION	MOUNT TYPE	REMARKS
		WIDTH	HEIGHT			
R1-1		30"	30"	STOP	CHANNEL	REFLECTORIZED SIGN
-		12"	18"	ACCESSIBLE PARKING	TUBE	REFLECTORIZED SIGN
R7-8A		12"	6"	VAN PARKING	TUBE	REFLECTORIZED SIGN

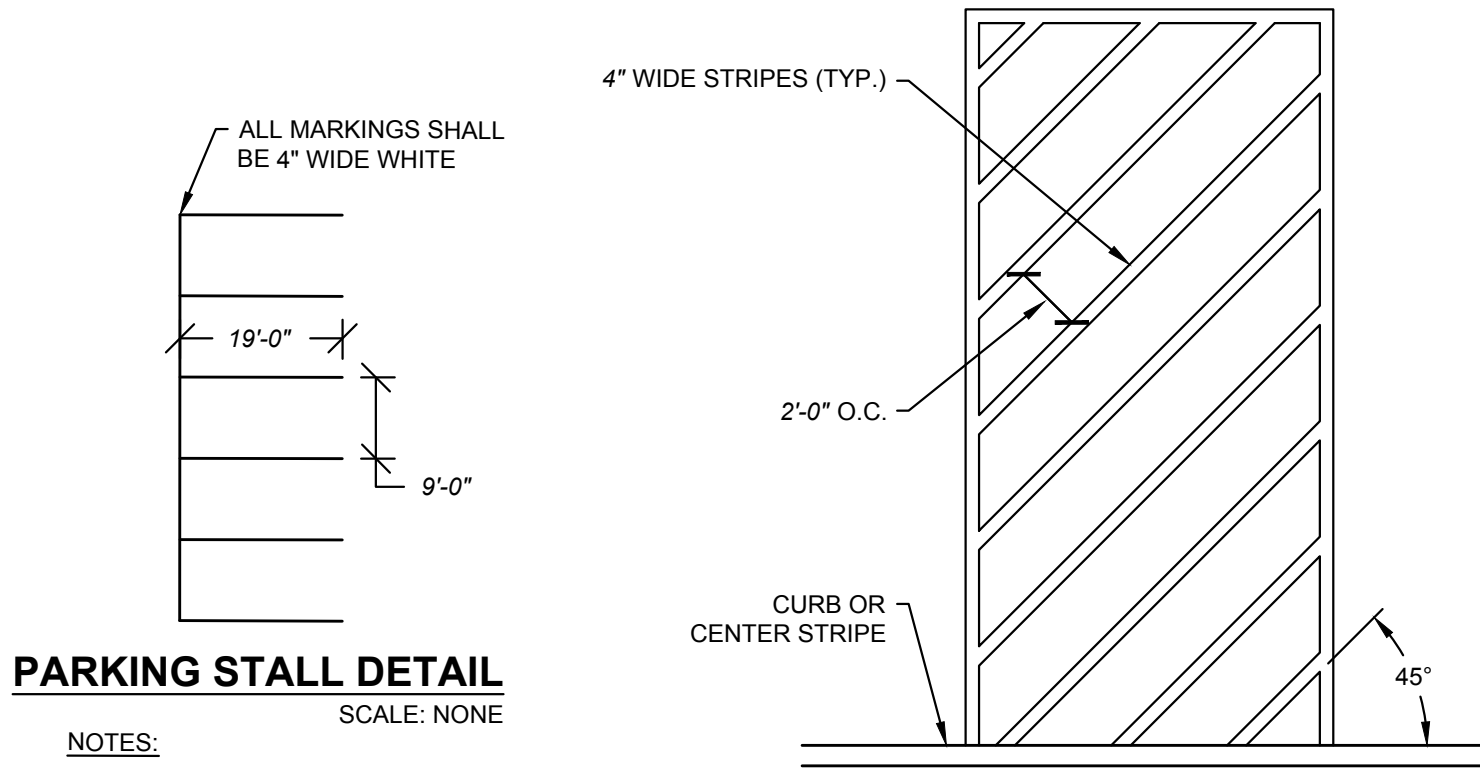
NOTE: HEIGHT SHOWN IS FROM GROUND TO BOTTOM OF SIGN



HANDICAP SYMBOL DETAIL
SCALE: NONE

NOTES:

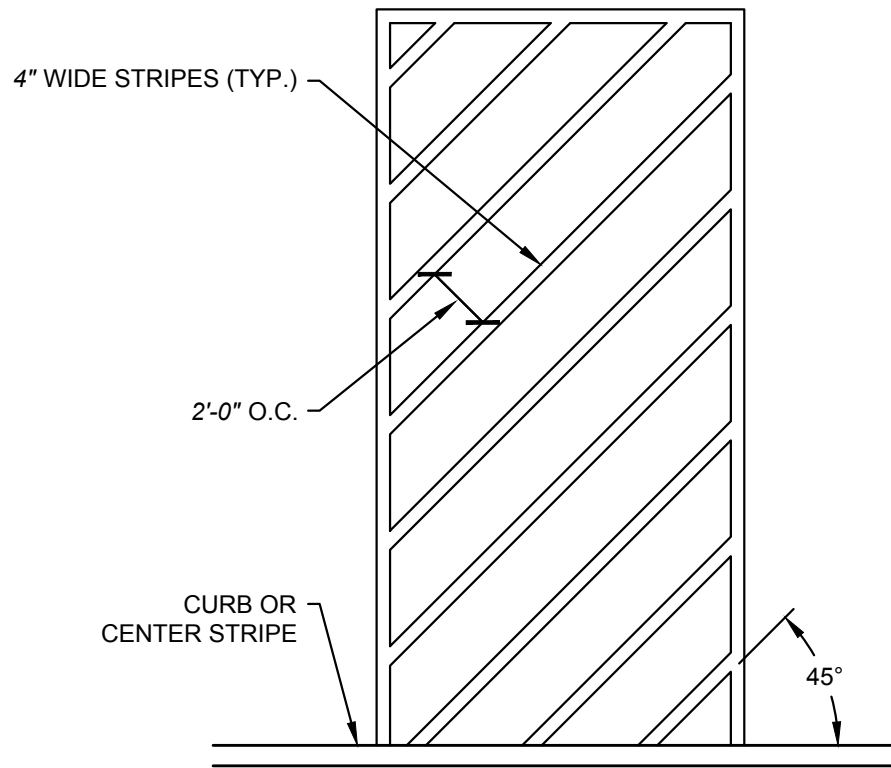
1. SIGNS ARE TO CONFORM TO MUNICIPALITY PARKING STANDARDS.
2. HANDICAP SYMBOL IS TO BE PAINTED WHITE ON BLUE BACKGROUND.



PARKING STALL DETAIL
SCALE: NONE

NOTES:

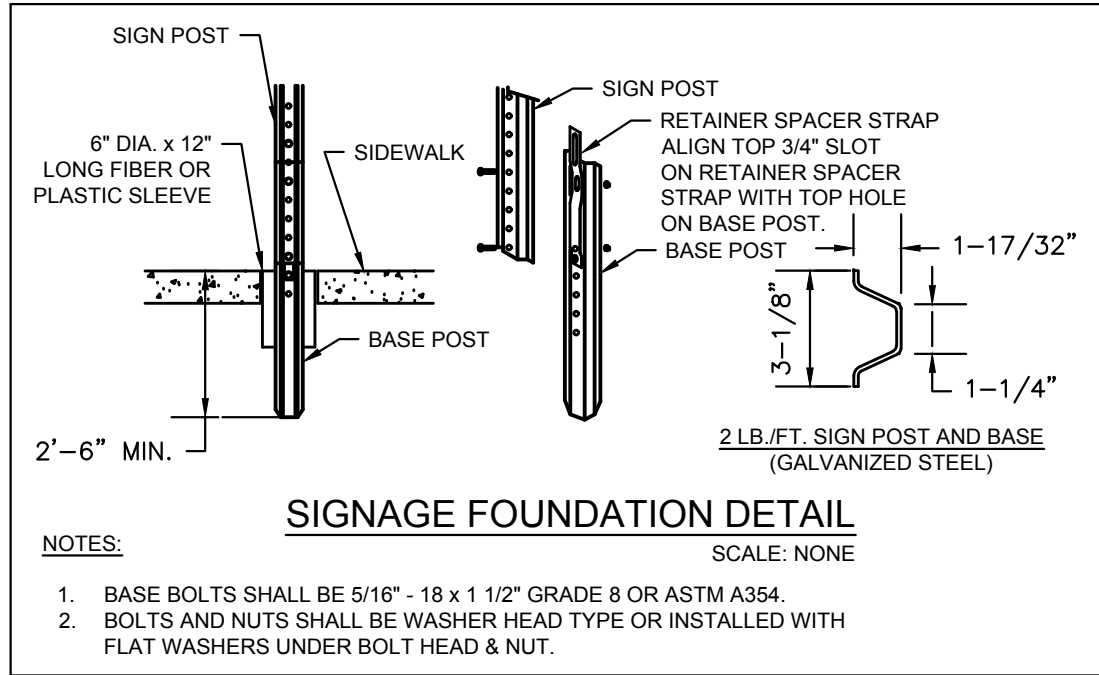
1. TRAFFIC PAINT SHALL BE PER SPECIFICATIONS.
2. PARKING SPACES AND ISLANDS PER DRIVE AISLE MAY VARY. REFER TO SITE PLAN FOR ADDITIONAL INFORMATION.
3. REFER TO SITE PLAN FOR STRIPING LAYOUT, AND EXCEPTIONS TO THIS DETAIL.



ISLAND STRIPING DETAIL
SCALE: NONE

NOTES:

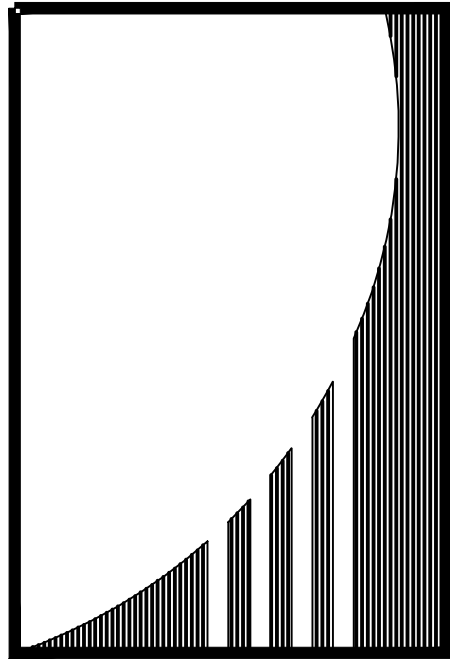
1. ISLAND STRIPING COLOR: WHITE
2. CROSSWALK COLOR: WHITE.
3. HANDICAP AREAS COLOR: BLUE.



SIGNAGE FOUNDATION DETAIL
SCALE: NONE

NOTES:

1. BASE BOLTS SHALL BE 5/16\"/>



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DETAILS

C10.0