CITY OF POWELL
Ordinance 2019-56
Exhibit A

PLANNING AND ZONING COMMISSION (P&Z)
FINAL DEVELOPMENT PLAN APPLICATION

ALL ITEMS ON THIS APPLICATION MUST BE COMPLETED.

Application Fee: $700.00 + $100.00 per acre
Per Fee Ordinance 2018-48

Applicant: Andy Johanni - Sr. VP of Development for Equity

Address/City/State/Zip: 4653 Trueman Blvd., Suite 100

Email Address: ajohanni@equity.net

Phone No: (614) 334-7789 Cell Phone No: 614-348-3564 Fax No: _____

Property Owner: Jeffrey T. Milton, Milton Properties, LLC

Address/City/State/Zip: 8930 Liberty Road, Powell, OH 43065

Email Address: _____

Phone No: _____ Cell Phone No: _____ Fax No: _____

Architect/Designer for Applicant: Thomas W. Coffey, JCKL Architects & Designers, LLC.

Address/City/State/Zip: 2713 McVey Blvd. West, Columbus,, OH. 43235

Email Address: tom@marsharchitects.com

Phone No: (614) 764-1996 Cell Phone No: (614) 562-2273 Fax No: _____

Property Address: 8930 Liberty Road, Powell, OH 43065

Lot Number/Subdivision: Lot 36 / Sect. 4 Existing Use: vacant Proposed Use: Business/Office

Reason for Administrative Review (attach necessary documents):

Checklist:

☐ Preliminary Plan requirements set forth in Section 1143.11(c) and Final Plan requirements set forth in Section 1143.11(i).

☐ Provide any other information that may be useful to the Planning and Zoning Commission or City Staff in the space below or attach additional pages.

☐ **5 copies** of all drawings, text, any other items, and application.

☐ **1 digital copy** (CD, USB, Email) of the complete application packet.

☐ Attach the required fee - $700.00 + $100.00 per acre.

☐ Post a public notice sign at least (10) days prior to a public hearing or public meeting, pursuant to ordinance 1107.035

Public notice sign details found here.

(See Over)

APPROVAL SHALL EXPIRE AND MAY BE REVOKED IF CONSTRUCTION DOES NOT BEGIN WITHIN TWO (2) YEARS FROM THE DATE OF ISSUANCE OF APPROVAL.

I agree to grant the City Staff, the Commission, Board or Council considering this application access to the property that is the subject of this application for the purposes of reviewing this application and posting public notice for this application.

Signature of Applicant: ___ _____ Date: September 20, 2019

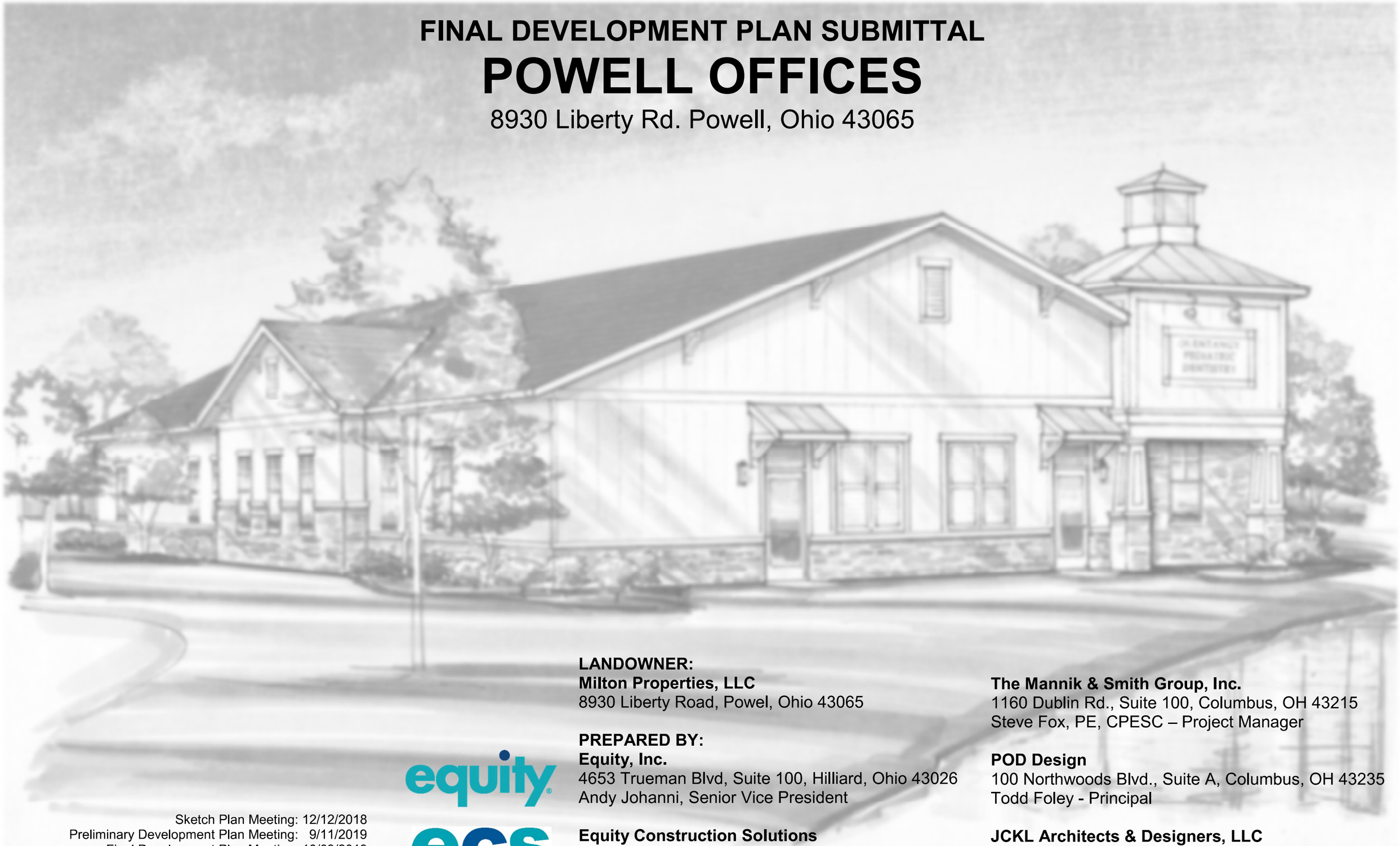
Office Use	Office Use
	Type/Date: _____
	Base Fee: $700.00
	Per Acre: $100.00X ( ) =
Received	Total: _____
	Prepared by: _____
	Reviewed by: _____
	PAYOR: _____
	RECIEPT # _____

City of Powell · 47 Hall Street · Powell, Ohio 43065 · (614) 885-5380 · (614) 885-5339 fax· www.cityofpowell.us

FINAL DEVELOPMENT PLAN SUBMITTAL

POWELL OFFICES

8930 Liberty Rd. Powell, Ohio 43065



LANDOWNER:
Milton Properties, LLC
8930 Liberty Road, Powel, Ohio 43065

PREPARED BY:
Equity, Inc.
4653 Trueman Blvd, Suite 100, Hilliard, Ohio 43026
Andy Johanni, Senior Vice President

Equity Construction Solutions
4653 Trueman Blvd., Suite 200, Hilliard, OH 43026
Shawn Boysko, Design Build Manager

The Mannik & Smith Group, Inc.
1160 Dublin Rd., Suite 100, Columbus, OH 43215
Steve Fox, PE, CPESC – Project Manager

POD Design
100 Northwoods Blvd., Suite A, Columbus, OH 43235
Todd Foley - Principal

JCKL Architects & Designers, LLC
P.O. Box 340037, Columbus, Ohio 43234
Thomas W. Coffey, Architect

Sketch Plan Meeting: 12/12/2018
Preliminary Development Plan Meeting: 9/11/2019
Final Development Plan Meeting: 10/09/2019
Powell City Council Meeting: 12/03/2019

SITE ENGINEERING PLAN
FOR
POWELL OFFICE CONDOS
8930 LIBERTY ROAD
DELAWARE COUNTY, POWELL, OH 43065
2019

PROJECT NARRATIVE

PROPOSED DEVELOPMENT AN OFFICE CONDOMINIUM DEVELOPMENT WITH A DAY-CARE FACILITY AN ASSOCIATED PARKING ON 4.44 ACRES AT THE SOUTHWEST CORNER OF LIBERTY RD AND SELDOM SEEN RD. DETENTION AND WATER QUALITY IS PROVIDED BY A WET BASIN THAT DISCHARGES TO AN EXISTING STORM SEWER FOR THE WOLFE COMMERCE PARK DRAINAGE SYSTEM.

BENCHMARKS

ALL BENCHMARKS AND ELEVATIONS SHOW UPON THIS PLAN ARE BASED ON THE (NAVD 88) NORTH AMERICAN VERTICAL DATUM OF 1988, AND WAS ESTABLISHED BY GPS OBSERVATIONS AND OBSERVATIONS OF SELECTED STATIONS IN THE OHIO DEPARTMENT OF TRANSPORTATION VIRTUAL REFERENCE STATION NETWORK.

BENCHMARK #1
WEST RIM OF SANITARY MANHOLE #4, LOCATED 48' NORTH OF SOUTH PROPERTY LINE & 7' WEST OF LIBERTY ROAD RIGHT-OF-WAY LINE.

ELEVATION=933.20

THESE MATERIALS ARE GOVERNED BY THE CITY OF COLUMBUS CONSTRUCTION AND MATERIALS SPECIFICATIONS

ESTIMATE OF QUANTITIES

ITEM	QUANTITY	UNIT	DESCRIPTION
201	LUMP	SUM	CLEARING AND GRUBBING
207	12	EA	INLET PROTECTION
207	1	EA	STABLIZED CONSTRUCTION ENTRANCE
207	1	EA	CONCRETE WASHOUT
207	1280	LF	SEDIMENT SILT FENCE
SPEC	1	EA	TEMPORARY SEDIMENT STANDPIPE & SKIMMER
604	8	EA	STANDARD CATCH BASIN AA-S133A
604	2	EA	MODIFIED CATCH BASIN AA-S133B
604	1	EA	ENDWALL AA-S169
604	2	EA	MANHOLE AA-S102
SPEC	2	EA	SANITARY SAMPLING PIT PER DCRSD DRAWING #35
901	601	LF	12" STORM SEWER PIPE WITH TYPE 1 BEDDING
901	251	LF	15" STORM SEWER PIPE WITH TYPE 1 BEDDING
901	154	LF	24" STORM SEWER PIPE WITH TYPE 1 BEDDING
915	2	EA	8" x 6" WYE FITTING

NOTE:
THE QUANTITIES LISTED HAVE NEED ESTABLISHED AS A MEANS FOR THE ENGINEER TO ESTIMATE A PRELIMINARY COST AND MAY NOT BE COMPLETE. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR DETERMINING THE REQUIRED BID QUANTITIES NECESSARY FOR THE COMPLETION OF THE PLAN IMPROVEMENTS.

UTILITY CONTACTS

STORM SEWERS
CITY OF POWELL
47 HALL STREET
POWELL, OHIO 43065
CONTACT: (614) 885-5380

GAS COMPANY
COLUMBIA GAS OF OHIO
920 W. GOODALE BLVD.
COLUMBUS, OHIO 43212
CONTACT: (800) 440-6111

WATER SERVICE
DEL-CO WATER CO., INC.
6658 OLENTANGY RIVER ROAD
DELAWRE, OHIO 43015
CONTACT: RUSTY GRIFFITH
(740) 548-7746

ELECTRIC COMPANY
AMERICAN ELECTRIC POWER
850 TECH CENTER DRIVE
GAHANNA, OHIO 43230-6605
CONTACT: (888) 710-4237

CABLE SERVICES
TIME WARNER CABLE
156 JOHNSON DRIVE
DELAWARE, OHIO 43015
CONTACT: (740) 481-5262

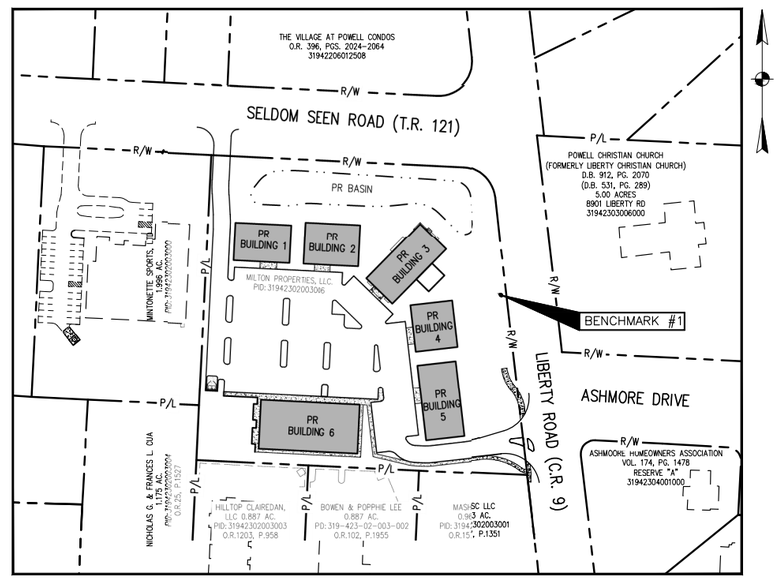
TELEPHONE SERVICE
AT&T
150 E. GAY STREET. ROOM 7B
COLUMBUS, OHIO 43215
CONTACT: (614) 223-4784

SANITARY SEWERS
DELAWARE COUNTY SANITARY ENGINEER
50 CHANNING STREET
DELAWARE, OH 43015
CONTACT: (740) 833-2240

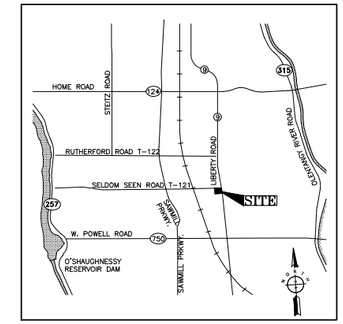
STANDARD DRAWINGS

THE STANDARD CONSTRUCTION DRAWINGS LISTED ON THESE PLANS SHALL BE CONSIDERED A PART THEREOF:

CITY OF COLUMBUS		DEL-CO WATER	DEL-COUNTY REGIONAL SANITARY
AA-S102	AA-S133B	D-1	Sa.S-1
AA-S106	AA-S141	D-2	Sa.S-15
AA-S106	AA-S149	D-4	Sa.S-16
AA-S107	AA-S150	D-5	Sa.S-30
AA-S117	AA-S151	D-6	
AA-S119	AA-S169	D-7	
AA-S133A		D-10	



INDEX MAP
SCALE: 1"=100'



LOCATION MAP
NOT TO SCALE

DEVELOPER:
EQUITY CONSTRUCTION SOLUTIONS
4653 TRUEMAN BLVD., SUITE 100
HILLIARD, OHIO 43026
CONTACT: SHAWN BOYSKO
PHONE: 614-334-7862
EMAIL: SBOYSKO@ECSBUILDS.COM

PROPERTY OWNER
MILTON PROPERTIES LLC
8930 LIBERTY ROAD
POWELL, OHIO 43065

ENGINEER
THE MANNIK & SMITH GROUP, INC.
1160 DUBLIN ROAD, SUITE 100
COLUMBUS, OHIO 43215
CONTACT: STEVEN E. FOX, PE
PHONE: 614-452-4628
EMAIL: SFOX@MANNIKSMITHGROUP.COM

SHEET INDEX

TITLE SHEET..... 1
GENERAL NOTES..... 2
MISCELLANEOUS DETAILS..... 3-4
EXISTING CONDITIONS AND DEMOLITION PLAN..... 5
SITE PLAN..... 6
UTILITY PLAN..... 7
GRADING PLAN WEST..... 8
GRADING DETAILS..... 9
DRIVE DETAILS..... 10
STORM SEWER PROFILES..... 11
STORM WATER POLLUTION PREVENTION PLAN 12
STORM WATER POLLUTION PREVENTION PLAN DETAILS..... 13
STRIPING PLAN..... 14
SURVEY..... 15

SIGNATURES BELOW SIGNIFY ONLY CONCURRENCE WITH THE GENERAL PURPOSES AND GENERAL LOCATION OF THE PROJECT. ALL TECHNICAL DETAILS REMAIN THE RESPONSIBILITY OF THE ENGINEER PREPARING THE PLANS.

MAYOR, CITY OF POWELL — DATE

CITY ENGINEER, CITY OF POWELL — DATE

DEVELOPMENT DIRECTOR, CITY OF POWELL — DATE

LIBERTY TOWNSHIP FIRE DEPT. — DATE

DEPUTY GENERAL MANAGER, DEL-CO WATER COMPANY — DATE

Mannik Smith GROUP
TECHNICAL SKILL. CREATIVE SPIRIT.
www.MannikSmithGroup.com

ENGINEER

CONTACT: STEVEN E. FOX, JR., P.E.
MAILING ADDRESS: 1160 DUBLIN ROAD, SUITE 100
COLUMBUS, OH 43215
PHONE: (614) 441-4222
EMAIL ADDRESS: SFOX@MANNIKSMITHGROUP.COM

STATE OF OHIO — STEVEN E. FOX, JR. — E-70756 — REGISTERED PROFESSIONAL ENGINEER

STEVEN E. FOX, JR. — E-70756 — 10/4/2019
OHIO REGISTERED PROFESSIONAL ENGINEER — DATE

NO.	DATE	BY	DESCRIPTION

1160 DUBLIN ROAD, SUITE 100
COLUMBUS, OH 43215
TEL: 614.441.4222
FAX: 888.488.7340

PROJECT DATE: 10/04/19
PROJECT NO: E1200022
DRAWN BY: MS
CHECKED BY: SEF

Mannik Smith GROUP — TECHNICAL SKILL. CREATIVE SPIRIT. — www.MannikSmithGroup.com

PREPARED FOR:
EQUITY CONSTRUCTION SOLUTIONS
4653 TRUEMAN BLVD., SUITE 100
HILLIARD, OH 43026

SITE IMPROVEMENT PLAN
POWELL OFFICE CONDOMINIUMS
8930 LIBERTY ROAD POWELL , OHIO 43065

TITLE SHEET

L:\Projects\Projects A-E\E1200022\CADD\-AIES\E1200022-01 TIT LE SHEET.dwg\Layout:Layout1 10/4/2019 2:12:24 PM by MSmith

GENERAL NOTES

CONSTRUCTION AND MATERIAL SPECIFICATIONS

THE REQUIREMENTS OF THE CITY OF POWELL, OEPA PERMIT OHC000002, TOGETHER WITH THE 2012 CITY OF COLUMBUS (COC) CONSTRUCTION AND MATERIAL SPECIFICATIONS AND THE 2013 OHIO DEPARTMENT OF TRANSPORTATION (ODOT) CONSTRUCTION AND MATERIAL SPECIFICATION (CMS), INCLUDING ALL SUPPLEMENTS THERETO, SHALL GOVERN ALL MATERIAL AND WORKMANSHIP INVOLVED IN THE IMPROVEMENTS SHOWN IN THESE PLANS UNLESS OTHERWISE NOTED.

THE CONTRACTOR AND SUB-CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COMPLYING WITH ALL FEDERAL, STATE AND LOCAL SAFETY REQUIREMENTS, TOGETHER WITH EXERCISING PRECAUTIONS AT ALL TIMES FOR THE PROTECTION OF PERSONS (INCLUDING EMPLOYEES) AND PROPERTY. IT IS ALSO THE RESPONSIBILITY OF THE CONTRACTOR AND SUB-CONTRACTOR TO INITIATE, MAINTAIN AND SUPERVISE ALL THE SAFETY REQUIREMENTS, PRECAUTIONS AND PROGRAMS.

CONSTRUCTION LIMITS

THE CONSTRUCTION LIMITS FOR THIS PROJECT SHALL BE CONSIDERED TO BE WITHIN THE PROPERTY.

ACCESS:

ACCESS TO ALL ADJOINING PROPERTIES SHALL BE MAINTAINED AT ALL TIMES.

STANDARD DRAWINGS

THE STANDARD DRAWINGS LISTED IN THE CONTRACT DOCUMENTS SHALL BE CONSIDERED A PART OF THESE PLANS.

EARTHWORK–GENERAL

DETERMINATION OF SITE EARTHWORK EXCAVATION AND EMBANKMENT QUANTITIES SHALL BE IN ACCORDANCE WITH THE FOLLOWING CRITERIA:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SUITABILITY OF SOILS TO BE USED AS EMBANKMENTS FOR PARKING LOTS, BUILDING PADS, ETC.

STOCKPILING OF TOP SOIL AND/OR EXCESS MATERIAL FOR THESE IMPROVEMENTS OR OFFSITE HAULING OF TOPSOIL/SUITABLE MATERIAL, ETC. SHALL BE COORDINATED WITH THE OWNER. APPROPRIATE MEANS FOR SEDIMENTATION CONTROL OF THE ONSITE STOCKPILES SHALL BE PROVIDED AS A MATTER OF GENERAL PRACTICE IN ACCORDANCE WITH THE REQUIRED STANDARDS REFERENCED AS A PART OF THE SEDIMENT AND EROSION DETAILS. IT IS THE CONTRACTORS RESPONSIBILITY TO ASSURE THAT A SUFFICIENT AMOUNT OF TOPSOIL REMAINS SO THAT ANY LANDSCAPING AND LANDSCAPE MOUNDING CAN BE COMPLETED.

SURFACE GRADING TOLERANCE FOR HARD SURFACE AREAS (PARKING LOTS, ROADWAYS, DRIVES) SHALL NOT DEVIATE MORE THAN 0.1' FROM PROPOSED SUBGRADE ELEVATION. LANDSCAPE GRADING TOLERANCE SHALL NOT DEVIATE MORE THAN 0.3' FROM PROPOSED SURFACE ELEVATION.

SPECIFICATIONS FOR GENERAL SITE EARTHWORK OPERATIONS (PREPARATION OF PAVEMENT SUBGRADES, ETC.) ALONG WITH REQUIREMENT STANDARDS (COMPACTION, PROOFROLLING, ETC.) SHALL BE IN ACCORDANCE WITH THE SOILS REPORT. COPIES OF THE SOILS REPORT, IF COMPLETE, SHOULD BE OBTAINED FROM THE OWNER OR OWNER'S REPRESENTATIVE.

ALL EARTHWORK OPERATIONS SHALL BE OBSERVED AND TESTED BY THE SITE SOILS ENGINEER EMPLOYED AND PAID FOR BY THE OWNER. ADDITIONALLY, ALL FINAL GRADES SHALL BE FIELD CHECKED BY AN AGENT OF THE OWNER UPON COMPLETION OF CONTRACTOR'S OPERATIONS TO DETERMINE IF THE SITE HAS BEEN CONSTRUCTED TO THE GRADES INDICATED.

TEMPORARY AND/OR PERMANENT SEEDING WITHIN THE DESIGNATED WORK LIMITS SHALL BE PERFORMED AT THE DIRECTION OF THE OWNER IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. REQUIREMENTS FOR SEEDING MIX, RATE OF APPLICATION, ETC. SHALL BE IN ACCORDANCE CMSC ITEM 659.

TEMPORARY SOIL EROSION AND SEDIMENT CONTROL

EROSION AND SEDIMENT CONTROL MEASURES ARE REQUIRED AS A PART OF THIS PROJECT. EROSION AND SEDIMENT CONTROL MEASURES RELATING TO THIS PROJECT DEVELOPMENT ARE INCLUDED AS A PART OF THIS IMPROVEMENT. THE EROSION AND SEDIMENTATION CONTROL REFLECTS A SCHEMATIC DIAGRAM OF THE INTENDED MEASURES FOR COMPLIANCE WITH THE REQUIRED STANDARDS. GENERAL PRACTICE AND/OR SITE FIELD CONDITIONS MAY WARRANT VARIATION IN THE PLACEMENT OR USE OF THE SPECIFIED CONTROLS.

THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR PROVIDING NECESSARY AND ADEQUATE MEASURES FOR PROPER CONTROL OF EROSION AND SEDIMENT RUNOFF FROM THE SITE ALONG WITH PROPER MAINTENANCE AND INSPECTION IN COMPLIANCE WITH THE NPDES GENERAL PERMIT FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY.

ALL LAND-DISTURBING ACTIVITIES SHALL BE SUBJECT TO INSPECTION AND SITE INVESTIGATION BY THE CITY OF POWELL AND/OR THE OHIO EPA. FAILURE TO COMPLY WITH THESE REGULATIONS IS SUBJECT TO LEGAL ENFORCEMENT ACTION.

NON–RUBBER TIRED VEHICLES

NON–RUBBER TIRED VEHICLES SHALL NOT BE MOVED ON PUBLIC STREETS, EXISTING PRIVATE ROADWAYS OR PARKING LOTS. NO EXCEPTIONS SHALL BE GRANTED.

WHERE POTENTIAL GRADE CONFLICTS MIGHT OCCUR WITH EXISTING UTILITIES AND AT LOCATIONS NOTED THUS, EXPOSE, THE CONTRACTOR WILL BE REQUIRED TO UNCOVER SUCH UTILITIES SUFFICIENTLY IN ADVANCE OF LAYING PIPE OR DUCT AND PROVIDE THE ENGINEER THE LOCATION AND ELEVATION OF SAID UTILITY SO THE ENGINEER CAN DETERMINE IF ANY ADJUSTMENTS ARE NECESSARY.

THE NOTIFICATION OF AFFECTED UTILITY OWNERS IN ADVANCE OF CONSTRUCTION AND EXACT LOCATION AND PROTECTION OF UTILITIES ARE THE RESPONSIBILITY OF THE CONTRACTOR. IF DAMAGE IS CAUSED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF THE SAME AND FOR ANY RESULTING CONTINGENT DAMAGE.

PERMITS

THE CONTRACTOR IS TO OBTAIN ALL NECESSARY PERMITS.

NO DESIGN OR MATERIAL CHANGES TO THE APPROVED FINAL ENGINEERING AND CONSTRUCTION PLAN WILL BE PERMITTED IN THE FIELD UNLESS PROPOSED BY THE CONSULTANT AND APPROVED IN WRITING BY THE CITY ENGINEER.

THE CONTRACTOR SHALL CONNECT ALL EXISTING FIELD TILES FOUND IN THE AREA TO THE PROPOSED STORM SEWER SYSTEM. THE COST FOR SUCH CONNECTIONS SHALL BE INCLUDED IN THE PRICE BID FOR VARIOUS STORM SEWER ITEMS. THE CONTRACTOR SHALL CONTACT THE CITY OF POWELL ENGINEER'S OFFICE IMMEDIATELY UPON ENCOUNTERING SUCH FIELD TILES.

THE CONTRACTOR SHALL NOTIFY CITY ENGINEER'S OFFICE (614) 885–5380 FORTY EIGHT HOURS PRIOR TO ANY CONSTRUCTION.

SITE VISIT

THE CONTRACTOR SHALL PERFORM FIELD RECONNAISSANCE TO BECOME ACQUAINTED WITH THE EXISTING SITE CONDITIONS AND THE POTENTIAL AFFECTS UPON THE WORK SCOPE. ANY PERFORMANCE OF ADDITIONAL SITE SUBSURFACE INVESTIGATIONS (TEST HOLES) SHALL BE COORDINATED IN ADVANCE WITH THE OWNER AS WARRANTED. EXCAVATED MATERIAL SHALL BE REPLACED IN A CONTROLLED MANNER TO MINIMIZE IMPACT ON FIELD EARTHWORK OPERATIONS.

RIGHTS–OF–WAY

ADDITION TO DIRECT REQUIREMENTS OF THE CONTRACT SPECIFICATIONS, THE CONTRACTOR SHALL OBSERVE AND CONFORM TO THE SPECIFIC REQUIREMENTS OF ALL RIGHTS–OF–WAY INCLUDING EASEMENTS, COURT ENTRIES, RIGHTS–OF–ENTRY OR ACTION FILED IN COURT IN ACCORDANCE WITH THE CODE OF APPLICABLE GOVERNING AGENCY. THE COST OF THE OPERATIONS NECESSARY TO FULFILL SUCH REQUIREMENTS SHALL BE INCLUDED IN THE PRICE BID FOR THE STORM SEWER IMPROVEMENT.

TRENCHES

ALL TRENCHES, EXCEPT WATER SERVICE LINES 4" DIAMETER AND UNDER, THAT CROSS PAVEMENT, WHERE THE FRONT FACE OF TRENCHES, PARALLELING THE PAVEMENT IS WITHIN 24" OF THE FACE OF CURB OR EDGE OF PAVEMENT OR WITHIN THE INFLUENCE LINE OF PAVEMENT SHALL BE BACKFILLED WITH COMPACTED GRANULAR MATERIAL AS PER ITEM 912. THE MATERIAL SHALL EXTEND LATERALLY 36" BEYOND FACE OF CURB OR EDGE OF PAVEMENT. OTHER AREAS OUTSIDE ABOVE REQUIREMENT SHALL BE COMPACTED AS PER ITEM 911 (STORM SEWER), ITEM 801.09 (WATER MAIN).

STORAGE OF EQUIPMENT AND MATERIALS

NO MATERIALS OR EQUIPMENT SHALL BE STORED WITHIN THE RIGHT–OF–WAY OR WITHIN ONE HUNDRED (100) FEET OF ANY INTERSECTING STREET OR DRIVEWAY. COMPLIANCE WITH THESE REQUIREMENTS ALONG WITH ADDITIONAL PROVISIONS OF THE CONTRACT SPECIFICATIONS SHALL NOT IN ANY WAY RELIEVE THE CONTRACTOR OF HIS LEGAL RESPONSIBILITIES OR LIABILITIES FOR THE SAFETY OF THE PUBLIC. THE CONTRACTOR SHALL INDICATE HIS INTENT WITH REGARD TO STORAGE AT THE PRECONSTRUCTION MEETING.

DUST CONTROL

THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING DUST CONTROL MEASURES IN ACCORDANCE WITH CMSC ITEM 616. DUST CONTROL OPERATIONS SHALL BE PERFORMED ON A PERIODIC BASIS AND/OR AS DIRECTED BY THE OWNER OR ENGINEER TO ALLEVIATE OR PREVENT THE DUST NUISANCE ORIGINATING WITHIN THE PROJECT WORK LIMITS. CALCIUM CHLORIDE ON AREAS TO BE SEEDED AND MULCHED WILL NOT BE PERMITTED. THE COST FOR ALL DUST CONTROL MEASURES SHALL BE INCLUDED IN THE PRICE BID FOR THE STORM SEWER IMPROVEMENTS.

UTILITY COMPANY NOTIFICATION

THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES AT LEAST TWO WORKING DAYS PRIOR TO WORK IN THE VICINITY OF THEIR UNDERGROUND AND/OR OHIO UTILITIES PROTECTION SERVICE, 811 OR 1–800–362–2764, AND PRODUCERS UNDERGROUND PROTECTION SERVICE, 1–614–587–0486.

SITE UTILITIES

CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE ROUTING OF THE PROPOSED PRIVATE UTILITY SERVICES. THE ROUTING OF THE PROPOSED PRIVATE UTILITY SERVICES SHALL BE ADJUSTED IN THE FIELD AS NEEDED TO AVOID CONFLICTS WITH EXISTING UTILITIES AND EACH OTHER.

THE CONTRACTOR SHALL EXPOSE ALL UTILITIES OR STRUCTURES PRIOR TO CONSTRUCTION TO VERIFY THE VERTICAL AND HORIZONTAL LOCATION OF THE UTILITY OR STRUCTURE AND ITS EFFECT ON THE PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL COORDINATE HIS WORK WITH THE UTILITY COMPANIES. THE LOCATION OF UTILITIES AND STRUCTURES INDICATED ON THE PLANS IS FROM INFORMATION FURNISHED BY THE UTILITY COMPANIES, FROM FIELD LOCATING DEVISES PROVIDED BY THE UTILITY COMPANY AND FROM TOPOGRAPHIC DATA OBTAINED AT THE TIME OF SURVEY WORK. THE UTILITY LOCATIONS INDICATED ARE NOT NECESSARILY COMPLETE OR CORRECT. THE LOCATION, SUPPORT, PROTECTION AND RESTORATION OF ALL UTILITIES, SERVICES, STRUCTURES AND APPURTENANCES ARE THE RESPONSIBILITY OF THE CONTRACTOR.

CONTRACTOR SHALL COORDINATE THE FINAL LOCATIONS OF THE PRIVATE UTILITY SERVICE CONNECTION POINTS AT THE BUILDING PERIMETER WITH THE MOST CURRENT APPROVED BUILDING MECHANICAL SYSTEM DRAWINGS. THE ROUTING OF THE PRIVATE UTILITY SERVICES SHALL BE FIELD ADJUSTED AS NEEDED TO MEET THE PROPOSED CONNECTION POINTS.

THE EXISTING SANITARY AND PRIVATE UTILITY LINES ARE NOT ALL SHOWN ON THE PLANS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION OF THESE LINES. PRIVATE SANITARY LINES FOR PROPERTIES BEING DEMOLISHED MUST BE LOCATED AND PROPERLY ABANDONED TO ELIMINATE POTENTIAL INFLOW AND INFILTRATION. ANY DAMAGE TO THE SERVICE LINES SHALL BE RESTORED BY THE CONTRACTOR (AS DIRECTED BY THE OWNER) AT HIS OWN EXPENSE AND SHALL BE INCLUDE IN THE UNIT PRICE BID FOR THE VARIOUS SANITARY SEWER ITEMS.

BUILDING/SITE UTILITY CONNECTIONS

THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH THE ARCHITECT AND THE MECHANICAL ENGINEER FOR THE FINAL LOCATION OF UTILITY SERVICES INTO THE BUILDING AND ANY CONNECTIONS APPURTENANCES NECESSARY BETWEEN THE BUILDING AND SITE UTILITY SERVICES.

EXISTING UTILITIES

ANY EXISTING WATERLINE, STORM SEWER, CURB OR WATERLINE OR STORM SEWER APPURTENANCE OUTSIDE THE CONSTRUCTION LIMITS DAMAGED DURING THE CONSTRUCTION OF THE PROPOSED PROJECTS, WILL BE REPLACED, AS DIRECTED BY THE CITY AND/OR OWNER AT THE CONTRACTOR'S EXPENSE.

UTILITY CROSSING

AT ALL UTILITY CROSSINGS, THE BACKFILL SHALL CONSIST OF COMPACTED GRANULAR MATERIAL BETWEEN THE DEEPER AND SHALLOWER PIPE. WHERE PROPOSED UTILITIES OR SERVICES CROSS PROPOSED OR EXISTING PAVEMENT AREAS, BACKFILL SHALL BE COMPACTED GRANULAR MATERIAL IN ACCORDANCE WITH ITEM 603 SPECIFICATIONS. COST IS TO BE INCLUDED IN THE PRICE BID FOR RELATED PIPE.

ROOF DRAINS

CONTRACTOR TO USE P.V.C. SEWER PIPE IN ACCORDANCE WITH ASTM D3034 AND WITH CMSC 720 WITH JOINTS PER ASTM D3212 FOR ROOF DRAIN PIPE. REFERENCE MECHANICAL, ELECTRICAL AND PLUMBING PLANS FOR SIZES OF ROOF DRAINS.

ALL PIPE FITTINGS FOR THE ROOF DRAINS ARE TO BE INCLUDED IN THE UNIT PRICE BID FOR ITEM SPEC. ROOF DRAINS, COMPLETE.

ALL BEDDING FOR ROOF DRAIN PIPE SHALL BE IN ACCORDANCE WITH CITY OF COLUMBUS STANDARD DRAWING AA–S149.

ROOF DRAINS SHALL BE INSTALLED PER THE SLOPE DESIGNATED IN THE PLANS. IF SLOPE IS NOT DESIGNATED ON THE PLANS ROOF DRAINS SHALL BE INSTALLED AT A 1.00% MINIMUM SLOPE.

TRAFFIC CONTROL NOTE

RELOCATION, REMOVAL AND/OR REPLACEMENT OF PERMANENT TRAFFIC CONTROL DEVICES AS A RESULT OF WORK DONE BY THE CONTRACTOR OR AS A RESULT OF NEGLIGENCE OF THE CONTRACTOR, SHALL BE AT THE CONTRACTOR'S EXPENSE.

ALL TRAFFIC CONTROL DEVICES SHALL BE FURNISHED, ERECTED, MAINTAINED AND REMOVED BY THE CONTRACTOR IN ACCORDANCE WITH THE OHIO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR CONSTRUCTION AND MAINTENANCE OPERATIONS (CURRENT EDITION) COPIES OF WHICH ARE AVAILABLE FROM THE OHIO DEPARTMENT OF TRANSPORTATION, BUREAU OF TRAFFIC, 1980 WEST BROAD STREET, COLUMBUS, OHIO 43223.

TRAFFIC NOTES

LAW ENFORCEMENT OFFICE(S) (L.E.O) SHALL BE PRESENT DURING THE SET UP AND TAKE DOWN OF TRAFFIC MAINTENANCE DEVICES ON VILLAGE PARK DRIVE. A L.E.O. SHALL ALSO BE PRESENT FOR ALL LANE CLOSURES (IF ANY) AND TRAFFIC MAINTENANCE ON VILLAGE PARK DRIVE. THE CONTRACTOR SHALL CONTACT LT. STEVE HRYTZIK AT 614–885–5005 AT LEASE 48 HOURS IN ADVANCE OF OPERATIONS TO COORDINATE L.E.O. ALL USES OF L.E.O. IS AT THE CONTRACTOR'S EXPENSE.

STEADY– BURNING TYPE "C" LIGHTS SHALL BE REQUIRED ON ALL BARRICADES, DRUMS, AND SIMILAR TRAFFIC CONTROL DEVICES IN USE AT NIGHT.

CONTRACTOR SHALL PROVIDE A DETAILED SCHEDULE OF OPERATIONS TO BE APPROVED, IN WRITING, BY THE CITY ENGINEER, PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.

THE CONTRACTOR SHALL MAINTAIN ALL PERMANENT TRAFFIC CONTROLS NOT IN CONFLICT WITH THE TEMPORARY TRAFFIC CONTROLS THROUGHOUT THIS PROJECT. PERMANENT TRAFFIC CONTROLS MAY BE TEMPORARILY RELOCATED AS APPROVED BY THE ENGINEER. THE CONTRACTOR SHALL ASSUME ALL LIABILITY FOR MISSING, DAMAGED, OR IMPROPERLY PLACES SIGNS.

ANY WORK DONE BY THE CITY OF POWELL, INCLUDING INSTALLATION, RELOCATION, REMOVAL AND/OR REPLACEMENT OF TEMPORARY TRAFFIC CONTROL DEVICES AS A RESULT OF WORK DONE BY THE CONTRACTOR, SHALL BE AT THE CONTRACTOR'S EXPENSE.

CONTRACTOR SHALL MAINTAIN TWO–WAY, TWO–LANE TRAFFIC FROM 7.00 A.M. TO 9.00 A.M. AND FROM 3.00 P.M. TO 7.00 P.M. OUTSIDE OF THESE TIMES, ONE LANE MAY BE CLOSED PER ODOT STD 97.10.

THE CITY ENGINEER RESERVES THE RIGHT TO REQUIRE ADDITIONAL TRAFFIC CONTROL WHERE/WHEN, IN THIS SOLE DISCRETION, IT IS REQUIRED. ALL TRAFFIC CONTROL (VEHICULAR OR PEDESTRIAN) SHALL BE PROVIDED BY THE DEVELOPER'S CONTRACTOR AT HIS/HER EXPENSE.

GRADING NOTES

ALL EROSION AND SEDIMENTATION CONTROL PRACTICES ARE SUBJECT TO FIELD MODIFICATIONS AT THE DISCRETION OF THE CITY OF POWELL, ENGINEER AND/OR THE OHIO EPA.

THE GENERAL CONTRACTOR IS RESPONSIBLE FOR PROVIDING EARTHWORK CALCULATIONS AND INCLUDING THE NECESSARY IMPORTING OR EXPORTING OF SOIL IN THE BASE BID.

ALL FILL PLACED FOR BUILDING PADS SHALL BE DONE SO IN ACCORDANCE WITH AND UNDER THE OBSERVATION OF A REGISTERED SOILS ENGINEER.

THE CONTRACTOR SHALL BE RESPONSIBLE TO EMPLOY THE SERVICES OF A REGISTERED SOILS ENGINEER TO ENSURE THE SUBGRADE HAS BEEN COMPACTED IN ACCORDANCE WITH CITY OF COLUMBUS CMSC ITEM 203 AND THE RECOMMENDATIONS OF THE SOILS ENGINEER.

BACKFILL OF UTILITY TRENCHES SHALL CONFORM TO THE SPECIFICATIONS, AS DELINEATED ON THE SEWER PROFILES.

RESTORATION AND CLEAN UP

INCONVENIENCE TO THE ADJACENT PROPERTY OWNERS AND TO THE TRAVELING PUBLIC SHALL BE KEPT TO AN ABSOLUTE MINIMUM. ALL WORK IS TO CONTINUE ON A UNIFORM BASIS AND ON SCHEDULE, PARTICULARLY THE RESTORATION AND CLEAN UP OF DISTURBED AREAS AFTER CONSTRUCTION.

ALL FENCES, SIGNS, DRAINAGE STRUCTURES, VALVES, LANDSCAPING, ETC. REMOVED, DISTURBED OR DAMAGED DURING WORK WITHIN PUBLIC RIGHT–OF–WAYS, EASEMENT AREAS AND/OR UNDER THE PROJECT IMPROVEMENTS SHALL BE RESTORED TO THEIR ORIGINAL CONDITION BY THE CONTRACTOR UNLESS OTHERWISE SPECIFIED.

PAYMENT FOR SAME SHALL BE INCLUDED IN THE PRICE BID FOR THE STORM SEWER IMPROVEMENT.

CONVENIENCE FACILITIES

THE CONTRACTOR SHALL FURNISH AND MAINTAIN SANITARY CONVENIENCE FACILITIES FOR THE WORKMEN AND INSPECTORS FOR THE DURATION OF THE WORK. COST SHALL BE INCLUDED IN THE PRICE BID FOR THE STORM SEWER AND GRADING IMPROVEMENTS.

MINIMUM COVER

A MINIMUM COVER OF 4 FEET OVER THE WATER LINE SHALL BE PROVIDED.

CONFINED SPACE ENTRY

THE CONTRACTOR SHALL FOLLOW THE OSHA REQUIREMENTS OF "CONFINED SPACE ENTRY, " TITLE 29 OF THE CODE OF FEDERAL REGULATIONS, PART 1910.146 WHILE PERFORMING THE REHABILITATION OF THE STORM SEWER ON THIS PROJECT.

CONNECTIONS:

ROOF DRAINS, FOUNDATION DRAINS AND ALL OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE PROHIBITED ON THIS PROJECT.

PROTECTION OF TREES:

SPECIAL CARE SHALL BE TAKEN TO AVOID DAMAGES TO TREES AND THEIR ROOT SYSTEM. MACHINE EXCAVATION SHALL NOT BE USED WHEN IT WOULD ENDANGER TREE ROOTS. THE OPERATION OF ALL EQUIPMENT, PARTICULARLY WHEN EMPLOYING BOOMS, THE STORAGE OF MATERIALS, AND THE DEPOSITION OF EXCAVATION, SHALL BE CONDUCTED IN A MANNER WHICH WILL NOT INJURE TREES, TRUNKS, BRANCHES OR THEIR ROOTS UNLESS SUCH TREES ARE DESIGNATED BY THE COUNTY'S REPRESENTATIVE FOR REMOVAL.

PRESERVATION OF PROPERTY CORNERS AND SURVEY MARKERS:

THE CONTRACTOR SHALL CAREFULLY PRESERVE BENCH MARKS, PROPERTY CORNERS, REFERENCE POINTS, STAKES AND OTHER SURVEY REFERENCE MONUMENTS OR MARKERS. IN CASES OF WILLFUL OR CARELESS DESTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORATIONS. RESETTING OF MARKERS SHALL BE PERFORMED BY AN OHIO PROFESSIONAL SURVEYOR AS APPROVED BY THE CITY ENGINEER AT THE CONTRACTOR'S EXPENSE.

MINIMUM VERTICAL CLEARANCE

A MINIMUM VERTICAL CLEARANCE OF 1 FOOT SHALL BE PROVIDED BETWEEN THE PROPOSED WATER MAIN AND EXISTING UTILITIES OR STRUCTURES, UNLESS OTHERWISE NOTED ON THE PLANS.

ACCESSIBILITY

ALL SIDEWALKS AND CURB RAMPS SHALL BE ADA COMPLIANT.

PUBLIC STORM SEWERS

ALL STORM WATER SEWERS WITHIN PUBLIC RIGHT OF WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE CITY OF POWELL AND SHALL FOLLOW CITY OF COLUMBUS CONSTRUCTION AND MATERIAL SPECIFICATIONS (2012 EDITION OR LATEST), INCLUDING ALL SUPPLEMENTS THERETO UNLESS OTHERWISE SPECIFIED.

BACKFILLING

ALL TRENCHES MUST BE BACKFILLED OR SECURELY PLATED DURING NON–WORKING HOURS. MATERIAL USED IN ALL TRENCHES LOCATED UNDER PROPOSED OR EXISTING PAVEMENT SHALL BE ACCORDING TO PLAN. IF PLAN DOES NOT SPECIFY MATERIAL, COMPACTED GRANULAR MATERIAL SHALL BE USED. COMPACTION EFFORTS SHALL COMPLY WITH ITEM 603.

DETENTION BASIN AND SURROUNDING BERMS

1. ALL FILL MATERIALS TO BE USED FOR THE DETENTION BASIN EMBANKMENT SHALL BE TAKEN FROM BORROW AREAS APPROVED BY THE ON–SITE GEOTECHNICAL ENGINEER. ALL FILL SHALL BE CLEAN CLAY MATERIAL. THE FILL MATERIAL SHALL BE FREE FROM ROOTS, STUMPS, WOOD, STONES GREATER THAN 6", ORGANIC SOILS, AND FROZEN OR OBJECTIONABLE MATERIAL.

2. FILL PLACEMENT SHALL NOT EXCEED A MAXIMUM 8" LIFT. EACH LIFT SHALL BE CONTINUOUS FOR THE ENTIRE LENGTH OF EMBANKMENT. BEFORE PLACEMENT OF FILL FOR THE BERM SECTION, ALL UNSUITABLE MATERIAL SHALL BE REMOVED AND THE SURFACE PROPERLY PREPARED FOR FILL PLACEMENT.

3. ALL FILL SOILS USED IN THE EMBANKMENT / KEY TRENCH CONSTRUCTION SHALL BE COMPACTED TO AT LEAST 95% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM–698). THE FILL SOILS SHALL BE COMPACTED AT A MOISTURE CONTENT WITHIN –1 TO +3 PERCENT OF ITS OPTIMUM MOISTURE CONTENT. SOIL PERMEABILITY COEFFICIENT (K) SHALL BE NO GREATER THAN 10 . COMPACTION TESTS SHALL BE PERFORMED BY THE ON–SITE GEOTECHNICAL ENGINEER DURING CONSTRUCTION TO VERIFY THAT THE PROPER COMPACTION LEVEL HAS BEEN REACHED. THE FILL SHOULD BE COMPACTED USING A SHEEPSFOOT TYPE COMPACTOR. IN ORDER TO PREVENT DAMAGE TO THE PIPE, NO COMPACTION EQUIPMENT SHALL CROSS ANY PIPE UNTIL MINIMUM COVER IS ESTABLISHED ALONG THE PIPE.

4. A KEY TRENCH SHALL BE PROVIDED BENEATH ALL FILL AREAS OF THE BERM. THE TRENCH SHALL EXTEND A MINIMUM OF 5 FT BELOW THE EXISTING GRADE AND SHALL HAVE A MINIMUM BOTTOM WIDTH OF 5 FEET. THE ACTUAL DEPTH OF THE TRENCH SHALL BE DETERMINED BY THE GEOTECHNICAL ENGINEER. THE KEY TRENCH SIDESLOPES SHALL BE A MINIMUM OF 1:1 (H:V). THE KEY TRENCH SHALL BE COMPACTED TO THE SAME SPECIFICATION LISTED IN ITEM 2 ABOVE.

5. UPON REQUEST, THE CONTRACTOR SHALL PROVIDE THE ENGINEER WITH REPORTS TO VERIFY THAT THE DETENTION BASIN EMBANKMENT MEETS THE SPECIFIED COMPACTION REQUIREMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE COMPACTION TESTS ARE PROPERLY PERFORMED DURING CONSTRUCTION.

DEL–CO WATER COMPANY WATERLINE NOTES

1. GENERAL NOTES AS MODIFIED BY DEL–CO AND SHOWN ON THE APPROVED CONSTRUCTION DRAWINGS SHALL SUPERSEDE THE REQUIREMENTS OF THE DEL–CO WATER COMPANY CONSTRUCTION STANDARDS MANUAL WHEREVER DISCREPANCIES OCCUR.

2. STANDARD GENERAL NOTES:
   A. WATER LINE DESIGN, MATERIALS, AND INSTALLATION METHODS SHALL CONFORM TO APPLICABLE SECTIONS OF RECOMMENDED STANDARDS FOR WATER WORKS (TEN STATES STANDARDS), AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARDS, AND THE DEL–CO WATER COMPANY CONSTRUCTION STANDARDS MANUAL. CONTRACTOR SHALL OBTAIN A COPY OF THE STANDARDS AND HAVE IN THEIR POSSESSION AT ALL TIMES DURING CONSTRUCTION. COORDINATE WORK WITH DEL–CO WATER (740) 548–7746.
   B. DEL–CO.'S SIGNATURE ON THIS PLAN SIGNIFIES ONLY CONCURRENCE WITH THE GENERAL PURPOSE AND LOCATION OF THE PROPOSED WATER LINE IMPROVEMENTS. ALL TECHNICAL DETAILS REMAIN THE RESPONSIBILITY OF THE PROFESSIONAL ENGINEER WHO PREPARED AND CERTIFIED THESE PLANS. DEL–CO WATER COMPANY TAKES NO RESPONSIBILITY, FINANCIAL OR OTHERWISE, REGARDING ERRORS IN THIS PLAN.
   C. CORRECTION OF ERRORS SHALL BE TO THE APPLICABLE DEL–CO WATER COMPANY STANDARD, AND THE SOLE RESPONSIBILITY OF THE DEVELOPER. ALL CORRECTIONS, OR REVISIONS THAT AFFECT DEL–CO.'S WATER LINE PLANS, DIRECTLY OR INDIRECTLY SHALL BE SUBMITTED TO, AND APPROVED BY DEL–CO WATER COMPANY PRIOR TO REVISIONS BEING ISSUED.
   D. GPS COORDINATES SHALL BE PROVIDED TO DEL–CO WATER AT THE COMPLETION OF THE WATERLINE INSTALLATION. THESE COORDINATES SHALL INCLUDE ALL MATERIALS, EQUIPMENT AND LABOR NECESSARY TO OBTAIN HORIZONTAL AND VERTICAL (NORTHING, EASTING AND ELEVATION) SURVEY COORDINATES FOR THE WATER MAIN IMPROVEMENTS. THE SURVEY COORDINATES SHALL BE OBTAINED AT THE COMPLETION OF THE WATER MAIN INSTALLATION AND SHALL INCLUDE ALL VALVES, TEES, FIRE HYDRANTS, BENDS, PLUGS, REDUCERS, TAPPED TEES, CURB STOPS, AIR RELEASES, 2" END OF LINE FIRE HYDRANTS, ENDS OF CASING PIPE, SERVICE SADDLES AND CORPORATIONS. ADDITIONAL GPS COORDINATES ARE REQUIRED ON THE WATER MAIN EVERY 200' WHERE NO FITTINGS OR SERVICE SADDLES ARE TO BE INSTALLED.
      I. GPS COORDINATES SHALL BE REFERENCED TO THE APPLICABLE COUNTY ENGINEER'S MONUMENTS AND SHALL BE BASED ON THE NORTH AMERICAN DATUM OF 1983 (NAD 83) WITH THE NSRS2007 ADJUSTMENT, WITH FURTHER REFERENCE MADE TO THE OHIO STATE PLANE NORTH COORDINATE SYSTEM, NORTH ZONE, WITH ELEVATIONS BASED ON NAVD 88 DATUM. ALL COORDINATES (NORTHING, EASTING AND ELEVATION) SHALL BE REFERENCED TO THE NEAREST HUNDREDTH. ALL SURVEY COORDINATES SHALL BE ACCURATE TO WITHIN 0.6 FOOT OR LESS HORIZONTAL AND VERTICAL.
      II. THE GPS COORDINATES SHALL BE SUBMITTED TO THE DEL–CO WATER ENGINEERING DEPARTMENT IN DIGITAL SPREADSHEET FORM AND SHALL INCLUDE THE APPLICABLE ITEM, STATION, NORTHING, EASTING AND ELEVATION COORDINATES. THE ABOVE LISTED GPS COORDINATE INFORMATION SHALL BE SUBMITTED TO THE DEL–CO WATER ENGINEERING DEPARTMENT AS PART OF THE AS–BUILT DRAWING SUBMITTAL.
   E. AS–BUILT DRAWINGS ARE REQUIRED FOLLOWING THE COMPLETION OF CONSTRUCTION. ONE SET OF DRAWINGS MARKED "AS–BUILT" SHALL BE SUBMITTED BY THE DEVELOPER TO DEL–CO'S INSPECTION DEPARTMENT FOR REVIEW AND APPROVAL. WATER MAINS CANNOT RECEIVE A FINAL ACCEPTANCE UNTIL AS–BUILT DRAWINGS HAVE BEEN APPROVED. PLEASE NOTE: TAPS MAY NOT BE PURCHASED NOR INSTALLED UNTIL WATER LINES HAVE RECEIVED A FINAL ACCEPTANCE
   F. WATER MAINS SHALL BECOME THE OWNERSHIP OF DEL–CO WATER UPON FINAL ACCEPTANCE.
   G. WATER LINE CONSTRUCTION PLANS ARE APPROVED FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE APPROVAL LETTER OR SIGNED PLANS. IF CONSTRUCTION HAS NOT STARTED WITHIN ONE YEAR OF THE DATE OF APPROVAL, PLANS SHALL BE RESUBMITTED TO DEL–CO WATER COMPANY FOR APPROVAL.

3. WATER LINE CONSTRUCTION:
   A. WATER LINES SHALL BE NSF 61 APPROVED, AND COMPLIANT WITH ASTM D2241 & OHIO EPA ENG–08–001 STANDARDS.
   B. USE THE FOLLOWING TYPE AND CLASS OF PIPE UNLESS OTHERWISE INDICATED ON THE DRAWINGS:
      I. 2–INCH WATER LINE PIPE: CLASS 200 SDR 21 YELOMINE PVC (RESTRAINED JOINT).
      II. 4–INCH WATER LINE PIPE: CLASS 200 SDR 21 PVC.
      III. 6–INCH WATER LINE PIPE: CLASS 200 SDR 21 PVC.
      IV. 8–INCH TO 12–INCH WATER LINE PIPE: CLASS 160 SDR 26 PVC.
      V. 16–INCH AND LARGER WATER LINE PIPE: AWWA C151 CLASS 52 DIP.
      VI. 4–INCH PIPE AND LARGER USED FOR FIRE SERVICE: AWWA C900 DR 18 (150 PSI) PVC.
      VII. ALL SIZES OF DEL–CO–OWNED WATER LINES USED ON MASTER METER PROJECTS: CLASS 200 SDR 21 PVC.
   C. ALL FITTINGS SHALL BE MECHANICAL JOINT CONFORMING TO AWWA C153.
   D. CROSSES SHALL NOT BE USED WITHOUT APPROVAL OF DEL–CO WATER COMPANY.
   E. ALL VALVES SHALL BE MECHANICAL JOINT CONFORMING TO AWWA WITH AISI 304 STAINLESS STEEL EXTERNAL HARDWARE. VALVES 12–INCH AND SMALLER SHALL BE RESILIENT–SEATED GATE VALVES PER AWWA C509 AND VALVES 16–INCH AND LARGER SHALL BE PRATT GROUNDHOG BUTTERFLY VALVES PER AWWA C504.
   F. PROVIDE HEAVY–DUTY VALVE BOXES ON ALL HOT–TAPS AND AT VALVES LOCATED UNDER GRAVEL OR PAVEMENT SURFACES.
   G. TOP OF VALVE BOX SHALL BE FLUSH WITH FINISHED GRADE IN PAVED AREAS, AND 4 INCHES ABOVE FINISHED GRADE IN NON–PAVED AREAS.
   H. MAINTAIN A MINIMUM 10–FOOT HORIZONTAL AND 1.5–FOOT VERTICAL SEPARATION BETWEEN WATER LINES AND SANITARY AND STORM SEWERS.
   I. ALL OTHER BURIED UTILITIES SHALL MAINTAIN A MINIMUM 5–FOOT HORIZONTAL SEPARATION, AND 2–FOOT VERTICAL SEPARATION FROM THE CENTERLINE OF WATER LINES AS FINALLY LAID AND CONSTRUCTED.
   J. PROVIDE CONCRETE THRUST BLOCKING FOR ALL FITTINGS, VALVES, ANCHOR TEES, AND HYDRANTS.
   K. BURY WATER LINES A MINIMUM DEPTH OF 48–INCHES TO THE TOP OF PIPE.
   L. ALL ENGINEERED FILL TO BE PLACED OVER OR UNDER DEL–CO WATER LINES SHALL BE IN PLACE PRIOR TO THE CONSTRUCTION OF THE WATER LINES.
   M. PLACE A 5–FOOT STEEL FENCE POST OR 4"X4" WOOD POST AT VALVES AND THE ENDS OF LINES. PAINT BLUE.
   N. TRACER WIRE:
      I. INSTALL COPPERHEAD® OR EQUAL 12–GAUGE HIGH STRENGTH 452LB BREAK STRENGTH
      30 MIL HDPE JACKET, COPPER–CLAD, STEEL REINFORCED TRACER WIRE ON ALL WATER MAIN AND SERVICE LINES INSTALLED BY TRENCHING METHODS.
      II. INSTALL COPPERHEAD® OR EQUAL 12–GAUGE EXTRA HIGH STRENGTH 1150LB BREAK STRENGTH 45 MIL HDPE JACKET, COPPER–CLAD, STEEL REINFORCED TRACER WIRE ON ALL WATER MAIN AND SERVICE LINES INSTALLED BY BORING METHODS.
      III. FASTEN WIRE TO PIPE IN TWO PLACES PER PIPE SECTION. EXTEND TRACER WIRE TO GROUND SURFACE AT ALL VALVES AND HYDRANTS AS SHOWN IN THE DEL–CO STANDARD DETAIL. SPLICE WIRES USING BURNDY COPPER SPLIT BOLT KS–15. THOROUGHLY WRAP THE CONNECTOR AND BARE WIRES WITH 3M TEMFLEX 2155 RUBBER SPLICING TAPE, COVER ENTIRE CONNECTION WITH SCOTCH SUPER 88 HEAVY DUTY GRADE ELECTRICAL TAPE.
      IV. CONNECT ALL SERVICE LINE WIRES TO MAIN LINE WIRES USING BURNDY COPPER SPLIT BOLT KS–15. THOROUGHLY WRAP THE CONNECTOR AND BARE WIRES WITH 3M TEMFLEX 2155 RUBBER SPLICING TAPE, COVER ENTIRE CONNECTION WITH SCOTCH SUPER 88 HEAVY DUTY GRADE ELECTRICAL TAPE.
      V. CONTRACTOR SHALL TEST THE CONTINUITY OF ALL WIRE USING A THIRD–PARTY TESTER.
         1. CONTRACTOR SHALL CONTACT DEL–CO.'S INSPECTION DEPARTMENT A MINIMUM OF 24 HOURS PRIOR TO TEST.
         2. TESTER SHALL SEND A SIGNED REPORT TO DEL–CO WATER INSPECTION DEPARTMENT AFFIRMING ALL WIRE HAS CONTINUITY.
         3. CONTRACTOR SHALL REPAIR ALL DEFICIENCIES.

4. WATER SERVICE CONSTRUCTION (BETWEEN MAIN LINE AND METER PIT):
   A. ALL WATER SERVICES SHALL BE CONSTRUCTED AND INSTALLED PER AWWA C800.
   B. FOR METERS 1–INCH AND SMALLER, USE 1–INCH CLASS 200 SDR 7 IRON PIPE SIZE (IPS) POLYETHYLENE PIPE.
   C. CONNECTIONS TO PVC PIPE SHALL BE MADE WITH APPROVED TAPPING SADDLE AND CORPORATION STOP PER DEL–CO SUBDIVISION CONSTRUCTION STANDARDS MANUAL.
   D. CONNECTIONS TO DIP SHALL BE BY DIRECT TAP OR SADDLE AND APPROVED CORPORATION STOP PER DEL–CO SUBDIVISION CONSTRUCTION STANDARDS MANUAL.
   E. PROVIDE A CURB STOP WITH 1–INCH FEMALE IRON PIPE THREADS ON THE CUSTOMER SIDE AT THE END OF SERVICE LINES. LOCATE AT ROW, BUT A MINIMUM OF FIVE FEET FROM EDGE OF SIDEWALK UNLESS OTHERWISE APPROVED OR DIRECTED BY DEL–CO.
   F. ALL SERVICE LINE VALVES 1½–INCH AND LARGER SHALL BE MECHANICAL JOINT GATE VALVES, RESTRAINED WITH DUCT–LUGS AND GALVANIZED ALL THREAD ROD, OR ANCHOR TEES WHERE APPLICABLE.
   G. MINIMUM DEPTH OF COVER SHALL BE 48 INCHES.
   H. PLACE A 5–FOOT STEEL FENCE POST OR 4"X4" WOOD POST AT THE ENDS OF ALL SERVICE LINES, PAINT BLUE.
   I. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SPECIAL BACKFILL MATERIAL FOR ALL LINES, INCLUDING THOSE INSTALLED BY DEL–CO WATER COMPANY, WHERE REQUIRED BY THE COUNTY OR CITY ENGINEER.

5. FIRE HYDRANTS:
   A. FIRE HYDRANTS SHALL CONFORM TO AWWA C502 FOR DRY BARREL HYDRANTS.
   B. MAIN VALVE: 5.25–INCH COMPRESSION.
   C. NOZZLES:
      I. THREADING: CONFORM TO NFPA NATIONAL STANDARD FIRE HOSE THREADS.
      II. 4.5–INCH STEAMER, EXCEPT IN THE FOLLOWING LOCATIONS PROVIDE AN INTEGRAL STORZ CONNECTION; HARRINGTON HIHS50 OR EQUAL: BERKSHIRE, BERLIN, CONCORD, GENOA, KINGSTON, LIBERTY, ORANGE, PORTER, TRENTON, AND SCIOTO TOWNSHIPS; CITY OF POWELL; AND THE VILLAGES OF SUNBURY AND GALENA.
      III. TWO 2.5–INCH HOSE CONNECTIONS.
   D. INLET CONNECTION: 6–INCH MECHANICAL JOINT.
   E. OPERATING NUT: 1.5–INCH PENTAGON, TURN COUNTERCLOCKWISE TO OPEN.
   F. EXTENSIONS AND PARTS: SHALL BE MANUFACTURED BY THE ORIGINAL EQUIPMENT MANUFACTURER.
   G. APPROVED MANUFACTURERS: MUELLER SUPER CENTURION 200, AMERICAN FLOW CONTROL B–84–B, CLOW MEDALLION, M&H MODEL 129M, AVK NOSTALGIC 2780, OR KENNEDY GUARDIAN K81D.
   H. PAINTING: REPAINT ALL HYDRANTS AFTER INSTALLATION PER DEL–CO SUBDIVISION CONSTRUCTION STANDARDS MANUAL SECTION 02731, PART 2.06.
      I. LIBERTY TOWNSHIP, POWELL, AND VILLAGE OF SUNBURY: SAFETY RED.
      II. OTHER TOWNSHIPS: SAFETY YELLOW
      III. FIRE HYDRANTS LOCATED ON PRIVATE WATER LINES SHALL BE PAINTED INDUSTRIAL GREEN.

6. DISINFECT ALL WATER LINES IN ACCORDANCE WITH AWWA C651 AND DEL–CO SPECIFICATIONS.

7. ALL PIPE INSTALLATION AND PRESSURE TESTING SHALL BE IN ACCORDANCE WITH AWWA C600 FOR DUCTILE IRON PIPE AND C605 FOR PLASTIC PIPE, AND DEL–CO SPECIFICATIONS.
   A. CONTRACTOR SHALL PROVIDE ALL EQUIPMENT NECESSARY TO PERFORM PRESSURE TEST.
   B. SCHEDULE TEST BETWEEN 8:00 AM AND 2:00 PM WEEKDAYS. NOTIFY DEL–CO 24 HOURS PRIOR TO TEST.

8. OBTAIN WRITTEN APPROVAL OF MATERIAL AND MANUFACTURERS LIST FROM DEL–CO WATER PRIOR TO BEGINNING CONSTRUCTION.

9. PROVIDE CASING PIPE FOR ALL ROAD CROSSINGS UNLESS OTHERWISE APPROVED BY DEL–CO. CASING PIPE SHALL BE STEEL PIPE WITH 0.375–INCH WALL THICKNESS, OR PVC C900 FOR WATER LINES 12–INCH DIA. OR LESS. CASINGS FOR WATER LINES LARGER THAN 12–INCH DIA. MAY BE AWWA C905.

10. EASEMENTS SHALL BE PROVIDED TO DEL–CO WATER BEFORE PERMISSION WILL BE GIVEN TO MAKE NEW SERVICE LINE CONNECTIONS.

11. CONNECTIONS TO EXISTING WATER LINES WILL BE MADE BY DEL–CO WATER AT THE CONTRACTOR'S EXPENSE, OR PERFORMED BY CONTRACTORS WHO ARE APPROVED FOR MAKING CONNECTIONS. NOTIFY ALL PROPERTY OWNERS, AND DEL–CO WATER, IN WRITING 48 HOURS BEFORE STARTING CONSTRUCTION.

12. CONTRACTOR SHALL EXCAVATE TO DETERMINE THE LOCATION AND DEPTH OF EXISTING WATER LINES WHEREVER COVER OVER THE WATER LINES IS BEING REDUCED. IF THE FINAL DEPTH OF THE WATERLINE WILL BE BELOW DEL–CO WATER STANDARDS, CONTRACTOR SHALL SUBMIT A RELOCATION PLAN FOR APPROVAL BY DEL–CO WATER, AND RELOCATE THE WATER LINE AT THEIR EXPENSE.

13. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING THE WATER LINE PRIOR TO FINAL ACCEPTANCE BY DEL–CO WATER, AND REPAIRING ALL DAMAGES FROM CONSTRUCTION ACTIVITY.

14. DO NOT FILL NEW WATER LINES UNTIL APPROVED BY DEL–CO WATER CO.

15. BOOSTER PUMPS ARE NOT ALLOWED ON INDIVIDUAL SERVICES.

16. ALL WATER MAINS, INCLUDING THOSE NOT DESIGNED TO PROVIDE FIRE PROTECTION, SHALL BE SIZED FOLLOWING AN ANALYSIS BASED ON FLOW DEMANDS, AND PRESSURE REQUIREMENTS. THE SYSTEM SHALL BE DESIGNED TO MAINTAIN A MINIMUM PRESSURE OF 20 PSI AT GROUND LEVEL AT ALL POINTS IN THE DISTRIBUTION SYSTEM UNDER ALL DESIGNED FLOW CONDITIONS. NORMAL WORKING PRESSURE IN THE DISTRIBUTION SYSTEM SHALL NOT BE LESS THAN 35 PSI.

PRE CONSTRUCTION MEETING

A PRE CONSTRUCTION MEETING SHALL BE HELD AT THE CITY ENGINEER'S OFFICE AT LEAST 15 CALENDAR DAYS BEFORE ANY WORK IS BEGUN. REPRESENTATIVES OF THE OWNER, DESIGN ENGINEER AND THE CONTRACTOR SHALL BE IN ATTENDANCE,

AS–BUILT PLANS

PRIOR TO CONSIDERATION OF CONDITIONAL CERTIFICATE OF OCCUPANCY THE DEVELOPER/OWNER SHALL PROVIDE THE CITY WITH AN "AS BUILT" SURVEY OF IMPROVEMENTS, INCLUDING THE STORM WATER MANAGEMENT SYSTEM (INCLUDING RETENTION/DETENTION AREAS AND APPURTENANCES) AND ALL CRITICAL GRADE ELEVATIONS DEPICTING THAT THE OVERALL MAJOR STORM ROUTINGS FUNCTION PER THE APPROVED PLAN AND AS INTENDED. THE SURVEY SHALL BE COMPLETED BY A REGISTERED PROFESSIONAL SURVEYOR.

SANITARY NOTES

ALL SANITARY SEWERS SHALL BE VITRIFIED CLAY PIPE MEETING THE REQUIREMENTS OF ASTM C700 OR PVC PIPE MEETING THE REQUIREMENTS OF ATSM D–1784 AND D–3034, SDR–35.

THE CONTRACTOR SHALL COOPERATE WITH THE DELAWARE COUNTY SANITARY ENGINEER AND SHALL PROVIDE ALL NECESSARY EQUIPMENT TO PERFORM ALL TESTING.

ALL SANITARY SEWER LINES INSTALLED ON THIS PROJECT USING PVC PIPE WILL BE SUBJECTED TO DEFLECTION TESTING BY PULLING AN APPROVED MANDREL. ACCEPTABLE DEFLECTION VERSES TIME CRITERIA ARE LOCATED IN SECTION 5.5 OF THE DELAWARE COUNTY STANDARD PLANS AND SPECIFICATIONS FOR CONSTRUCTION OF SANITARY FACILITIES.

SEWER TRENCHES SHALL BE DE–WATERED TO 2" BELOW BELL OF PIPE PRIOR TO INSTALLATION OF PIPE.

ANY FIELD TILE DISTURBED DURING CONSTRUCTION SHALL BE REPLACED AS DIRECTED BY THE COUNTY, WITH ABS PIPE SPANNING THE TRENCH. THE TRENCH SHALL BE FILLED WITH COMPACTED GRANULAR MATERIAL. THE CITY OF POWELL ENGINEER SHALL BE CONTACTED IMMEDIATELY WHEN A FIELD TILE IS ENCOUNTERED.

ROOF DRAINS, FOUNDATION DRAINS AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER ARE PROHIBITED BY THIS PROJECT.

SANITARY SEWERS SHALL BE TESTED BY THE EXFILTRATION METHOD. ALLOWABLE LEAKAGE SHALL NOT EXCEED 100 GALLONS PER INCH DIAMETER PER MILE OF PIPE PER 24 HOURS. CONTRACTOR SHALL COOPERATE WITH DELAWARE COUNTY SANITARY ENGINEER AND PROVIDE ALL NECESSARY EQUIPMENT TO PERFORM SEWER TEST.

ALL SEWER LINES WILL BE SUBJECTED TO DEFLECTION TESTING BY PULLING AN APPROVED MANDREL EQUAL IN DIAMETER TO 95% OF THE PIPE AFTER PIPE IS BACK FILLED AND A SUFFICIENT AMOUNT OF THE TIME IS ALLOWED FOR WEIGHT TRANSFER OF THE BACK FILL TO THE PIPE AND BEDDING.

THE CONTRACTOR AND SUB–CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COMPLYING WITH ALL FEDERAL, STATE AND LOCAL SAFETY REQUIREMENTS, TOGETHER WITH EXERCISING PRECAUTIONS AT ALL TIMES FOR THE PROTECTION OF PERSONS (INCLUDING EMPLOYEES) AND PROPERTY. IT IS ALSO THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND SUB–CONTRACTOR TO INITIATE, MAINTAIN AND SUPERVISE ALL SAFETY REQUIREMENTS, PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.

THE CONTRACTOR SHALL PROVIDE AND INSTALL WYE POLES AT ALL WYE LOCATIONS AS CONSTRUCTED. WYE POLE SHALL EXTEND ABOVE EXISTING OR PROPOSED GRADE WHICHEVER IS HIGHER AT A MINIMUM OF 2'–0".

6" SERVICE RISERS SHALL BE INSTALLED WHERE DEPTH FROM WYE FITTING TO THE EXISTING OR PROPOSED SURFACE ELEVATION EXCEEDS 10 FEET. TOP OR RISER SHALL BE 9 FEET BELOW EXISTING OR PROPOSED SURFACE ELEVATION WHICHEVER IS HIGHER.

THE COST FOR ALL COMPACTED BACK FILL SHALL BE INCLUDED IN THE PRICE BID FOR VARIOUS ITEMS.

FINISHED GRADE AT SANITARY SEWER MANHOLES SHALL BE SIX INCHES (6") BELOW THE TOP OF CASTING TO AVOID UNNECESSARY INFILTRATION INTO THE SANITARY SEWER SYSTEM.

NO CONNECTION SHALL BE MADE TO THE RECEIVING SANITARY SEWER SYSTEM UNTIL THIS PROJECT HAS BEEN FULLY INSTALLED, TESTED AND APPROVED.

NO.	DATE	BY	DESCRIPTION

Mannik Smith GROUP
TECHNICAL SKILL. CREATIVE SPIRIT.
www.MannikSmithGroup.com
1160 DUBLIN ROAD, SUITE 100
COLUMBUS, OH 43215
TEL: 614.441.4222
FAX: 888.488.7340

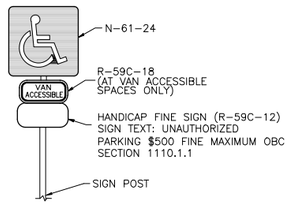
PROJECT DATE: 10/04/19
PROJECT NO: E1200022
DRAWN BY: MS
CHECKED BY: SEF

PREPARED FOR:
EQUITY CONSTRUCTION SOLUTIONS
4653 TRUEMAN BLVD., SUITE 100
HILLIARD, OH 43026

SITE IMPROVEMENT PLAN
POWELL OFFICE CONDOMINIUMS
8930 LIBERTY ROAD POWELL , OHIO 43065

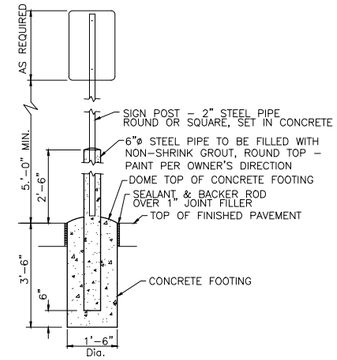
GENERAL NOTES

L:\Projects\Projects A-E\E1200022\CADD\PLANS\E1200022 02 GENERAL NOTES.dwgLast printed 9/30/2019 5:22 PM by PValerius

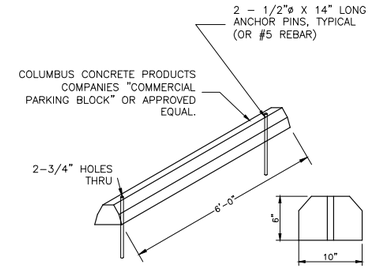


NOTE:
HANDICAP PARKING SIGN SHALL CONFORM WITH CURRENT STATE AND LOCAL CODES AND REGULATIONS.

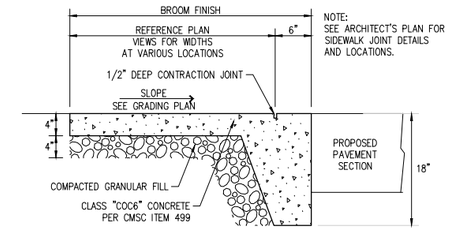
HANDICAP PARKING AND VAN ACCESSIBLE SIGN
NOT TO SCALE



TYPICAL SIGN POST IN PAVEMENT
NOT TO SCALE



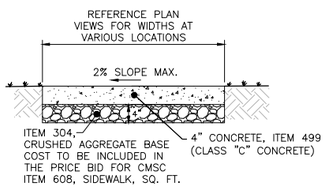
PARKING BLOCK DETAIL
NOT TO SCALE



NOTE:
SEE ARCHITECT'S PLAN FOR SIDEWALK JOINT DETAILS AND LOCATIONS.

NOTE: SIDEWALK JOINTS SHALL BE IN ACCORDANCE WITH CMSC ITEM 608.03 UNLESS OTHERWISE DETAILED AS A PART OF THE BUILDING OR LANDSCAPE ARCHITECT PLANS.

FLUSH COMBINED CURB AND WALK
NOT TO SCALE



ALL WORK SHALL BE DONE IN ACCORDANCE WITH CMS ITEM 608.

SIDEWALK JOINTS (PRICE SHALL BE INCLUDED W/ITEM 608) SHALL BE IN ACCORDANCE WITH CMS ITEM 608.03 UNLESS OTHERWISE DETAILED AS A PART OF THE ARCHITECTURAL PLANS.

TYPICAL SIDEWALK SECTION
NOT TO SCALE

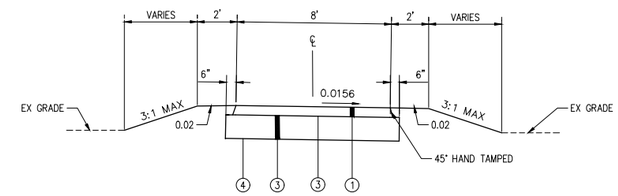
(1) ITEM 441, 1-1/4" ASPHALT CONCRETE, SURFACE COURSE
(2) ITEM 441, 1-3/4" ASPHALT CONCRETE, INTERMEDIATE COURSE
(3) ITEM 304, 8" CRUSHED AGGREGATE BASE
(4) SUBGRADE COMPACTION

(1) ITEM 441, 2" ASPHALT CONCRETE, SURFACE COURSE
(2) ITEM 441, 2" ASPHALT CONCRETE, INTERMEDIATE COURSE
(3) ITEM 304, 10" CRUSHED AGGREGATE BASE
(4) SUBGRADE COMPACTION

ALL PAVEMENT MATERIALS SHALL CONFORM TO THE CITY OF COLUMBUS CONSTRUCTION AND MATERIAL SPECIFICATIONS TOGETHER WITH THE STATE OF OHIO, DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIAL SPECIFICATIONS.

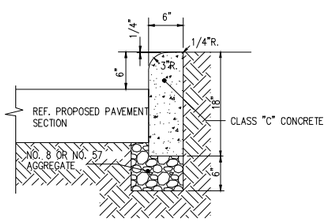
PAVEMENT SECTIONS PROVIDED FOR REFERENCE ONLY. CONTRACTOR SHALL VERIFY SECTION THICKNESS TO BE USED WITH OWNER. THE MANNIK & SMITH GROUP DOES NOT WARRANT PAVEMENT DESIGN.

PAVEMENT SECTIONS
NOT TO SCALE



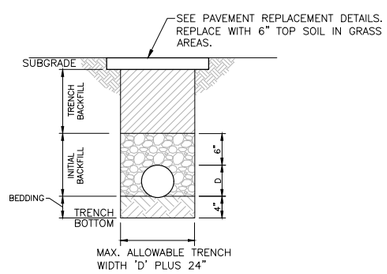
(1) ITEM 448, 2" ASPHALT CONCRETE, SURFACE COURSE, TYPE 1, PG64-22
(2) ITEM 306, 6" AGGREGATE BASE
(3) ITEM 408 – BITUMINOUS PRIME COAT (0.25 GAL/SY)
(4) ITEM 204 – SUBGRADE COMPACTION

BIKE PATH SECTION
NOT TO SCALE



CONTRACTOR SHALL CONFIRM LIMITS SHOWN ON THE SITE PLAN WITH OWNER.

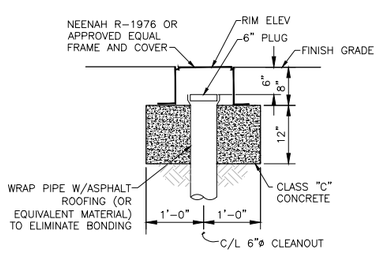
STRAIGHT 18" CONCRETE CURB
NOT TO SCALE



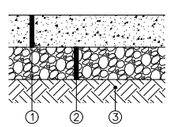
NOTES

1. SUITABLE BEDDING AND INITIAL BACKFILL MATERIAL SHALL CONSIST OF NATURALLY OCCURRING SAND OR CLAY FREE FROM TRASH, ROOTS, DEBRIS, EXCESSIVE MOISTURE AND OBJECTS LARGER THAN ¾".
2. PIPE TRENCH WALL SHALL BE VERTICAL TO THE TOP OF THE INITIAL BACKFILL.
3. PROVIDE SELECT FILL No. 8 OR No. 57 STONE FOR BEDDING MATERIAL TO THE DEPTH REQUIRED BY THE WATER UTILITY WHEN UNSTABLE TRENCH BOTTOMS ARE ENCOUNTERED, AS DETERMINED BY THE WATER UTILITY.
4. MANUALLY COMPACT EMBEDMENT MATERIAL FILLING ALL VOIDS AROUND PIPE.
5. TRENCH BACKFILL TYPE SHALL BE PER GENERAL NOTES AND SPECIFICATIONS.

WATER LINE ENBEDMENT
NOT TO SCALE
12-01-04



CLEANOUT DETAIL
NOT TO SCALE

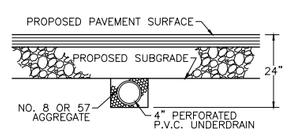


(1) ITEM 452, 8" PLAIN PORTLAND CEMENT CONCRETE PAVEMENT
(2) ITEM 304, 8" AGGREGATE BASE
(3) SUBGRADE COMPACTION, REF. SOILS REPORT

NOTE:
CONCRETE PAVING, CMSC ITEM 452 SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS:

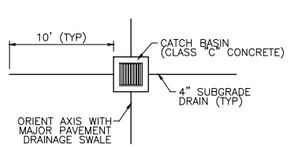
1. 4000 PSI COMPRESSIVE STRENGTH, 600 PSI FLEXURAL STRENGTH.
2. 5-7% ENTRAINED AIR WITH APPROVED WATER-REDUCING AND RETARDING ADMIXTURES.
3. CONSTRUCTION JOINTS SHALL BE SPECIFIED BY CONTRACTOR AS A PART OF THE CONTRACT BID.
4. CONCRETE PAVING SHALL HAVE A LIGHT BROOM FINISH.
5. CURING COMPOUND SHALL BE APPLIED AS PER CMSC ITEM 451.10.

CONCRETE DUMPSTER PAD SECTION
NOT TO SCALE



TRENCH DETAIL

INSTALL SPECIFIED LENGTHS OF 4" PERFORATED P.V.C. UNDERDRAIN AT ALL STRUCTURES WITHIN PAVEMENT AREAS PER THE ABOVE DETAIL. THE UNDERDRAIN IS TO BE INSTALLED AT A 1.00% GRADE TOWARD THE STRUCTURE, WITH THE UPSTREAM END PLUGGED. THE UNDERDRAIN SHALL BE PROTECTED FROM CONSTRUCTION TRAFFIC AFTER INSTALLATION



LAYOUT DETAIL

SUBGRADE DRAINS ARE TO BE INSTALLED AT ALL CATCH BASINS OR INLETS LOCATED IN PAVEMENT. THE EXACT CONFIGURATION CAN BE MODIFIED TO FIT WIDTH.

SUBGRADE DRAIN DETAIL
NOT TO SCALE

NO.	DATE	BY	DESCRIPTION

1160 DUBLIN ROAD, SUITE 100
COLUMBUS, OH 43215
TEL: 614.441.4222
FAX: 888.488.7340

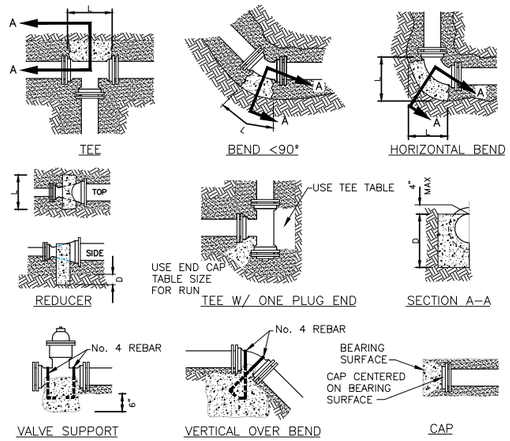
PROJECT DATE: 10/04/19
PROJECT NO: E1200022
DRAWN BY: MS
CHECKED BY: SEF

TECHNICAL SKILL. CREATIVE SPIRIT.
Mannik Smith GROUP
www.MannikSmithGroup.com

PREPARED FOR:
EQUITY CONSTRUCTION SOLUTIONS
4653 TRUEMAN BLVD., SUITE 100
HILLIARD, OH 43026

SITE IMPROVEMENT PLAN
POWELL OFFICE CONDOMINIUMS
8930 LIBERTY ROAD POWELL, OHIO 43065

MISCELLANEOUS DETAILS



NOTES
1. CONCRETE SHALL NOT LAP ONTO BOLTS.
2. EMBED REINFORCING 12" MIN. INTO CONCRETE HOOK ENDS.

UNDISTURBED GROUND
CONCRETE THRUST BLOCK
SUITABLE BEDDING MATERIAL

END CAP BLOCKING						
SIZE	2"	4"	6"	8"	12"	16"
BLOCKING AREA	6"x6"	9"x9"	13"x13"	17"x17"	24"x24"	33"x33"

BLOCKING FOR TEES															
RUN	BRANCH														
	4"			6"			8"			12"			16"		
	L"	D"	Vc.f.	L"	D"	Vc.f.	L"	D"	Vc.f.	L"	D"	Vc.f.	L"	D"	Vc.f.
4"	11	8	0.8												
6"	11	8	0.8	18	12	1.9									
8"	10	9	0.7	18	12	1.9	23	16	3.5						
12"	8	12	0.8	18	12	1.9	23	16	3.5	38	22	8.7			
16"	6	16	0.8	14	16	2.0	20	18	3.5	38	23	8.7	49	30	13.6

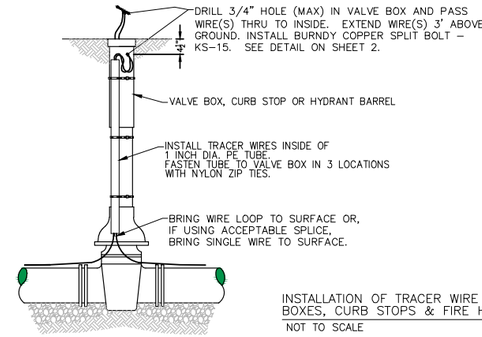
SIZE OF CONCRETE BLOCKING FOR VERTICAL OVERBEND		
PIPE SIZE	SIZE OF BLOCK	VOLUME Cu. Yd.
4"	1.5'x1.5'x1.5	0.13
6"	2.5'x2.5'x2.5'	0.5
8"	3'x3'x3'	1
12"	3.5'x3.5'x3.5'	1.5
16"	4.5'x4.5'x4.5'	3.5

BLOCKING FOR REDUCERS										
	4"		6"		8"		12"		16"	
	D"	L"	D"	L"	D"	L"	D"	L"	D"	L"
2"	12	6	12	12						
4"			12	12						
6"					12	12				
8"							24	18		
12"									24	24

BLOCKING FOR HORIZONTAL BENDS AND VERTICAL UNDERBENDS												
PIPE SIZE	DEGREE OF BEND											
	11.25°			22.5°			45°			90°		
	L"	D"	Vc.f.	L"	D"	Vc.f.	L"	D"	Vc.f.	L"	D"	Vc.f.
4"	5	4	0.2	9	5	0.4	14	5	0.6	14	5	0.6
6"	8	6	0.5	12	7	0.7	20	8	1.4		9	1.7
8"	9	8	0.7	16	9	1.4	24	12	2.7	25	11	4
12"	14	12	1.8	24	14	3.6	36	18	6.8	32	18	10.7
16"	18	16	3.4	32	18	6.7	36	32	13.4	41	26	25.6

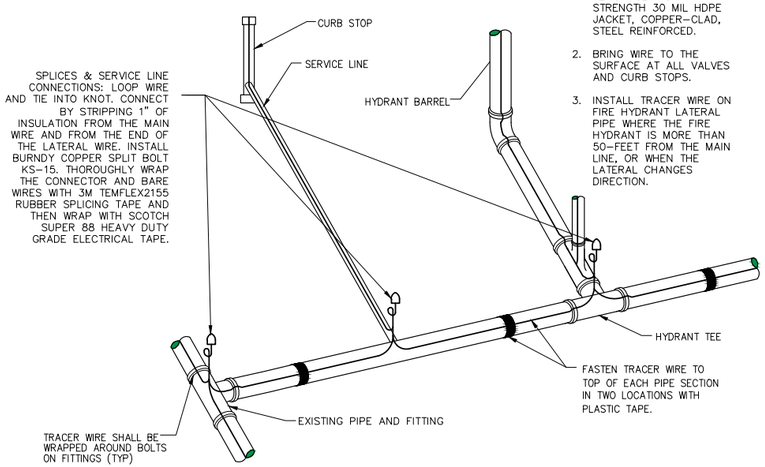
VALVE SUPPORTS		
VALVE SIZE	WIDTH	Vc.f.
4"	16"	0.3
6"	17"	0.4
8"	20"	0.4
12"	24"	0.5
16"	30"	0.5

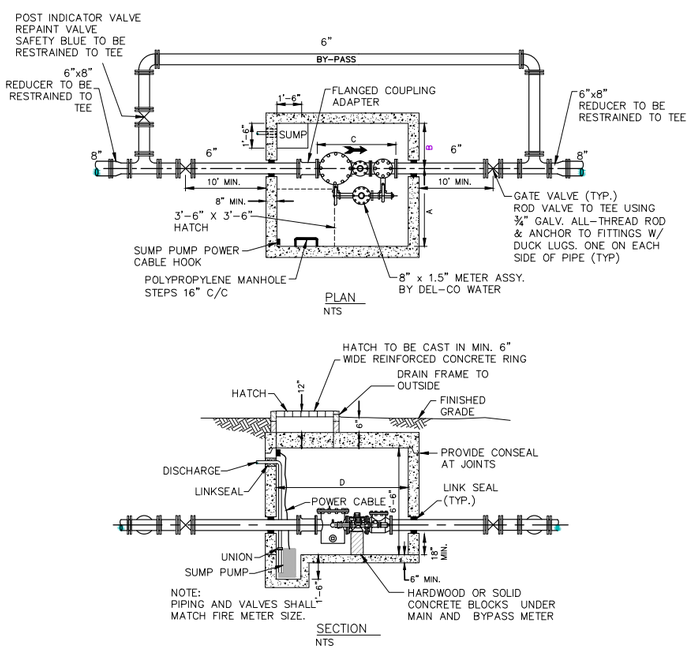
CONCRETE THRUST BLOCKING
NOT TO SCALE



INSTALLATION OF TRACER WIRE AT VALVE BOXES, CURB STOPS & FIRE HYDRANTS
NOT TO SCALE

NOTES:
1. TRACER WIRE SHALL BE 12–GAUGE HIGH STRENGTH 30 MIL HDPE JACKET, COPPER–CLAD, STEEL REINFORCED.
2. BRING WIRE TO THE SURFACE AT ALL VALVES AND CURB STOPS.
3. INSTALL TRACER WIRE ON FIRE HYDRANT LATERAL PIPE WHERE THE FIRE HYDRANT IS MORE THAN 50–FEET FROM THE MAIN LINE, OR WHEN THE LATERAL CHANGES DIRECTION.



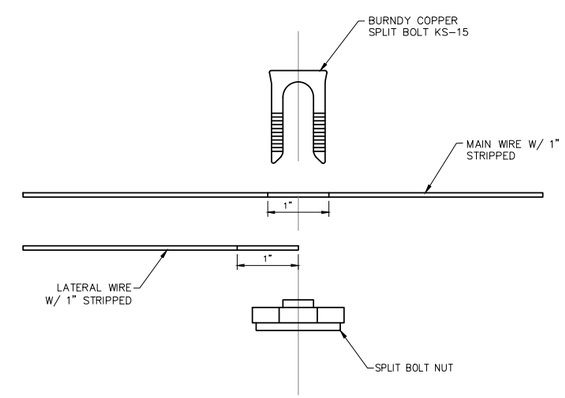


NOTES:

1. PROVIDE ALL EQUIPMENT AND MATERIALS EXCEPT METER. DEL–CO WATER WILL FURNISH METER AT DEL–CO'S OFFICE. CONTRACTOR SHALL TRANSPORT THE METER TO THE SITE AND INSTALL IT.
2. PROVIDE ZOLLER MODEL M53 SUMP PUMP WITH FLOAT SWITCH LEVEL CONTROL. PROVIDE POWER CABLE OF SUFFICIENT LENGTH TO EXTEND 3 FEET PAST HATCH, TERMINATE WITH THREE PRONG PLUG, AND SECURE NEAR HATCH WITH COOPER B–LINE FIG B3190–1 STAINLESS STEEL 1" J–HOOK.
3. HATCH SHALL BE 42"X42" ALUMINUM WITH DIAMOND PLATE COVER REINFORCED FOR 300 PSF LIVE LOAD. PROVIDE CAST ALUMINUM FLUSH LIFTING HANDLE AND PADLOCK HASP AND STAINLESS STEEL HOLD–OPEN ARM. ALL HINGES AND OTHER HARDWARE SHALL BE STAINLESS STEEL. FRAME SHALL BE EXTRUDED ALUMINUM WITH PROTECTIVE COATING ON SURFACES IN CONTACT WITH CONCRETE. U.S.F. FABRICATION INC. MODEL TPS OR EQUAL.
4. VAULT SHALL BE PRE–CAST OR CAST–IN–PLACE CONCRETE DESIGNED TO SUPPORT AN AASHTO H20 LIVE LOAD.
5. SUBMIT SHOP DRAWINGS TO DEL–CO WATER FOR APPROVAL. INCLUDE ALL MATERIALS OF CONSTRUCTION AND PROVIDE STRUCTURAL DESIGN CERTIFICATION BY AN OHIO REGISTERED PROFESSIONAL ENGINEER.

METER SIZE			
SIZE	6"x1½"	8"x2"	10"x2"
A	51"	57"	66"
B	32"	33"	38"
C	45"	53"	68"
D	89"	96"	112"

MASTER METER VAULT
NOT TO SCALE



TRACER WIRE DETAIL
NOT TO SCALE

NO.	DATE	BY	DESCRIPTION

1160 DUBLIN ROAD, SUITE 100
COLUMBUS, OH 43215
TEL: 614.441.4222
FAX: 888.488.7340

PROJECT DATE: 10/04/19
PROJECT NO: E1200022
DRAWN BY: MS
CHECKED BY: SEF

TECHNICAL SKILL. CREATIVE SPIRIT.
Mannik Smith GROUP
www.MannikSmithGroup.com

PREPARED FOR:
EQUITY CONSTRUCTION SOLUTIONS
4653 TRUEMAN BLVD., SUITE 100
HILLIARD, OH 43026

SITE IMPROVEMENT PLAN
POWELL OFFICE CONDOMINIUMS
8930 LIBERTY ROAD POWELL, OHIO 43065

MISCELLANEOUS DETAILS

L:\Projects\Projects A-Z\E1200022\CADD\CADDE\D0000\10-04-19 9:42 PM by: PHillers

DEMOLITION NOTES

1. CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING, CALCULATING & PRICING HIS OWN QUANTITIES.
2. CONTRACTOR TO VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES PRIOR TO STARTING DEMOLITION OF THE SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION AND SUPPORT OF ALL EXISTING UTILITIES DURING CONSTRUCTION. CONTRACTOR SHALL GIVE NOTICE TO THE ENGINEER OF ANY CONFLICTS OR REQUIRED RELOCATIONS NOT SHOWN HEREON.
3. CONTRACTOR SHALL MINIMIZE DISRUPTION TO ADJOINING PROPERTIES AND SHALL COMPLETE WORK AS SOON AS PRACTICAL. CONTRACTOR SHALL COORDINATE THE PHASING OF THE PROJECT WITH THE CONSTRUCTION MANAGER AND ADJACENT OWNERS.
4. CONSTRUCTION DEBRIS GENERATED FROM DEMOLITION IS NOT CONSIDERED TO BE SUITABLE FOR USE IN ON-SITE FILLS, UNLESS THE DELETERIOUS MATERIALS CAN BE SORTED AND BROKEN DOWN SUFFICIENTLY TO MEET THE REQUIREMENTS OF THE GEOTECHNICAL ENGINEER.
5. CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN CONDUCTING GRADING ACTIVITIES IN THE VICINITY OF THE EXISTING GAS, UNDERGROUND AND OVERHEAD ELECTRIC, FIBER OPTIC AND TELEPHONE LINES.
6. REFERENCE EXISTING BUILDING PLANS FOR DEMOLITION AT EXISTING BUILDING.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR APPLYING FOR AND OBTAINING ALL PERMITS ASSOCIATED WITH THE SITE DEMOLITION.
8. ARRANGE WITH THE OWNER A CONVENIENT TIME TO PERFORM DEMOLITION WORK AND INSTALL TEMPORARY PROTECTED MEANS OF EGRESS/INGRESS FROM REQUIRED EXITS, INCLUDING TEMPORARY LIGHTING AND SAFETY DEVICES, ALL IN ACCORDANCE WITH GOVERNING STATE AND LOCAL CODE AND LANDLORD REQUIREMENTS.
9. TRAFFIC: CONDUCT SITE CLEARING OPERATIONS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS OR OTHER OCCUPIED OR USED FACILITIES WITHOUT PERMISSION FROM AUTHORITIES HAVING JURISDICTION.
10. PROTECTION: PROVIDE TEMPORARY FENCES, BARRICADES, COVERINGS, OR OTHER PROTECTION TO PRESERVE EXISTING ITEMS INDICATED TO REMAIN AND TO PREVENT INJURY OR DAMAGE TO PERSONS OR PROPERTY. PROVIDE PROTECTION FOR ADJACENT PROPERTIES AS REQUIRED.
11. RESTORE INADVERTENT SITE DAMAGE TO CONDITION EXISTING PRIOR TO START OF WORK.
12. STRIP AND STOCKPILE TOPSOIL THAT IS FREE OF CLAY, LARGE STONES AND DEBRIS, FOR REUSE IN GRASSED AND PLANTED AREAS.
13. REMOVE EXISTING IMPROVEMENTS, BOTH ABOVE-GRADE AND BELOW-GRADE TO EXTENT INDICATED OR AS OTHERWISE REQUIRED TO PERMIT NEW CONSTRUCTION AS FOLLOWS:
    A. REMOVE COMPLETELY ALL EXISTING WALLS, FLOORS, FOOTINGS, PIERS, SLABS, AND OTHER OBSTRUCTIONS WITHIN THE GROUND AREA TO BE OCCUPIED BY NEW BUILDINGS, UTILITY LINES OR EQUIPMENT FOR A DISTANCE OF 5' BEYOND PERIMETER OF NEW BUILDINGS OR WALLS.
    B. EXISTING WELLS, CISTERNS OR CATCH BASINS NOT TO BE REUSED, THAT ARE WITHIN 5' OF THE NEW BUILDING WALLS, SHALL BE CLEANED OUT TO SOLID SUB-GRADE, THEN FILLED WITH SAND TO UNDERSIDE OF NEW FOOTING OR FLOOR SLAB. EXISTING BASEMENT FLOORS, CISTERNS OR CESSPOOLS, OUTSIDE OF BUILDING AREA, IF OF MASONRY OR CONCRETE AND TO BE LEFT IN PLACE, SHALL BE CLEANED OF ALL DEBRIS AND BOTTOMS BROKEN UP TO PROVIDE DRAINAGE BEFORE ANY FILL IS PLACED OVER THEM. ALL STORM SEWER PIPES AT ABANDONED CATCH BASINS SHALL BE BULKHEADED PER THE CITY OF COLUMBUS SPECIFICATIONS.
    C. IN AREAS TO BE SURFACED OR PLANTED, REMOVE ALL EXISTING WALLS, CURBS, PAVING AND OTHER OBSTRUCTIONS TO DEPTH OF 24" BELOW FINISHED GRADE.
14. SALVAGEABLE ITEMS: CAREFULLY REMOVE ITEMS INDICATED TO BE SALVAGED (IF ANY), AND STORE ON OWNER'S PREMISES WHERE INDICATED OR DIRECTED.
15. CONTROL AIR POLLUTION CAUSED BY DUST AND DIRT; COMPLY WITH GOVERNING REGULATIONS.
16. FILL DEPRESSIONS AND VOIDS RESULTING FROM SITE CLEARING OPERATIONS, USING SATISFACTORY SOIL MATERIALS, PLACED IN MAXIMUM 6 INCH LIFTS. COMPACT EACH LIFT TO DENSITY OF SURROUNDING ORIGINAL GROUND. GRADE BACKFILLED SURFACE TO CONFORM TO PROPOSED SITE CONTOURS AND TO PROVIDE POSITIVE DRAINAGE.
17. DISPOSE OF WASTE MATERIALS, INCLUDING TRASH AND DEBRIS, AND EXCESS TOPSOIL, OFF OWNER'S PROPERTY IN A LAWFUL MANNER.
18. BURNING OF WASTE MATERIALS ON SITE IS NOT PERMITTED.
19. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS ASSOCIATED WITH SITE DEMOLITION AND MATERIAL DISPOSAL.
20. EXISTING UTILITY CONNECTIONS AND TAPS THAT ARE NOT TO BE REUSED ARE TO BE ABANDONED IN ACCORDANCE WITH THE REQUIREMENTS OF THE RESPECTIVE SUPPLIER.

LEGEND

- EX CATCH BASIN
- EX STORM MANHOLE
- EX SANITARY MANHOLE
- EX STORM CURB INLET
- ST — EX STORM
- SA — EX SANITARY
- W — EX WATER
- OVHD — EX OVERHEAD ELECTRIC
- UE — EX UNDERGROUND ELECTRIC
- G — EX GAS
- T — EX TELEPHONE LINE
- FO — EX FIBER OPTIC
- EX TELEPHONE BOX
- EX POWER POLE
- EX WATER METER

DEMOLITION LEGEND

- EX TREE TO BE REMOVED
- EX ASPHALT, CONCRETE PAVEMENT TO BE REMOVED
- EX BUILDING TO BE REMOVED

OHIO Utilities Protection SERVICE
811 or 1-800-362-2764 Call Before You Dig

GRAPHIC SCALE
0 15 30 60
1 INCH = 30 FEET

NO.	DATE	BY	DESCRIPTION

1160 DUBLIN ROAD, SUITE 100
COLUMBUS, OH 43215
TEL: 614.441.4222
FAX: 888.488.7340

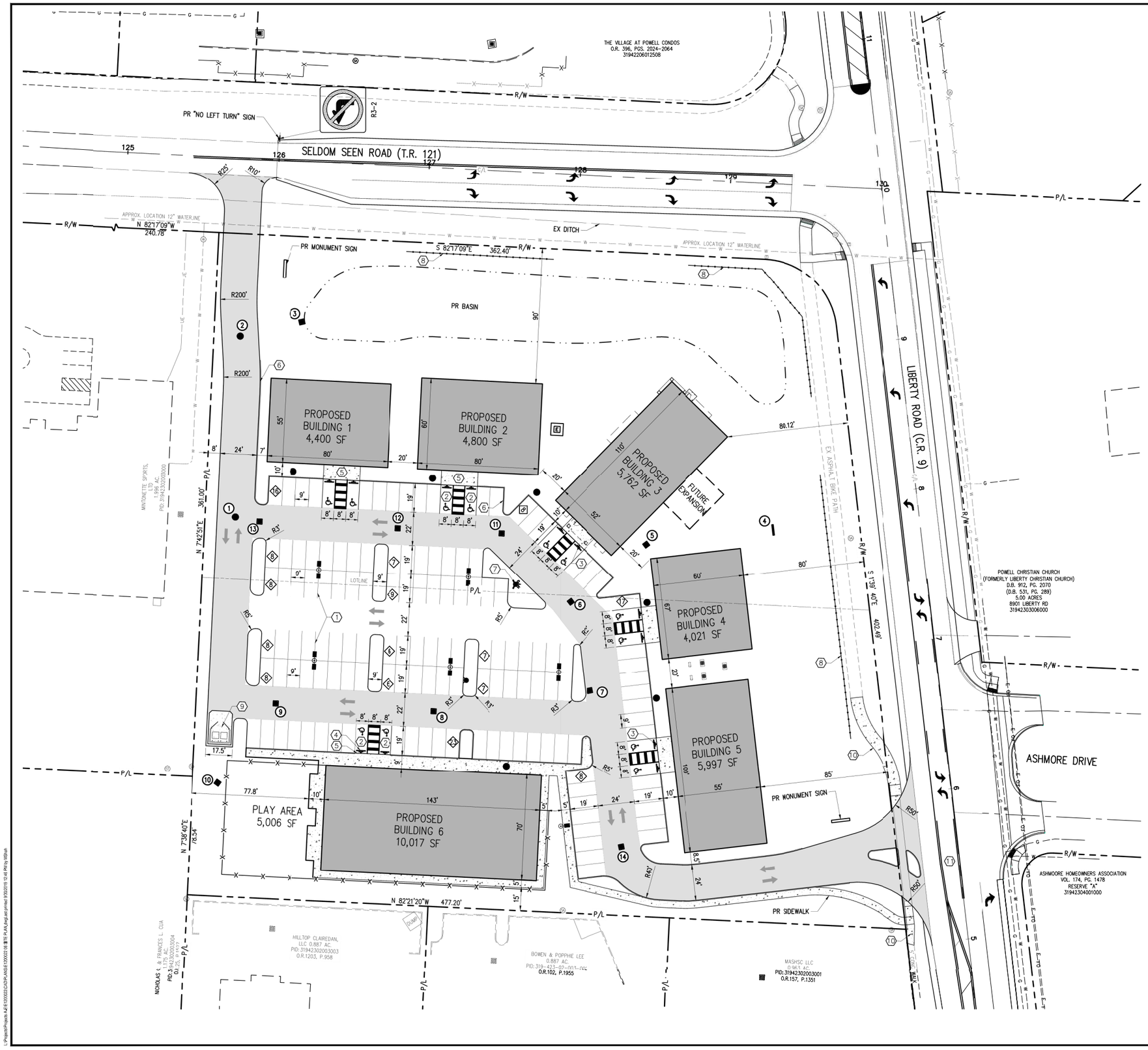
PROJECT DATE: 10/04/19
PROJECT NO: E1200022
DRAWN BY: MS
CHECKED BY: SEF

TECHNICAL SKILL. CREATIVE SPIRIT.
Mannik Smith GROUP
www.mannik&smith&group.com

PREPARED FOR:
EQUITY CONSTRUCTION SOLUTIONS
4653 TRUEMAN BLVD., SUITE 100
HILLIARD, OH 43026

SITE IMPROVEMENT PLAN
POWELL OFFICE CONDOMINIUMS
8930 LIBERTY ROAD POWELL, OHIO 43065

EXISTING CONDITIONS AND DEMOLITION PLAN



SITE SUMMARY

SITE ADDRESS: 8930 LIBERTY ROAD

SITE AREA: 4.44± ACRES

LOT SIZES: 2.20 AC & 2.20 AC

ZONING: PC-PLANNED COMMERCIAL DISTRICT

PARCEL ID: 31942302003005 & 31942302003006

PARKING: PARKING REQUIRED = 145 SPACES
OFFICE BLDG 1: 4400 SF (1 PER 250 SF) = 18 SPACES
OFFICE BLDG 2: 4800 SF (1 PER 250 SF) = 20 SPACES
OFFICE BLDG 3: 6580 SF (1 PER 250 SF) = 27 SPACES
OFFICE BLDG 4: 4021 SF (1 PER 250 SF) = 16 SPACES
OFFICE BLDG 5: 5997 SF (1 PER 250 SF) = 24 SPACES
OFFICE BLDG 6: 10017 SF (1 PER 250 SF) = 40 SPACES

PARKING PROVIDED = 146 SPACES

FLOOD ZONE: "X", AREAS OUTSIDE 0.2%
500 YEAR FLOOD PLAIN, PANEL NO.: 39041C0212 J (4.21.1999)

DISTURBED AREAS (AC):

GREEN SPACE AREA:	1.74 AC	39%
IMPERVIOUS AREA:	2.70 AC	61%
TOTAL AREA:	4.44 AC	100%

DENSITY: 0.17 UNIT PER ACRE

CODED NOTES

1. 4" WHITE STRIPING FOR STANDARD PARKING STALLS
2. ADA ACCESSIBLE PARKING SPACE STRIPING
3. HANDICAP PARKING AND VAN ACCESSIBLE SIGN – SEE DETAIL, SHEET 3
4. PARKING BLOCK – SEE DETAIL, SHEET 3
5. WALK FLUSH WITH PAVEMENT – SEE DETAIL, SHEET 3
6. 18" STRAIGHT CONCRETE CURB – SEE DETAIL, SHEET 3
7. PR FIRE HYDRANT
8. PR FENCE, SEE LANDSCAPE ARCHITECTURE PLANS FOR DETAILS
9. PR DUMPSTER, SEE ARCHITECTURE PLANS FOR DETAILS
10. PR 8' BIKE PATH – SEE DETAIL, SHEET 3
11. PR PAVEMENT MARKING MODIFICATIONS – SEE DETAIL, SHEET 14.

LEGEND

- PARKING COUNT
- PR CONCRETE
- PR HEAVY DUTY ASPHALT PAVEMENT
- PR ELECTRIC TRANSFORMER
- PR SITE LIGHTING

GRAPHIC SCALE
0 15 30 60
1 INCH = 30 FEET

NO.	DATE	BY	DESCRIPTION

1160 DUBLIN ROAD, SUITE 100
COLUMBUS, OH 43215
TEL: 614.441.4222
FAX: 888.488.7340

PROJECT DATE: 10/04/19
PROJECT NO: E1200022
DRAWN BY: MS
CHECKED BY: SEF

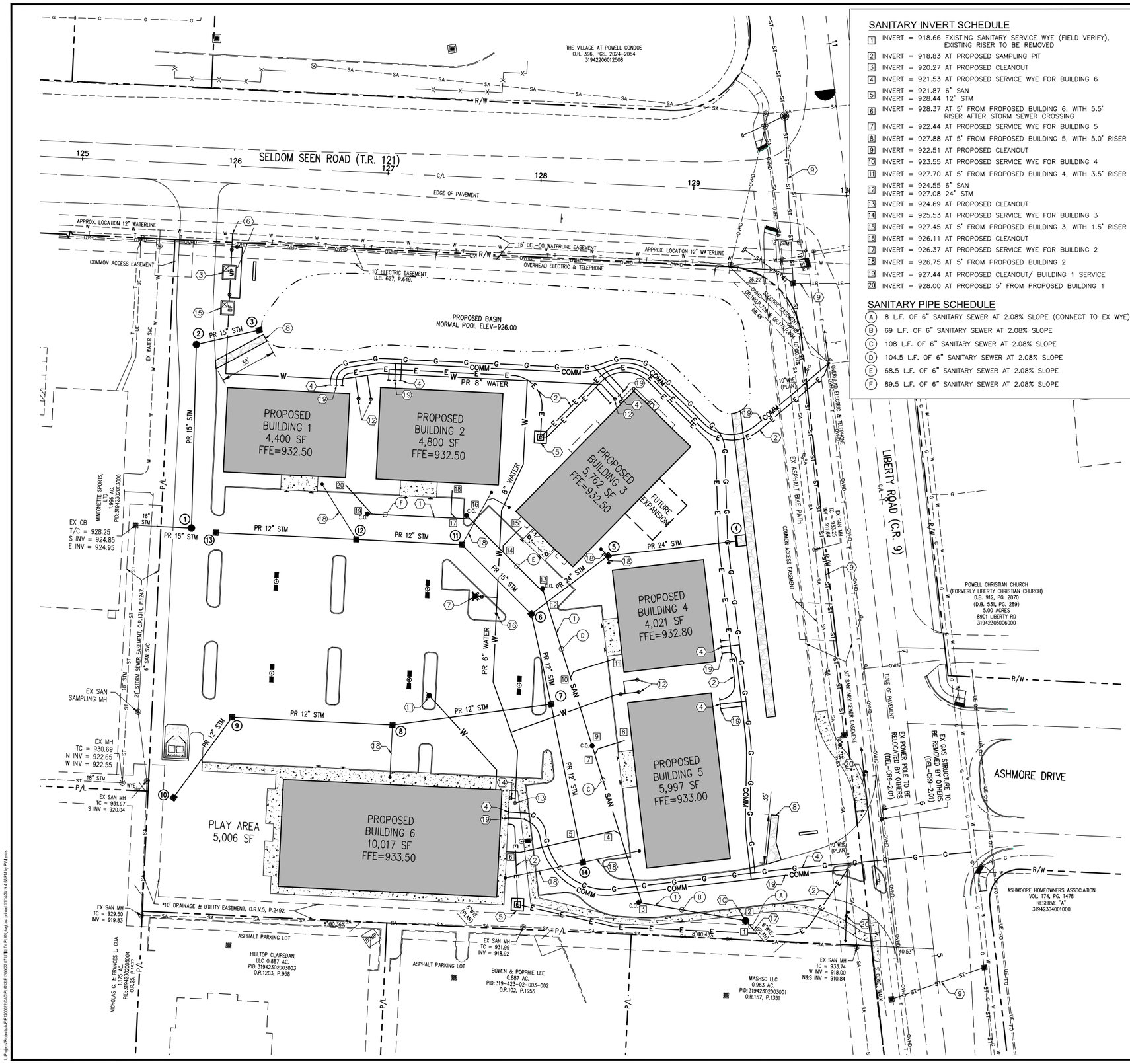
Mannik Smith GROUP
TECHNICAL SKILL. CREATIVE SPIRIT.
www.MannikSmithGroup.com

PREPARED FOR:
EQUITY CONSTRUCTION SOLUTIONS
4653 TRUEMAN BLVD., SUITE 100
HILLIARD, OH 43026

SITE IMPROVEMENT PLAN
POWELL OFFICE CONDOMINIUMS
8930 LIBERTY ROAD POWELL, OHIO 43065

SITE PLAN

I:\Projects\Projects A-E\E1200022\CADD\PLANS\E1200022.dwg ⊞ TP-PA Plot date/time: 9/30/2019 10:06 PM by MSmith



SANITARY INVERT SCHEDULE

1. INVERT = 918.66 EXISTING SANITARY SERVICE WYE (FIELD VERIFY), EXISTING RISER TO BE REMOVED
2. INVERT = 918.83 AT PROPOSED SAMPLING PIT
3. INVERT = 920.27 AT PROPOSED CLEANOUT
4. INVERT = 921.53 AT PROPOSED SERVICE WYE FOR BUILDING 6
5. INVERT = 921.87 6" SAN
   INVERT = 928.44 12" STM
6. INVERT = 928.37 AT 5' FROM PROPOSED BUILDING 6, WITH 5.5' RISER AFTER STORM SEWER CROSSING
7. INVERT = 922.44 AT PROPOSED SERVICE WYE FOR BUILDING 5
8. INVERT = 927.88 AT 5' FROM PROPOSED BUILDING 5, WITH 5.0' RISER
9. INVERT = 922.51 AT PROPOSED CLEANOUT
10. INVERT = 923.55 AT PROPOSED SERVICE WYE FOR BUILDING 4
11. INVERT = 927.70 AT 5' FROM PROPOSED BUILDING 4, WITH 3.5' RISER
12. INVERT = 924.55 6" SAN
    INVERT = 927.08 24" STM
13. INVERT = 924.69 AT PROPOSED CLEANOUT
14. INVERT = 925.53 AT PROPOSED SERVICE WYE FOR BUILDING 3
15. INVERT = 927.45 AT 5' FROM PROPOSED BUILDING 3, WITH 1.5' RISER
16. INVERT = 926.11 AT PROPOSED CLEANOUT
17. INVERT = 926.37 AT PROPOSED SERVICE WYE FOR BUILDING 2
18. INVERT = 926.75 AT 5' FROM PROPOSED BUILDING 2
19. INVERT = 927.44 AT PROPOSED CLEANOUT/ BUILDING 1 SERVICE
20. INVERT = 928.00 AT PROPOSED 5' FROM PROPOSED BUILDING 1

SANITARY PIPE SCHEDULE

- (A) 8 L.F. OF 6" SANITARY SEWER AT 2.08% SLOPE (CONNECT TO EX WYE)
- (B) 69 L.F. OF 6" SANITARY SEWER AT 2.08% SLOPE
- (C) 108 L.F. OF 6" SANITARY SEWER AT 2.08% SLOPE
- (D) 104.5 L.F. OF 6" SANITARY SEWER AT 2.08% SLOPE
- (E) 68.5 L.F. OF 6" SANITARY SEWER AT 2.08% SLOPE
- (F) 89.5 L.F. OF 6" SANITARY SEWER AT 2.08% SLOPE

NOTES

1. CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN EXCAVATING AROUND EXISTING UTILITIES. COORDINATE ANY RELOCATION WITH RESPECTIVE UTILITY OWNER.
2. THE INFORMATION SHOWN CONCERNING EXISTING UTILITIES IS NOT REPRESENTED, WARRANTED OR GUARANTEED TO BE COMPLETE OR ACCURATE. EXISTING SITE DATA WAS PROVIDED TO MSG BY THE CLIENT. INVESTIGATION, LOCATION, SUPPORT, PROTECTION, AND RESTORATION OF ALL EXISTING UTILITIES AND APPURTENANCES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, PRIOR TO CONSTRUCTION TO DETERMINE IN THE FIELD THE ACTUAL LOCATION AND ELEVATIONS OF ALL EXISTING UTILITIES WHETHER SHOWN ON THE PLANS OR NOT. THE CONTRACTOR SHALL CALL THE OHIO UTILITIES PROTECTION SERVICES, OUPS, AT 811 OR 1-800-362-2764 TWO (2) WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
3. THE CONTRACTOR SHALL PROVIDE MINIMUM CLEARANCES OF 1.0' VERTICAL AND 3.0' HORIZONTAL BETWEEN ALL UNDERGROUND UTILITIES. WATER, SANITARY AND STORM UTILITIES REQUIRE MINIMUM CLEARANCES OF 1.5' VERTICAL AND 10.0' HORIZONTAL. NO FACILITY SHALL BE INSTALLED WITH LESS THAN THESE MINIMUM CLEARANCES WITHOUT THE WRITTEN APPROVAL OF THE OWNERS OF THE OTHER FACILITIES INVOLVED. THE CONTRACTOR SHALL EXPOSE ALL UTILITIES OR STRUCTURES PRIOR TO CONSTRUCTION TO VERIFY THE VERTICAL AND HORIZONTAL CLEARANCES WITH PROPOSED CONSTRUCTION. THE COST OF THIS WORK SHALL BE INCLUDED IN THE PRICE BID FOR VARIOUS ITEMS. THE FLOW OF ALL SEWERS, DRAINS AND WATER COURSES ENCOUNTERED AND DISTURBED OR DESTROYED DURING THE PROSECUTION OF THE WORK SHALL BE RESTORED BY THE CONTRACTOR TO A SATISFACTORY CONDITION. PAYMENT FOR THIS ITEM SHALL BE INCLUDED IN THE PRICE BID FOR THE VARIOUS RELATED ITEMS. THE CITY OF POWELL ENGINEERING OFFICE SHALL BE NOTIFIED IMMEDIATELY FOR ANY DISTURBANCES.
4. THE CONTRACTOR SHALL RESTORE OFF-SITE CONSTRUCTION AREAS TO EQUAL OR BETTER CONDITION THAN EXISTED PRIOR TO COMMENCEMENT.
5. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY MANNIK & SMITH GROUP OF ANY DISCREPANCIES FOUND BETWEEN THE PLANS OR FIELD CONDITIONS PRIOR TO START OF CONSTRUCTION.
6. REFER TO ARCHITECTURAL PLANS FOR SITE LIGHTING AND ELECTRIC CIRCUITRY.

KEYED NOTES

1. PR SANITARY SEWER LATERAL: BUILD NEW 6" P.V.C. ASTM D-3034 SDR 35. JOINTS SHALL CONFORM TO ASTM D-3212. PROVIDE CLEANOUTS AS INDICATED BY "C.O." PER DETAIL ON SHEET 3. MAINTAIN MINIMUM 18" CLEARANCE AT STORM SEWER CROSSING. MAINTAIN MINIMUM SLOPE OF 2.08%
2. PR ELECTRIC SERVICE: CONTRACTOR SHALL COORDINATE WITH THE POWER COMPANY TO VERIFY THE LOCATION, ORIGIN OF SERVICE, AND SECONDARY WIRING DESIGN. TERMINATE 5' FROM BUILDING.
3. PR MASTER METER VAULT, SEE DETAIL SHEET 4. DAYLIGHT METER VAULT SUMP PUMP DRAIN LINE TO SELDOM SEEN ROAD DITCH.
4. PR GAS SERVICE: CONTRACTOR SHALL COORDINATE WITH THE GAS COMPANY TO VERIFY THE LOCATION AND ORIGIN OF SERVICE. TERMINATE 5' FROM BUILDING. FUTURE TENANT TO COORDINATE SERVICE AND METERING WITH GAS COMPANY.
5. PR TRANSFORMER. CONTRACTOR SHALL COORDINATE FINAL LOCATION WITH THE POWER COMPANY.
6. PR 12"X8" TS&V BY DEL-CO WATER AT THE CONTRACTORS EXPENSE.
7. PR FIRE HYDRANT.
8. PR ROCK CHUTE, SEE DETAIL SHEET 10
9. ROAD IMPROVEMENT STORM SEWER BY OTHERS. PER DEL-CR9-2.01
10. PR SANITARY SAMPLING PIT. PER DCRSD Sa.S-30.
11. PR FIRE DEPARTMENT CONNECTION WITH 5" STORZGUARD.
12. PR 1" WATER SERVICE WITH SHUT OFF VALVE AND VALVE BOX. FUTURE TENANT TO PROVIDE A WATER METER ON OUTSIDE OF THE BUILDING AND A RP BACKFLOW PREVENTER INSIDE OF THE BUILDING. FUTURE TENANT TO COORDINATE BUILDING BACKFLOW PREVENTER APPROVAL WITH DELCO WATER.
13. PR 2" WATER SERVICE WITH SHUT OFF VALVE AND VALVE BOX. FUTURE TENANT TO PROVIDE A WATER METER ON OUTSIDE OF THE BUILDING AND A RP BACKFLOW PREVENTER INSIDE OF THE BUILDING. FUTURE TENANT TO COORDINATE BUILDING BACKFLOW PREVENTER APPROVAL WITH DELCO WATER.
14. PR 6" FIRE PROTECTION SERVICE WITH SHUT OFF VALVE AND VALVE BOX. FUTURE TENANT TO PROVIDE BACKFLOW PREVENTER INSIDE OF THE BUILDING AND COORDINATE BACKFLOW PREVENTER APPROVAL WITH DELCO WATER.
15. PR 8" BACKFLOW PREVENTER IN VAULT.
16. PR 8"x 6" REDUCER.
17. CONNECT PR SANITARY LATERAL TO EXISTING SANITARY SERVICE WYE. CONTRACTOR TO FIELD VERIFY DEPTH AND LOCATION, REPORT FINDINGS TO ENGINEER.
18. PR 6" ROOF DRAIN AT 1% MINIMUM. TERMINATED 5' FROM BUILDING. FUTURE TENANT TO COORDINATE DOWNSPOUT CONNECTIONS AND CLEANOUTS.
19. PR TELEPHONE AND CABLE SERVICE CONDUIT. TERMINATE 5' FROM BUILDING: CONTRACTOR SHALL COORDINATE WITH THE TELEPHONE AND CABLE PROVIDERS TO VERIFY THE LOCATION AND ORIGIN OF SERVICE. FUTURE TENANT RESPONSIBLE FOR COORDINATING SERVICES WITH THE PROVIDERS.
20. PR GUY POLE AND WIRES. CONTRACTOR SHALL COORDINATE FINAL LOCATION WITH POLE OWNER AND VERIFY PROPER CLEARANCES.

LEGEND

EXISTING		PROPOSED	
	WATER VALVE		WATER VALVE
	FIRE HYDRANT		FIRE HYDRANT
	STORM MANHOLE		SAN/STM MANHOLE
	CATCH BASIN		CATCH BASIN
	CURB & GUTTER INLET		HEADWALL/ENDWALL
	SANITARY MANHOLE		STM STRUCTURE NO.
	POWER/LIGHT POLE		STORM SEWER
ST	STORM SEWER	SAN	SANITARY LINE
SA	SANITARY MAIN	W	WATER LINE
W	WATER LINE	G	GAS LINE
UE	UNDERGROUND ELEC	E	UNDERGROUND ELECTRIC
OVHD	OVERHEAD ELECTRIC	COMM	TELE/CABLE SERVICE
T	TELE/COM LINE		
FO	FIBER OPTIC LINE		
G	GAS LINE		

GRAPHIC SCALE
0 15 30 60
1 INCH = 30 FEET

NO.	DATE	BY	DESCRIPTION

1160 DUBLIN ROAD, SUITE 100
COLUMBUS, OH 43215
TEL: 614.441.4222
FAX: 888.488.7340

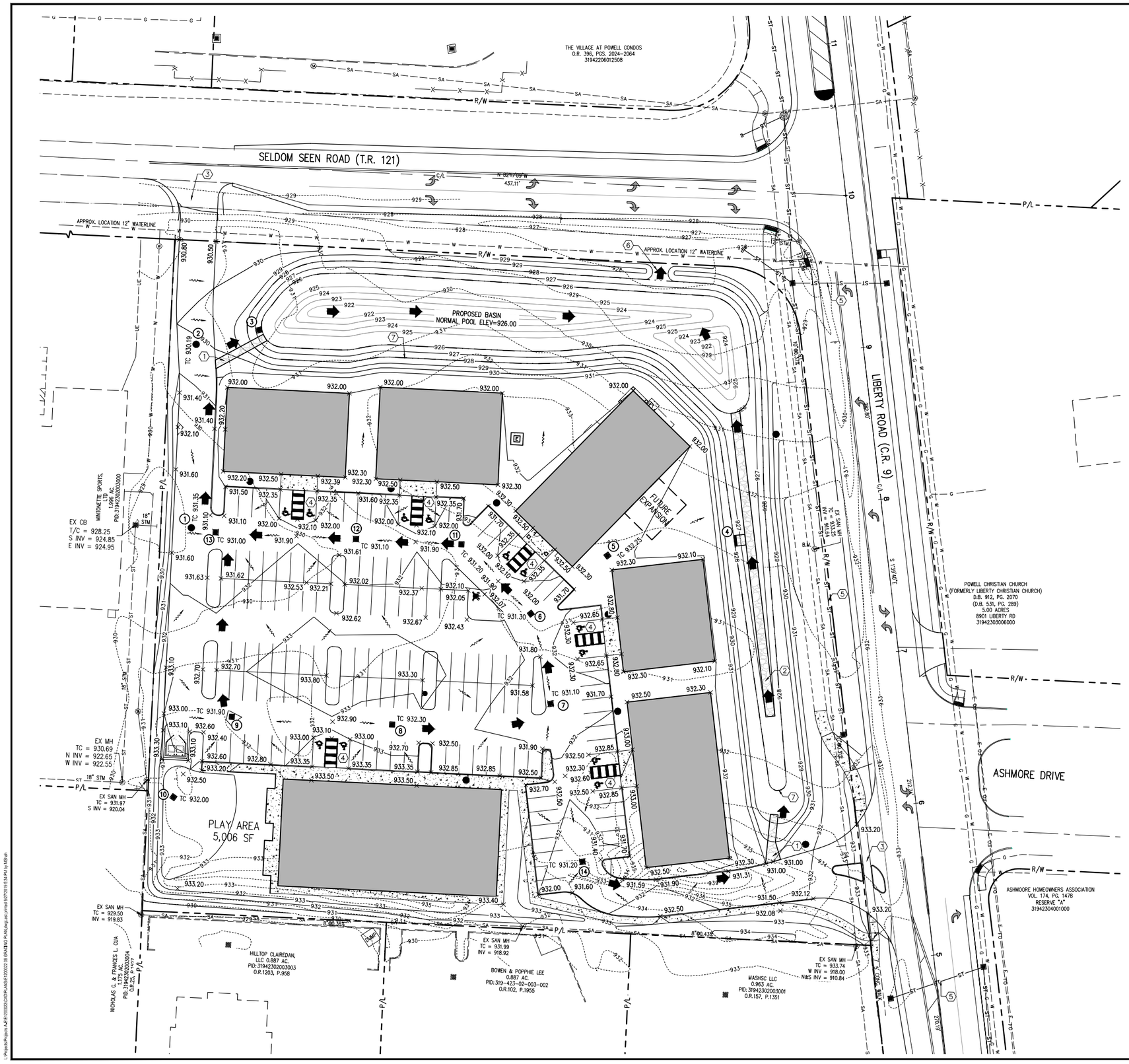
PROJECT DATE: 10/04/19
PROJECT NO: E1200022
DRAWN BY: MS
CHECKED BY: SEF

Mannik Smith GROUP
TECHNICAL SKILL. CREATIVE SPIRIT.
www.MannikSmithGroup.com

PREPARED FOR:
EQUITY CONSTRUCTION SOLUTIONS
4653 TRUEMAN BLVD., SUITE 100
HILLIARD, OH 43026

SITE IMPROVEMENT PLAN
POWELL OFFICE CONDOMINIUMS
8930 LIBERTY ROAD POWELL, OHIO 43065

SITE UTILITY PLAN



LEGEND

- W — EX WATER LINE
- OHE — EX OVERHEAD ELECTRIC
- SA — EX SANITARY LINE
- ST — EX STORM LINE
- X — EX FENCE LINE
- EX WATER VALVE
- EX FIRE HYDRANT
- EX CATCH BASIN
- EX STORM MANHOLE
- EX SANITARY MANHOLE
- EX POWER POLE
- EX TELEPHONE POLE
- FLOW ARROW
- 930.00× EX SPOT ELEVATION
- ×930.50 PR SPOT ELEVATION
- PR MAJOR FLOOD ROUTING (GREATER THAN 100-YR EVENT)
- PR FIRE HYDRANT

GRADING PLAN NOTES

1. ALL SPOTS ARE PAVEMENT ELEVATION, UNLESS OTHERWISE NOTED.
2. ADD 0.5' TO PAVEMENT SPOT TO DETERMINE TOP OF CURB ELEVATION.
3. THE CONTRACTOR SHALL EXERCISE EXTREME CARE WHEN ESTABLISHING ALL GRADES AND SLOPES IN PAVEMENT AREAS, RAMPS AND SIDEWALKS IN THE VICINITY OF HANDICAP PARKING. ACCESS AREAS SHALL COMPLY WITH FEDERAL, STATE AND LOCAL CODES. SLOPES NOT TO EXCEED 2% IN ANY DIRECTION.
4. THE CONTRACTOR SHALL PROVIDE FOR POSITIVE DRAINAGE IN ALL AREAS. PAVEMENT SHALL BE TESTED FOR ANY PONDING CONDITIONS FOLLOWING CONSTRUCTION.
5. CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN EXCAVATING AROUND EXISTING UTILITIES. COORDINATE ANY RELOCATION WITH RESPECTIVE UTILITY OWNER.
6. CONTRACTOR SHALL INSTALL/PLACE ORANGE MESH CONSTRUCTION/BARRIER FENCING AROUND WETLANDS. A SIGN INDICATING THIS AS A "WETLAND ZONE- NO DISTURBANCE PERMITTED" TO BE INSTALLED.

CODED NOTES

1. PR ROCK CHANNEL, SEE DETAIL SHEET 11
2. PR LOW FLOW GRAVEL CHANNEL, SEE DETAIL SHEET 11
3. SEE DRIVE DETAILS, SHEET 10
4. WALK FLUSH WITH PAVEMENT, SEE DETAIL SHEET 3
5. ROAD IMPROVEMENT PLAN STORM
6. EMERGENCY SPILLWAY, SEE DETAIL SHEET 9
7. 100 YEAR WATER SURFACE ELEVATION

GRAPHIC SCALE
0 15 30 60
1 INCH = 30 FEET

NO.	DATE	BY	DESCRIPTION

1160 DUBLIN ROAD, SUITE 100
COLUMBUS, OH 43215
TEL: 614.441.4222
FAX: 888.488.7340

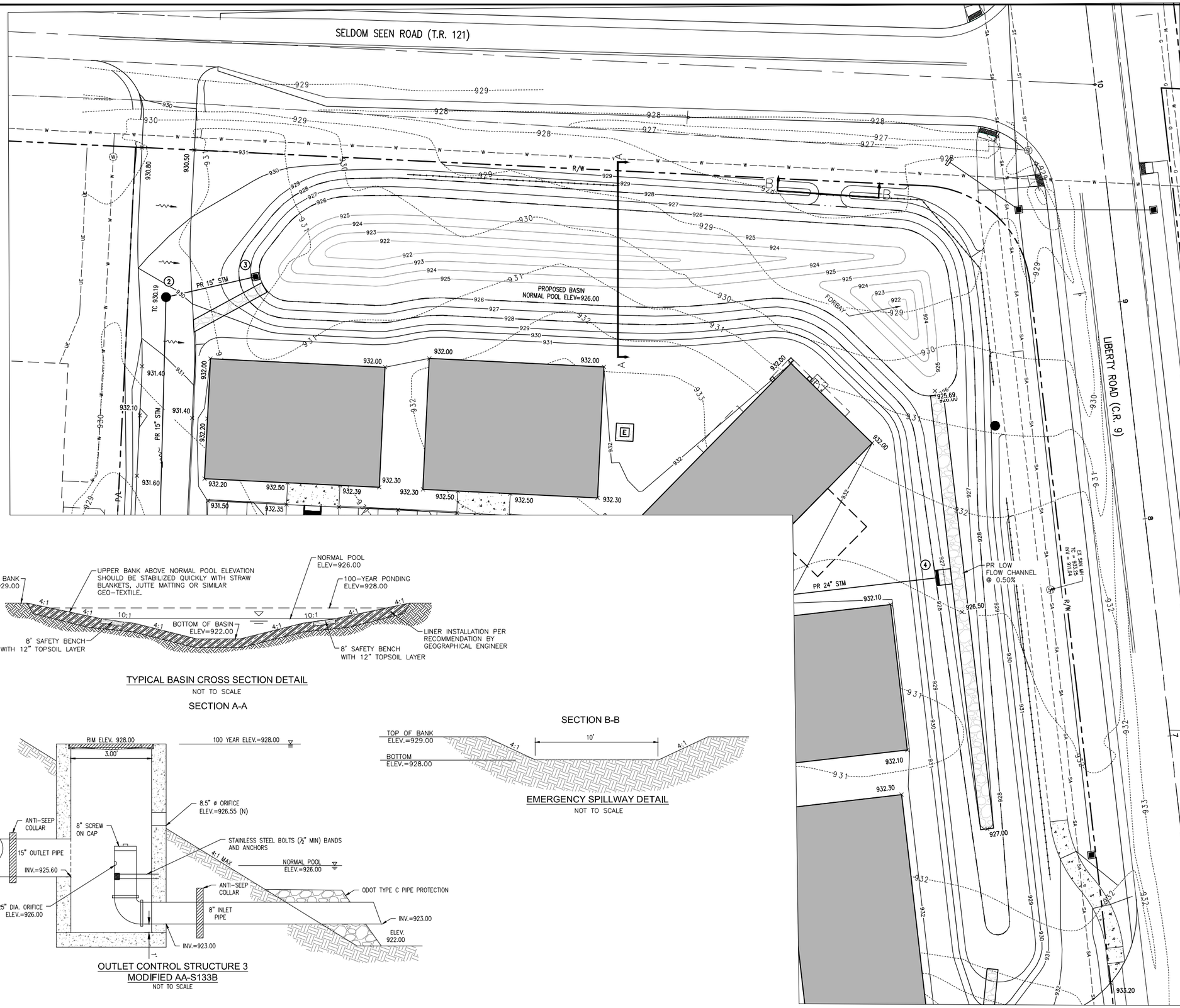
PROJECT DATE: 10/04/19
PROJECT NO: E1200022
DRAWN BY: MS
CHECKED BY: SEF

TECHNICAL SKILL. CREATIVE SPIRIT.
Mannik Smith GROUP
www.MannikSmithGroup.com

PREPARED FOR:
EQUITY CONSTRUCTION SOLUTIONS
4653 TRUEMAN BLVD., SUITE 100
HILLIARD, OH 43026

SITE IMPROVEMENT PLAN
POWELL OFFICE CONDOMINIUMS
8930 LIBERTY ROAD POWELL , OHIO 43065

GRADING PLAN



TYPICAL BASIN CROSS SECTION DETAIL

NOT TO SCALE

SECTION A-A

SECTION B-B

EMERGENCY SPILLWAY DETAIL

NOT TO SCALE

OUTLET CONTROL STRUCTURE 3
MODIFIED AA-S133B

NOT TO SCALE

GRAPHIC SCALE

0 10 20 40

1 INCH = 20 FEET

NO.	DATE	BY	DESCRIPTION

1160 DUBLIN ROAD, SUITE 100
COLUMBUS, OH 43215
TEL: 614.441.4222
FAX: 888.488.7340

PROJECT DATE: 10/04/19
PROJECT NO: E1200022
DRAWN BY: MS
CHECKED BY: SEF

TECHNICAL SKILL. CREATIVE SPIRIT.

Mannik Smith GROUP

www.MannikSmithGroup.com

PREPARED FOR:

EQUITY CONSTRUCTION SOLUTIONS

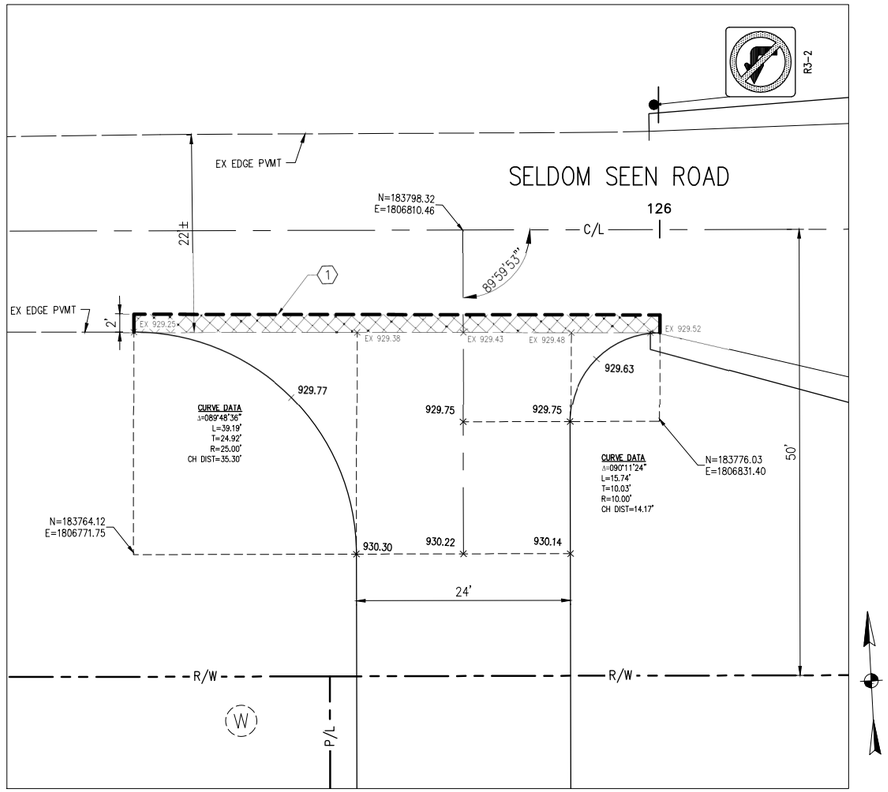
4653 TRUEMAN BLVD., SUITE 100
HILLIARD, OH 43026

SITE IMPROVEMENT PLAN

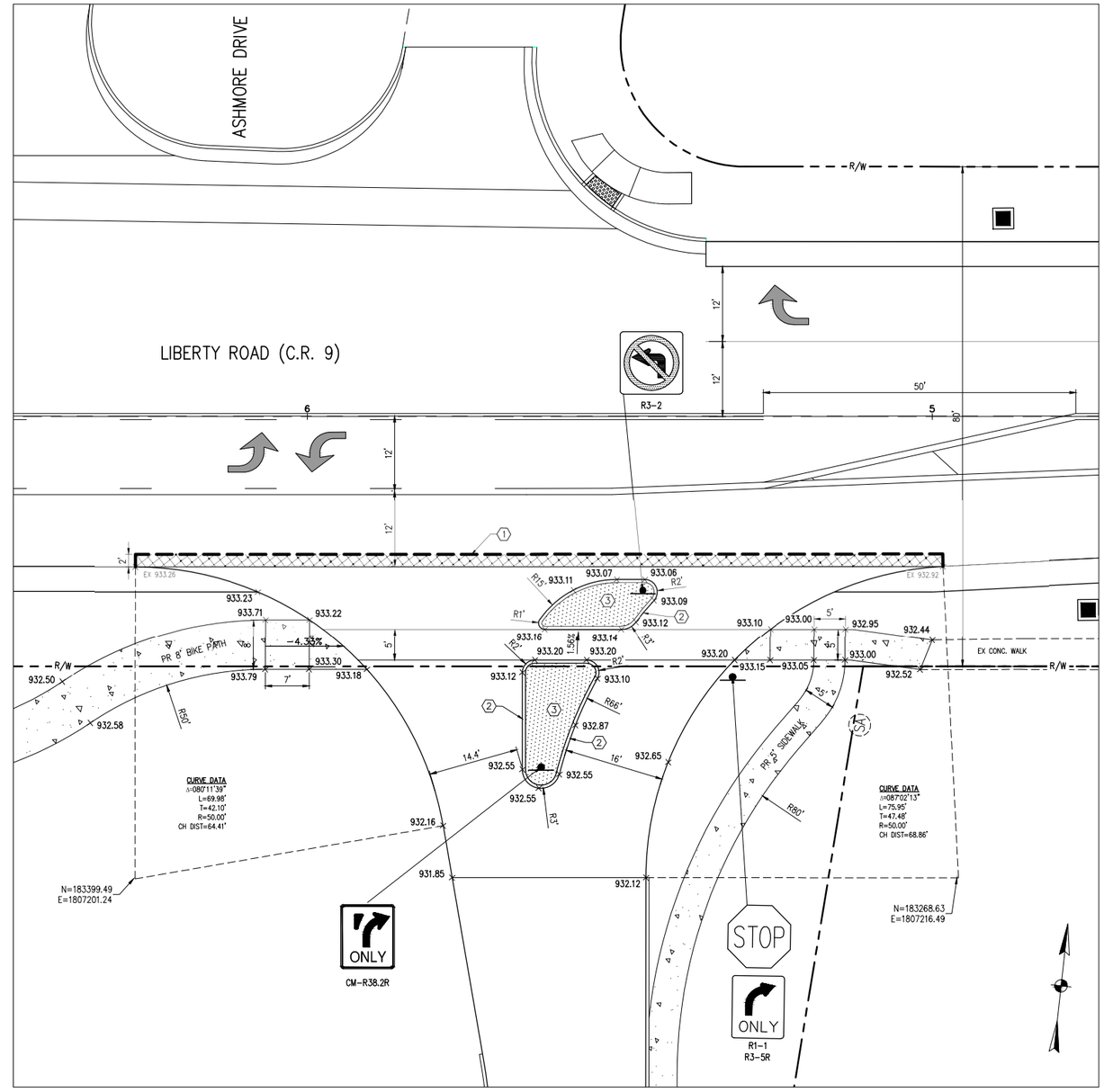
POWELL OFFICE CONDOMINIUMS

8930 LIBERTY ROAD POWELL, OHIO 43065

GRADING DETAILS



DRIVE DETAIL - SELDOM SEEN ROAD
SCALE: 1"=10'



DRIVE DETAIL - LIBERTY ROAD
SCALE: 1"=10'

LEGEND

PR FULL DEPTH PERMANENT PAVEMENT REPLACEMENT

PR CONCRETE

KEYED NOTES

1. SAWCUT LINE SHALL BE MINIMUM 2' FROM EXISTING EDGE OF PAVEMENT
2. 18" STRAIGHT CURB PER STD DWG 2000
3. 6" CONCRETE MEDIAN

GRAPHIC SCALE
0 5 10 20
1 INCH = 10 FEET

NO.	DATE	BY	DESCRIPTION

1160 DUBLIN ROAD, SUITE 100
COLUMBUS, OH 43215
TEL: 614.441.4222
FAX: 888.488.7340

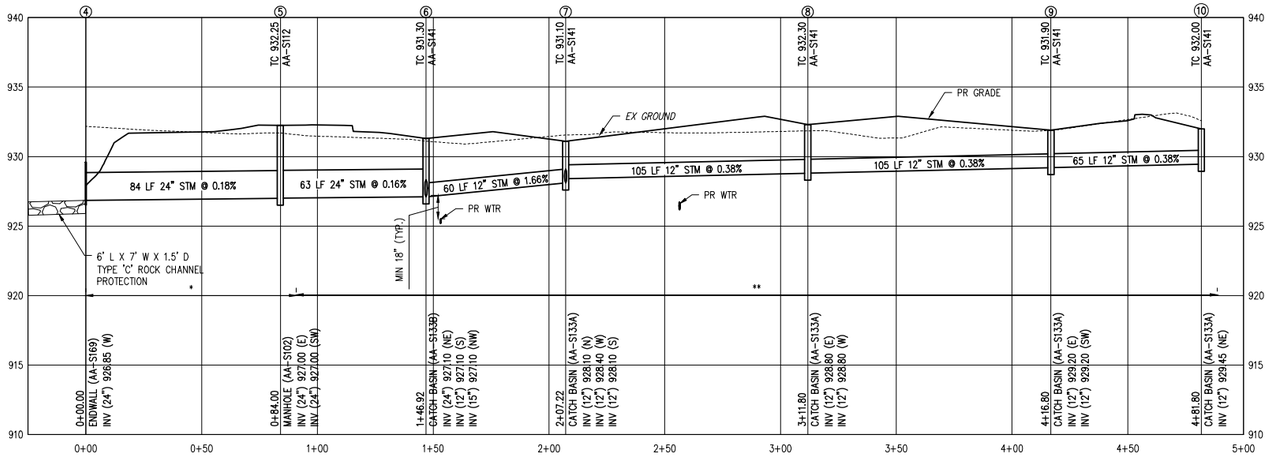
PROJECT DATE: 10/04/19
PROJECT NO: E1200022
DRAWN BY: MS
CHECKED BY: SEF

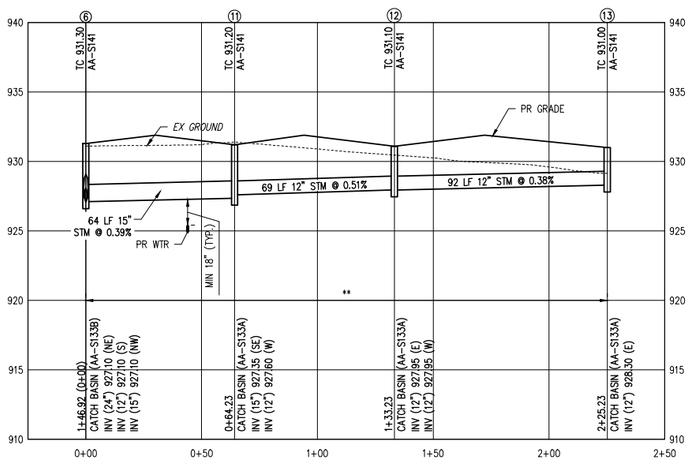
TECHNICAL SKILL. CREATIVE SPIRIT.
Mannik Smith GROUP
www.mannik&smithgroup.com

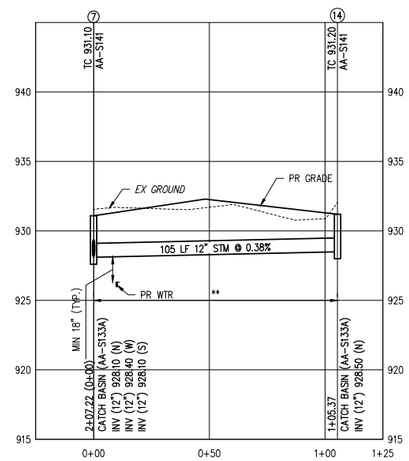
PREPARED FOR:
EQUITY CONSTRUCTION SOLUTIONS
4653 TRUEMAN BLVD., SUITE 100
HILLIARD, OH 43026

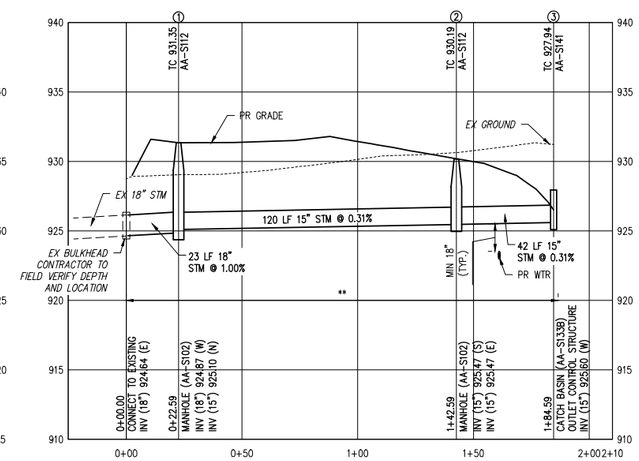
SITE IMPROVEMENT PLAN
POWELL OFFICE CONDOMINIUMS
8930 LIBERTY ROAD POWELL, OHIO 43065

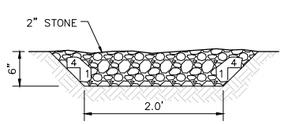
DRIVE DETAILS





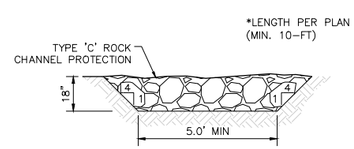






LOW FLOW CHANNEL DETAIL

NOT TO SCALE



ROCK SHUTE DETAIL

NOT TO SCALE

* COMPACTED BACKFILL PER ITEM 911

** COMPACTED GRANULAR BACKFILL PER ITEM 912

SCALE: 1 IN = 30 FT (H)
1 IN = 5 FT (V)

NO.	DATE	BY	DESCRIPTION

1160 DUBLIN ROAD, SUITE 100
COLUMBUS, OH 43215
TEL: 614.441.4222
FAX: 888.488.7340

PROJECT DATE: 10/04/19
PROJECT NO: E1200022
DRAWN BY: MS
CHECKED BY: SEF

TECHNICAL SKILL. CREATIVE SPIRIT.

Mannik Smith GROUP

www.MannikSmithGroup.com

PREPARED FOR:

EQUITY CONSTRUCTION SOLUTIONS

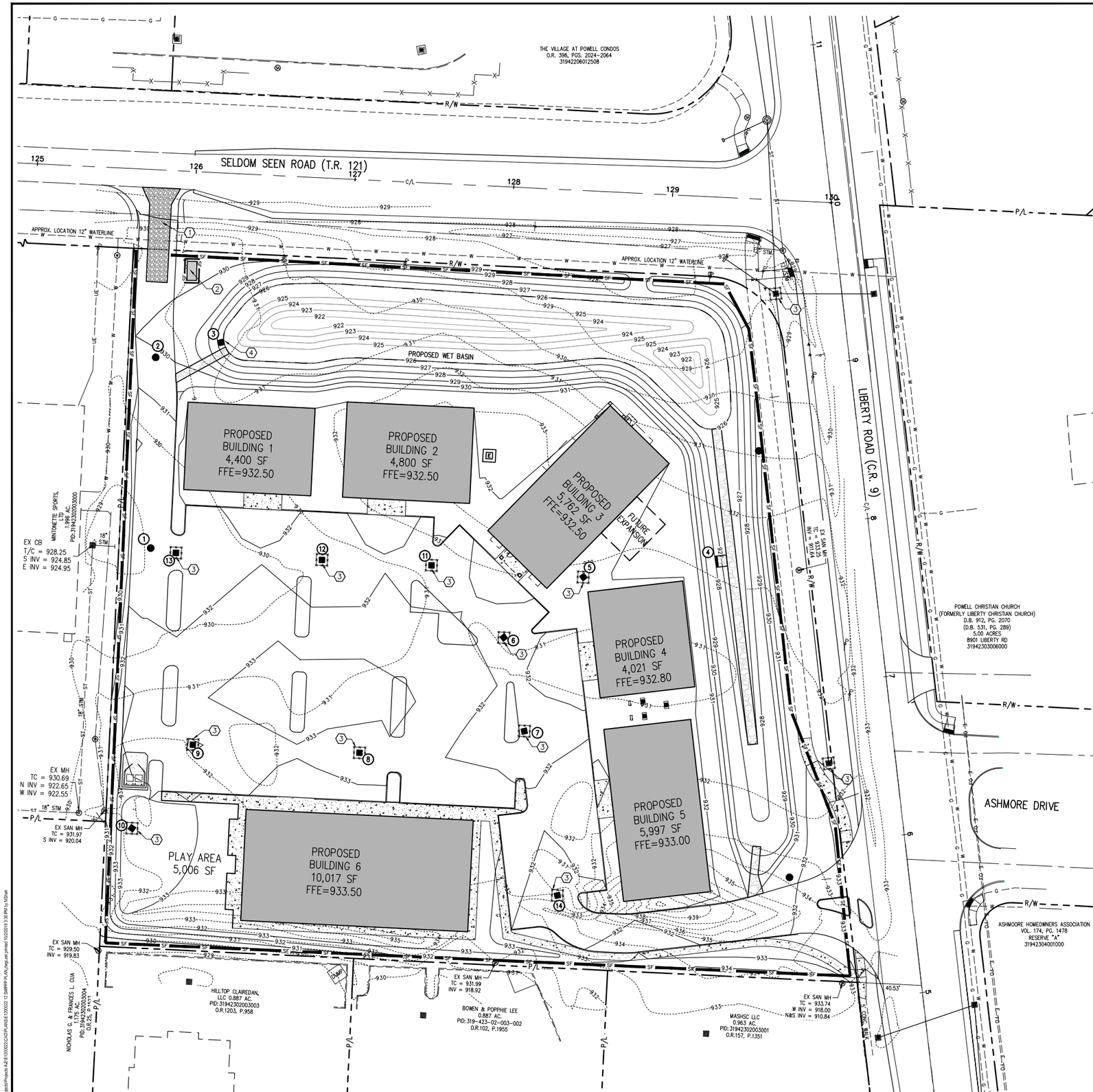
4653 TRUEMAN BLVD., SUITE 100
HILLIARD, OH 43026

SITE IMPROVEMENT PLAN

POWELL OFFICE CONDOMINIUMS

8930 LIBERTY ROAD POWELL, OHIO 43065

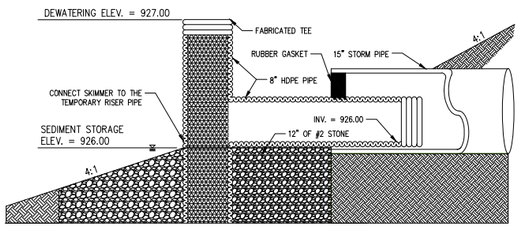
STORM SEWER PROFILES



LEGEND

- EXISTING CATCH BASIN
- EXISTING SANITARY MANHOLE
- PROPOSED CATCH BASIN
- PROPOSED STORM STRUCTURE NUMBER
- PROPOSED MANHOLE
- PROPOSED ENDWALL/HEADWALL
- FLOW ARROW
- EX CONTOUR
- PR CONTOUR
- SILT FENCE
- CONCRETE WASHOUT
- STABILIZED CONSTRUCTION ENTRANCE
- INSTALL JUTE MATTING AFTER EXCAVATION/EMBANKMENT ACTIVITIES
- PROPOSED INLET PROTECTION

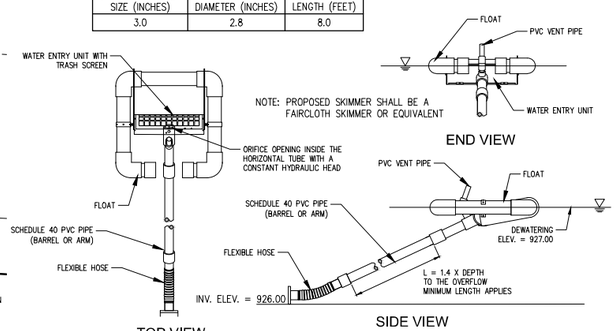
DISTURBED AREA	4.44 AC
SEDIMENT STORAGE VOLUME REQUIRED	4,440 FT^3
SEDIMENT STORAGE VOLUME PROVIDED	10,623 FT^3
DEWATERING VOLUME REQUIRED	7,992 FT^3
DEWATERING VOLUME PROVIDED	17,327 FT^3



TEMPORARY SEDIMENT CONTROL STAND PIPE DETAIL

NOT TO SCALE

SKIMMER SPECIFICATIONS		
SKIMMER DIAMETER SIZE (INCHES)	SKIMMER ORIFICE DIAMETER (INCHES)	SKIMMER PIPE LENGTH (FEET)
3.0	2.8	8.0



SKIMMER DETAIL

NOT TO SCALE

KEYED NOTES

1. STABILIZED CONSTRUCTION ENTRANCE, SEE DETAIL ON SHEET 13
2. CONCRETE WASHOUT, SEE DETAIL ON SHEET 13
3. INLET PROTECTION, SEE DETAILS ON SHEET 13
4. TEMPORARY SEDIMENT CONTROL STANDPIPE, SEE DETAIL THIS SHEET

GRAPHIC SCALE

0 15 30 60

1 INCH = 30 FEET

NO.	DATE	BY	DESCRIPTION

1160 DUBLIN ROAD, SUITE 100
COLUMBUS, OH 43215
TEL: 614.441.4222
FAX: 888.488.7340

PROJECT DATE: 10/04/19
PROJECT NO: E1200022
DRAWN BY: MS
CHECKED BY: SEF

TECHNICAL SKILL. CREATIVE SPIRIT.

Mannik Smith GROUP

www.MannikSmithGroup.com

PREPARED FOR:

EQUITY CONSTRUCTION SOLUTIONS
4653 TRUEMAN BLVD., SUITE 100
HILLIARD, OH 43026

SITE IMPROVEMENT PLAN

POWELL OFFICE CONDOMINIUMS

8930 LIBERTY ROAD POWELL, OHIO 43065

STORM WATER POLLUTION PREVENTION PLAN

GENERAL NOTES

1. NOT ALL EROSION CONTROL MEASURES SHOWN WILL BE IN USE AT THE SAME TIME. PHASING SHALL BE DETERMINED BY THE CONTRACTOR AND EROSION CONTROL DEVICES SHALL BE MODIFIED ACCORDINGLY.
2. STREET CLEANING (ON AN AS-NEEDED BASIS) IS REQUIRED THROUGH THE DURATION OF THIS CONSTRUCTION PROJECT. THIS INCLUDES SWEEPING, POWER CLEANING AND (IF NECESSARY) MANUAL REMOVAL OF DIRT OR MUD IN THE STREET GUTTERS.
3. THIS PLAN MUST BE POSTED ON-SITE. A COPY OF THE SWPPP PLAN AND THE APPROVED EPA STORMWATER PERMIT (WITH THE SITE-SPECIFIC NOI NUMBER) SHALL BE KEPT ON-SITE AT ALL TIMES.
4. DIRECT DISCHARGE OF SEDIMENT LADEN WATER TO THE CITY'S SEWER SYSTEM OR A RECEIVING STREAM IS A VIOLATION OF OHIO EPA AND CITY OF POWELL REGULATIONS. THE CONTRACTOR WILL BE HELD LIABLE FOR THE VIOLATION AND SUBSEQUENT FINES.

PLAN DESIGNER

THE MANNIK & SMITH GROUP
1160 DUBLIN ROAD, SUITE 100
COLUMBUS, OH 43215
CONTACT: STEVEN E FOX
PHONE: (614) 441-4222
EMAIL: SFOX@MANNIKSMITHGROUP.COM

PROJECT OWNER

EQUITY CONSTRUCTION SOLUTIONS
4653 TRUEMAN BLVD., SUITE 100
HILLIARD, OHIO 43026
CONTACT: SHAWN BOYSKO
PHONE: 614-363-8328
EMAIL: SBOYSKO@ECSBUILDS.COM

PROJECT DESCRIPTION

PROJECT CONSISTS OF DEVELOPING A OFFICE CONDOMINIUMS FACILITY ON AN UNDEVELOPED LOT.

AREA OF PROJECT SITE

TOTAL SITE AREA: 4.40± AC.
TOTAL DISTURBED AREA: 4.40± AC.

EXISTING SITE CONDITIONS

THE EXISTING SITE CONTAINS GRASS, BRUSH, AND TREES THAT WILL BE CLEARED FOR NEW CONSTRUCTION.

ADJACENT AREAS

THE SITE IS BOUNDED BY SELDOM SEEN ROAD ON THE NORTH, LIBERTY ROAD ON THE EAST, COMMERCIAL ON THE SOUTH & WEST.

RECEIVING STREAM/SURFACE WATER

OLENTANGY RIVER

EROSION AND SEDIMENT CONTROL MEASURES

SEDIMENT FENCE AND INLET PROTECTION SHALL BE USED AS SHOWN ON THE PLAN.

POST CONSTRUCTION STORM WATER MANAGEMENT

WATER QUALITY WILL BE ACCOUNTED FOR ON THIS DEVELOPMENT THROUGH DRAWDOWN IN WET DETENTION BASIN.

SITE CONTACT

SHAWN BOYSKO
PHONE: 614-363-8328
EMAIL: SBOYSKO@ECSBUILDS.COM

OHIO EPA NPDES PERMIT

OEPA # – TBD

BMP STRUCTURE NOTICE

STRUCTURES (3) ARE BMPS AND ARE AN INTEGRAL PART OF THE PRIVATE STORM SEWER SYSTEM DEPICTED IN THESE DRAWINGS. RESPONSIBILITY AND ASSURANCE OF PERIODIC MAINTENANCE AND THE CONTINUOUS FUNCTIONALITY OF THESE STORMWATER QUALITY DEVICES IS PERPETUAL; BEGINNING WITH THE OWNER AT THE TIME OF INSTALLATION AND CONTINUING TO ALL FUTURE OWNERS OF SAID PRIVATE STORM SEWER SYSTEM.

POST CONSTRUCTION MAINTENANCE

1. PERIODIC INSPECTIONS OF THE STORM WATER CONTROL FACILITY AND ITS APPURTENANCES AT A FREQUENCY STIPULATED IN THE APPROVED STORM WATER CONTROL MAINTENANCE PLAN.
2. INSPECTIONS SHALL INCLUDE THE COMPLETION OF DATED AND SIGNED INSPECTION CHECKLISTS PROVIDED IN THE STORM WATER CONTROL FACILITY MAINTENANCE PLAN AND THE NOTATION OF ALL DEFICIENCIES OBSERVED DURING THE INSPECTION.
3. THE PROPERTY OWNER SHALL MAINTAIN COPIES OF COMPLETE DATED AND SIGNED INSPECTION CHECKLISTS OF MAINTENANCE ACTIVITIES PERFORMED BY PROPERTY OWNER TO REMEDY THE DEFICIENCIES OBSERVED DURING INSPECTION.

EROSION CONTROL NOTES

1. ALL CONSTRUCTION METHODS AND MATERIALS MUST CONFORM TO CURRENT STANDARDS AND SPECIFICATIONS OF THE FEDERAL, STATE, COUNTY, CITY OR LOCAL REQUIREMENTS, WHICHEVER HAS JURISDICTION.
2. PER THE NPDES CONSTRUCTION GENERAL PERMIT OHC000002, ALL CONTRACTORS AND SUBCONTRACTORS ARE REQUIRED BY THE OHIO EPA TO OBTAIN CO-PERMITS.
3. LAND ALTERATION WHICH STRIPS THE LAND OF VEGETATION, INCLUDING REGRADING, SHALL BE DONE IN A WAY THAT WILL MINIMIZE EROSION.
4. THIS PLAN SHALL NOT BE CONSIDERED ALL INCLUSIVE AS THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT SOIL SEDIMENT FROM LEAVING THE SITE. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTION.
5. SEDIMENT LADEN WATER SHALL BE DETAINED BY EROSION CONTROL PRACTICES AS NEEDED TO MINIMIZE SEDIMENTATION IN THE RECEIVING STREAM. NO STORM WATER SHALL BE DISCHARGED FROM THE SITE IN A MANNER THAT CAUSES EROSION AT THE POINT OF DISCHARGE.
6. WASTES AND UNUSED BUILDING MATERIALS SHALL NOT BE ALLOWED TO BE CARRIED FROM THE SITE BY STORM WATER RUNOFF. PROPER DISPOSAL OF ALL WASTES AND UNUSED BUILDING MATERIALS IS REQUIRED.
7. SEDIMENT BEING TRACKED ONTO PUBLIC OR PRIVATE ROADWAYS SHALL BE MINIMIZED. CLEARING OF ACCUMULATED SEDIMENT SHALL NOT INCLUDE FLUSHING WITH WATER. CLEARED SEDIMENT SHALL BE RETURNED TO THE SITE FOR DISPOSAL.
8. SOIL WHICH HAS ACCUMULATED NEXT TO EROSION CONTROL DEVICES SHALL BE COLLECTED AND REDISTRIBUTED ON SITE AFTER EACH RAINFALL EVENT, AND AT LEAST ONCE A WEEK.
9. IF INSTALLATION OF STORM DRAINAGE SYSTEM SHOULD BE INTERRUPTED BY WEATHER OR NIGHTFALL, THE PIPE ENDS SHALL BE COVERED WITH FILTER FABRIC.
10. ALL EXISTING STRUCTURES, FENCING, TREES AND ETC., WITHIN CONSTRUCTION AREA SHALL BE REMOVED AND DISPOSED OF OFF SITE. BURNING IS NOT ALLOWED ON-SITE.
11. SCHEDULE OF EARTHWORK ACTIVITIES:
    a. THE DURATION OF TIME WHICH AN AREA REMAINS EXPOSED SHALL BE KEPT TO A PRACTICAL MINIMUM. THE AREA SHALL BE STABILIZED AS SOON AS POSSIBLE. TEMPORARY VEGETATION OR MULCHING SHALL BE USED TO PROTECT EXPOSED AREAS IF PERMANENT VEGETATION CANNOT BE SEEDED WITHIN 14 DAYS OR ACTIVITY CEASES FOR MORE THAN 14 DAYS OR AS DIRECTED BY THE ENGINEER.
    b. TOPSOIL REPLACEMENT SHALL TAKE PLACE FROM MARCH 1 TO OCTOBER 31. STOCKPILE TOPSOIL AT ALL OTHER TIMES OF THE YEAR. PERMANENT AND FINAL VEGETATION AND STRUCTURAL EROSION CONTROL DEVICES SHALL BE INSTALLED WITHIN SEVEN (7) DAYS AFTER FINAL GRADING OR AS SOON AS POSSIBLE.
12. ALL EROSION AND SEDIMENT CONTROL PRACTICES ARE SUBJECT TO FIELD MODIFICATION AT THE DISCRETION OF THE CITY OF POWELL AND/OR THE OHIO EPA.

TEMPORARY AND PERMANENT SEEDING

THE LIMITS OF SEEDING AND MULCHING ARE ASSUMED TO BE 5'-0" OUTSIDE THE WORK LIMITS. ALL AREAS NOT DESIGNATED TO BE SEEDED SHALL REMAIN UNDER NATURAL GROUND COVER. THOSE AREAS DISTURBED OUTSIDE THE SEEDING LIMITS SHALL BE SEEDED AND MULCHED AT THE CONTRACTOR'S EXPENSE.

TEMPORARY SEEDING: ANY AREA WHICH WILL BE LEFT DORMANT (UNDISTURBED) FOR MORE THAN 21 DAYS SHALL BE SEEDED WITHIN 7 DAYS OF TERMINATED WORK. DISTURBED AREAS WITHIN 50 FEET OF A STREAM, FIRST ORDER OR LARGER, SHALL BE STABILIZED WITHIN 2 DAYS OF INACTIVITY. TEMPORARY SEEDING CONSISTS OF SEEDBED PREPARATION AND APPLICATION OF SEED, FERTILIZER, AND WATER. SOIL TEST IS RECOMMENDED TO DETERMINE PROPER APPLICATION RATE OF FERTILIZER AND IF LIME IS NECESSARY.

FERTILIZER 12-12-12	12 LB/1000 SQ. FT.
STRAW MULCH	2 TONS/ACRE
WATER	300 G/1000 SQ. FT.

PERMANENT SEEDING: ANY AREA THAT IS AT FINAL GRADE SHALL BE SEEDED WITHIN 7 DAYS OF TERMINATED WORK. PERMANENT SEEDING CONSISTS OF SEEDBED PREPARATION AND APPLICATION OF SEED, FERTILIZER, AND WATER. SOIL TEST IS RECOMMENDED TO DETERMINE PROPER APPLICATION RATE OF FERTILIZER AND IF LIME IS NECESSARY. IDEAL CONDITIONS FOR PERMANENT SEEDING IS MARCH 1-MAY 31 AND AUGUST 1-SEPTEMBER 30.

PERMANENT SEEDING

SEED MIX	SEEDING RATE		NOTES
	LB/ACRE	LB/1000 SQ.FT.	
GENERAL USE			
CREEPING RED FESCUE	20-40	1/2-1	
DOMESTIC RYEGRASS	10-20	1/4-1/2	
KENTUCKY BLUEGRASS	10-20	1/4-1/2	
TALL FESCUE	40	1	
DWARF FESCUE	40	1	

TEMPORARY SEEDING

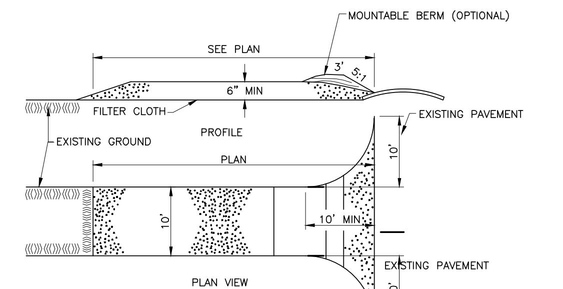
SEEDING DATES	SPECIES	LB./1000 SQ. FT.	PER ACRE
MARCH 1 TO NOVEMBER 1	PERENNIAL RYEGRASS	1	40 LB.
	TALL FESCUE	1	40 LB.
	ANNUAL RYEGRASS	1	40 LB.
NOV. 1 TO SPRING SEEDING	USE MULCH ONLY, SODDING PRACTICES OR DORMANT SEEDING		
NOTE: OTHER APPROVED SEED SPECIES MAY BE SUBSTITUTED.			

STORM INSPECTION & MAINTENANCE SCHEDULE

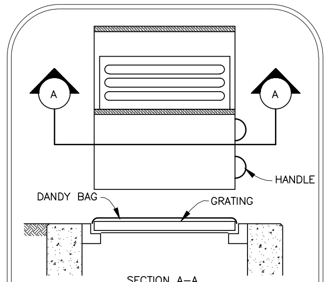
ACTIVITY	SCHEDULE
– CLEAN AND REMOVE DEBRIS FROM INLET AND OUTLET STRUCTURES – WQ STRUCUTRE FLOATABLES AND SUMP CLEANOUT SHOULD OCCUR AS SOON AS POSSIBLE FOLLOWING A SPILL IN THE CONTRIBUTING DRAINAGE AREA.	MONTHLY/ AFTER HEAVY RAIN EVENTS
– INSPECT FOR DAMAGE, PAYING PARTICULAR ATTENTION TO THE CONTROL STRUCTURE – MONITOR FOR SEDIMENT ACCUMULATION IN FACILITY. REMOVED SEDIMENT SHALL BE HAULED AWAY AND DISPOSED OF PROPERLY. – EXAMINE TO ENSURE THAT INLET AND OUTLET DEVICES ARE FREE OF DEBRIS AND OPERATIONAL. – WQ STRUCTURE FLOATABLE AND SUMP CLEANOUT ARE TYPICALLY CONDUCTED ONCE A YEAR DURING ANY SEASON.	ANNUAL INSPECTION
NOTES: THE RESPONSIBILTY IS PERPETUAL FOR ALL FUTURE OWNERS OF THIS PROPERTY. COPIES OF SAMPLE INSPECTION LOGS CAN BE FOUND IN COC SWDM APPENDIX E.	

CONSTRUCTION SPECIFICATIONS

1. STONE SIZE – USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH – AS REQUIRED.
3. THICKNESS – NOT LESS THAN SIX (6) INCHES.
4. WIDTH – TWENTY (20) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
5. FILTER CLOTH – WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
6. SURFACE WATER – ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED. COST OF PIPE SHALL BE INCLUDED IN THE PRICE BID FOR THE STABILIZED CONSTRUCTION ENTRANCE.
7. MAINTENANCE – THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. WASHING – WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAYS. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.



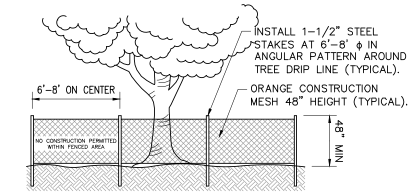
STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE



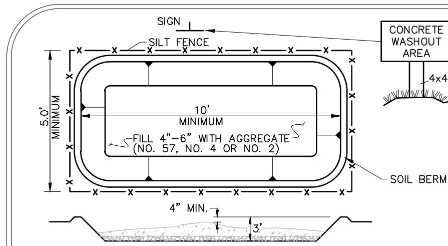
INSTALLATION:
STAND GRATE ON END. PLACE DANDY BAG OVER GRATE. FLIP GRATE OVER SO THAT OPEN END IS UP. PULL UP SLACK. TUCK FLAP IN. BE SURE END OF GRATE IS COMPLETELY COVERED BY FLAP OR DANDY BAG WILL NOT FIT PROPERLY. HOLDING HANDLES, CAREFULLY PLACE DANDY BAG WITH GRATE INSERTED INTO CATCH BASIN FRAME SO THAT RED DOT ON THE TOP OF THE DANDY BAG IS VISIBLE.

MAINTENANCE:
AFTER SILT HAS DRIED, REMOVE IT FROM THE SURFACE OF DANDY BAG WITH BROOM.

THE DANDY BAG
N.T.S.



TREE PROTECTION DETAIL
NOT TO SCALE

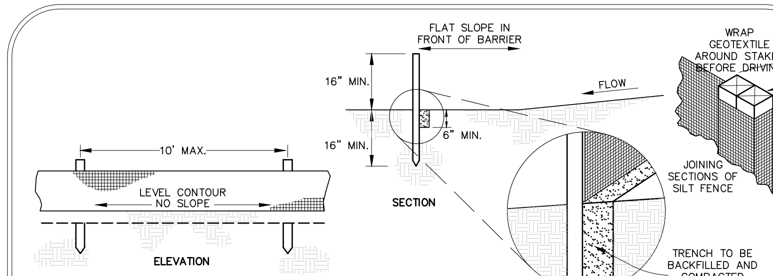


CONCRETE WASHOUT AREA
N.T.S.

THE USE OF PORTABLE CONCRETE WASHOUT UNITS IS APPROVED (AND ENCOURAGED) FOR ALL CONSTRUCTION AREAS IN THE CITY OF COLUMBUS.

CONSTRUCTION SEQUENCE

1. THE CONTRACTOR SHALL ESTABLISH A STABILIZED CONSTRUCTION ENTRANCE.
2. THE CONTRACTOR SHALL PLACE THE REQUIRED SEDIMENT FENCE AND INLET PROTECTION ON ANY EXISTING INLETS IN ACCORDANCE WITH THE PLAN DETAILS. INSPECTION BY THE CITY OF POWELL WILL BE REQUIRED PRIOR TO ANY CONSTRUCTION ACTIVITY.
3. THE CONTRACTOR SHALL PERFORM SITE EARTHWORK OPERATIONS IN ACCORDANCE WITH THE PLAN DETAILS AND NOTES INCLUDING INSTALLATION OF STORM SEWERS. PROVISIONS FOR INLET PROTECTIONS SHALL BE ESTABLISHED AS REFERENCED BY THE DETAILS SHOWN ON THIS SHEET. THE CONTRACTOR SHALL APPLY WATER OR DUST PALLIATIVE ON DISTURBED AREAS DURING CONSTRUCTION TO ALLEVIATE OR PREVENT DUST NUISANCE PER ITEM 616. DUST PALLIATIVE SHALL CONSIST OF CALCIUM CHLORIDE MEETING THE REQUIREMENTS OF SECTION 712.02. THE WATER OR CALCIUM CHLORIDE SHALL BE SPREAD UNIFORMLY OVER THE SURFACE OF THE DISTURBED AREA.
4. EXPOSED SLOPES SHALL BE STABILIZED AS SOON AS THEY ARE ENCOUNTERED.
5. THE CONTRACTOR SHALL PLACE SEEDING AND MULCHING AS NECESSARY TO STABILIZE ALL DENUDED AREAS. ALL DENUDED AREAS SHALL HAVE SOIL STABILIZATION APPLIED WITHIN SEVEN (7) DAYS OF DISTURBANCE IF THEY ARE TO BE SUBSTANTIALLY UNWORKED FOR MORE THAN 14 DAYS OR IF THEY ARE AT FINAL GRADE.
6. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF THE EROSION CONTROL DEVICES ONLY AFTER ALL AREAS HAVE ESTABLISHED VEGETATIVE COVER AND UPON APPROVAL FROM THE CITY OF POWELL.
7. AFTER REMOVAL OF EROSION CONTROL DEVICES, THE CONTRACTOR SHALL CLEAN ALL INLETS AND STORM PIPES OF ALL SEDIMENT INCURRED DURING CONSTRUCTION.



1. SILT FENCE SHALL BE CONSTRUCTED BEFORE UPSLOPE LAND DISTURBANCE BEGINS.
2. ALL SILT FENCE SHALL BE PLACED AS CLOSE TO THE CONTOUR AS POSSIBLE SO THAT WATER WILL NOT CONCENTRATE AT LOW POINTS IN THE FENCE AND SO THAT SMALL SWALES OR DEPRESSIONS THAT MAY CARRY SMALL CONCENTRATED FLOWS TO THE SILT FENCE ARE DISSIPATED ALONG ITS LENGTH.
3. ENDS OF THE SILT FENCES SHALL BE BROUGHT UPSLOPE SLIGHTLY SO THAT WATER PONDED BY THE SILT FENCE WILL BE PREVENTED FROM FLOWING AROUND THE ENDS.
4. SILT FENCE SHALL BE PLACED ON THE FLATTEST AREA AVAILABLE.
5. WHERE POSSIBLE, VEGETATION SHALL BE PRESERVED FOR 5 FEET (OR AS MUCH AS POSSIBLE) UPSLOPE FROM THE SILT FENCE. IF VEGETATION IS REMOVED, IT SHALL BE REESTABLISHED WITHIN 7 DAYS FROM THE INSTALLATION OF THE SILT FENCE.
6. THE HEIGHT OF THE SILT FENCE SHALL BE A MINIMUM OF 16 INCHES ABOVE THE ORIGINAL GROUND SURFACE.
7. THE SILT FENCE SHALL BE PLACED IN AN EXCAVATED OR SLICED TRENCH CUT A MINIMUM OF 6 INCHES DEEP. THE TRENCH SHALL BE MADE WITH A TRENCHER, CABLE LAYING MACHINE, SLICING MACHINE, OR OTHER SUITABLE DEVICE THAT WILL ENSURE AN ADEQUATELY UNIFORM TRENCH DEPTH.
8. THE SILT FENCE SHALL BE PLACED WITH THE STAKES ON THE DOWNSLOPE SIDE OF THE GEOTEXTILE. A MINIMUM OF 8 INCHES OF GEOTEXTILE MUST BE BELOW THE GROUND SURFACE. EXCESS MATERIAL SHALL LAY ON THE BOTTOM OF THE 6-INCH DEEP TRENCH. THE TRENCH SHALL BE BACKFILLED AND COMPACTED ON BOTH SIDES OF THE FABRIC.
9. SEAMS BETWEEN SECTIONS OF SILT FENCE SHALL BE SPLICED TOGETHER ONLY AT A SUPPORT POST WITH A MINIMUM 6-IN. OVERLAP PRIOR TO DRIVING INTO THE GROUND, (SEE DETAILS).
10. MAINTENANCE-SILT FENCE SHALL ALLOW RUNOFF TO PASS ONLY AS DIFFUSE FLOW THROUGH THE GEOTEXTILE. IF RUNOFF OVERTOPS THE SILT FENCE, FLOWS UNDER THE FABRIC OR AROUND THE FENCE ENDS, OR IN ANY OTHER WAY ALLOWS A CONCENTRATED FLOW DISCHARGE, ONE OF THE FOLLOWING SHALL BE PERFORMED, AS APPROPRIATE: 1)THE LAYOUT OF THE SILT FENCE SHALL BE CHANGED, 2)ACCUMULATED SEDIMENT SHALL BE REMOVED, OR 3)OTHER PRACTICES SHALL BE INSTALLED.

    SEDIMENT DEPOSITS SHALL BE ROUTINELY REMOVED WHEN THE DEPOSIT REACHES APPROXIMATELY ONE-HALF OF THE HEIGHT OF THE SILT FENCE.

    SILT FENCES SHALL BE INSPECTED AFTER EACH RAINFALL AND AT LEAST DAILY DURING A PROLONGED RAINFALL. THE LOCATION OF EXISTING SILT FENCE SHALL BE REVIEWED DAILY TO ENSURE ITS PROPER LOCATION AND EFFECTIVENESS. IF DAMAGED, THE SILT FENCE SHALL BE REPAIRED IMMEDIATELY.

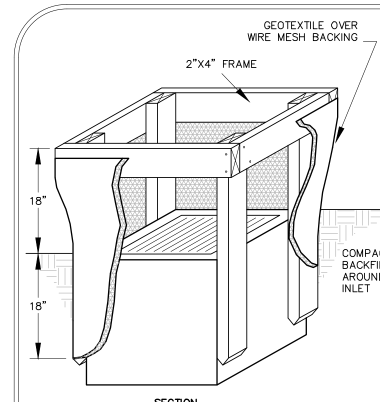
CRITERIA FOR SILT FENCE MATERIALS

1. FENCE POST – THE LENGTH SHALL BE A MINIMUM OF 32 INCHES. WOOD POSTS WILL BE 2-BY-2-IN. NOMINAL DIMENSIONED HARDWOOD OF SOUND QUALITY. THEY SHALL BE FREE OF KNOTS, SPLITS AND OTHER VISIBLE IMPERFECTIONS, THAT WILL WEAKEN THE POSTS. THE MAXIMUM SPACING BETWEEN POSTS SHALL BE 10 FT. POSTS SHALL BE DRIVEN A MINIMUM 16 INCHES INTO THE GROUND, WHERE POSSIBLE. IF NOT POSSIBLE, THE POSTS SHALL BE ADEQUATELY SECURED TO PREVENT OVERTURNING OF THE FENCE DUE TO SEDIMENT/WATER LOADING.
2. SILT FENCE FABRIC – SEE CHART BELOW.

FABRIC PROPERTIES	VALUES	TEST METHOD
Minimum Tensile Strength	120 lbs. (535 N)	ASTM D 4632
Maximum Elongation at 60 lbs	50%	ASTM D 4632
Minimum Puncture Strength	50 lbs (220 N)	ASTM D 4833
Minimum Tear Strength	40 lbs (180 N)	ASTM D 4533
Apparent Opening Size	0.84 mm	ASTM D 4751
Minimum Permittivity	1X10-2 sec.-1	ASTM D 4491
UV Exposure Strength Retention	70%	ASTM G 4355

* NOTE: THE USE OF STRAW WATTLES HAS PROVEN TO BE A VERSATILE AND EFFECTIVE ESC BMP, ESPECIALLY IN RESIDENTIAL SETTINGS. STRAW WATTLES MAY BE SUBSTITUTED FOR SILT FENCE IN LINEAR INSTALLATIONS. ADDITIONALLY: THE USE OF COMPOST FILTER SOCKS AND COMPOST BLANKETS ARE GAINING WIDER ACCEPTANCE NATIONWIDE. THEY ARE NOW APPROVED FOR USE ON ALL COLUMBUS SWP3 PLANS AND CONSTRUCTION SITES

SILT FENCE
N.T.S.



NOTE:
VERTICAL INLET PROTECTION TO BE USED WHERE POSSIBLE AND ALWAYS IN AREAS TO BE GRASSED.

1. INLET PROTECTION SHALL BE CONSTRUCTED EITHER BEFORE UPSLOPE LAND DISTURBANCE BEGINS OR BEFORE THE INLET BECOMES FUNCTIONAL.
2. THE EARTH AROUND THE INLET SHALL BE EXCAVATED COMPLETELY TO A DEPTH AT LEAST 18 INCHES.
3. THE WOODEN FRAME SHALL BE CONSTRUCTED OF 2-INCH BY 4-INCH CONSTRUCTION GRADE LUMBER. THE 2-INCH BY 4-INCH POSTS SHALL BE DRIVEN ONE (1) FT. INTO THE GROUND AT FOUR CORNERS OF THE INLET AND THE TOP PORTION OF 2-INCH BY 4-INCH FRAME ASSEMBLED USING THE OVERLAP JOINT SHOWN. THE TOP OF THE FRAME SHALL BE AT LEAST 6 INCHES BELOW ADJACENT ROADS IF PONDED WATER WILL POSE A SAFETY HAZARD TO TRAFFIC.
4. WIRE MESH SHALL BE OF SUFFICIENT STRENGTH TO SUPPORT FABRIC WITH WATER FULLY IMPOUNDED AGAINST IT. IT SHALL BE STRETCHED TIGHTLY AROUND THE FRAME AND FASTENED SECURELY TO THE FRAME.
5. GEOTEXTILE MATERIAL SHALL HAVE AN EQUIVALENT OPENING SIZE OF 20-40 SIEVE AND BE RESISTANT TO SUNLIGHT. IT SHALL BE STRETCHED TIGHTLY AROUND THE FRAME AND FASTENED SECURELY. IT SHALL EXTEND FROM THE TOP OF THE FRAME TO 18 INCHES BELOW THE INLET NOTCH ELEVATION. THE GEOTEXTILE SHALL OVERLAP ACROSS ONE SIDE OF THE INLET SO THE ENDS OF THE CLOTH ARE NOT FASTENED TO THE SAME POST.
6. BACKFILL SHALL BE PLACED AROUND THE INLET IN COMPACTED 6-INCH LAYERS UNTIL THE EARTH IS EVEN WITH NOTCH ELEVATION ON ENDS AND TOP ELEVATION ON SIDES.
7. A COMPACTED EARTH DIKE OR CHECK DAM SHALL BE CONSTRUCTED IN THE DITCH LINE BELOW THE INLET IF THE INLET IS NOT IN A DEPRESSION. THE TOP OF THE DIKE SHALL BE AT LEAST 6 INCHES HIGHER THAN THE TOP OF THE FRAME.

FILTER FABRIC INLET PROTECTION
N.T.S.

NO.	DATE	BY	DESCRIPTION

Mannik Smith GROUP
TECHNICAL SKILL. CREATIVE SPIRIT.
www.MannikSmithGroup.com
1160 DUBLIN ROAD, SUITE 100
COLUMBUS, OH 43215
TEL: 614.441.4222
FAX: 888.488.7340

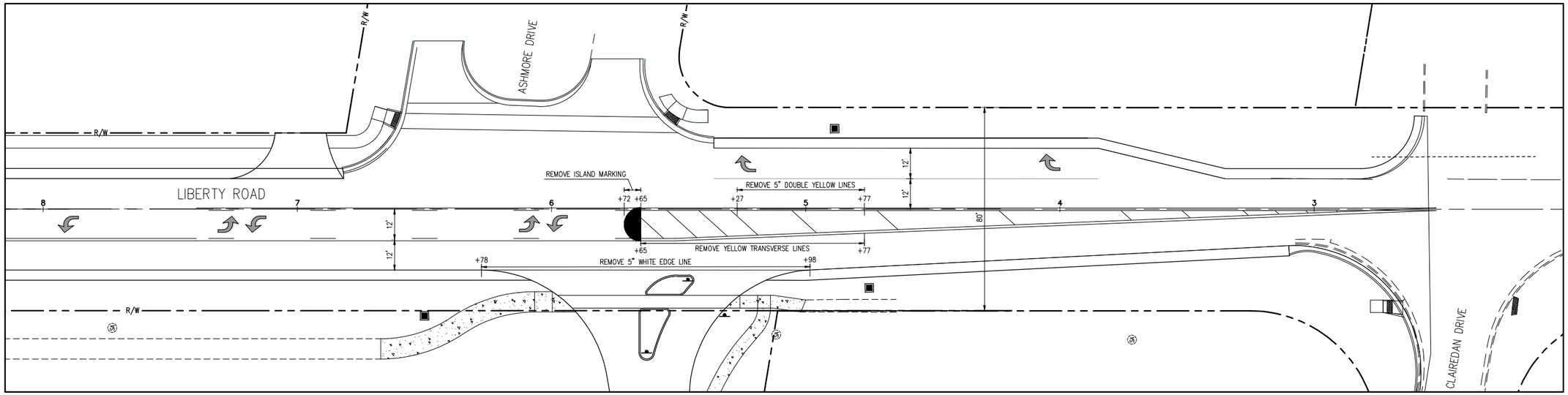
PROJECT DATE: 10/04/19
PROJECT NO: E1200022
DRAWN BY: MS
CHECKED BY: SEF

PREPARED FOR:
EQUITY CONSTRUCTION SOLUTIONS
4653 TRUEMAN BLVD., SUITE 100
HILLIARD, OH 43026

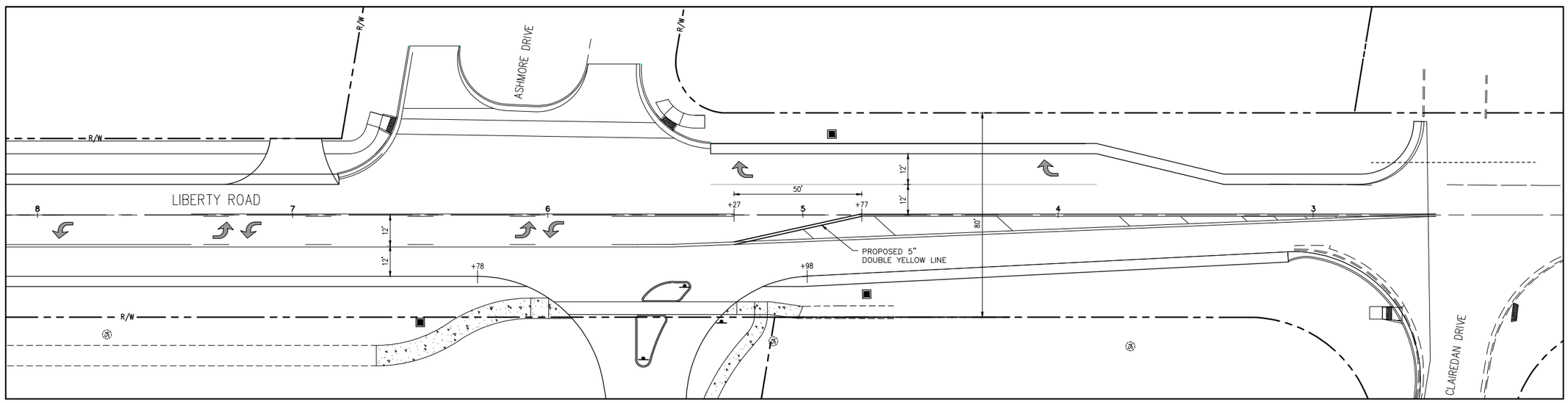
SITE IMPROVEMENT PLAN
POWELL OFFICE CONDOMINIUMS
8930 LIBERTY ROAD POWELL , OHIO 43065

STORM WATER POLLUTION PREVENTION DETAILS

L:\Projects\Projects A_E\E1200022\CAD\PLANS\E1200022 13 SWPPP DETAILS.dwgLast printed 9/18/2019 10:35 AM by PValerius



LIBERTY ROAD DEMO PAVEMENT MARKING PLAN



LIBERTY ROAD PROPOSED PAVEMENT MARKING PLAN

GRAPHIC SCALE

0 10 20 40

1 INCH = 20 FEET

NO.	DATE	BY	DESCRIPTION

1160 DUBLIN ROAD, SUITE 100
COLUMBUS, OH 43215
TEL: 614.441.4222
FAX: 888.488.7340

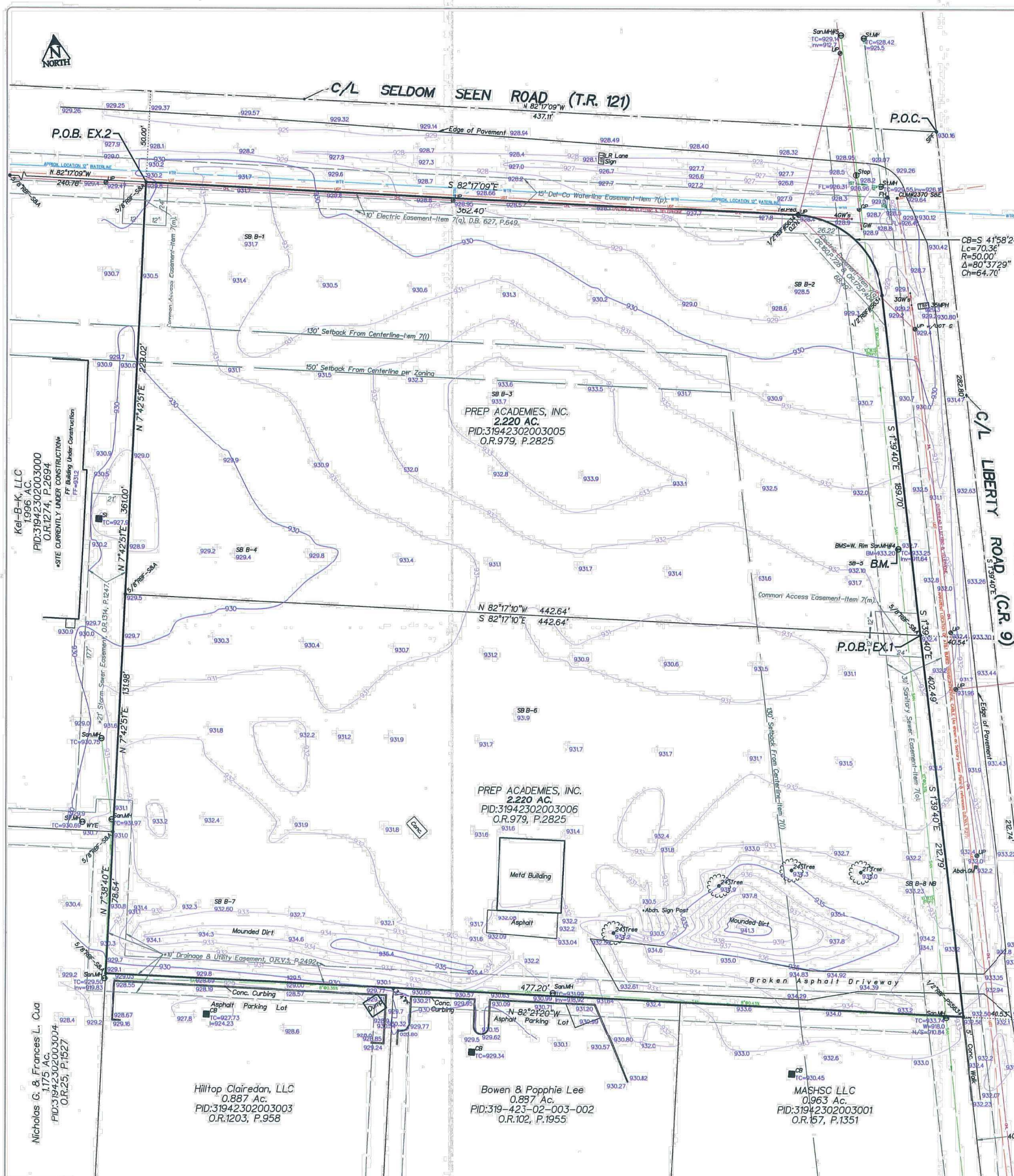
PROJECT DATE: 10/04/19
PROJECT NO: E1200022
DRAWN BY: MS
CHECKED BY: SEF

Mannik Smith GROUP
TECHNICAL SKILL. CREATIVE SPIRIT.
www.MannikSmithGroup.com

PREPARED FOR:
EQUITY CONSTRUCTION SOLUTIONS
4653 TRUEMAN BLVD., SUITE 100
HILLIARD, OH 43026

SITE IMPROVEMENT PLAN
POWELL OFFICE CONDOMINIUMS
8930 LIBERTY ROAD POWELL, OHIO 43065

PAVEMENT MARKING PLAN



LEGEND/ABBREVIATIONS

SURVEY MONUMENTS

- ● Found (F) ○ Set (S)
- IPS = 3/4" Iron Pipe Set flush with the ground & capped with a yellow plastic plug inscribed C. TURNER/P.S. 6702
- IPF = Iron Pipe Found
- SP(F/S) = Solid Pin (Found/Set)
- RB(F/S) = Rebar (Found/Set)
- RS(F/S) = Railroad Spike (Found/Set)
- PS(F/S) = Pony Spike (Found/Set)
- PK(F/S) = P.K. Nail (Found/Set)
- MN(F/S) = Mag Nail (Found/Set)
- CC(F/S) = Cut Cross
- DH(F/S) = Drill Hole
- CM(F/S) = Conc. Monument (Found/Set)
- MBF = Monument Box Found
- SF = Stone Found
- R.L. = Registered Land
- R/W = Right-of-Way Line
- P/L = Property Line
- C/L = Centerline
- BM = Bench Mark

UTILITIES/IMPROVEMENTS

- MH = Manhole
- AP = Access Port
- CO = Clean Out
- SAN = Sanitary Sewer
- ST = Storm Sewer
- CB = Catch Basin
- CI = Curb Inlet
- SI = Storm Inlet
- CP = Concrete Pipe
- PVC = Polyvinyl Chloride Pipe
- VCP = Vitrified Clay Pipe
- WTR = Waterline
- FH = Fire Hydrant
- WV = Water Valve
- WT = Water Tap
- WM(P) = Water Meter (Pit)
- IRG = Irrigation
- GAS = Natural Gasline
- GV = Gas Valve
- GT = Gas Tap
- GLM = Gasline Marker
- VB = Valve Box
- MW = Monitoring Well
- OHL = Overhead Utility Lines
- OHE = Overhead Electric Lines
- OHT = Overhead Telephone Lines
- PP = Power Pole
- TP = Telephone Pole
- UP = Utility Pole
- LP = Light Pole
- TLP = Traffic Light Pole
- GW = Guy Wire
- GP = Guard Post/Guy Pole
- AL = Area Lamp
- UGE = Underground Electric
- Ele. = Electric
- EPB = Electric Pull Box
- UGT = Underground Telephone
- FOC = Fiber Optic Cable
- Tel = Telephone
- UTV = Underground Television
- TV = Television
- Ped. = Pedestal
- E/P = Edge of Pavement
- B/T = Blacktop
- Cnc. = Concrete
- B/C = Back of Curb
- TC = Top Curb/Top Casting
- G = Gutter
- TW = Top Wall
- w/With

SITE BENCH MARK:

West rim of Sanitary Manhole #4, located 48' north of common line of 2.220 acre tracts & 7' west of Liberty Road right-of-way line.

ELEVATION=933.20 (NAVD 88-ODOT VRS GPS)

DESCRIPTION

EXHIBIT 1 (South 2.220 Acre Tract)

Situated in the City of Powell, County of Delaware, State of Ohio, located in part of Farm Lot 36, Section 4, Township 3, Range 19, United States Military Lands, being part of an original 52.018 acre tract conveyed to Louis V. and Doris E. Huffman in Deed Book 342, Page 57, and being more particularly described as follows:

Commencing at a 1" solid iron pin found at the intersection of the centerlines of Liberty Road (North Liberty Street–County Road 9) and Seldom Seen Road (Township Road 121), said iron pin being on the common line between Farm Lots 36 and 37, and being the northeasterly corner of a 1.263 acre tract conveyed to the City of Powell in Official Record Volume 105, Page 1499;

Thence, South 01° 39' 40" East, along the centerline of North Liberty Street, being the easterly line of said 1.263 acre tract, a distance of 282.80 feet to a point;

Thence, North 82° 17' 10" West, a distance of 40.54 feet to an iron pin set on the westerly right-of-way line of North Liberty Street, being a westerly line of said 1.263 acre tract, said iron pin being the TRUE PLACE OF BEGINNING;

Thence, South 01° 39' 40" East, along said westerly right-of-way line and the westerly line of said 1.263 acre tract, a distance of 212.79 feet to an iron pin found at the northeasterly corner of a 0.963 acre tract conveyed to Mark D. Mansfield in Official Record Volume 13, Page 1888, being the northwesterly corner of a 0.68 acre tract conveyed to the Village of Powell in Official Record Volume 13, Page 1884;

Thence, North 82° 21' 20" West, along the northerly line of said 0.963 acre tract, the northerly line of a 0.887 acre tract conveyed to Sudhir Sehgal and Anjali Sehgal in Official Record Volume 20, Page 261, and the northerly line of a 0.887 acre tract conveyed to Behzad Vedaie and Javad Ashrafi in Official Record Volume 29, Page 1945, (passing over iron pins found at 157.20 feet and 317.20 feet), a total distance of 477.20 feet to an iron pin set at the northwesterly corner of said 0.887 acre tract (conveyed to Vedaie and Ashrafi), being on the easterly line of a 1.175 acre tract conveyed to Nicholas G. Cua and Frances L. Cua in Official Record Volume 25, Page 1527;

Thence, North 07° 38' 40" East, along a portion of the easterly line of said 1.175 acre tract a distance of 78.54 feet to an iron pin set at the northeasterly corner of said 1.175 acre tract;

Thence, North 07° 42' 51" East, through said original 52.018 acre tract, a distance of 131.98 feet to an iron pin set;

Thence, South 82° 17' 10" East, continuing through said original 52.018 acre tract, a distance of 442.64 feet, to the TRUE PLACE OF BEGINNING.

Containing 2.220 acres, more or less.

Subject, however, to all easements, restrictions and rights-of-way of record.

The above description is based on and referenced to a Plat of Survey entitled "Plat of a Three Lot Split for Louis V. Huffman and Doris E. Huffman" dated May 9, 2001 by Stults and Associates, Inc.

All references are to records at the Recorder's Office, Delaware County, Ohio.

All iron pins set are 5/8" diameter iron pins with yellow plastic caps stamped "Stults & Assoc.".

The bearing system is based on the centerline of Clairedan Drive, (North 82° 21' 20" West) as recited on the plat of "John D. Wolf Commerce Park, Section No. 2" in Plat Cabinet 1, Slides 542 and 542-A.

In addition to the above described 2.220 acre tract, the Grantor hereby reserves a Common Access Easement between said 2.220 acre tract and the adjoining (North) 2.220 acre tract as shown on said Plat of Survey.

EXHIBIT 2 (North 2.220 Acre Tract)

Situated in the City of Powell, County of Delaware, State of Ohio, located in part of Farm Lot 36, Section 4, Township 3, Range 19, United States Military Lands, being part of an original 52.018 acre tract conveyed to Louis V. and Doris E. Huffman in Deed Book 342, Page 57, and being more particularly described as follows:

Commencing at a 1" solid iron pin found at the intersection of the centerlines of Liberty Road (North Liberty Street–County Road 9) and Seldom Seen Road (Township Road 121), said iron pin being on the common line between Farm Lots 36 and 37, and being the northeasterly corner of a 1.263 acre tract conveyed to the City of Powell in Official Record Volume 105, Page 1499;

Thence, North 82° 17' 09" West, along the centerline of Seldom Seen Road, said Farm Lot Line and the northerly line of said 1.263 acre tract, a distance of 437.11 feet to a point;

Thence, South 07° 42' 51" West, a distance of 50.00 feet to an iron pin set on the southerly right-of-way of Seldom Seen Road, being the southerly line of said 1.263 acre tract, and being the TRUE PLACE OF BEGINNING;

Thence, South 82° 17' 09" East, along the southerly right-of-way of Seldom Seen Road, being a southerly line of said 1.263 acre tract, a distance of 362.40 feet to an iron pin found;

Thence, continuing along a line of said 1.263 acre tract and along the arc of a curve to the right, having a delta angle of 80° 37' 29", a radius of 50.00 feet, an arc length of 70.36 feet, a chord of 64.70 feet, and a chord bearing of South 41° 58' 24" East, to an iron pin found on the westerly right-of-way line of Liberty Street, being a westerly line of said 1.263 acre tract;

Thence, South 01° 39' 40" East, along the westerly right-of-way line of Liberty Street, being a westerly line of said 1.263 acre tract, a distance of 189.70 feet to an iron pin set;

Thence, North 82° 17' 10" West, through said original 52.018 acre tract, a distance of 442.64 feet to an iron pin set;

Thence, North 07° 42' 51" East, continuing through said original 52.018 acre tract, a distance of 229.02 feet to the TRUE PLACE OF BEGINNING.

Containing 2.220 acres, more or less.

Subject, however, to all easements, restrictions and rights-of-way of record.

The above description is based on and referenced to a Plat of Survey entitled "Plat of a Three Lot Split for Louis V. Huffman and Doris E. Huffman" dated May 9, 2001 by Stults and Associates, Inc.

All references are to records at the Recorder's Office, Delaware County, Ohio.

All iron pins set are 5/8" diameter iron pins with yellow plastic caps stamped "Stults & Assoc.".

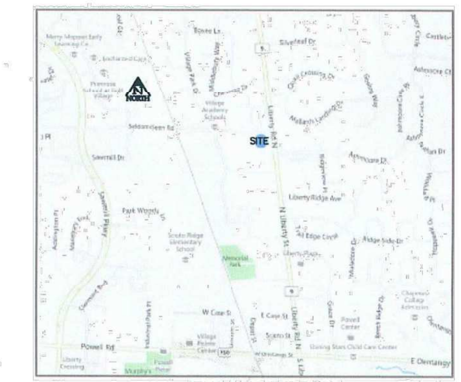
The bearing system is based on the centerline of Clairedan Drive, (North 82° 21' 20" West) as recited on the plat of "John D. Wolf Commerce Park, Section No. 2" in Plat Cabinet 1, Slides 542 and 542-A.

In addition to the above described 2.220 acre tract, the Grantor hereby reserves a Common Access Easement between said 2.220 acre tract and an adjoining (West) 1.996 acre tract and reserves another Common Access Easement between said 2.220 acre tract and an adjoining (South) 2.220 acre tract as shown on said Plat of Survey.

SITE PHOTOS

LIBERTY RD – Viewing East to West

SELDOM SEEN RD – Viewing North to South



LOCATION MAP

SURVEY NOTES

NOTE "A" – EXPLANATION OF SURVEY:
This plat represents an ALTA/ACSM Land Title Survey made in compliance with the requirements of, and for the sole, exclusive and collective use of the parties named hereon, for which it was prepared. Use (including reproduction & dissemination) of this survey and the information shown hereon is restricted to the parties named hereon. This survey is not transferable and is invalid without an original signature and embossed over blue ink seal.

NOTE "B" – BASIS OF BEARINGS:
Bearings are referenced to that meridian used in the deed of the subject property, which is a 4°55'12" clockwise rotation from Grid North of the Ohio State Plane Coordinate System (North Zone), as determined by GPS observations.

NOTE "C" – TITLE COMMITMENT/POLICY EASEMENTS:
No investigation of the public records as to recorded easements, restrictions or other encumbrances was made by us in connection with this survey. This survey is subject to defects, liens, encumbrances, adverse claims, rights or claims of parties in possession, easements, or claims of easements, restrictions, covenants, building setbacks, taxes or special assessments, or other matters, if any, which would be disclosed by a complete and accurate title commitment, policy or report. We were provided a copy of Old Republic Title Insurance Company Commitment No. Q03679, bearing an effective date of October 24, 2014, which in Schedule B-II lists the following exceptions:

- Items 1-6, & 7(a)-7(k) & 7(r)-7(w), inclusive. See commitment & related documents.
- Item 7(l). OR 105, P.1464 & 1469: Building Setback Lines-Applicable as shown.
- Item 7(m). OR 105, P.1464 & 1469: Common Access Easement-Applicable as shown.
- Item 7(n). D.B.361, P.84: Del-Co Waterline Easement-Apparently lies within current Liberty Road Right-of-Way (R/W)-N/A (Not Applicable).
- Item 7(o). D.B.500, P.638: 30' Sanitary Sewer Easement-Applicable as shown.
- Item 7(p). D.B.535, P.168: Del-Co Waterline Easement-Applicable as shown.
- Item (7(q). D.B.523, P.77: Electric Easement-Apparently lies within current Liberty Road R/W-N/A.
  D.B.627, P.649: 10' Electric Easement along northerly line of north 2.220 acre tract-Applicable as shown.
  O.R.160, P.728 & O.R.175, P.404: Electric Easement at northeast corner north 2.220 acre tract-Applicable as shown.
- Item 7(r). O.R.162, P.635: Restrictions of Record-Applicable, see document.
- Item 7(s). O.R.979, P.2825: Restrictions of Record-Applicable, see document.

*Easements Not Listed in Commitment:
C.R.5, P.2492: Drainage & Utility Easement along southerly & westerly lines of south 2.220 acre tract-Applicable as shown.
O.R.1314, P.1247: Storm Sewer Easment-Benefits subject properties as shown on adjoiner west.

NOTE "D" – DOCUMENTATION USED:
Subject & adjoiner deeds as referenced. Surveys acquired from Delaware County's GIS: 19-3-4-052; 19-3-4-055; RO-19-3-4-077; RO-19-3-4-080; RO-19-3-4-099; RO-19-3-4-100; RO-19-3-4-126; 19-3-4-131 & RO-19-3-4-160.

NOTE "E" – APPARENT ENCROACHMENTS:
Any utilities not covered by properly executed easements. Nothing else observed from a surface inspection.

NOTE "F" – F.E.M.A. FLOOD ZONE DESIGNATION:
According to F.I.R.M. No. 39041C0237K, bearing a Map Revised date of April 15, 2014, the subject property is located in a Zone X (Areas determined to be outside the 0.2% annual chance floodplain).

NOTE "G" – ZONING INFORMATION:
According to the City of Powell the subject properties are zoned PC (Planned Commercial District). See City Ordinance No. 89-38 and Covenants & Restrictions referenced Title Commitment Items 7(r & s) of Note "C" above.

NOTE "H" – UTILITIES:
The location of underground public or quasi-public utilities, service connections and substructures shown hereon, are based upon field location of surface and above grade structures, improvement plans provided to us, and markings made in response to a stakeout request to Ohio Utilities Protection Service (OUPS), and may or may not be a complete treatment of the subject. Any utilities or service connections necessary for the use of the subject property which are not shown should not be construed as non-existent, but no evidence of same was found. The locations of underground utilities and substructures may vary from locations shown hereon, and additional utilities and substructures may be encountered. The type of material and gradient for sewer pipes and water line is indicated where discernible, or as indicated on utility plans (when acquired). Utility providers and Ohio Utilities Protection Service (800-362-2764) are to be contacted at least 2 days (48 hrs.) prior to any excavating. In response to our OUPS staking request #A433500979, the sanitary sewer along Liberty Road, over the northerly 2.22 acre tract, was the only utility marked. Cable Marker #2370 found near the intersection of the Roads indicates apparent location of an AT&T Transcontinental Buried Cable running south & east, but no other markings were observed.

NOTE "I" – REAL PROPERTY CONDITIONS:
This survey reflects the physical conditons of the subject real property as of the "Field Survey Date" (not the "Drawing or Signature Date") indicated hereon.

NOTE "J" – OTHER OBSERVATIONS:
No observable evidence of earth moving work, building construction or additons, or street or sidewalk construction or repairs within recent months. No observable evidence of site use as a solid waste dump, sump or sanitary landfill, nor evidence of cemeteries or burial grounds. It has been brought to our attention that the City of Powell is in preliminary stage of study for a traffic circle at the intersection of Liberty & Seldom Seen Roads. To the best of our knowledge, information and belief there are no other proposed changes in street right-of-way lines, nor significant undisclosed survey related observations.

NOTE "K" – ELECTRONIC FILES (DWG/DXF/PDF, Etc.):
Due to the fact that we cannot control the use of computer generated drawing files provided as a courtesy to a client or their designee(s), or the training and qualifications of those who may use said files, or the way various CAD programs may interpret said files, it must be understood that such files are provided "as is" without warranty of any kind, either expressed or implied, and that originally signed and sealed prints are the only authorized documentation of the survey. Users of said files are responsible for confirming that the file version matches the signed and sealed document, and for reporting any inconsistencies to us. We are not responsible for any edited or reproduced versions of this survey. Unauthorized use, alteration or reproduction of this survey shall be deemed an infringement of U.S. copyright laws.

SURVEYOR'S STATEMENT

To Jeffrey T. Milton; Milton Properties, LLC; Commerce National Bank; Eagle Land Title Agency, Inc.; and Old Republic Title Insurance Company:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1-4, 6(c), 8, 11(a), 13, 14, 16-18 of Table A thereof. The field work was completed on December 8, 2014.

STATE OF OHIO – CARL E. TURNER JR. 6702 – REGISTERED PROFESSIONAL SURVEYOR

By: [signature]
CARL E. TURNER JR.,
Professional Surveyor S-6702.

20 December 2014
Date

NOT AN AUTHORIZED DOCUMENT WITHOUT EMBOSSED OVER BLUE INK SURVEYOR'S SEAL

©2014 TERRA SURVEYING SERVICES LLC

TERRA Surveying Services LLC
238 Academy Woods Drive
Gahanna, Ohio 43230-2184
www.terrasurveyingservices.com
614.471.0663

PREPARED EXCLUSIVELY FOR: Jeffrey T. Milton; Milton Properties, LLC; Commerce National Bank; Eagle Land Title Agency, Inc.; and Old Republic Title Insurance Company

TITLE: **ALTA/ACSM LAND TITLE SURVEY OF 4.440 ACRES**
LOCATED IN PART OF FARM LOT 36 OF SECTION 4, TOWNSHIP 3, RANGE 19
UNITED STATE MILITARY DISTRICT
CITY OF POWELL, DELAWARE COUNTY, OHIO

NO.	REVISION DESCRIPTION:	DATE:	BY:

SITE NAME: N/A
SITE LOCATION KNOWN AS: 8930 Liberty Road, Powell, OH 43065

GRAPHIC SCALE: 1"=30' (30 20 0 30 60)

FIELD SURVEY DATE:	FIELD SURVEY BY:	CLIENT PROJECT NO.:
4 & 8 Dec. 2014	CT/VRS/GRS-1	N/A
DRAWING DATE:	DRAWN BY:	TERRA FILE NO.:
20 December 2014	C. Turner	21.PWL.130.14

SHEET 1 OF 1

Illustrative Site Plan
SCALE: 1" = 30'-0"

0 15 30 60

POD design

Columbus
100 Northwoods Blvd, Ste A
Columbus, Ohio 43235
p 614.255.3399

Cincinnati
20 Village Square 3rd Floor
Cincinnati, Ohio 45246
614.360.3066

PODdesign.net

Project Name

Powell Office Condominiums

8930 Liberty Road

Powell, OH 43065

Prepared For

Powell Office Condominiums
8930 Liberty Road
Powell, Ohio 43065

Project Info

Project #	18097
Date	09/23/19
By	SF
Scale	As Shown

Revisions

Sheet Title

ILLUSTRATIVE SITE PLAN

Sheet #

L1.0

Powell Office Condominiums

8930 Liberty Road Powell, OH 43065

DATE: September 24, 2019

Final Design Development Landscape Design

PROJECT NO. 18097

SHEET INDEX

L1.0 Final Development Planting Plan

L2.0 Planting Details

L3.0 Final Development Details

PREPARED FOR

Powell Office Condominiums
8930 Liberty Road
Powell, Ohio 43065

PREPARED BY

POD design

Columbus
100 Northwoods Blvd
Suite A
Columbus, Ohio 43235
p 614.255.3399

Cincinnati
20 Village Square, 3rd Floor
Cincinnati, Ohio 45246
p 614.360.3066

PODdesign.net

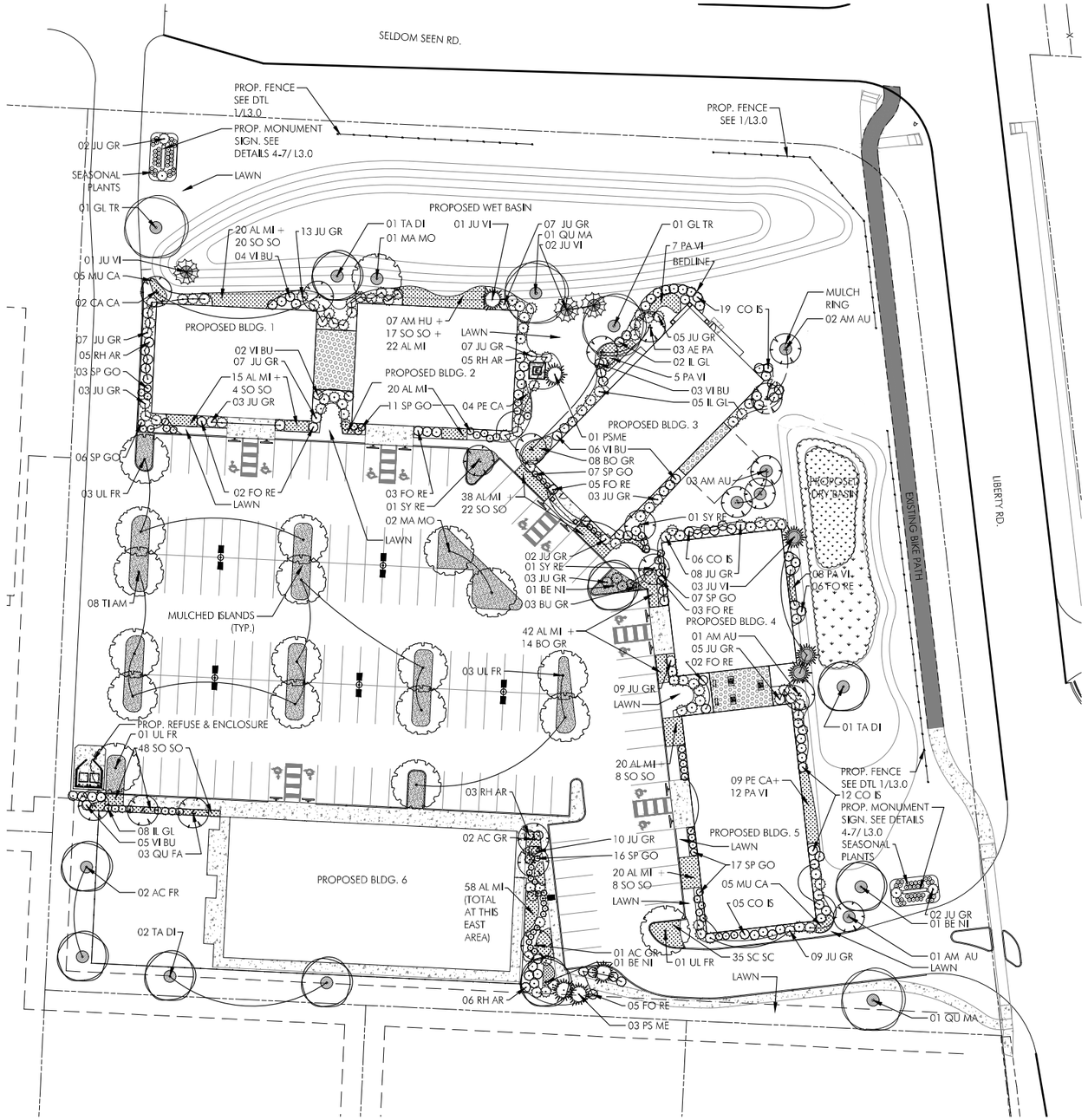
LANDSCAPE REQUIREMENTS

REPLACEMENT OF DESTROYED TREES - SECTION 1145.29 (d)(1)		
	REQUIRED	PROVIDED
FOR EVERY TREE REMOVED W/ A TRUNK DIAMETER GREATER THAN 6", PROVIDE NEW TREES WITH A TOTAL TRUNK DIAMETER OF NO LESS THAN 6"	4 TREES x 6" DIA. = 24" DIA. REQUIRED	24" DIA. WITH TREES EACH AT 3" CAL.

MINIMUM REQUIRED TREES - SECTION 1145.30 (a)(2)(C)		
	REQUIRED	PROVIDED
FOR COMMERCIAL STRUCTURES, PROVIDE AT LEAST 71" TOTAL TRUNK DIAMETER WHEN TOTAL AREA FOR ALL STRUCTURES, PARKING & TRASH STORAGE IS BETWEEN 86,001 - 90,000 SF, PLUS 2" OF TRUNK DIAMETER FOR EVERY 4,000 SF OVER 50,000 SF OR FRACTION THEREOF.	35,808 SF BLDGS. + 50,310 SF PRKG. = 86,118 SF = 71" DIA. REQ. ---------- (86,118-50,000)= 36,118 SF IN EXCESS 36,118 SF/4000 SF= (9 AREAS) WITH 2" ---------- TOTAL DIA= 71" + 18" = 89" DIA. REQ'D	89" DIA. WITH TREES EACH AT 2.5" CAL.

REQUIRED LANDSCAPING OF PARKING AREAS - SECTION 1145.31		
	REQUIRED	PROVIDED
IN ALL PARKING AREAS, PROVIDE ONE UNPAVED PARKING SPACE WITH ONE DECIDUOUS TREE FOR EVERY EIGHT (8) SPACES	145 SPACES = 18 TREES	18 TREES

REQUIRED LANDSCAPING AROUND BUILDING FOUNDATIONS . SECTION 1145.32			
CODE	BUILDING #	REQUIRED	PROVIDED
70% MIN. OF THE BUILDING PERIMETER SHALL BE LANDSCAPED		(____ LF BLDG X .70 = LF REQ.)	
	BUILDING 1:	(270 LF BLDG) = 189 LF REQ	MIN. 189 LF
	BUILDING 2:	(280 LF BLDG) = 196 LF REQ.	MIN. 196 LF
	BUILDING 3:	(324 LF BLDG) = 227 LF REQ.	MIN. 227 LF
	BUILDING 4:	(254 LF BLDG) = 178 LF REQ.	MIN. 178 LF
	BUILDING 5:	(328 LF BLDG) = 230 LF REQ.	MIN. 230 LF
	BUILDING 6:	(426 LF BLDG) = 298 LF REQ.	MIN. 298 LF
PROVIDE (5) SHRUBS FOR EVERY 40 LF OF BUILDING PERIMETER		(____ LF BLDG / 40 LF) x 5 SHRUBS = SHRUBS REQ.)	
	BUILDING 1:	(270 LF BLDG) = 34 SHRUBS REQ.	34 SHRUBS MIN
	BUILDING 2:	(280 LF BLDG) = 35 SHRUBS REQ.	35 SHRUBS MIN
	BUILDING 3:	(324 LF BLDG) = 40 SHRUBS REQ.	40 SHRUBS MIN
	BUILDING 4:	(254 LF BLDG) = 32 SHRUBS REQ.	32 SHRUBS MIN
	BUILDING 5:	(328 LF BLDG) = 41 SHRUBS REQ.	41 SHRUBS MIN
	BUILDING 6:	(426 LF BLDG) = 53 SHRUBS REQ	53 SHRUBS MIN
PROVIDE (10) PERENNIALS FOR EVERY 40 LF OF BUILDING PERIMETER		(____ LF BLDG / 40 LF) x 10 PERENNIALS = PERENNIALS REQ.)	
	BUILDING 1:	(270 LF BLDG) = 64 PERENNIALS REQ	64 PERENNIALS
	BUILDING 2:	(280 LF BLDG) = 70 PERENNIALS REQ.	70 PERENNIALS
	BUILDING 3:	(324 LF BLDG) = 80 PERENNIALS REQ	80 PERENNIALS
	BUILDING 4:	(254 LF BLDG) = 64 PERENNIALS REQ.	63 PERENNIALS
	BUILDING 5:	(328 LF BLDG) = 82 PERENNIALS REQ.	82 PERENNIALS
	BUILDING 6:	(426 LF BLDG) = 106 PERENNIALS REQ	106 PERENNIALS



1 Final Development Planting Plan
SCALE: 1" = 30'-0"

0 15 30 60

PLANTING SCHEDULE

QTY	SYMBOL	BOTANICAL & COMMON NAMES	SIZE	COND	REMARKS
	LARGE TREE SPECIMEN- FOR REPLACEMENT				
2	GL TR	Gleditsia t.i. 'Skyline' Skyline Honeylocust	3" Cal.	B&B	AS SHOWN
3	JU VI	Juniperus virginiana 'Burkii' Burk Juniper	3" Height	B&B	AS SHOWN
1	PL OC	Platanus occidentalis American Sycamore	3" Cal.	B&B	AS SHOWN
2	QU MA	Quercus macrocarpa Burr Oak	3" Cal.	B&B	AS SHOWN
	LARGE TREES / TREES FOR OPEN GREEN AREAS				
2	AC FR	Acer x f. 'Celebration' Celebration Maple	2.5" Cal.	B&B	AS SHOWN
3	JU VI	Juniperus virginiana 'Burkii' Burk Juniper	6' Height	B&B	AS SHOWN
4	PS ME	Pseudotsuga menziesii Douglasfir	6'	B&B	AS SHOWN
3	TA DI	Taxodium distichum Bald Cypress	2.5" Cal.	B&B	AS SHOWN
	SMALL, MEDIUM AND FASTIGIATE TREES				
3	AC GR	Acer griseum Paperbark Maple	6' Height	B&B	(3) Min. Heavy Stock Multi-stem
3	AE PA	Aesculus pavia Red Buckeye	6' Height	B&B	(3) Min. Heavy Stock Multi-stem
7	AM AU	Amelanchier 'Autumn Brilliance' Autumn Brilliance Serviceberry	6' Height	B&B	(3) Min. Heavy Stock Multi-stem
4	BE NI	Betula nigra River Birch	7' Height	B&B	(3) Min. Heavy Stock Multi-stem
2	CA CA	Carpinus caroliniana American Hornbeam	2.5" Cal.	B&B	AS SHOWN
3	MA MO	Magnolia v. 'Moonglow' Moonglow Sweetbay Magnolia	7' Height	B&B	(3) Min. Heavy Stock Multi-stem
3	QU FA	Quercus r. 'Fastigiata' Pyramidal English Oak	7' Height	B&B	AS SHOWN
3	SY RE	Syringa reticulata Japanese Tree Lilac	2.5" Cal.	B&B	AS SHOWN
8	UL FR	Ulmus x. 'Frontier' Frontier Elm	2.5" Cal.	B&B	AS SHOWN
8	TI AM	Tilia americana Basswood	2.5" Cal.	B&B	AS SHOWN

QTY	SYMBOL	BOTANICAL & COMMON NAMES	SIZE	COND	REMARKS
	SHRUBS				
3	BU GR	Buxus x. 'Green Velvet' Green Velvet Boxwood	18" ht. min.	#3 cont.	3' O.C.
42	CO IS	Cornus s. 'Isanti' Isanti Dogwood	24" ht. min.	#5 cont.	5' O.C.
24	FO RE	Fothergilla x 'Red Licorice' Red Licorice Fothergilla	24" ht. min.	#3 cont.	4.5' O.C.
15	IL GL	Ilex glabra 'compacta' Compact Inkberry	24" ht.	#5 cont.	4.5' o.c.
95	JU GR	Juniperus v. 'Grey Owl' Grey Owl Juniper	24" min. spread	#3 cont.	6' o.c.
19	RH AR	Rhus aromatica 'Lo Gro' Lo Grow Fragrant sumac	24" min. spread	#3 cont.	5.5' o.c.
67	SP GO	Spiraea 'Goldflame' Goldflame Spirea	24" min. spread	#3 cont.	3' o.c.
20	VI BU	Viburnum x burkwoodii Burkwood Viburnum	24" min. spread	#3 cont.	6' o.c.
	PERENNIALS AND NATIVE GRASSES : REFER TO PLANTING PLAN				
7	AM HU	Amsonia hubrichtii Threadleaf Blue Start	1 gal.	Cont.	Min. 2.5' o.c.
255	AL MI	Allium 'Millenium' Millenium Ornamental onion	1 gal.	Cont.	Min. 18" o.c.
22	BO GR	Bouteloua gracilis 'Blonde Ambition' Blonde Ambition blue grama	1 gal.	Cont.	Min. 3' o.c.
10	MU CA	Muhlenbergia reverchonii 'Undaunted' Undaunted Ruby Muhly	1 gal.	Cont.	Min. 3' o.c.
32	PA VI	Panicum virgatum 'Shenandoah' Shenandoah switchgrass	1 gal.	Cont.	Min. 4' o.c.
13	PE CA	Penstemon calycosus Bead Tongue	1 gal.	Cont.	Min. 3' o.c.
35	SC SC	Schizachyrium scoparium 'Standing Ovation' Standing Ovation little bluestem	1 gal.	Cont.	Min. 18" o.c.
127	SO SO	Solidago x 'Solar Cascade' Solar Cascade Goldenrod	1 gal.	Cont.	Min. 2.5' o.c.
	SEED AND SOD MIXES				
	SEED MIX TYPE A	TURF: SCOTTS PROVISTA KENTUCKY BLUEGRASS CONTACT: CHRISTIAN BALDWIN 937-578-5994	FOLLOW SUPPLIERS INSTALLATION DIRECTIONS FOR OPTIMAL GROWTH		APPLICATION RATE AS PER SUPPLIERS DIRECTIONS
	SEED MIX TYPE B	SPENCE NURSERY 'WET MESIC' NATIVE SEED MIX	FOLLOW SUPPLIERS INSTALLATION DIRECTIONS FOR OPTIMAL GROWTH		APPLICATION RATE AS PER SUPPLIERS DIRECTIONS

PROPOSED REPLACEMENT TREE

PROPOSED DECIDUOUS TREE (SMALL TO LARGE)

PROPOSED EVERGREEN TREE

PROPOSED DECIDUOUS SHRUBS

PROPOSED EVERGREEN SHRUB

PROPOSED PERENNIALS, NATIVE GRASSES, GROUNDCOVER

MULCH

SEED MIX

CRUSHED STONE OR PERMEABLE SURFACE AREA FOR UTILITY AND MECHANICAL UNITS

POD design

Columbus
100 Northwoods Blvd, Ste A
Columbus, Ohio 43235
p 614.255.3399

Cincinnati
20 Village Square 3rd Floor
Cincinnati, Ohio 45246
614.360.3066

PODdesign.net

Project Name

Powell Office Condominiums

8930 Liberty Road

Powell, OH 43065

Prepared For

Powell Office Condominiums
8930 Liberty Road
Powell, Ohio 43065

Project Info

Project #	18097
Date	09/24/19
By	SF
Scale	As Shown

Revisions

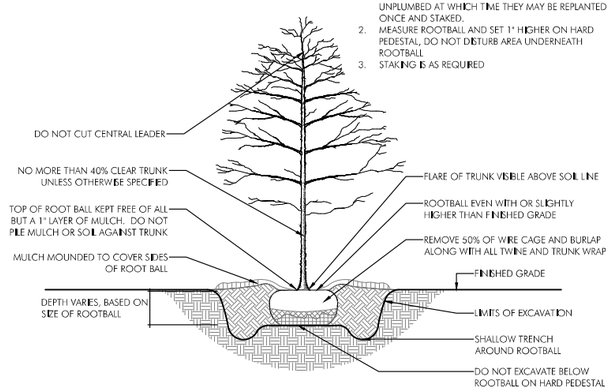
Sheet Title

FINAL DEVELOPMENT PLANTING PLAN

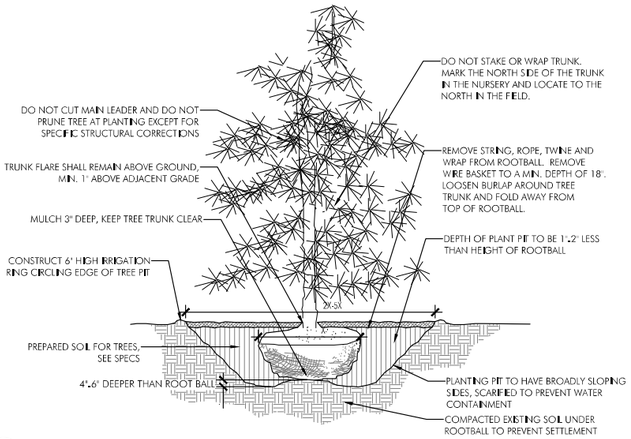
Sheet #

L1.0

NOTES:
1. TREES ARE NOT TO BE STAKED UNLESS THEY BECOME UNPLUMBED AT WHICH TIME THEY MAY BE REPLANTED ONCE AND STAKED.
2. MEASURE ROOTBALL AND SET 1" HIGHER ON HARD PEDESTAL, DO NOT DISTURB AREA UNDERNEATH ROOTBALL
3. STAKING IS AS REQUIRED



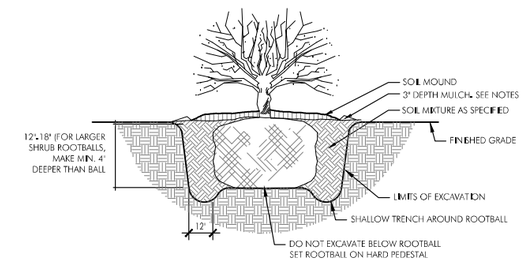
1 Tree Planting
N.T.S.



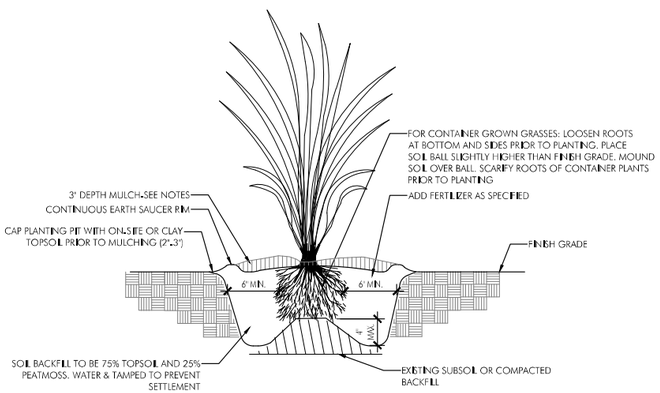
2 Evergreen Planting
1"=1'-0"

NOTES:
1. DO NOT PRUNE SHRUBS DURING INSTALLATION
2. MEASURE ROOTBALL AND SET 1" HIGHER ON HARD PEDESTAL, DO NOT DISTURB AREA UNDERNEATH ROOTBALL

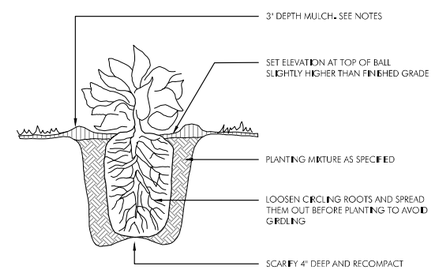
THE AMOUNT OF PRUNING SHALL BE LIMITED TO 1/3 OF THE BRANCHES TO COMPENSATE FOR LOSS OF ROOTS FROM TRANSPLANTING. REMOVE DEAD AND INJURED LIMBS. REMOVE BURLAP AND WIRE OR TWINE FROM TOP AND SIDES OF BALL. CENTER SHRUB IN HOLE. SET TOP OF BALL 1-2" ABOVE FINISH GRADE.



3 Shrub Planting
N.T.S.



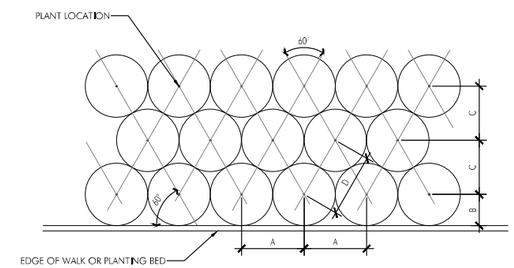
4 Grass Planting
$1\frac{1}{2}$"=1'-0"



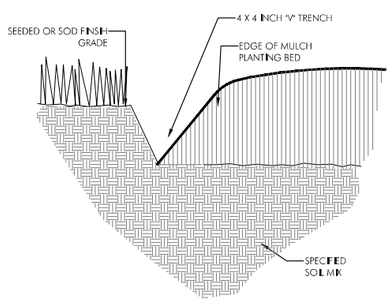
5 Perennial Planting
N.T.S.

SPACING	A	B	C	D
12"	12"	6"	10"	12"
18"	18"	8"	15"	18"
24"	24"	10"	20"	24"
36"	36"	18"	31"	36"
48"	48"	21"	41"	48"

A= SPACING
B= SP/2
C= SP/1.2
D= SPACING



6 Perennial Spacing
N.T.S.



7 Mulch Edge Treatment at Lawn
N.T.S.

POD design

Columbus
100 Northwoods Blvd, Ste A
Columbus, Ohio 43235
p 614.255.3399

Cincinnati
20 Village Square 3rd Floor
Cincinnati, Ohio 45246
614.360.3066

PODdesign.net

Project Name
Powell Office Condominium
8930 Liberty Road
Powell, OH 43065

Prepared For
Powell Office Condominiums
8930 Liberty Road
Powell, Ohio 43065

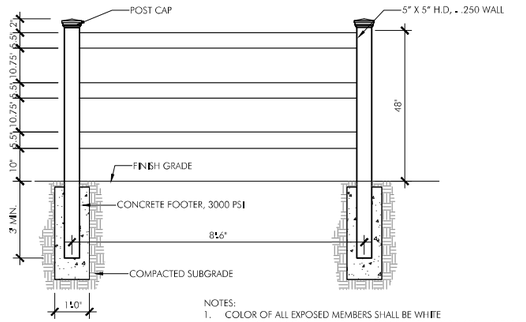
Project Info

Project #	18097
Date	09/24/19
By	SF
Scale	As Shown

Revisions

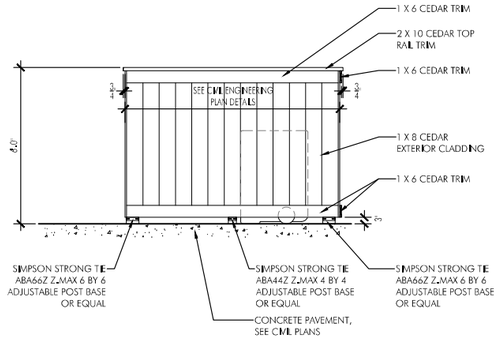
Sheet Title
PLANTING DETAILS

Sheet #
L2.0



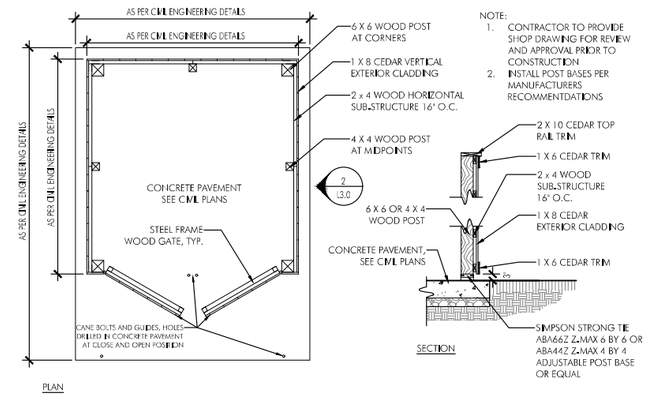
NOTES:
1. COLOR OF ALL EXPOSED MEMBERS SHALL BE WHITE
2. REFER TO ADJOINING PROPERTIES TO CONFIRM AND MATCH DETAILS AND DIMENSIONS OF EXISTING FENCING.
3. CONTRACTOR TO PROVIDE SHOP DRAWINGS TO SCALE FOR OWNER REVIEW AND APPROVAL

1 Three Rail Vinyl Fence
1/2"=1'-0"



ELEVATION

2 6' High Wooden Refuse Enclosure Elevation
3/8"=1'-0"

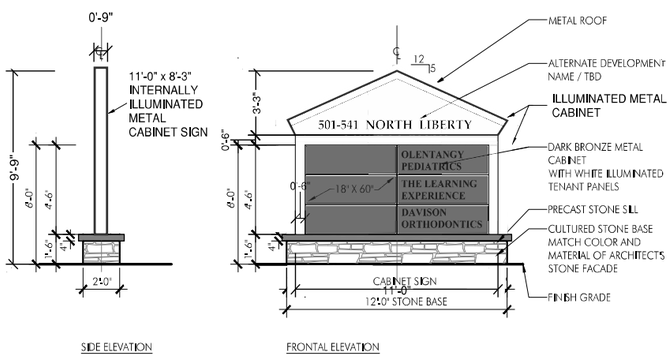


NOTE:
1. CONTRACTOR TO PROVIDE SHOP DRAWING FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION
2. INSTALL POST BASES PER MANUFACTURERS RECOMMENTDATIONS

PLAN

SECTION

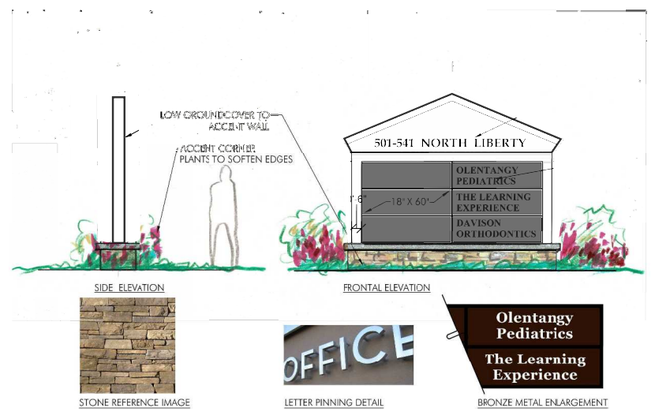
3 6' High Wooden Refuse Enclosure
3/8"=1'-0"



SIDE ELEVATION

FRONTAL ELEVATION

4 Powell Office Condominium Monument Preliminary Sign
1/4"=1'-0"



SIDE ELEVATION

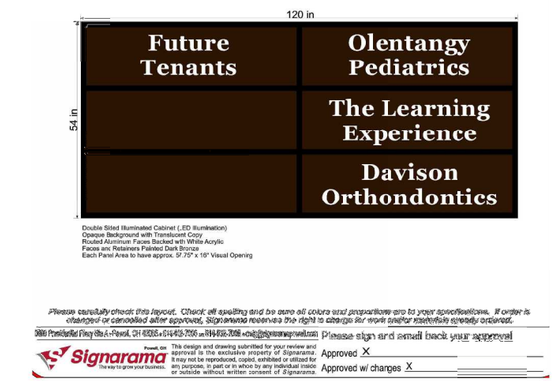
FRONTAL ELEVATION

STONE REFERENCE IMAGE

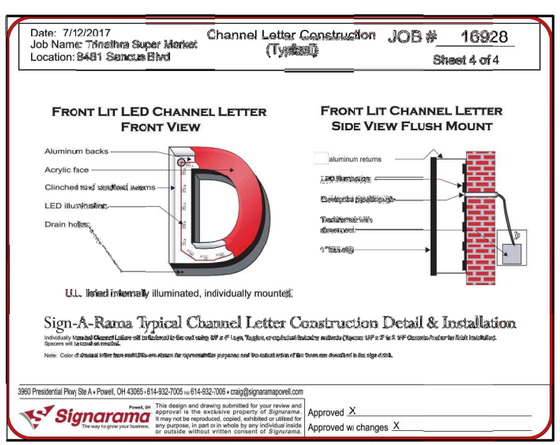
LETTER PINNING DETAIL

BRONZE METAL ENLARGEMENT

5 Powell Office Condominium Monument Preliminary Sign: Rendering
1/4"=1'-0"



6 Powell Office Condominium Monument Preliminary Sign Detail
NTS



7 Powell Office Condominium Monument Preliminary Sign Detail
NTS

POD design

Columbus
100 Northwoods Blvd, Ste A
Columbus, Ohio 43235
p 614.255.3399

Cincinnati
20 Village Square 3rd Floor
Cincinnati, Ohio 45246
614.360.3066

PODdesign.net

Project Name

Powell Office Condominiums

8930 Liberty Road

Powell, OH 43065

Prepared For

Powell Office Condominiums
8930 Liberty Road
Powell, Ohio 43065

Project Info

Project #	18097
Date	09/24/19
By	SF
Scale	As Shown

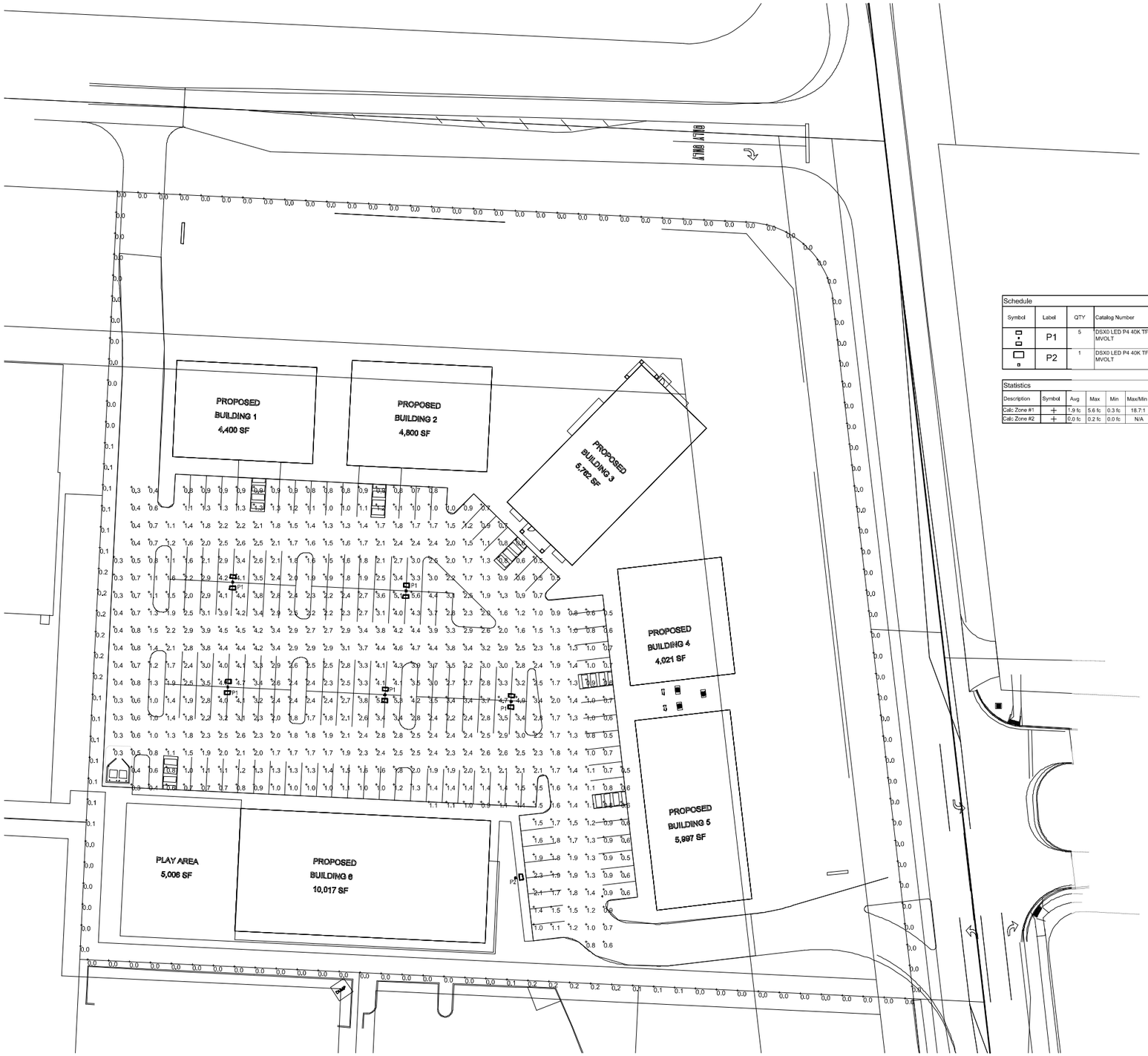
Revisions

Sheet Title

FINAL DEVELOPMENT DETAILS

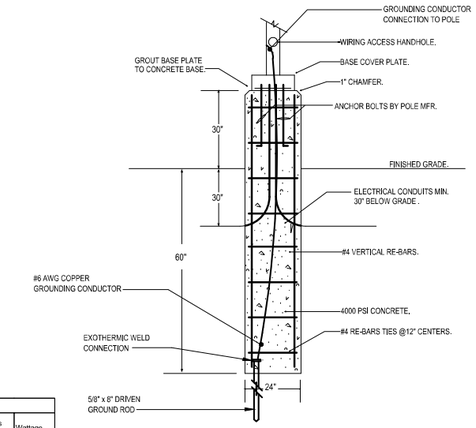
Sheet #

L3.0



SITE PHOTOMETRIC PLAN

SCALE: 1" = 30'-0"



POLE BASE DETAIL

NTS

Schedule

Symbol	Label	QTY	Catalog Number	Description	Lamp	Lumens per Lamp	Wattage
	P1	5	DSX0 LED P4 40K TFTM MVOLT	DSX0 LED P4 40K TFTM MVOLT 20' POLE ON 30" CONCRETE BASE	LED	10557.56	184
	P2	1	DSX0 LED P4 40K TFTM MVOLT	DSX0 LED P4 40K TFTM MVOLT 20' POLE ON 30" CONCRETE BASE	LED	10557.56	92

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	1.9 fc	5.6 fc	0.3 fc	18.7:1	6.3:1
Calc Zone #2	+	0.0 fc	0.2 fc	0.0 fc	N/A	N/A

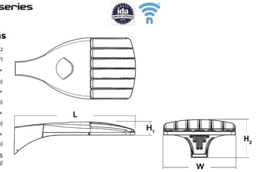
D-Series Size 0
LED Area Luminaire

Catalog Number
Notes
Type

Hit the Tab key or mouse over the page to see all interactive elements.

Specifications

EPA: 0.95 ft² (.09 m²)
Length: 26" (66.0 cm)
Width: 13" (33.0 cm)
Height$_L$: 3" (7.62 cm)
Height$_U$: 7" (17.8 cm)
Weight (max): 16 lbs (7.25 kg)



Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 400W metal halide with typical energy savings of 70% and expected service life of over 100,000 hours.

A+ Capable options indicated by this color background.

Ordering Information

EXAMPLE: DSX0 LED P6 40K T3M MVOLT SPA NLTAIR2 PIRHN DDBXD

DSX0 LED

Series: DSX0 LED

LEDs
- **Forward optics**: P1 P4 P7; P2 P5; P3 P6
- **Rotated optics**: P10[1] P12[1]; P11[1] P13[1]

Color temperature: 30K 3000 K; 40K 4000 K; 50K 5000 K

Distribution: T1S Type I short; T2S Type II short; T2M Type II medium; T3S Type III short; T3M Type III medium; T4M Type IV medium; TFTM Forward throw medium; T5VS Type V very short; T5S Type V short; T5M Type V medium; T5W Type V wide; BLC Backlight control[2]; LCCO Left corner cutoff[2]; RCCO Right corner cutoff[2]

Voltage: MVOLT[3,4]; 120[4]; 208[4]; 240[4]; 277[4]; 347[4,5]; 480[4,5]

Mounting
- **Shipped included**: SPA Square pole mounting; RPA Round pole mounting; WBA Wall bracket; SPUMBA Square pole universal mounting adaptor[6]; RPUMBA Round pole universal mounting adaptor[6]
- **Shipped separately**: KMA8 DDBXD U Mast arm mounting bracket adaptor (specify finish)[7]

Control options
- **Shipped installed**: NLTAIR2 nLight AIR generation 2 enabled[8,9]; PIRHN Network, high/low motion/ambient sensor[10]; PER NEMA twist-lock receptacle only (control ordered separate)[11]; PER5 Five-pin receptacle only (control ordered separate)[11,12]; PER7 Seven-pin receptacle only (leads exit fixture) (control ordered separate)[11,12]; DMG 0-10V dimming extend out back of housing for external control (control ordered separate)
- PIR High/low, motion/ambient sensor, 8–15' mounting height, ambient sensor enabled at 5fc[13,14]
- PIRH High/low, motion/ambient sensor, 15–30' mounting height, ambient sensor enabled at 5fc[13,14]
- PIR1FC3V High/low, motion/ambient sensor, 8–15' mounting height, ambient sensor enabled at 1fc[13,14]
- PIRH1FC3V High/low, motion/ambient sensor, 15–30' mounting height, ambient sensor enabled at 1fc[13,14]
- FAO Field adjustable output[15]

Other options
- **Shipped installed**: HS House-side shield[16]; SF Single fuse (120, 277, 347V)[4]; DF Double fuse (208, 240, 480V)[4]; L90 Left rotated optics[1]; R90 Right rotated optics[1]; DDL Diffused drop lens[16]
- **Shipped separately**: BS Bird spikes[17]; EGS External glare shield[17]

Finish (required): DDBXD Dark bronze; DBLXD Black; DNAXD Natural aluminum; DWHXD White; DDBTXD Textured dark bronze; DBLBXD Textured black; DNATXD Textured natural aluminum; DWHGXD Textured white

LITHONIA LIGHTING. COMMERCIAL OUTDOOR

One Lithonia Way • Conyers, Georgia 30012 • Phone: 800.705.7378 • www.lithonia.com

© 2011-2019 Acuity Brands Lighting, Inc. All rights reserved.

DSX0 LED
Rev. 08/15/19
Page 1 of 8

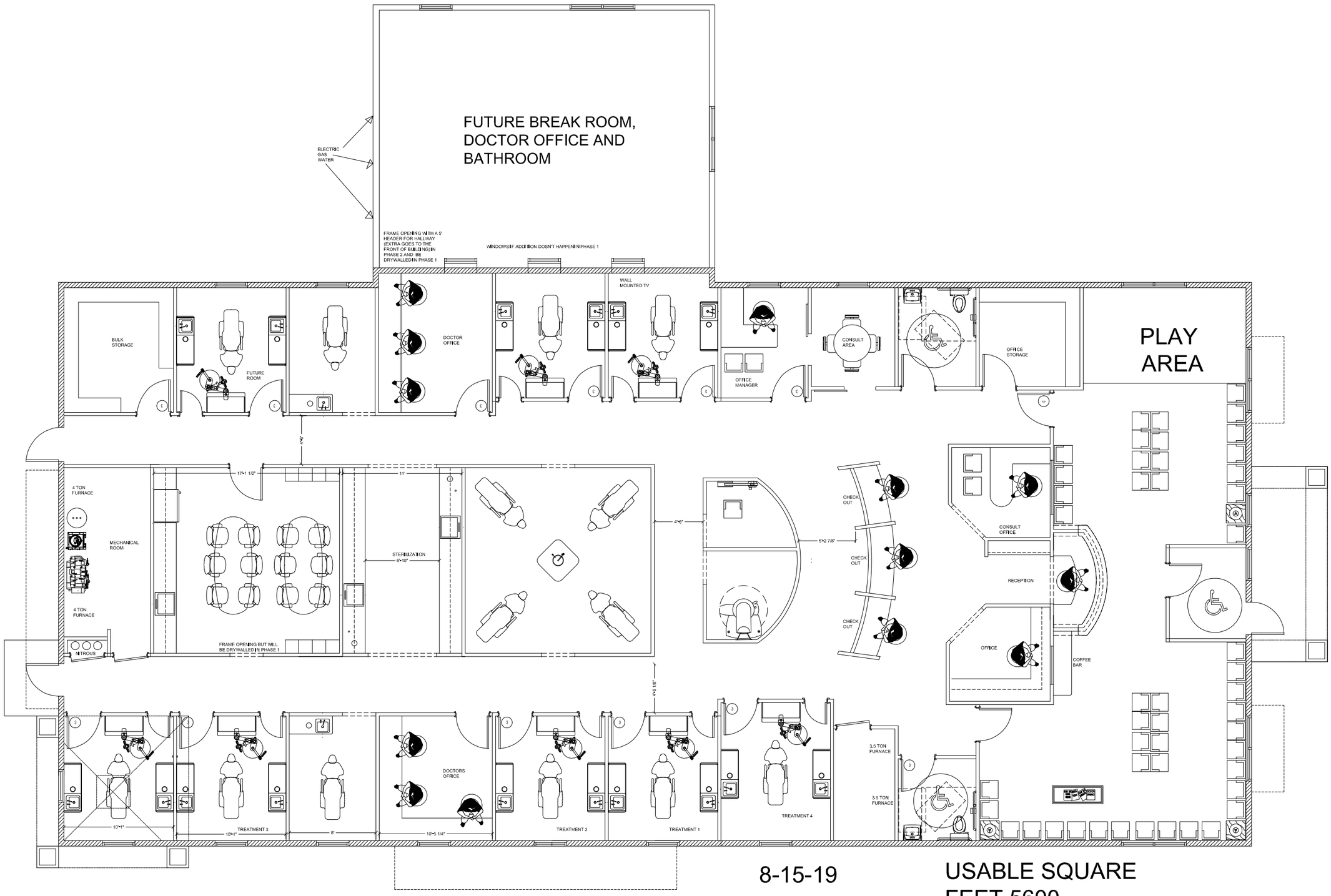
JCKL ARCHITECTS
P.O. BOX 340037
COLUMBUS, OHIO 43234
PHONE: (614) 764-1996

PROJECT
POWELL OFFICE CONDOMINIUMS
PHASE II DEVELOPMENT DESIGN REVIEW
8930 LIBERTY ROAD
POWELL, OHIO 43065

☒	PRELIMINARY	11-20-18 8-15-19 8-22-19
☒	SKETCH PLAN SUBMITTAL	11-26-18 12-7-18
☒	DEVELOPMENT PLAN SUBMITTAL	8-27-19
☒	FINAL DEVELOPMENT PLAN SUBMITTAL	9-24-19
☐	BID SET	
☐	PERMIT SET	
☐	CONSTRUCTION	
☐	REVISION	

1 Point One Design, Ltd.
Consulting Engineers
2600 Corporate Exchange Dr., Suite 270 Columbus, Ohio 43231
614-540-3500 Fax 614-540-3502
columbus@pointonedesign.com
9941 York Theta Drive North Royalton, Ohio 44133
440-230-1800 Fax 440-230-1831
cleveland@pointonedesign.com

ES.1



8-15-19

USABLE SQUARE FEET 5600

1 FIRST FLOOR - FLOOR PLAN

SCALE: 1/4" = 1' on 24"x 36" PAPER

TEAM DDS
7895 DOVE PARKWAY
CANAL WINCHESTER, OHIO 43110
(614) 721-7291
WWW.TEAMDDS.COM

TEAM DDS INC.
BRIAN SOHNER (614) 206-3153
EMAIL brian@teamdds.com
FAX: (866) 596-5385

DENTAL EQUIPMENT SUPPLIER
EQUIPMENT SPECIALIST
DENTAL COMPANY

SCALES ONLY VALID WHEN PRINTED IN SIZE 24" X 36"

TENANT BUILD OUT/REMODEL FOR PROFESSIONAL OFFICE FACILITIES:

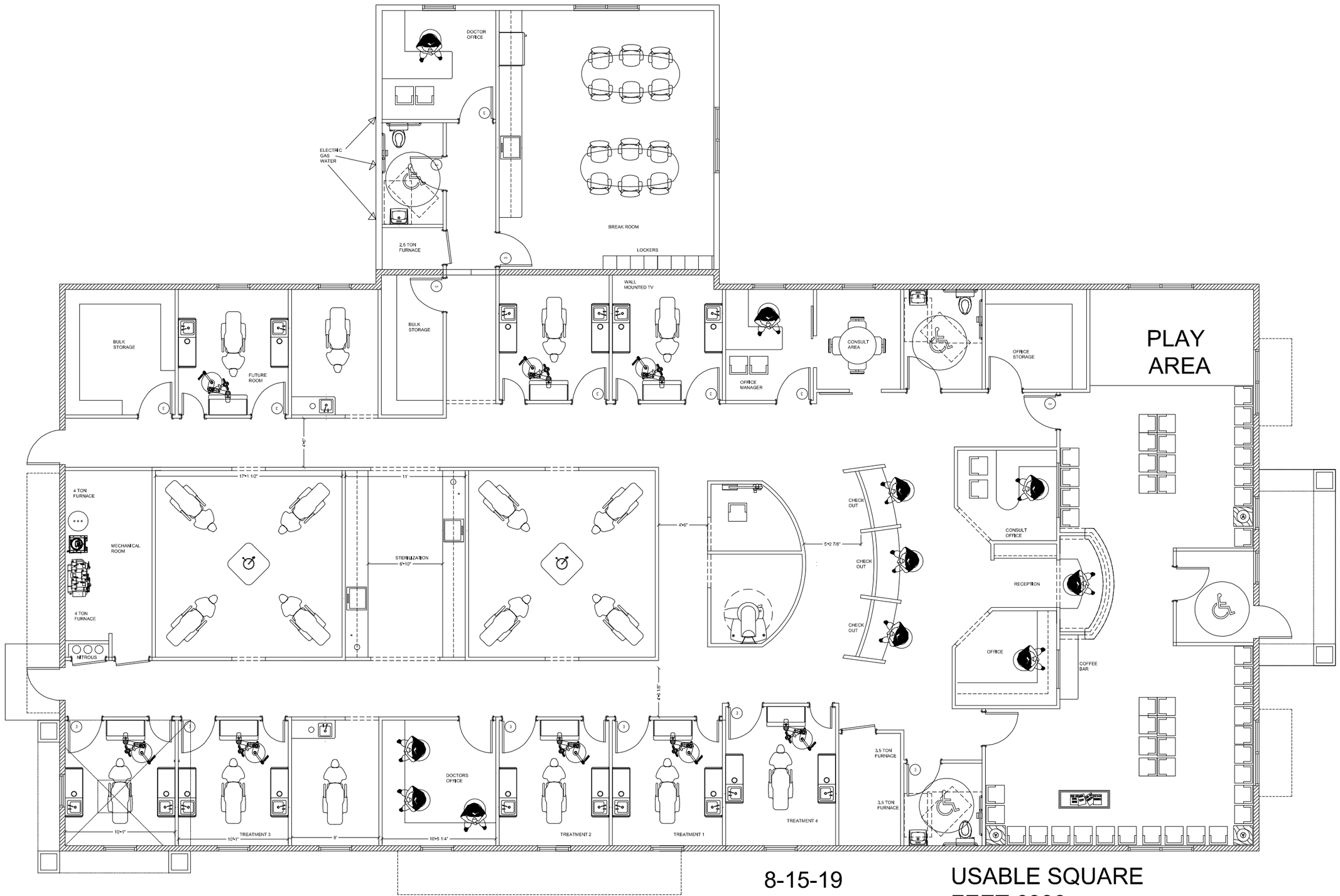
JEFF MILTON DDS

POWELL OHIO

DRAWN BY: SND
CHECKED BY: AJO
TEAM DDS #:
XXXX

RELEASE:
5-9-19

A-2
FLOOR PLAN



8-15-19

USABLE SQUARE FEET 6338

1 FIRST FLOOR - FLOOR PLAN

SCALE: 1/4" = 1' on 24"x 36" PAPER

TEAM DDS
7895 DOVE PARKWAY
CANAL WINCHESTER, OHIO 43110
(614) 721-7291
WWW.TEAMDDS.COM

TEAM DDS INC.
BRIAN SOHNER (614) 206-3153
EMAIL brian@teamdds.com
FAX: (866) 596-5385

DENTAL EQUIPMENT SUPPLIER
EQUIPMENT SPECIALIST
DENTAL COMPANY

SCALES ONLY VALID WHEN PRINTED IN SIZE 24" X 36"

TENANT BUILD OUT/REMODEL FOR PROFESSIONAL OFFICE FACILITIES:

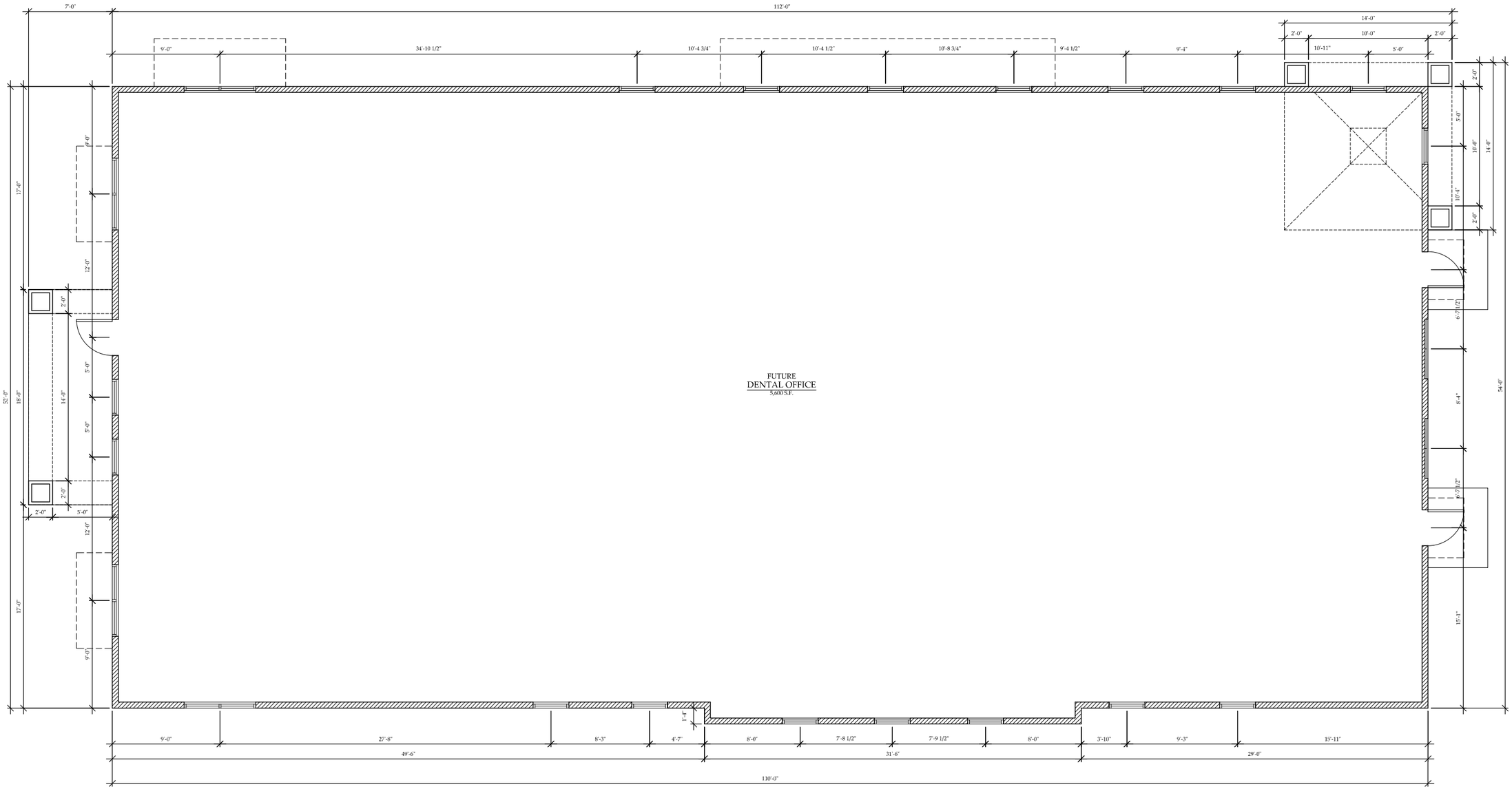
JEFF MILTON DDS

POWELL OHIO

DRAWN BY: SND
CHECKED BY: AJO
TEAM DDS #:
XXXX

RELEASE:
5-9-19

A-2
FLOOR PLAN



A NEW FLOOR PLAN
SCALE: 1/4" = 1'-0"

5,762 S.F. BUILDING
126 S.F. PORCHES
5,846 S.F. TOTAL

JCKL
ARCHITECTS

P.O. BOX 340037
COLUMBUS, OHIO 43234
PHONE: (614) 764-1996

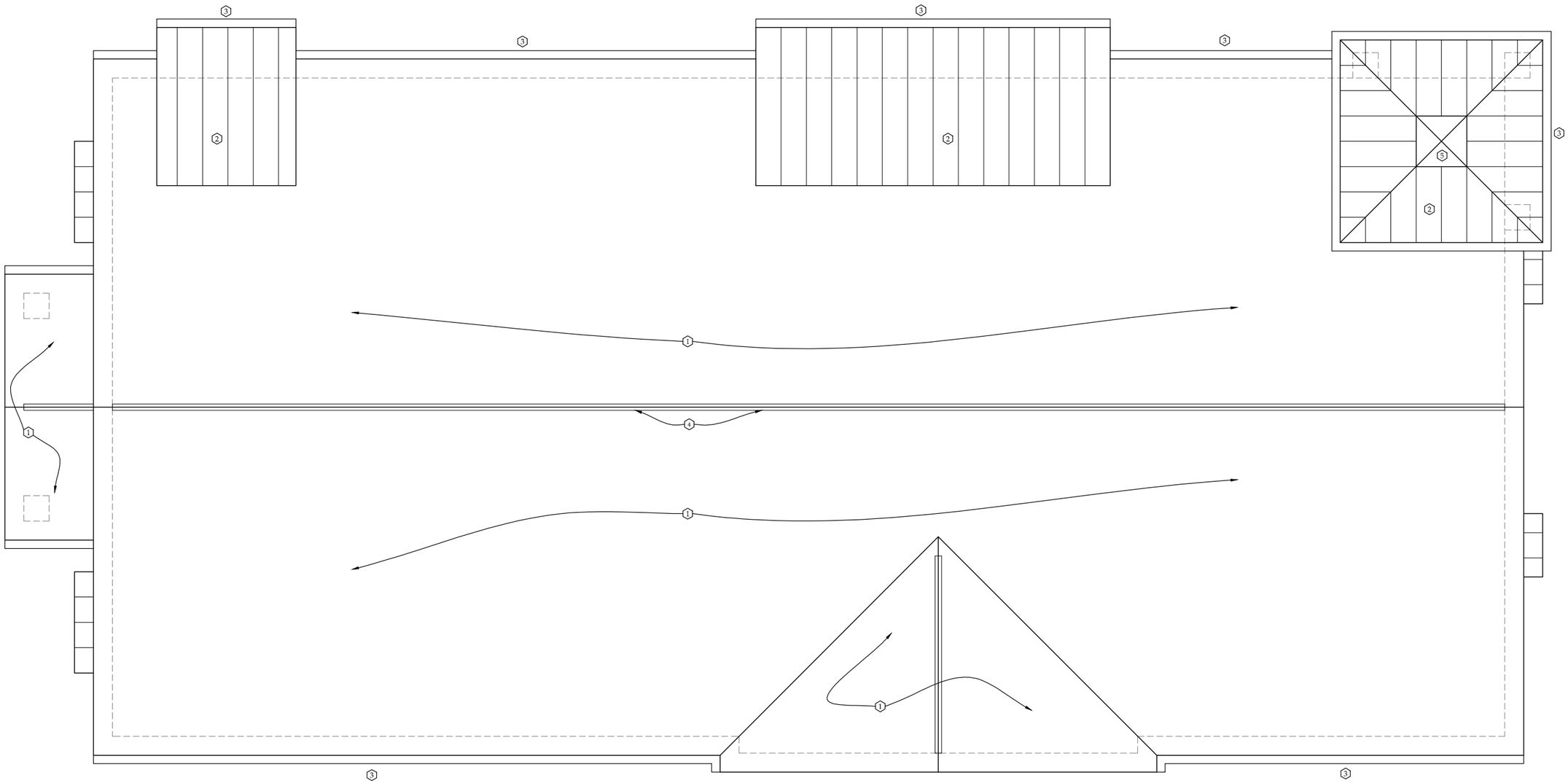
STATE OF OHIO
THOMAS W. COFFEY 9779
REGISTERED ARCHITECT

THOMAS W. COFFEY, LICENSE #09779
EXPIRATION DATE 12/31/19

PROJECT
POWELL OFFICE CONDOMINIUMS
PHASE II DEVELOPMENT DESIGN REVIEW
8930 LIBERTY ROAD
POWELL, OHIO 43065

- ☒ PRELIMINARY 11-20-18, 8-15-19, 8-22-19
- ☒ SKETCH PLAN SUBMITTAL 11-26-18, 12-7-18
- ☒ DEVELOPMENT PLAN SUBMITTAL 8-27-19
- ☒ FINAL DEVELOPMENT PLAN SUBMITTAL 9-24-19
- ☐ BID SET
- ☐ PERMIT SET
- ☐ CONSTRUCTION
- ☐ REVISION

A1.0



A ROOF PLAN
SCALE: 1/4" = 1'-0"

ROOF PLAN FINISHES:

SPECIFIC

1. ASPHALT SHINGLES - 'OWENS CORNING' COLOR: ESTATE GREY
2. STANDING SEAM METAL ROOF AWNING - 'GALVALUTTE'
3. HALF ROUND ALUMINIUM GUTTER COLOR: WHITE
4. CONTINUOUS RIDGE VENT.
5. 3'-0" x 3'-0" x 5'-0" HIGH CUPOLA w/ 'SMART TRIM' BASE & ALUMINUM LOUVERS ON ALL (4) SIDES w/ STANDING SEAM ROOF.

JCKL
ARCHITECTS

P.O. BOX 340037
COLUMBUS, OHIO 43234
PHONE: (614) 764-1996

STATE OF OHIO
THOMAS W. COFFEY 9779
REGISTERED ARCHITECT

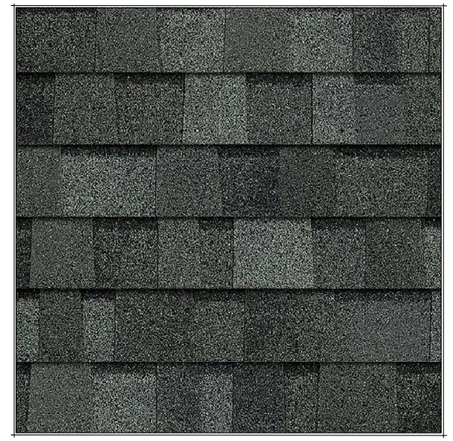
THOMAS W. COFFEY, LICENSE #09779
EXPIRATION DATE 12/31/19

PROJECT
POWELL OFFICE CONDOMINIUMS
PHASE II DEVELOPMENT DESIGN REVIEW
8930 LIBERTY ROAD
POWELL, OHIO 43065

☒	PRELIMINARY	11-20-18 8-15-19 8-22-19
☒	SKETCH PLAN SUBMITTAL	11-26-18 12-7-18
☒	DEVELOPMENT PLAN SUBMITTAL	8-27-19
☒	FINAL DEVELOPMENT PLAN SUBMITTAL	9-24-19
☐	BID SET	
☐	PERMIT SET	
☐	CONSTRUCTION	
☐	REVISION	

A1.1

STANDING SEAM AWNING
'GALVALUME'



'OWENS CORNING'
ASPHALT SHINGLE
'ESTATE GREY'

'THERMA-TRU'
FRENCH ENTRY DOORS
'BENCHMARK'

BOARD and BATTEN SIDING
'HARDI PLANK'- WHITE

WALL MOUNT LIGHT
'KICHLER'- 9142 NI

GOOSE NECK SIGN LIGHT
'MILLENNIUM LIGHTING'- RAS10-GA

LEDGER STONE
'CULTURED STONE'- HUDSON BAY
w/ GRAY MORTAR

VINYL DOUBLE-HUNG WINDOW
'WHITE'- 4 - 1

PROPOSED
EXTERIOR SAMPLE BOARD

JCKL
ARCHITECTS

P.O. BOX 340037
COLUMBUS, OHIO 43234
PHONE: (614) 764-1996

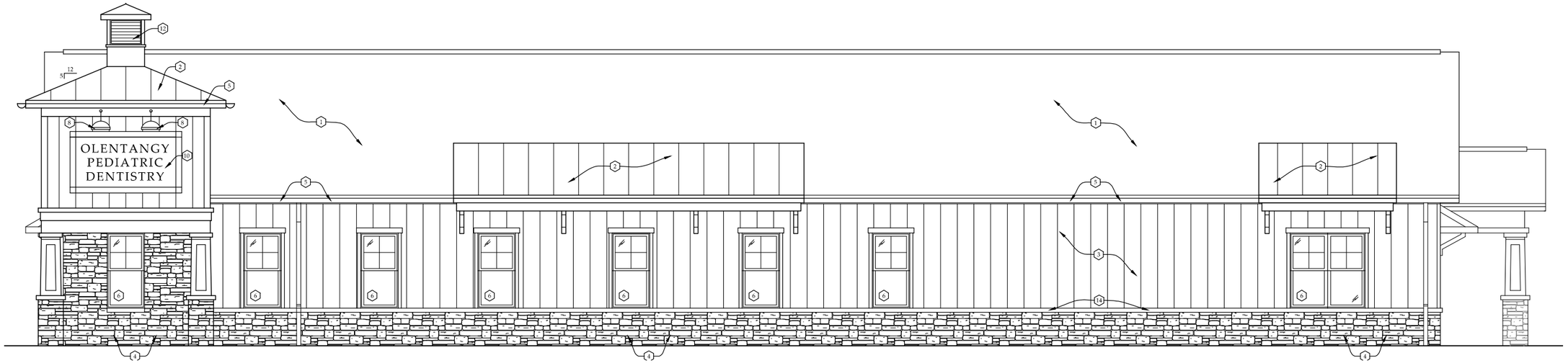
STATE OF OHIO
THOMAS W. COFFEY 9779
REGISTERED ARCHITECT

THOMAS W. COFFEY, LICENSE #09779
EXPIRATION DATE 12/31/19

PROJECT
POWELL OFFICE CONDOMINIUMS
PHASE II DEVELOPMENT DESIGN
8930 LIBERTY ROAD
POWELL, OHIO 43065

- ☒ SKETCH PLAN SUBMITTAL 11-26-18
- ☒ DEVELOPMENT PLAN SUBMITTAL 8-27-19
- ☒ FINAL DEVELOPMENT PLAN SUBMITTAL 9-24-19
- ☐ REVISION

A2.0

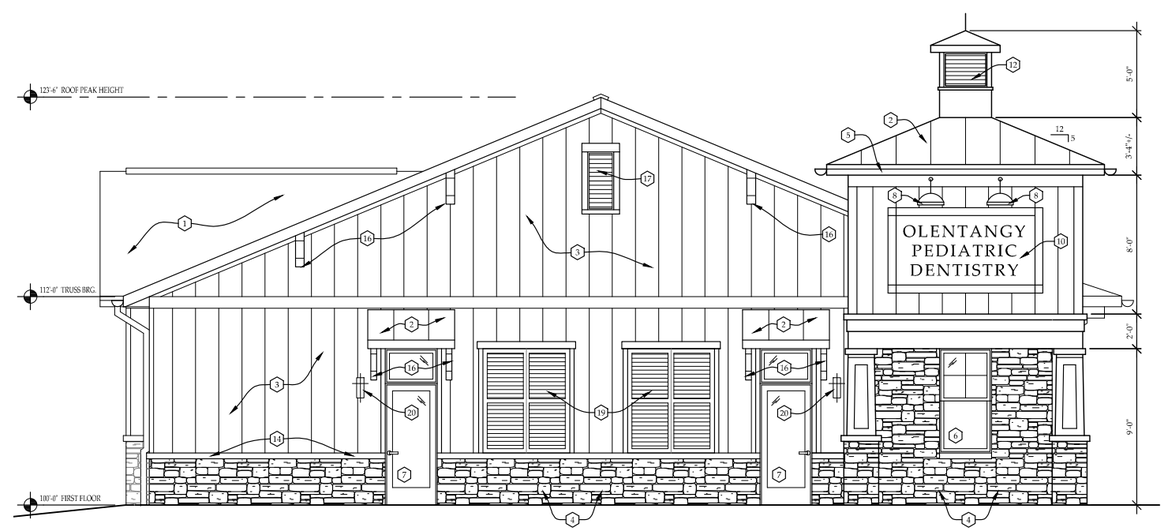


A WEST ELEVATION
SCALE: 1/4"=1'-0"

EXTERIOR ELEVATION FINISHES:

SPECIFIC #

1. ASPHALT SHINGLES - 'OWENS CORNING' COLOR: ESTATE GREY
2. STANDING SEAM METAL ROOF AWNING - 'GALVALUTTE'
3. BOARD & BATTEN SIDING - 'HARDI PLANK' COLOR: WHITE
4. LEDGER STONE - 'CULTURED STONE' COLOR: HUDSON BAY WITH 'GRAY' MORTAR.
5. HALF ROUND ALUMINIUM GUTTER COLOR: WHITE
6. VINYL DOUBLE HUNG WINDOW - 4 OVER 1 COLOR: WHITE
7. FRENCH STYLE ALUMINIUM ENTRY DOOR - 'THERMA TRU' COLOR: WHITE
8. GOOSE NECK LIGHT - WITH ANGLED GALVANIZED SHADE- MODEL# RAS10-GA www.millenniumlighting.com
9. 17'-0" WIDE x 8" HIGH NON-ILLUMINATED PIN-MOUNTED LETTERS OVER A SOLID "WHITE" 'SMART TRIM' PANEL
10. 8'-0" WIDE x 4'-0" HIGH NON-ILLUMINATED PIN-MOUNTED LETTERS OVER A SOLID "WHITE" 'SMART TRIM' PANEL TRIMMED OUT IN 5/4x6 "WHITE" 'SMART TRIM'
11. 8'-0" WIDE x 4'-0" SOLID "WHITE" 'SMART TRIM' PANEL TRIMMED OUT IN 1x6 "WHITE" 'SMART TRIM'
12. 3'-0" x 3'-0" x 5'-0" HIGH CUPOLA w/ 'SMART TRIM' BASE & ALUMINUM LOUVERS ON ALL (4) SIDES w/ STANDING SEAM ROOF.
13. 5/4 'SMART TRIM/ ACCENT BOARD- "WHITE"
14. 4" SANDSTONE SLOPED CAP.
15. "WHITE" 'SMART TRIM' TAPERED ACCENT COLUMN WRAP
16. "WHITE" 'FYPON' DECORATIVE BRACKET
17. 1'-4" WIDE x 3'-4" HIGH 'WHITE' ALUMINUM FUNCTIONAL ATTIC VENT TRIMED-OUT WITH A 5/4x4 ON (3) SIDES, 5/4x6 'SMART TRIM' AT THE TOP.
18. 1'-4" WIDE x 2'-4" HIGH 'WHITE' ALUMINUM FUNCTIONAL ATTIC VENT TRIMED-OUT WITH A 5/4x4 ON (3) SIDES, 5/4x6 'SMART TRIM' AT THE TOP.
19. (2) 30"x 6'-0" RAISED PANEL VINYL SHUTTERS SECURED TO WALL PANEL BEHIND. REFER TO DETAIL 'C' THIS SHEET.
20. WALL MOUNTED LIGHT FIXTURE- 'KICHLER' 17 INCH "BRUSHED NICKEL" MODEL# 9142NI .



B NORTH ELEVATION
SCALE: 1/4"=1'-0"

JCKL
ARCHITECTS

P.O. BOX 340037
COLUMBUS, OHIO 43234
PHONE: (614) 764-1996

STATE OF OHIO
THOMAS W. COFFEY 9779
REGISTERED ARCHITECT

THOMAS W. COFFEY, LICENSE #09779
EXPIRATION DATE 12/31/19

PROJECT
POWELL OFFICE CONDOMINIUMS
PHASE II DEVELOPMENT DESIGN REVIEW
8930 LIBERTY ROAD
POWELL, OHIO 43065

☒	PRELIMINARY	11-20-18 8-15-19 8-22-19
☒	SKETCH PLAN SUBMITTAL	11-26-18 12-7-18
☒	DEVELOPMENT PLAN SUBMITTAL	8-27-19
☒	FINAL DEVELOPMENT PLAN SUBMITTAL	9-24-19
☐	BID SET	
☐	PERMIT SET	
☐	CONSTRUCTION	
☐	REVISION	

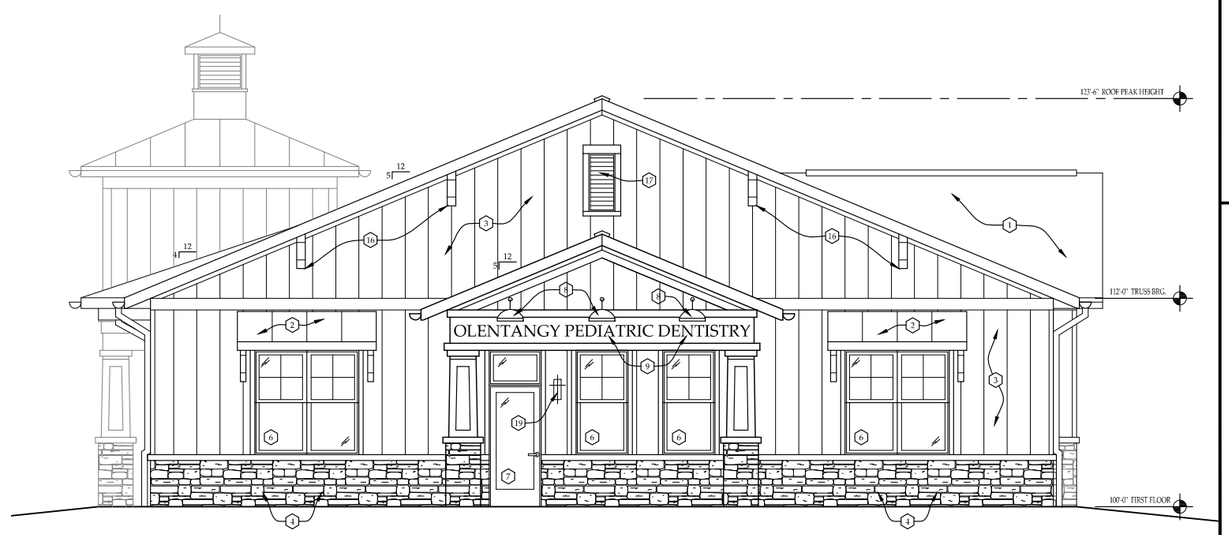
A2.1

A EAST ELEVATION
SCALE: 1/4"=1'-0"

EXTERIOR ELEVATION FINISHES:

SPECIFIC

1. ASPHALT SHINGLES - 'OWENS CORNING' COLOR: ESTATE GREY
2. STANDING SEAM METAL ROOF AWNING - 'GALVALUTTE'
3. BOARD & BATTEN SIDING - 'HARDI PLANK' COLOR: WHITE
4. LEDGER STONE - 'CULTURED STONE' COLOR: HUDSON BAY
5. HALF ROUND ALUMINIUM GUTTER COLOR: WHITE
6. VINYL DOUBLE HUNG WINDOW - 4 OVER 1 COLOR: WHITE
7. FRENCH STYLE ALUMINIUM ENTRY DOOR - 'THERMA TRU' COLOR: WHITE
8. GOOSE NECK LIGHT - WITH ANGLED GALVANIZED SHADE- MODEL# RAS10-GA www.millenniumlighting.com
9. 17"-0" WIDE x 8" HIGH NON-ILLUMINATED PIN-MOUNTED LETTERS OVER A SOLID "WHITE" 'SMART TRIM' PANEL
10. 8'-0" WIDE x 4'-0" HIGH NON-ILLUMINATED PIN-MOUNTED LETTERS OVER A SOLID "WHITE" 'SMART TRIM' PANEL TRIMMED OUT IN 5/4x6 "WHITE" 'SMART TRIM'
11. 8'-0" WIDE x 4'-0" SOLID "WHITE" 'SMART TRIM' PANEL TRIMMED OUT IN 1x6 "WHITE" 'SMART TRIM'
12. 3'-0" x 3'-0" x 5'-0" HIGH CUPOLA w/ 'SMART TRIM' BASE & ALUMINUM LOUVERS ON ALL (4) SIDES w/ STANDING SEAM ROOF.
13. 5/4 'SMART TRIM/ ACCENT BOARD- "WHITE"
14. 4" SANDSTONE SLOPED CAP.
15. "WHITE" 'SMART TRIM' TAPERED ACCENT COLUMN WRAP
16. "WHITE" 'FYPON' DECORATIVE BRACKET
17. 1'-4" WIDE x 3'-4" HIGH 'WHITE' ALUMINUM FUNCTIONAL ATTIC VENT TRIMED-OUT WITH A 5/4x4 ON (3) SIDES, 5/4x6 'SMART TRIM' AT THE TOP.
18. 1'-4" WIDE x 2'-4" HIGH 'WHITE' ALUMINUM FUNCTIONAL ATTIC VENT TRIMED-OUT WITH A 5/4x4 ON (3) SIDES, 5/4x6 'SMART TRIM' AT THE TOP.
19. WALL MOUNTED LIGHT FIXTURE- 'KICHLER' 17 INCH "BRUSHED NICKEL" MODEL# 9142NI .



B SOUTH ELEVATION
SCALE: 1/4"=1'-0"

JCKL ARCHITECTS

P.O. BOX 340037
COLUMBUS, OHIO 43234
PHONE: (614) 764-1996

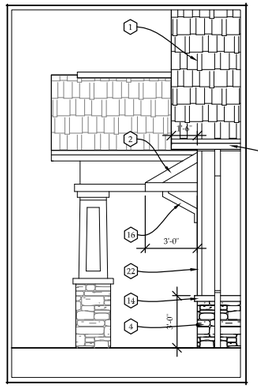
STATE OF OHIO
THOMAS W. COFFEY 9779
REGISTERED ARCHITECT

THOMAS W. COFFEY, LICENSE #09779
EXPIRATION DATE 12/31/19

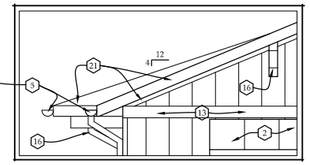
PROJECT
POWELL OFFICE CONDOMINIUMS
PHASE II DEVELOPMENT DESIGN REVIEW
8930 LIBERTY ROAD
POWELL, OHIO 43065

☒	PRELIMINARY	11-20-18 8-15-19 8-22-19
☒	SKETCH PLAN SUBMITTAL	11-26-18 12-7-18
☒	DEVELOPMENT PLAN SUBMITTAL	8-27-19
☒	FINAL DEVELOPMENT PLAN SUBMITTAL	9-24-19
☐	BID SET	
☐	PERMIT SET	
☐	CONSTRUCTION	
☐	REVISION	

A2.2

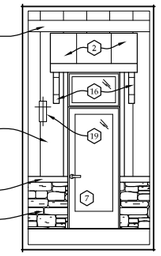


RAKE END
WITH METAL ROOF AWNING

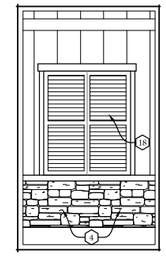


RAKE END
WITH METAL ROOF DORMER

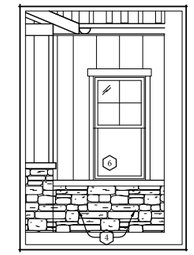
DOUBLE WINDOW
WITH METAL ROOF AWNING



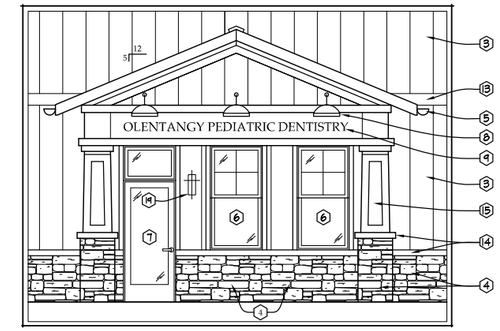
REAR/ SIDE DOOR
WITH METAL ROOF AWNING



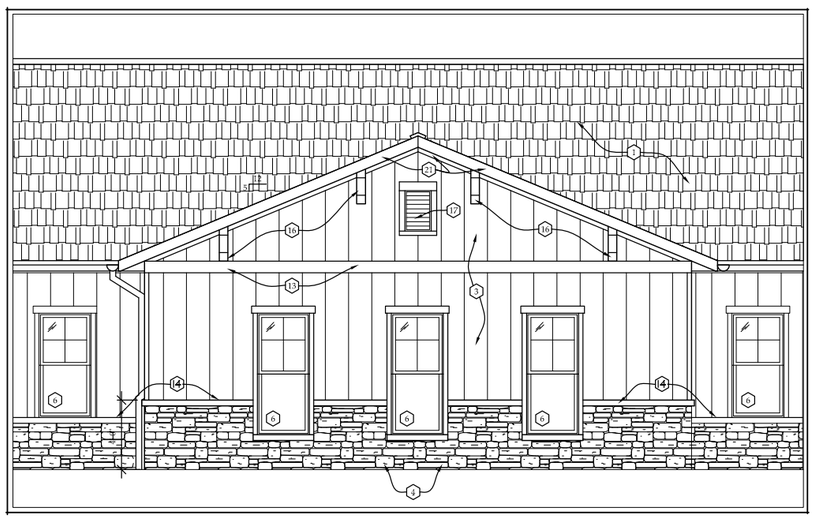
FALSE WINDOW
DOUBLE UNIT WITH SHUTTER PANELS



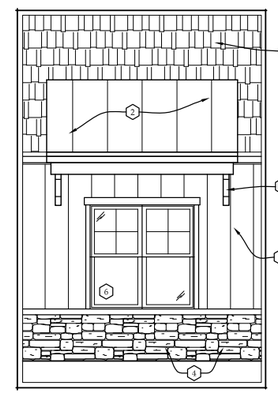
SINGLE WINDOW
DOUBLE-HUNG 2 OVER 1



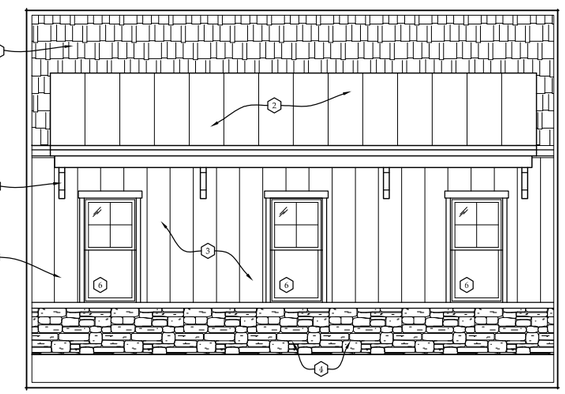
FRONT ENTRY PEDIMENT
SHOWN WITH EXTERNALLY LIT LETTER SIGNAGE



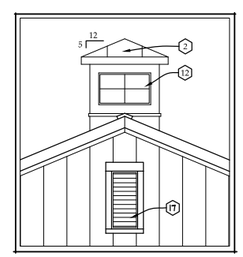
GABLE END BUMP-OUT
SHOWN WITH HIGHER STONE LEDGER BASE
SHOWN WITH TALLER WINDOWS



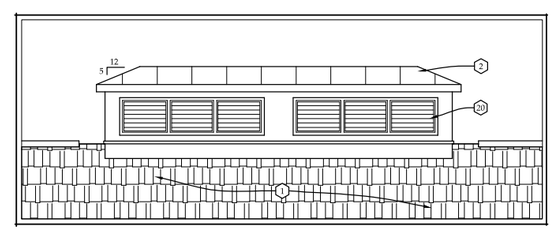
DOUBLE WINDOW
SHOWN WITH METAL ROOF DORMER OPTION ABOVE
TO BREAK-UP ROOF MASS



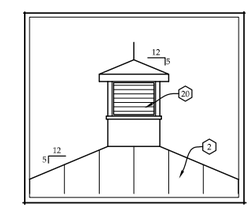
SINGLE WINDOW
SHOWN WITH METAL ROOF DORMER OPTION ABOVE
TO BREAK-UP ROOF MASS



GABLE END VENT
SHOWN WITH GLASS CUPOLA OPTION ABOVE



DOUBLE-WIDE ROOF CUPOLA
SHOWN WITH VENTILATION LOUVERS



ROOF CUPOLA
SHOWN WITH VENTILATION LOUVER OPTION

EXTERIOR ELEVATION FINISHES:

COLORS AS APPROVED BY OWNER

SPECIFIC (2)

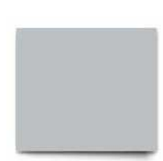
1. ASPHALT SHINGLES - 'OWENS CORNING'
2. STANDING SEAM METAL ROOF AWNING
3. BOARD & BATTEN SIDING - 'HARDI PLANK'
4. LEDGER STONE - 'CULTURED STONE' COLOR: HUDSON BAY WITH GRAY MORTAR
5. HALF ROUND ALUMINUM GUTTER
6. VINYL DOUBLE HUNG WINDOW - 4 OVER 1 REQUIRED. TRIMMED-OUT IN 'SMART' TRIM
7. FRENCH STYLE ALUMINUM ENTRY DOOR - 'THERMA TRU' WITH GLASS TRANSOM ABOVE.
8. GOOSE NECK LIGHT - WITH ANGLED GALVANIZED SHADE- MODEL# RAS10-GA www.millenniumlighting.com (REQUIRED)
9. 14'-0" WIDE x 8" HIGH NON-ILLUMINATED PIN-MOUNTED LETTERS OVER A SOLID 'SMART TRIM' PANEL
10. 1'-4" WIDE x DESIGNATED HIGH 'WHITE' ALUMINUM FUNCTIONAL ATTIC VENT TRIMED-OUT WITH A 5/4x4 ON (3) SIDES, 5/4x6 'SMART TRIM' AT THE TOP.
11. 8'-0" WIDE x 4'-0" SOLID 'SMART TRIM' PANEL TRIMMED OUT IN 5/4x6 'WHITE' 'SMART TRIM'
12. 3'-0" x 3'-0" x 5'-0" HIGH CUPOLA w/ 'SMART TRIM' BASE & GLASS TOP ON ALL (4) SIDES ILLUMINATED w/ STANDING SEAM ROOF
13. 1x6 x 5/4 'SMART TRIM/ AGCENT BOARD
14. 4" SANDSTONE SLOPED CAP.
15. 'SMART TRIM' TAPERED AGCENT COLUMN WRAP
16. 'FYPON' DECORATIVE BRACKET
17. 1'-4" WIDE x 3'-0" HIGH ALUMINUM FUNCTIONAL ATTIC VENT TRIMED-OUT WITH A 5/4x4 ON (3) SIDES, 5/4x6 'SMART TRIM' AT THE TOP.
18. (2) 3'0"x 6'-0" RAISED PANEL VINYL SHUTTERS SECURED TO WALL PANEL BEHIND.
19. WALL MOUNTED LIGHT FIXTURE- 'KICHLER' 17 INCH 'BRUSHED NICKEL' MODEL# 9142NI . (REQUIRED)
20. 3'-0" x 3'-0" x 5'-0" HIGH CUPOLA w/ 'SMART TRIM' BASE & ALUMINUM LOUVERS ON ALL (4) SIDES w/ STANDING SEAM ROOF.
21. 'SMART' TRIM RAKE and EAVE TRIM
22. 1x4 x 5/4 'SMART TRIM/ AGCENT BOARD

WALL MOUNT LIGHT (REQUIRED)
'KICHLER'- 9142 NI

GOOSE NECK SIGN LIGHT (REQUIRED)
'MILLENNIUM LIGHTING'- RAS10-GA

SW 7005
'PURE WHITE'

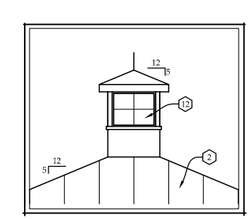
SW 7011
'NATURAL CHOICE'



SW 6254
'LAZY GRAY'

SW 7067
'CITYSCAPE'

EXTERIOR BUILDING COLORS
PLUS OTHER NEUTRAL COLORS AS APPROVED BY OWNER



ROOF CUPOLA
SHOWN WITH ILLUMINATED GLASS OPTION

PROPOSED
EXTERIOR BUILDING ELEMENTS

JCKL
ARCHITECTS

P.O. BOX 340037
COLUMBUS, OHIO 43234
PHONE: (614) 764-1996

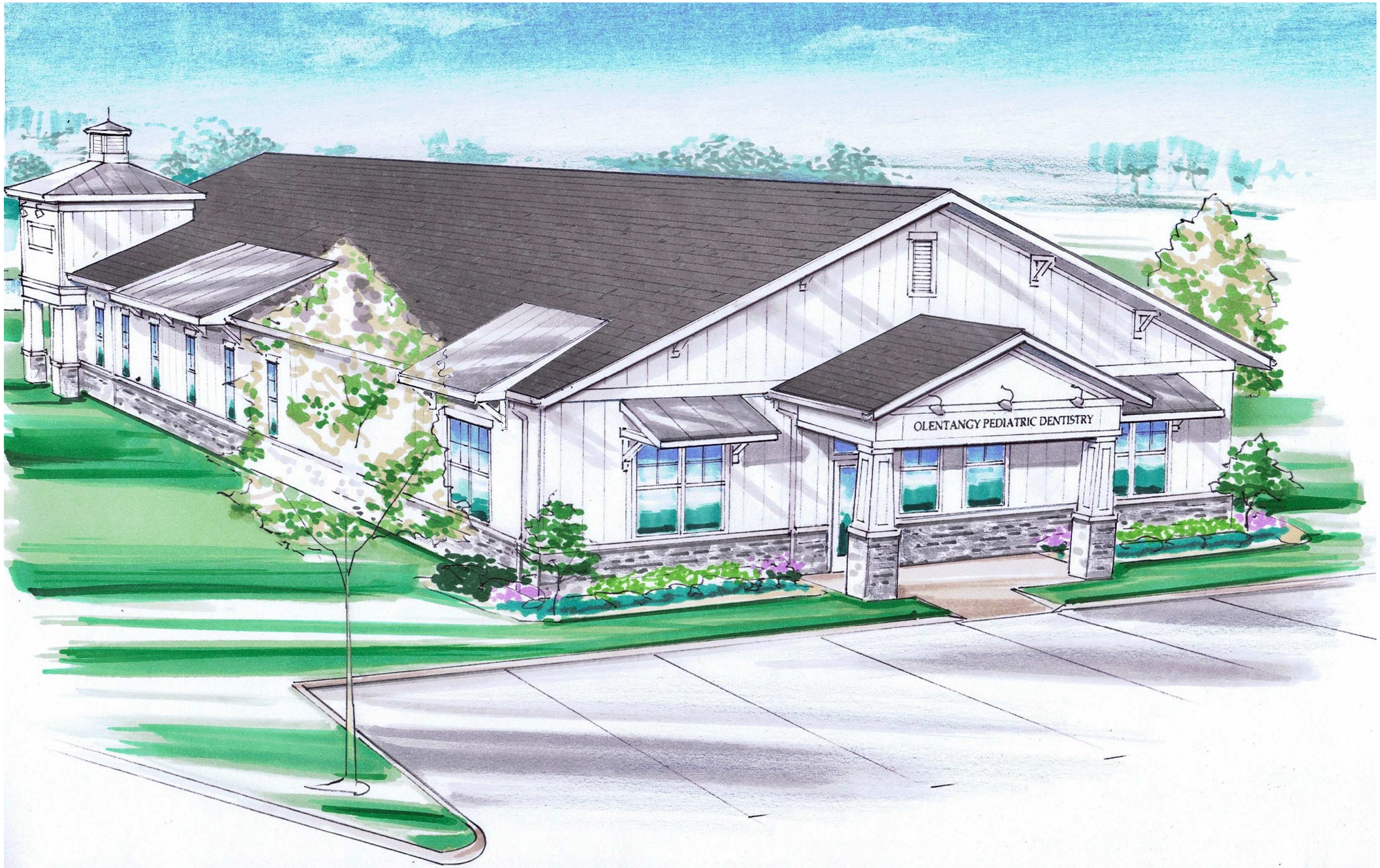
STATE OF OHIO
THOMAS W. COFFEY 9779
REGISTERED ARCHITECT

THOMAS W. COFFEY, LICENSE #09779
EXPIRATION DATE 12/31/19

PROJECT
POWELL OFFICE CONDOMINIUMS
PHASE II DEVELOPMENT DESIGN REVIEW
8930 LIBERTY ROAD
POWELL, OHIO 43065

☒	PRELIMINARY	11-20-18 8-15-19 8-22-19
☒	SKETCH PLAN SUBMITTAL	11-26-18 12-7-18
☒	DEVELOPMENT PLAN SUBMITTAL	8-27-19
☒	FINAL DEVELOPMENT PLAN SUBMITTAL	9-24-19
☐	BID SET	
☐	PERMIT SET	
☐	CONSTRUCTION	
☐	REVISION	

A2.3



A EXTERIOR RENDERING
SCALE: N15 LOOKING FROM PARKING LOT

JCKL
ARCHITECTS

P.O. BOX 340037
COLUMBUS, OHIO 43234
PHONE: (614) 764-1996

STATE OF OHIO
THOMAS W. COFFEY 9779
REGISTERED ARCHITECT

THOMAS W. COFFEY, LICENSE #09779
EXPIRATION DATE 12/31/19

PROJECT
POWELL OFFICE CONDOMINIUMS
PHASE II DEVELOPMENT DESIGN REVIEW
8930 LIBERTY ROAD
POWELL, OHIO 43065

☒	PRELIMINARY	11-20-18 8-15-19 8-22-19
☒	SKETCH PLAN SUBMITTAL	11-26-18 12-7-18
☒	DEVELOPMENT PLAN SUBMITTAL	8-27-19
☒	FINAL DEVELOPMENT PLAN SUBMITTAL	9-24-19
☐	BID SET	
☐	PERMIT SET	
☐	CONSTRUCTION	
☐	REVISION	

A3.0

B

B EXTERIOR RENDERING
SCALE: N/S
LOOKING FROM ROAD

JCKL
ARCHITECTS

P.O. BOX 340037
COLUMBUS, OHIO 43234
PHONE: (614) 764-1996

STATE OF OHIO
THOMAS W. COFFEY 9779
REGISTERED ARCHITECT

THOMAS W. COFFEY, LICENSE #09779
EXPIRATION DATE 12/31/19

PROJECT
POWELL OFFICE CONDOMINIUMS
PHASE II DEVELOPMENT DESIGN REVIEW
8930 LIBERTY ROAD
POWELL, OHIO 43065

☒	PRELIMINARY	11-20-18 8-15-19 8-22-19
☒	SKETCH PLAN SUBMITTAL	11-26-18 12-7-18
☒	DEVELOPMENT PLAN SUBMITTAL	8-27-19
☒	FINAL DEVELOPMENT PLAN SUBMITTAL	9-24-19
☐	BID SET	
☐	PERMIT SET	
☐	CONSTRUCTION	
☐	REVISION	

A3.1

1. CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK USING THE CONTRACTOR'S BEST SKILL AND ATTENTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE AND HAVE CONTROL OVER CONSTRUCTION MEANS, METHODS TECHNIQUES, SEQUENCE, AND JOB SITE SAFETY

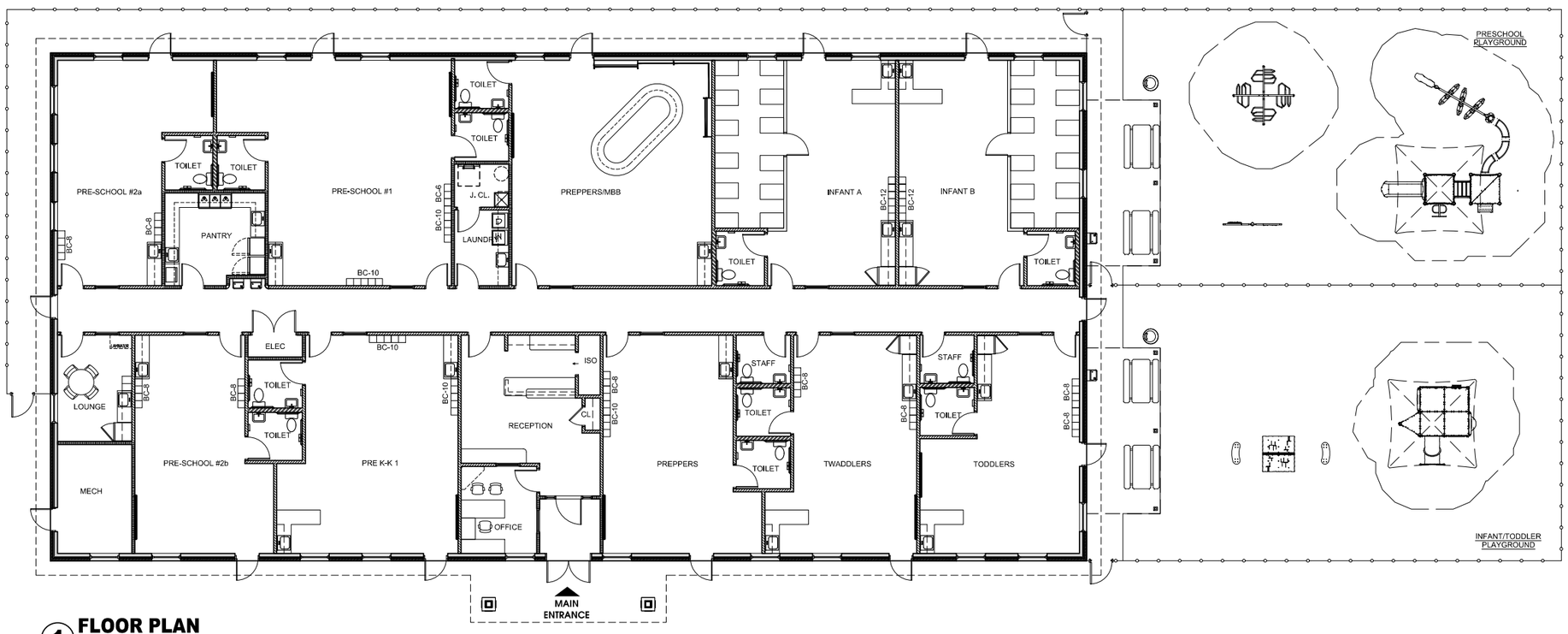
2. GC MUST PROVIDE & INSTALL ALL PRODUCTS PER PLANS. ONLY SUBSTITUTED PRODUCTS NEED TO BE SUBMITTED TO THE ARCHITECT FOR APPROVAL. UNAPPROVED SUBSTITUTIONS WILL BE REPLACED AT THE EXPENSE OF THE GC.

3. VERBAL REPRESENTATION HAS NO VALUE AND ALL REQUESTS TO CHANGE ANY PRODUCTS OR SPECIFICATIONS PER PLANS, MUST BE SUBMITTED IN WRITING TO THE ARCHITECT & TLE FOR APPROVAL.

LICENSING CALCULATIONS
Learning Experience, Powell, OHIO

ROOM	STATE REQUIRED S.F.(35 S.F. PER CHILD)	NET* S.F.	ACTUAL S.F.	RATIO CHILD PER S.F.	# OF CHILDREN	# OF TEACHERS	TEACHER RATIO	AGE GROUP
INFANT A	660	663	717	1/55	12	2	2/12	6 WK-12 MO.
INFANT B	660	660	714	1/55	12	2	1/6	12 MO.-18 MO.
TODDLER	490	495	549	1/35	14	2	1/7	18-24 MO.
TWADDLER	490	491	545	1/35	14	2	1/7	24-30 MO.
PREPPERS	560	561	573	1/35	16	2	1/8	30-36 MO.
PREPPERS/MBB	560	832	844	1/35	16	2	1/8	30-36 MO.
PRE-SCHOOL #1	840	845	857	1/35	24	2	1/12	3 YRS.
PRE-SCHOOL #2a	490	505	517	1/35	14	1	1/14	4-5 YRS.
PRE-SCHOOL #2b	490	494	506	1/35	14	1	1/14	4-5 YRS.
PRE K-K 1	630	635	683	1/35	18	1	1/18	5-6 YRS.
TOTALS	6,045	–	–	–	154	17	–	–
					+2 ADMIN. STAFF			
					TOTAL	173		

* CALCULATED LESS BUILT-IN ITEMS
GROSS AREA 10,010 S.F.
PLAY AREA 4,978 S.F.



1 **FLOOR PLAN**
SCALE: 1/8" = 1'-0"

Jarmel Kizel
ARCHITECTS AND ENGINEERS INC.
42 OKNER PARKWAY
LIVINGSTON, NEW JERSEY 07039
TEL: 973-994-9669
FAX: 973-994-4069
www.jarmelkizel.com

Architecture
Engineering
Interior Design
Implementation Services

THE LEARNING EXPERIENCE
ACADEMY OF EARLY EDUCATION
POWELL COMMONS
POWELL, OHIO

ISSUE

NO.	DATE	DESCRIPTION	INT.

REVISION

NO.	DATE	DESCRIPTION	INT.

PROFESSIONAL CERTIFICATION
LICENSE NUMBER: 12444
EXPIRATION DATE: 31 DEC 2019
MATTHEW B. JARMEL, AIA, MBA

Project Number: TLEOH19-071	Scale: 1/8"=1'-0"
Drawn By: CS	Approved By: MBJ

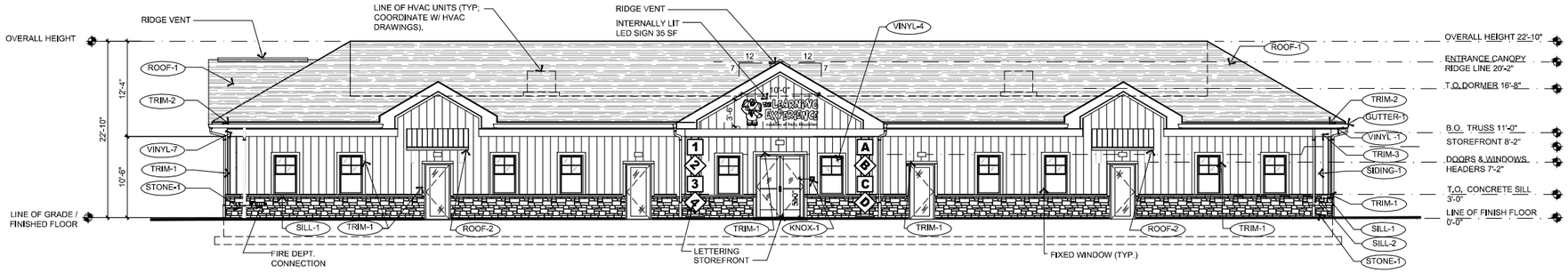
Drawing Name:
PROPOSED FLOOR PLAN

Drawing Number:
SA-3.1

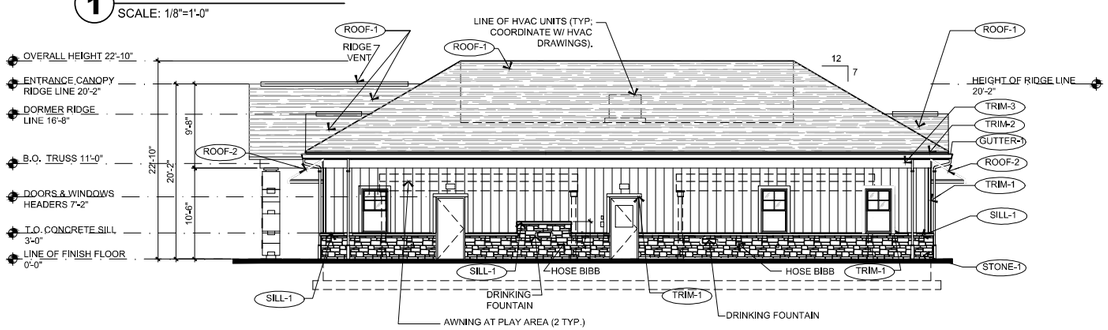
1. CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK USING THE CONTRACTOR'S BEST SKILL AND ATTENTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE AND HAVE CONTROL OVER CONSTRUCTION MEANS, METHODS TECHNIQUES, SEQUENCE, AND JOB SITE SAFETY.

2. GC MUST PROVIDE & INSTALL ALL PRODUCTS PER PLANS. ONLY SUBSTITUTED PRODUCTS NEED TO BE SUBMITTED TO THE ARCHITECT FOR APPROVAL. UNAPPROVED SUBSTITUTIONS WILL BE REPLACED AT THE EXPENSE OF THE GC.

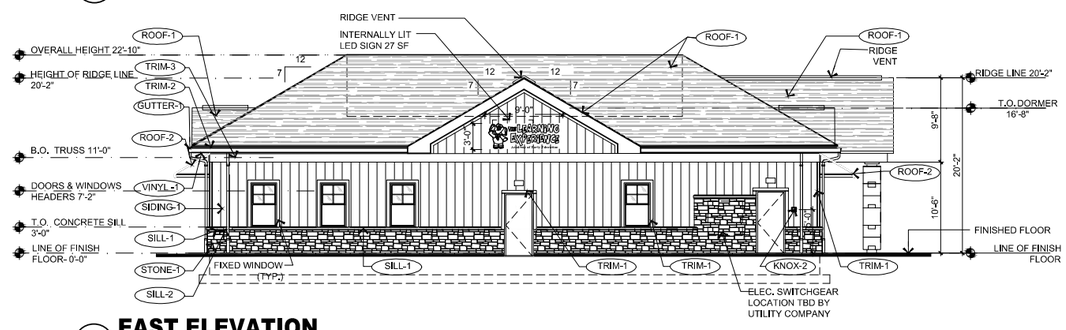
3. VERBAL REPRESENTATION HAS NO VALUE AND ALL REQUESTS TO CHANGE ANY PRODUCTS OR SPECIFICATIONS PER PLANS, MUST BE SUBMITTED IN WRITING TO THE ARCHITECT & TLE FOR APPROVAL.



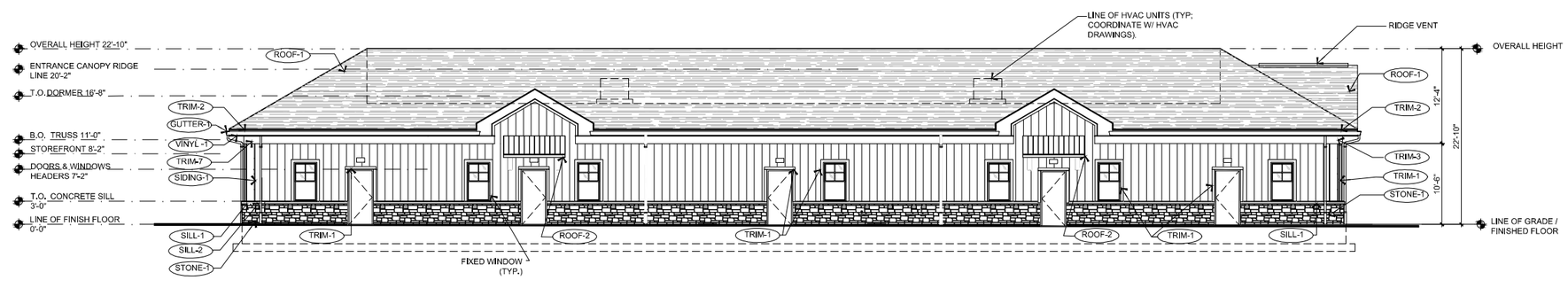
1 NORTH ELEVATION
SCALE: 1/8"=1'-0"



2 WEST ELEVATION
SCALE: 1/8"=1'-0"



3 EAST ELEVATION
SCALE: 1/8"=1'-0"



4 SOUTH ELEVATION
SCALE: 1/8"=1'-0"

EXTERIOR MATERIAL SCHEDULE

LABEL	MANUFACTURER	SIZE / TYPE	FINISH / COLOR
STOREFRONT	KAWNEER	TRIFAB 451T / 350 PER DOOR SCHEDULE	BONE WHITE
DOOR	-	PER DOOR SCHEDULE	FACTORY PRIMED
FIXED WINDOW	PLY GEM	SILVER LINE V1 SERIES PER WINDOW SCHEDULE	WHITE
STONE-1	HUDSON BAY	CULTURED STONE	LEDGER STONE
SILL-1	MODERN PRECAST	3 3/4"Hx6"W W/ 2" FLAT W/ 1/4" DRIP EDGE	REGULAR (LIGHT GREY)
SILL-2	MODERN PRECAST	CUSTOM SILL 3 3/4"Hx4"W W/ 2" FLAT REF. DTL. 6/A-032	REGULAR (LIGHT GREY)
SIDING-1	TBD	BOARD AND BATTEN SIDING	WHITE
TRIM-1	-	PT. WOOD 1X4	PAINT WHITE
TRIM-2	-	PT. WOOD 1X10	PAINT WHITE
TRIM-3	-	PT. WOOD 1X12	PAINT WHITE
ROOF-1	OWENS CORNING	ASPHALT SHINGLES	ESTATE GREY
ROOF-2	GALVALUME	STANDING SEAM AWNING	DOVE GRAY
GUTTER-1	-	6" ALUMINUM TYPE 'K' W/ LEAF SCREEN AND 6" LEADERS	WHITE
VINYL-1	ROYAL BUILDING PRODUCTS	COLORSCAPES TRIPLE 4 PERFORATED SOFFIT NOM. THICKNESS 0.042"	WHITE (REF. NOTE 2 BELOW)
KNOX-1	KNOX BOX	3200 SERIES W/ RECESSED MOUNT FLANGE, HINGE DOOR, & TAMPER SWITCH	DARK BRONZE (REF. NOTE 2 BELOW)
KNOX-2	KNOX BOX	1650 SERIES W/ RECESSED MOUNT FLANGE, HINGE DOOR, & TAMPER SWITCH	DARK BRONZE (REF. NOTE 2 BELOW)

FINISH SCHEDULE NOTES:
1. G.C. SHALL VERIFY KNOX BOX MODEL(S) AND LOCATION(S) WITH AUTHORITY HAVING JURISDICTION PRIOR TO ORDERING AND INSTALLATION.
2. G.C. SHALL ENSURE ALL EXTERIOR FINISHES ARE INSTALLED AND FINISHED IN COMPLIANCE WITH MANUFACTURERS' WARRANTY REQUIREMENTS.
3.IF BLOCKS ARE NOT PERMITTED, COLUMNS MUST MATCH EXTERIOR FINISH OF THE BUILDING.

Jarmel Kizel
ARCHITECTS AND ENGINEERS INC.
42 OKNER PARKWAY
LIVINGSTON, NEW JERSEY 07039
TEL: 973-994-9669
FAX: 973-994-4069
www.jarmelkizel.com

Architecture
Engineering
Interior Design
Implementation Services

THE LEARNING EXPERIENCE
ACADEMY OF EARLY EDUCATION
POWELL COMMONS
POWELL, OHIO

ISSUE

NO.	DATE	DESCRIPTION	INT.

REVISION

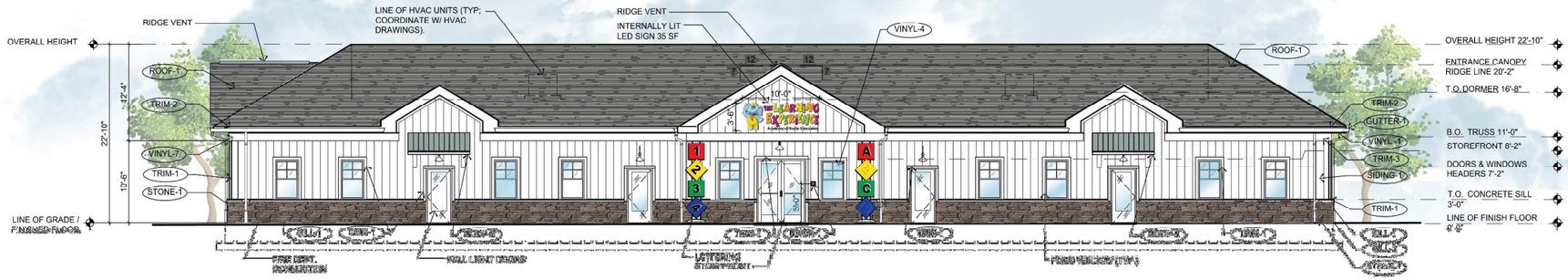
NO.	DATE	DESCRIPTION	INT.

PROFESSIONAL CERTIFICATION
LICENSE NUMBER: 12444
EXPIRATION DATE: 31 DEC 2019
MATTHEW B. JARMEL, AIA, MBA

Project Number: TLEOH19-071	Scale: 1/8"=1'-0"
Drawn By: JR	Approved By: MBJ

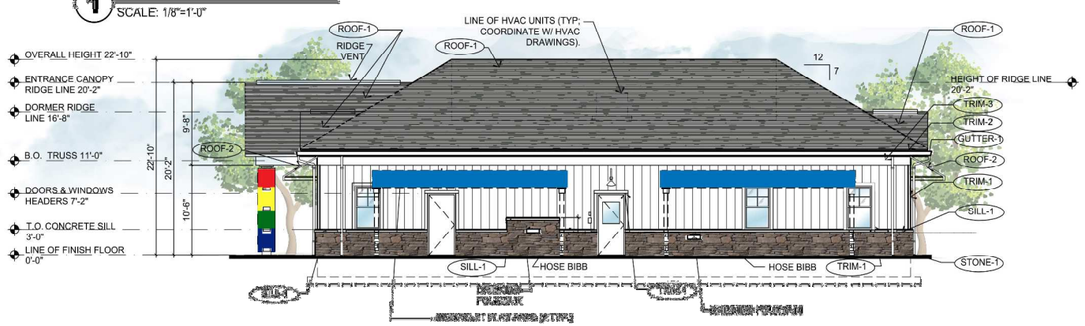
Drawing Name:
PROPOSED ELEVATIONS

Drawing Number:
SA-3.2



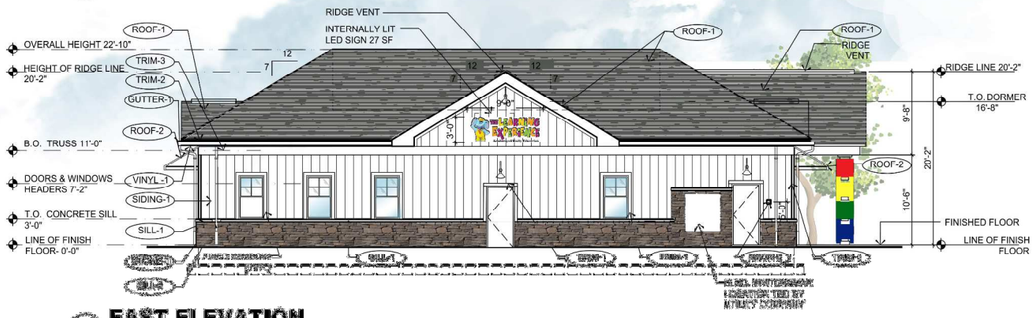
1 NORTH ELEVATION

SCALE: 1/8"=1'-0"



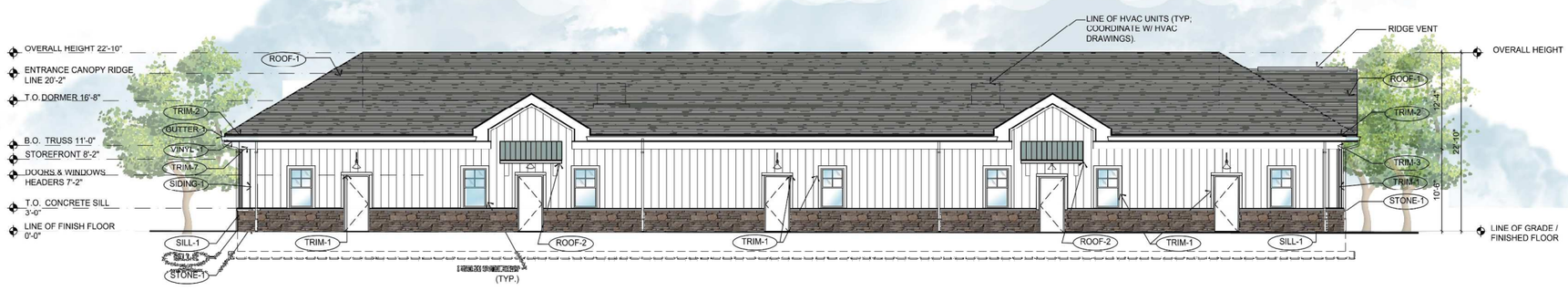
2 WEST ELEVATION

SCALE: 1/8"=1'-0"



3 EAST ELEVATION

SCALE: 1/8"=1'-0"



4 SOUTH ELEVATION

SCALE: 1/8"=1'-0"

EXTERIOR MATERIAL SCHEDULE			
LABEL	**MANUFACTURER**	**SIZE / TYPE**	**FINISH / COLOR**
STOREFRONT	KAWNEER	TRIFAB 451T / 350 PER DOOR SCHEDULE	BONE WHITE
DOOR	-	PER DOOR SCHEDULE	FACTORY PRIMED
FIXED WINDOW	PLY GEM	SILVER LINE V1 SERIES PER WINDOW SCHEDULE	WHITE
STONE-1	HUDSON BAY	CULTURED STONE	LEDGER STONE
SILL-1	MODERN PRECAST	3 3/4"Hx6"W W/ 2" FLAT W/ 1/4" DRIP EDGE	REGULAR (LIGHT GREY)
SILL-2	MODERN PRECAST	CUSTOM SILL 3 3/4"Hx4"W W/ 2" FLAT REF. DTL. 6/A-032	REGULAR (LIGHT GREY)
SIDING-1	TBD	BOARD AND BATTEN SIDING	WHITE
TRIM-1	"	PT. WOOD 1X4	PAINT WHITE
TRIM-2	"	PT. WOOD 1X8	PAINT WHITE
TRIM-3	-	PT. WOOD 1X12	PAINT WHITE
ROOF-1	OWENS CORNING	ASPHALT SHINGLES	ESTATE GREY
ROOF-2	GALVALUME	STANDING SEAM AWNING	DOVE GRAY
GUTTER-1	-	6" ALUMINUM TYPE 'K' W/ LEAF SCREEN AND 6" LEADERS	WHITE
VINYL-1	ROYAL BUILDING PRODUCTS	COLORSCAPES TRIPLE 4 PERFORATED SOFFIT NOM. THICKNESS 0.042"	WHITE (REF. NOTE 2 BELOW)
KNOX-1	KNOX BOX	3200 SERIES W/ RECESSED MOUNT FLANGE, HINGE DOOR, & TAMPER SWITCH	DARK BRONZE (REF. NOTE 2 BELOW)
KNOX-2	KNOX BOX	1650 SERIES W/ RECESSED MOUNT FLANGE, HINGE DOOR, & TAMPER SWITCH	DARK BRONZE (REF. NOTE 2 BELOW)

FINISH SCHEDULE NOTES:
1. G.C. SHALL VERIFY KNOX BOX MODEL(S) AND LOCATION(S) WITH AUTHORITY HAVING JURISDICTION PRIOR TO ORDERING AND INSTALLATION.
2. G.C. SHALL ENSURE ALL EXTERIOR FINISHES ARE INSTALLED AND FINISHED IN COMPLIANCE WITH MANUFACTURERS' WARRANTY REQUIREMENTS.
3.IF BLOCKS ARE NOT PERMITTED, COLUMNS MUST MATCH EXTERIOR FINISH OF THE BUILDING.

1. CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK USING THE CONTRACTOR'S BEST SKILL AND ATTENTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE AND HAVE CONTROL OVER CONSTRUCTION MEANS, METHODS TECHNIQUES, SEQUENCE, AND JOB SITE SAFETY
2. GC MUST PROVIDE & INSTALL ALL PRODUCTS PER PLANS. ONLY SUBSTITUTED PRODUCTS NEED TO BE SUBMITTED TO THE ARCHITECT FOR APPROVAL. UNAPPROVED SUBSTITUTIONS WILL BE REPLACED AT THE EXPENSE OF THE GC.
3. VERBAL REPRESENTATION HAS NO VALUE AND ALL REQUESTS TO CHANGE ANY PRODUCTS OR SPECIFICATIONS PER PLANS, MUST BE SUBMITTED IN WRITING TO THE ARCHITECT & TLE FOR APPROVAL.

Jarmel Kizel
ARCHITECTS AND ENGINEERS INC.
42 OKNER PARKWAY
LIVINGSTON, NEW JERSEY 07039
TEL: 973-994-9669
FAX: 973-994-4069
www.jarmelkizel.com
Architecture
Engineering
Interior Design
Environmental Services

THE LEARNING EXPERIENCE
ACADEMY OF EARLY EDUCATION
POWELL COMMONS
POWELL, OHIO

ISSUE

NO.	DATE	DESCRIPTION	INT.

REVISION

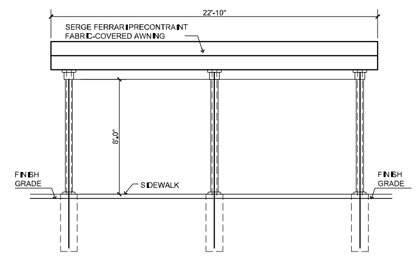
NO.	DATE	DESCRIPTION	INT.

PROFESSIONAL CERTIFICATION
LICENSE NUMBER: 12444
EXPIRATION DATE: 31 DEC 2019
MATTHEW B. JARMEL, AIA, MBA

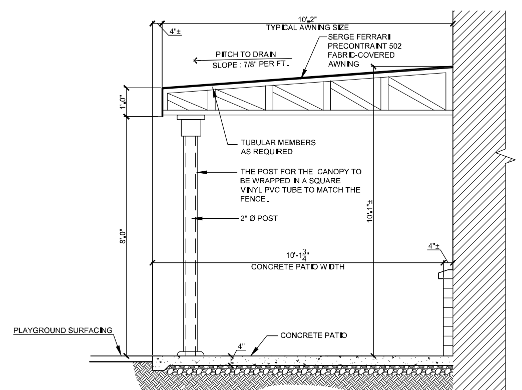
Project Number: TLEOH19-071	Scale: 1/8"=1'-0"
Drawn By: JR	Approved By: MBJ

Drawing Name:
PROPOSED ELEVATIONS

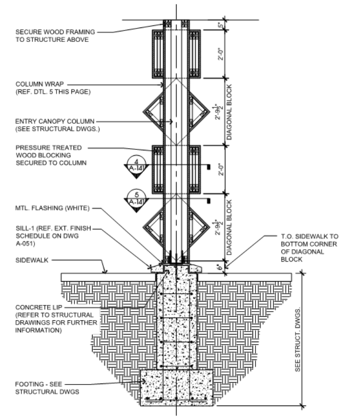
Drawing Number:
SA-3.2



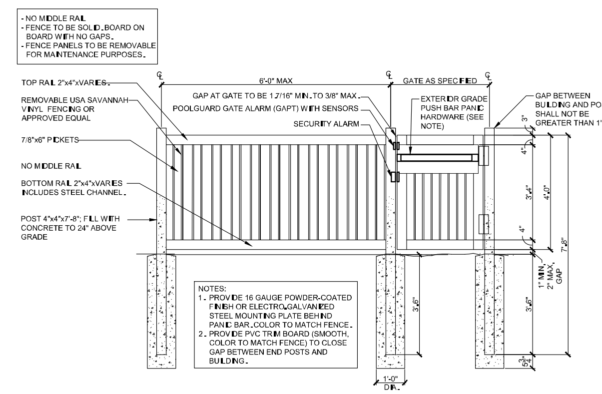
8 PICNIC PAD AWNING ELEVATION
SCALE: 1/4" = 1'-0"



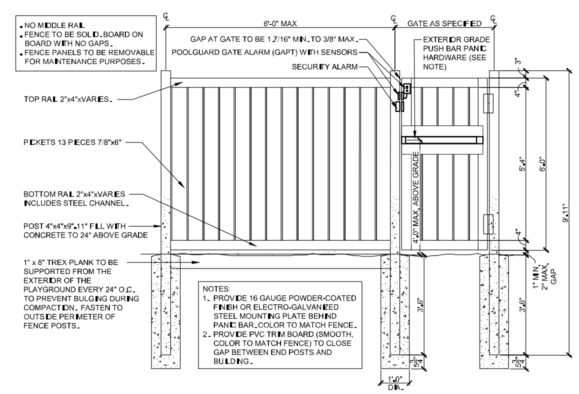
7 PICNIC PAD AWNING SECTION
SCALE: 1/2" = 1'-0"



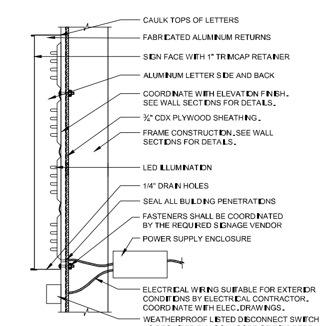
5 SECTION THROUGH COLUMN COVER
SCALE: 1/2"=1'-0"



3 4'-0" PVC FENCE AND GATE DETAIL
SCALE: 1/2"=1'-0"



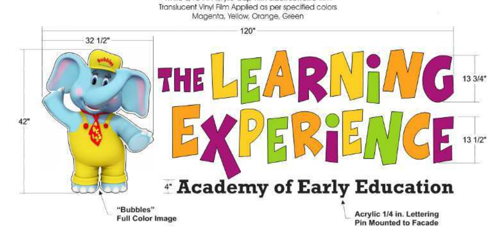
4 6'-0" PVC FENCE AND GATE WITH PANIC HARDWARE
SCALE: 1/2"=1'-0"

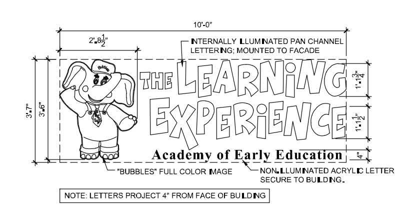


2 BUILDING SIGN MOUNTING DETAIL
SCALE: 1 1/2"=1'-0"

The Learning Experience
Illuminated Building Signage

Pan Channel Lettering - Facade Mounted - Remote Wiring
Internal White LED Illumination - 120 volts AC
White 3/16 in. Acrylic Cap with Black Jewelite Trim
Translucent Vinyl Film Applied as per specified colors
Magenta, Yellow, Orange, Green





1 BUILDING MOUNTED SIGNAGE ELEVATION DETAIL
SCALE: 1/2"=1'-0"

1. CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK USING THE CONTRACTOR'S BEST SKILL AND ATTENTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE AND HAVE CONTROL OVER CONSTRUCTION MEANS, METHODS TECHNIQUES, SEQUENCE, AND JOB SITE SAFETY
2. GC MUST PROVIDE & INSTALL ALL PRODUCTS PER PLANS. ONLY SUBSTITUTED PRODUCTS NEED TO BE SUBMITTED TO THE ARCHITECT FOR APPROVAL. UNAPPROVED SUBSTITUTIONS WILL BE REPLACED AT THE EXPENSE OF THE GC.
3. VERBAL REPRESENTATION HAS NO VALUE AND ALL REQUESTS TO CHANGE ANY PRODUCTS OR SPECIFICATIONS PER PLANS, MUST BE SUBMITTED IN WRITING TO THE ARCHITECT & TLE FOR APPROVAL.

Jarmel Kizel
ARCHITECTS AND ENGINEERS INC.
42 OKNER PARKWAY
LIVINGSTON, NEW JERSEY 07039
TEL: 973-994-9669
FAX: 973-994-4069
www.jarmelkizel.com
Architecture
Engineering
Interior Design
Implementation Services

THE LEARNING EXPERIENCE
ACADEMY OF EARLY EDUCATION
POWELL COMMONS
POWELL, OHIO

ISSUE

NO.	DATE	DESCRIPTION	INT.

REVISION

NO.	DATE	DESCRIPTION	INT.

PROFESSIONAL CERTIFICATION
LICENSE NUMBER: 12444
EXPIRATION DATE: 31 DEC 2019
MATTHEW B. JARMEL, AIA, MBA

Project Number: TLEOH19.071	Scale: 1/8"=1'-0"
Drawn By: JR	Approved By: MBJ

Drawing Name: **DETAILS**

Drawing Number: **SA-3.3**