



# PLANNING AND ZONING COMMISSION (P&Z) MINOR AMENDMENT TO APPROVED DEVELOPMENT PLAN APPLICATION

ALL ITEMS ON THIS APPLICATION MUST BE COMPLETED.

Application Fee: \$550.00  
Pre Fee Ordinance 2019-38

**Applicant:** Powell Crossing Endeavors LLC  
**Address/City/State/Zip:** 380 Polaris Parkway, Suite 135, Westerville, Ohio 43082  
**Email Address:** davidhatcher@thechampioncompanies.com  
**Phone No:** 614-895-6811 **Cell Phone No:** \_\_\_\_\_ **Fax No:** \_\_\_\_\_  
**Property Owner:** Powell Crossing Endeavors LLC  
**Address/City/State/Zip:** 380 Polaris Parkway, Suite 135, Westerville, Ohio 43082  
**Email Address:** davidhatcher@thechampioncompanies.com  
**Phone No:** 614-895-6811 **Cell Phone No:** \_\_\_\_\_ **Fax No:** \_\_\_\_\_  
**Attorney** for Applicant: Aaron L. Underhill, Esq., Underhill & Hodge LLC  
**Address/City/State/Zip:** 8000 Walton Parkway, Suite 260, New Albany, Ohio 43054  
**Email Address:** aaron@uhlfirm.com  
**Phone No:** 614.335.9320 **Cell Phone No:** 614.783.1149 **Fax No:** 614.335.9329  
**Property Address:** 16 Crossing Street, Powell, Ohio 43065  
**Lot Number/Subdivision:** Powell Crossing **Existing Use:** Residential and Commercial **Proposed Use:** Small Hotel

Reason for Administrative Review (attach necessary documents):

To allow the use of an existing home as a small hotel.

## Checklist:

- ☐ Legal description of the property
  - ☐ Vicinity Map
  - ☐ Written Text explaining nature of amendment being requested.
  - ☐ Amended Final Development Plan drawing(s) (site plan, elevation drawings, etc.) needed to show proposed amendment.
  - ☐ Provide any other information that may be useful to the Planning and Zoning Commission or City Staff in the space below or attach additional pages.
  - ☐ 5 copies of all drawings, text, any other items, and application
  - ☐ 1 digital copy (CD, USB, Email) of the complete application packet.
  - ☐ Attach the required fee - \$550.00
  - ☐ Post a public notice sign at least (10) days prior to a public hearing or public meeting, pursuant to ordinance 1107.035
- Public notice sign details found [here](#).

(See Over)

I agree to grant the City Staff, the Commission, Board or Council considering this application access to the property that is the subject of this application for the purposes of reviewing this application and posting public notice for this application.

for the purposes of reviewing this application and posting public notice for this application.

Signature of Applicant: By: *Am L. Mull*  
Attorney for Applicant

Date: 10-7-2019

Office Use	
Received	

Office Use *Main Account*

Type/Date: *10/17/2019*

Base Fee: *\$550.00*

Prepared by: *[Signature]*

Reviewed by: \_\_\_\_\_

PAYOR: *Powell Crossing Endeavors*

RECIEPT # *008113*

City of Powell · 47 Hall Street · Powell, Ohio 43065 · (614) 885-5380 · (614) 885-5339 fax· [www.cityofpowell.us](http://www.cityofpowell.us)



## **Minor Amendment to Approved Development Plan Application**

### **Powell Crossing**

This application seeks a minor amendment to the approved development plan for Powell Crossing, which is a mixed use development approved for 64 dwelling units and approximately 16,400 square feet of retail/office/commercial uses. As part of the approved development plan, the applicant committed to preserving the existing "Campbell house", a single-family structure that has long been located on the subject property. The applicant/developer, Powell Crossing Endeavors LLC, seeks a minor modification to the approved development plan for the purpose of allowing the Campbell house to be used as a small hotel.

The use of the existing home as a small hotel will allow the structure to be put to a productive use. The applicant proposes to limit the hotel to 6 rooms with associated shared living areas and a kitchen. The proposed use also will allow for the use of a small portion of the home to be used as office space to serve the hotel use and, if elected by the applicant, for management of the larger Powell Crossing development.

The zoning classification for Powell Crossing, which is the Downtown Business District, provides that "bed and breakfast inns" are conditionally permitted. Chapter 1155 of Powell's Codified Ordinances states that a "bed and breakfast inn" means "an owner-occupied residential single-family detached structure where lodging and meals are provided to transient guests for compensation in accordance with the development standards of this chapter. The provision of lodging and breakfast shall be subordinate to the principal use of the structure."

The purpose of this amendment is to allow the Campbell house to be used in a manner that is similar to a bed and breakfast inn, but with minor differences. The "small hotel" being proposed will not be owner-occupied, and while the use may include the provision of meals, this will not be a requirement for this use. The home's close proximity to dining establishments in the area will provide ample opportunities to obtain meals. Other than these two minor distinctions, the proposed use is very similar to a bed and breakfast use.

Other than the use of the Campbell house, no other modifications are being made to the approved development plan. All of the physical improvements to the site are unchanged from that which were set forth in the previously approved plan.

The following minor modifications to the existing development text for the project are requested in order to accommodate the proposed use:

- 1) Section (8)K.4 of the text shall be revised so that the response will read as follows (proposed change to text is underlined):**

"The site shall be developed as a mixed use development according to the standards and uses set forth in the Downtown Business District, provided that in addition a small hotel shall be permitted to be operated within the existing home on the property known as the Campbell house. For purposes of this development, a "small hotel" shall mean a residential single-

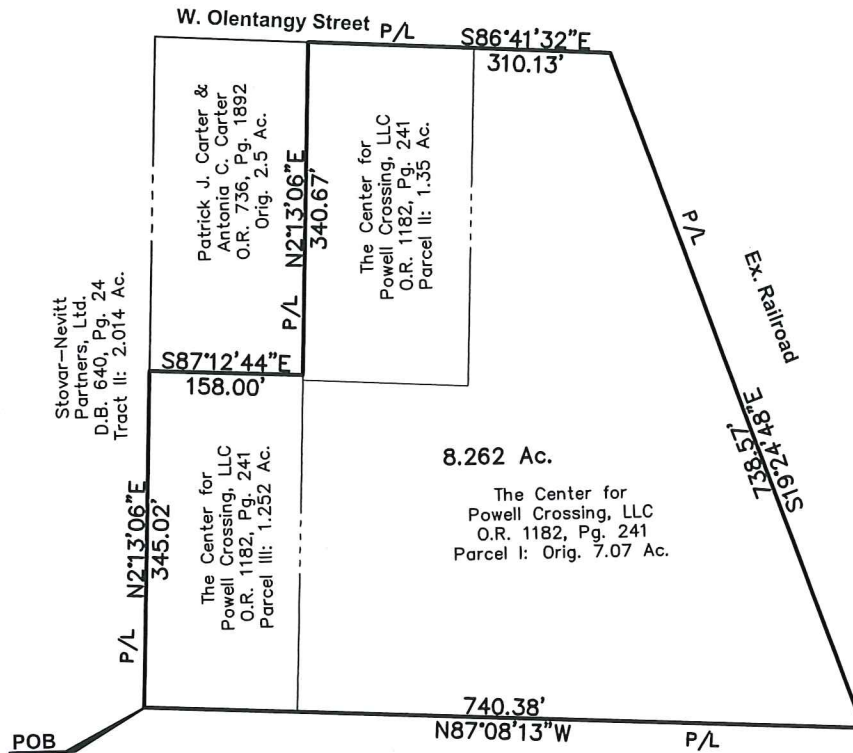
family detached structure where lodging is provided (and meals may be provided) to transient guests for compensation, with no more than 6 rooms to be used as sleeping quarters. The provision of lodging (and meals, if provided) shall be subordinate to the principal use of the structure. There shall be approximately 16,400 square feet of retail/office/commercial uses, and 64 dwelling units with detached garages.”

**2) The second paragraph of the response in Section (12) of the text shall be revised to read as follows (proposed change to text is underlined):**

“Uses in the commercial areas will be those that are allowed under the Downtown Business District Standards, plus a small hotel in the Campbell house as described in Section (8)K.4 above, and will be a mixture of retail, restaurant, and office.”

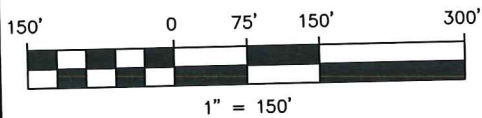
# Rezoning Exhibit ~ 8.262 Acres

State of Ohio, County of Delaware, City of Powell  
Quarter Township 4, Range 19  
Township 3, United States Military Lands



Murphy's Park  
Section 3  
C. 2, Sl. 648

Murphy's Park  
Section 5  
C. 3, Sl. 552



Drawing is based on existing  
County records.



DRAWN BY: PCM	JOB NO.: 13-0001-598
DATE: 10/22/2013	CHECKED BY:

**ADVANCED**  
CIVIL DESIGN  
ENGINEERS SURVEYORS

422 Beecher Road  
Gahanna, Ohio 43230  
ph 614.428.7750  
fax 614.428.7755

**Rezoning Description ~ 8.26 Acres  
South Side of West Olentangy Street  
West of South Liberty Street**

Situated in the State of Ohio, County of Delaware, City of Powell, Quarter Township 4, Range 19, Township 3, United States Military Lands and including all of Parcel I (orig.), Parcel II, and Parcel III as conveyed to the Center for Powell Crossing, of record in Official Record 1182, Page 241 and described as follows:

***Beginning*** at the southwest corner of said Parcel III;

Thence **N 02° 13' 06" E**, along the west line of said Parcel III, **345.02 feet** to the northwest corner of said Parcel III;

Thence **S 87° 12' 44" E**, along the north line of said Parcel III, **158.00 feet** to the northeast corner of said Parcel III, in the west line of said Parcel II;

Thence **N 02° 13' 06" E**, along the west line of said Parcel II, **340.67 feet** to the northwest corner of said Parcel II;

Thence **S 86° 41' 32" E**, along the north lines of said Parcel II and said Parcel I, **310.13 feet** to the northeast corner of said Parcel I;

Thence **S 19° 24' 48" E**, along the east line of said Parcel I, **738.57 feet** to the southeast corner of said Parcel I;

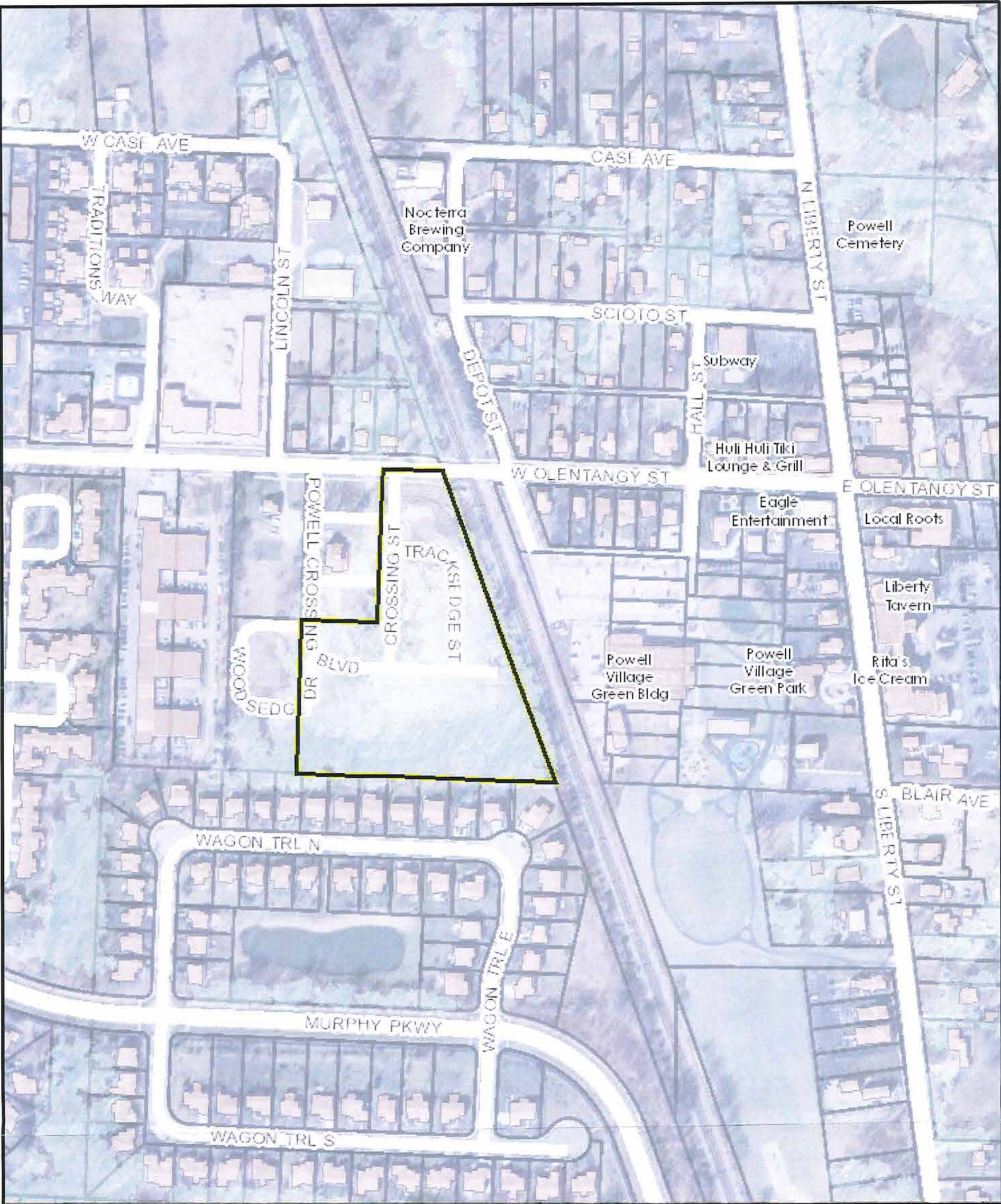
Thence **N 87° 08' 13" W**, along the south lines of said Parcel I and said Parcel III, **740.38 feet** to the ***Point of Beginning***, containing **8.26 acres**, more or less.

The above description was prepared by Advanced Civil Design, Inc. on 10/22/13 and is based on existing county records. A drawing of the above description has been prepared and made a part hereof.

All references used in this description can be found at the Recorder's Office, Delaware County, Ohio.

**ADVANCED CIVIL DESIGN, INC.**





Delaware County Auditor  
George Kaitisa

Information contained within this map may be used to generally locate, identify and inventory land parcels within Delaware County. Delaware County cannot warrant or guarantee the information contained herein, including, but not limited to its accuracy or completeness. The map parcel lines shown are approximate and this information cannot be constructed or used as a "legal description" of a parcel. Flood Plain information is obtained from FEMA and is administered by the Delaware County Building Department (740-833-2201). Please report any errors or omissions to the Delaware County Auditor's office at [delcogis@co.delaware.oh.us](mailto:delcogis@co.delaware.oh.us). Prepared by: Delaware County Auditor's GIS Office



0 130 260 520  
ft

Printed on 10/7/2019



# Approved Final Development Plan

## POWELL CROSSING

Final Development Plan  
West Olentangy Street  
Powell, Ohio  
January 3, 2014

THE CENTER AT POWELL CROSSING, LLC



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### **APPLICATION FOR AMENDMENTS**

- Application

### **DEVELOPMENT PLAN TEXT**

- DB-Downtown Business District - Final Development Plan Application

### **EXHIBITS**

- Exhibit "A" – Adjacent Property Owners
- Exhibit "B" – Legal Description and Boundary Survey
- Exhibit "C" – Final Development Plan
- Exhibit "D" –Landscape Plans and Site Features
- Exhibit "E" – Utility Plan and Letters
- Exhibit "F" – Architectural Elevations
- Exhibit "G" – Traffic Study
- Exhibit "H" - Tree Survey and Tree Preservation Plans
- Exhibit "I" – Lighting Plan and Fixture Cuts

**APPLICATION FOR PLANNED RESIDENCE DISTRICT  
DEVELOPMENT TEXT**

**(1) Name, address, and phone number of applicant.**

The Center at Powell Crossing LLC, 5380 Havenhill Drive, Columbus, Ohio 43235,  
614-326-0444

**(2) Name, address, and phone number of registered surveyor,  
registered engineer and/or urban planner assisting in the preparation of the  
preliminary development plan.**

Land Planner/Landscape Architect

Todd Faris, Faris Planning & Design, LLC, 243 N. Fifth Street, Suite 401, Columbus, OH  
43215; Phone 614-487-1964

Civil Engineer

Jason Hockstock, Advanced Civil Design, 422 Beecher Road, Gahanna, OH 43220;  
Phone 614-944-5088

Architect

Chris Meyers, Meyers Associates Architects, 232 N 3rd street, Suite 300, Columbus,  
Ohio 43215, Phone 614-221-9433

**(3) A list containing the names and mailing addresses of all owners of  
property contiguous to, directly across the street from and within 250 feet of the  
property in question.**

See Exhibit A for adjacent property owners.

**(4) Legal description of the property.**

See Exhibit B for legal description.

**(5) A description of present use(s) on and of the land.**

Property currently has a previously converted single family residence and ancillary  
garages and outbuildings

**(6) Draft of a proposed Ordinance, prepared with the advice and  
counsel of the Director of Law, establishing this specific Development Plan as an  
additional effective zoning control over the land in question, consistent with the  
continuing authorities of the current Planned District zoning in these areas  
provided for elsewhere in this Zoning Ordinance.**

Will be submitted by City of Powell.



**(7) A vicinity map at a scale approved by the Zoning Inspector showing all property lines, existing streets and alleys, approved future streets and land uses on adjacent Planned District areas, transportation and land use elements of the Municipality's adopted Comprehensive Plan, current zoning classifications and boundaries, and current land uses on the site of the proposed Planned District development and in the surrounding areas to the physical extent deemed necessary by the Zoning Inspector, but no less than 250 feet beyond the limits of the proposed Planned District Development Plan.**

See Exhibit C for Vicinity Map.

**(8) A preliminary development plan at a scale approved by the Zoning Administrator illustrating:**

See Exhibit C for Preliminary Development Plan.

**A. The property line definition and dimensions of the perimeter of the site;**

See Exhibit C for Preliminary Development Plan.

**B. Right-of-ways and paving widths of all existing, currently platted, and previously approved Planned District streets and alleys adjacent to, on, or abutting the site;**

See Exhibit C for Preliminary Development Plan

**C. The area of the site and its subareas in acres;**

The site is 8.262 acres. There are no subareas.

**D. The topography of the site and abutting areas at no more than five (5) foot contour intervals;**

See Exhibit C for Final Development Plan.

**E. Existing surface drainageways and surface sheet flow patterns;**

See Exhibit C for Final Development Plan.

**F. Flood plain areas, ravine-bottom areas, and areas of ground slope in excess of six (6) percent;**

None on site

**G. Existing vegetation on the site with the specific tree spots for all trees six (6) inches in diameter or greater, measured twenty-four (24) inches from the ground;**

See Exhibit H1 and H2 for tree survey and tree preservation plan

**H. Existing easements on the site with notations as to their type, extent, and nature;**

See Exhibit C for Final Development Plan.

**I. The location and dimensions of existing utilities on and adjacent to the site, including the nearest sanitary sewer, with manhole invert elevations;**

See Utility Service Letters and Utility Plans attached as Exhibits E-1 through E-9.

**J. Calculation of the maximum residential units permitted on the site under the terms of the Zoning Ordinance, including delineation of the subdistricts of the site upon which these calculations have been made;**

The proposed residential density is 7.75 du/ gross ac.

**K. A preliminary plan for the first, or next, phase of site development illustrating;**

**1. New street centerlines, right-of-ways, and street classification types;**  
See Exhibit C for Final Development Plan.

**2. Names of existing and proposed streets;**  
See Exhibit C for Final Development Plan. All new streets shall be private.

**3. Generalized lot and block layouts, indicating and illustrating property lines, minimum lot areas, minimum building setbacks and yards, location and extent of major off-street parking areas, etc.;**  
See Exhibit C for Final Development Plan.

**4. Subareas of the site to be developed, by land use type, housing types, and housing densities, including subarea statistics;**  
The site shall be developed as a mixed use development according to the standards and uses set forth in the Downtown Business District. There shall be approximately 16,400 square feet of retail/office/commercial uses, and 64 dwelling units with detached garages.

**5. All proposed structures shall be located showing square footage, tenant or user types, and expected entranceways and service or loading areas;**  
See Exhibit C for Final Development Plan and architectural exhibits F-1 through F-8

**6. Common open areas, public lands, and natural scenic easements, including the area of each;**  
See Exhibit C for Final Development Plan.

**7. Proposed landscape treatment of the site;**  
See Landscape Plan attached as Exhibit D.

**8. Proposed utility patterns and provisions, including sanitary sewer, individual waste disposal systems, storm sewer, trash collection systems, outdoor lighting, and water supply, including relevant easements and engineering feasibility studies or other evidences of reasonableness;**  
See Utility Service Letters and Utility Plan attached as Exhibits E-1 through E-9.

**9. Provisions for accommodating surface drainage runoff;**  
See Exhibit C and Exhibit D and Exhibit E for approximate location of storm water detention basins.

**10. Proposed architectural design criteria;**  
See exhibit F-1 through F-8 for architectural elevations. .

**11. Proposed pedestrian/jogging/bicycle pathways and equestrian paths, including locations, dimensions, landscape and construction, including relationships of such pathways to existing and proposed future pathways on surrounding property;**

See Exhibit C for Final Development Plan. This property connects to a regional pathway on the south and along the frontage on the north. The development will complete the connection of these 2 pathways

**12. Overall site development statistics comparing this plan for development with requirements of this Zoning Ordinance and with the comprehensive plan and indicating that all requirements of this Zoning Ordinance and the comprehensive plan have been met in this preliminary plan and will be met in final development.**

The plan incorporates the direction given to the applicant by the planning and zoning director, as well as comments and suggestions by the Planning and Zoning Commission.

Common Open space and tree preserve area shall be designated and arranged as shown on the Final Development Plan attached as Exhibit C.

The minimum building separation between structures and heights of structures shall conform to the Downtown Business District Code.

The maximum lot coverage allowed under the Downtown Business District is 20%, and the plan has approximately 15.1% lot coverage.

The maximum density allowed is 7 du/ac with additional density bonuses up to 2 du/ac. The applicant is preserving and updating the existing Campbell house, and is providing common areas for use for city residents, extending a multi use path through the site, and making improvements to West Olentangy Street, justifying the density bonus.

The principal building setback from West Olentangy Street is approximately 20', conforming to the setbacks of the Downtown Business District of maximum 25' setback from the front yard for the easternmost commercial building. The second



commercial building does not conform to the maximum setback and is located to align with the existing Campbell house, creating the town green.

The rear yard setback to the south as required is minimum 25'; this plan exceeds this, and maintains a minimum of 88.5' from the southernmost garages, and approximately 150' from the multifamily units. The existing trees will be preserved and enhanced with additional trees to provide a buffer to the south.

The applicant is asking for the side yard setbacks to be decreased in 2 locations, from 5' to 3' adjacent the railroad R.O.W. for the corner of the commercial building, and from 5' to 1' adjacent the railroad R.O.W. for the compactor.

The applicant is asking for a variance from the sign code for the joint identification sign located at the main drive. This variance will decrease the setback from 25' to 10' (25' setback in DBD is required, but 15' setback in Commercial district is allowed), allow the sign to be 32 sq feet per side for multi tenant signage, and an additional 11.3 sq feet per side for overall development identification- for a total of 43.3 sf per side (16 sf per side in DBD required, but 32 sf per side in Commercial District is allowed), the height allowed be 9'-8" (8' required by code), and monument base be 3'-8" tall (2' height allowed by code).

The size and setback variance allows the inclusion of all 10 tenant spaces and provides visibility of sign from Olentangy Street, and the height and base increase requests provide visibility of sign over picket fence and landscaping along the frontage.

The applicant is also asking for a variance from the parking requirement for multifamily to allow 6 fewer spaces- This allows the applicant to save additional existing trees of desirable species and condition.

**L. Projected development schedule by subareas of the entire planned development site, and for the first, or next phase of development, including land uses, public areas, natural and scenic reserves, streets, building, utilities, and other facilities, indicating the relationship of the proposed development to existing and probable uses of surrounding areas during the development timetable.**

Construction on the multifamily will begin after final engineering is complete. Construction on the commercial portion of the property shall begin when the multifamily is nearing completion or is complete, up to 24 months after the completion of the multifamily.

**M. An overall traffic scheme, illustrating points of access, parking areas, including the number of parking spaces and indicating visitor, employee and service traffic flow, illustrating calculated peak hour traffic use for residents and employees as well as deliveries and other transport and the effect of this traffic on the community traffic ways.**



See Exhibit C for traffic and parking for this site. Refer to Exhibit G for the traffic study.

**N. If to be developed in phases, the entire site development shall be described in outline and diagrammatic plan form, and in a complementing detailed text in a manner calculated to assure City officials that Planned Development requirements and other requirements of this Zoning Ordinance shall be met in the detailed development of the phases to follow, and that the entire Planned Development area will meet all of the requirements of this Zoning Ordinance, such diagrams and descriptive texts being accepted with, and becoming a part of the extended zoning plan for the entire site.**

Construction on the multifamily will begin after final engineering is complete. Construction on the commercial portion of the property shall begin when the multifamily is nearing completion or is complete, up to 24 months after the completion of the multifamily.

**(9) Evidences of the ability of the applicant to carry forth its plan by control of the land and the engineering feasibility of the plan, and that the applicant has sufficient control over the land and financing to initiate the proposed development plan phase within two (2) years.**

The Applicant owns the property. The applicant is an established developer.

**(10) Evidence of the applicant's ability to post a bond if the plan is approved assuring completion of public service facilities to be constructed within the project area by the developer.**

The Applicant shall provide evidence that it has the ability to post a bond for the City of Powell Council prior to Final Development Plan approval.

**(11) Verification by the owner of the property that all the information in the application is true and correct to the best of his knowledge.**

The applicant has reviewed the included information in the Preliminary Development Plan submittal and believes it to be true and correct to the best of the applicant's knowledge.

**(12) A statement of the character and nature of the development including the cost range or rent levels for housing in residential development and the general types of business or industrial and commercial developments.**

The site plan utilizes a traditional street grid system that extends the character of Powell into the site. Two greens are created that serve as the central organizing elements that are bordered by either commercial or multifamily residential uses, creating a mixed use, walkable community.

Uses in the commercial areas will be those that are allowed under the Downtown Business District Standards, and will be a mixture of retail, restaurant, and office.

The multifamily buildings are one and two bedroom units. One bedroom units are 686 square feet, and the two bedroom units are 968 square feet. Rents will range from \$700 to \$1200 a month.

**(13) A statement of the general impact the development will have on the infrastructure, municipality and schools including projected demographics, a traffic impact study and a fiscal impact analysis may be required by the Planning and Zoning Commission.**

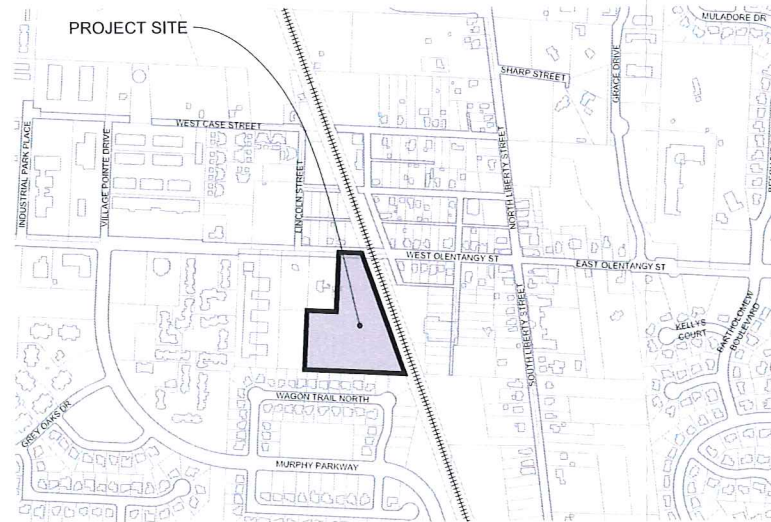
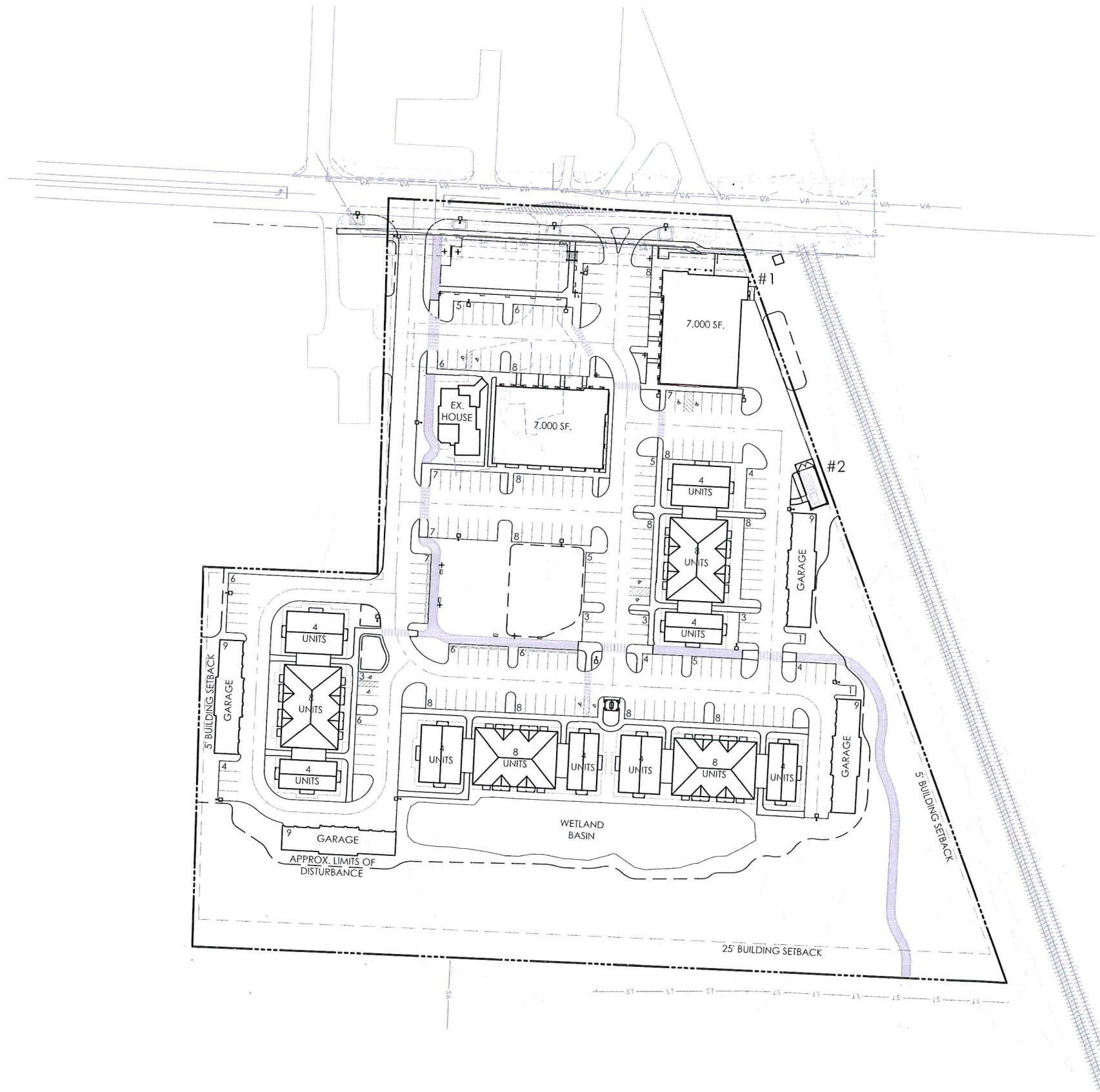
See attached traffic study exhibit G for traffic impacts and mitigation required by this development. It is anticipated that .15 school children per residential unit will be attending Olentangy schools from the multifamily development. This would be 9.6 students.

**(14) A fee as established by ordinance.**

The fee has been submitted with this application.

## **Exhibit "C" - Final Development Plan**





LOCATION MAP

#### SITE DATA

TOTAL ACRES	+/- 8.262
TOTAL ACRES R.O.W	+/- 0.218
TOTAL UNITS	64
TOTAL DENSITY	+/- 7.75 DU/AC
RETAIL SQUARE FOOTAGE	+/- 16,400
TOTAL PARKING	242 SPACES

#### COMMON OPEN SPACE

	AREA	ACREAGE
COMMON OPEN SPACE	37,317 SQ.FT.	±0.86 AC.
COMMON OPEN SPACE INCLUDING TREE PRESERVE	168,205 SQ. FT.	±3.86 AC
ENTIRE SITE	359,892.72 SQ.FT.	8.26 AC.
% OPEN SPACE OVER ENTIRE SITE		10.4%
% OPEN SPACE INCLUDING TREE PRESERVE OVER ENTIRE SITE		46.73%

#### LOT COVERAGE

	MAXIMUM ALLOWED	PROPOSED
LOT COVERAGE	20%	15.1%

#### PARKING REQ.'S: RETAIL

	REQUIRED	PROPOSED
SPACES PER UNIT	5/UNIT + 1/400 S.F. (5x3 + 16,400/400 = 56)	56 SURFACE SPACES

#### PARKING REQ.'S: RESIDENTIAL

	REQUIRED	PROPOSED
SPACES PER UNIT	3/UNIT MINIMUM (64x3=192)	186 (36 GARAGE SPACES 150 SURFACE SPACES)

- \* 1 - 3' SIDE YARD SETBACK REQUESTED
- \* 2 - 1' SIDE YARD SETBACK REQUESTED

## FINAL DEVELOPMENT PLAN

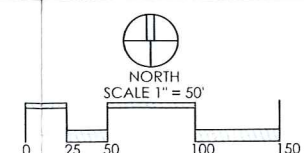
# POWELL CROSSING

PREPARED FOR THE CENTER AT POWELL CROSSING, LLC.  
DATE: 1.3.2014

## EXHIBIT C-1

Faris Planning & Design

LAND PLANNING LANDSCAPE ARCHITECTURE  
243 N. 5th Street Columbus, OH 43215  
p (614) 487-1964 Suite 401 www.farisplanninganddesign.com







SITE DATA	
TOTAL ACRES	+/- 8.262
TOTAL ACRES R.O.W	+/- 0.218
TOTAL UNITS	64
TOTAL DENSITY	+/- 7.75 DU/AC
RETAIL SQUARE FOOTAGE	+/- 16,400
TOTAL PARKING	242 SPACES

COMMON OPEN SPACE		
COMMON OPEN SPACE	37,317 SQ. FT.	±0.86 AC.
COMMON OPEN SPACE INCLUDING TREE PRESERVE	168,205 SQ. FT.	±3.86 AC.
ENTIRE SITE	359,892.72 SQ. FT.	8.26 AC.
% OPEN SPACE OVER ENTIRE SITE		10.4%
% OPEN SPACE INCLUDING TREE PRESERVE OVER ENTIRE SITE		46.73%

LOT COVERAGE		
	MAXIMUM ALLOWED	PROPOSED
LOT COVERAGE	20%	15.1%

PARKING REQ.'S: RETAIL		
	REQUIRED	PROPOSED
SPACES PER UNIT	5/UNIT + 1/400 S.F. (5x3 + 16,400/400 = 56)	56 SURFACE SPACES

PARKING REQ.'S: RESIDENTIAL		
	REQUIRED	PROPOSED
SPACES PER UNIT	3/UNIT MINIMUM (64x3=192)	124 (36 GARAGE SPACES 1% SURFACE SPACES)

- \* 1 - 3' SIDE YARD SETBACK REQUESTED
- \* 2 - 1' SIDE YARD SETBACK REQUESTED

# ILLUSTRATIVE FINAL DEVELOPMENT PLAN

**POWELL CROSSING**  
 PREPARED FOR THE CENTER AT POWELL CROSSING, LLC.  
 DATE: 1.3.2014

# EXHIBIT C-2

NORTH  
SCALE 1" = 50'

**Faris Planning & Design**

LAND PLANNING • LANDSCAPE ARCHITECTURE

243 N. 5th Street Suite 401 Columbus, OH 43215  
 p (614) 497-1964 www.farisplanninganddesign.com



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**Exhibit "D" – Overall Landscape Plan and Site Features**

CONSTRUCTION NOTES:

- 1 LAWN AREA, PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES
- 2 LANDSCAPE AREA, PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES
- 3 DECIDUOUS TREE PLANTING, SEE DETAIL 4 / EX. D-9
- 4 EVERGREEN TREE PLANTING, SEE DETAIL 1 / EX. D-9
- 5 SHRUB PLANTING, SEE DETAIL 2 / EX. D-9
- 6 PLANT BED TRENCH EDGING, SEE DETAIL 3 / EX. D-9
- 7 JF NEW STORM WATER SEED MIX OR APPROVED EQUAL

LEGEND

- STREET TREE
- GROUND COVERAGE REQUIREMENT TREE (NOT USED)
- PARKING REQUIREMENT TREE
- REPLACEMENT TREES\*
- EXISTING TREE TO BE PRESERVED\*

RESIDENTIAL PARKING/  
TREE REQUIREMENTS

	REQUIRED	PROPOSED
SPACES PER UNIT	3/UNIT MINIMUM (64x3=192)	186(36 GARAGE SPACES, 150 SURFACE SPACES)
PLANTING REQUIRED	19 TREES MIN. @ 1 1/2" CAL.	19 TREES MIN. @ 1 1/2" CAL.

RESIDENTIAL  
TREE PLANTING REQUIREMENTS

GROUND COVERAGE REQ'D (28,808 SF)	96.5"
LESS TREES PRESERVED ON-SITE*	2,883"
NET COVERAGE TREES REQ'D	0"
PARKING TREES REQ'D	19 @ 1.5" MIN.
STREET TREES REQ'D	5
TOTAL TREE PLANTING REQUIRED	19

GROUND COVERAGE REQ'D (28,808 SF)	96.5"
LESS TREES PRESERVED ON-SITE*	2,883"
NET COVERAGE TREES PROPOSED	0"
PARKING TREES PROPOSED	19 @ 1.5" MIN.
STREET TREES PROPOSED	5
TOTAL TREE PLANTING PROPOSED	19

RESIDENTIAL  
FOUNDATION PLANTING REQ'S

5 SHRUBS OR 10 PERENNIALS PER 40 LF.	PROV
RESIDENTIAL UNITS-587 LF= 73 SHRUBS OR 146 PERENNIALS	119 SHRUBS AND 48 PERENNIALS
GARAGE UNITS-272 LF= 34 SHRUBS OR 68 PERENNIALS	0 *

\* PROVIDED AROUND TOWN GREEN.

LANDSCAPE REQ.'S

	REQUIRED	PROPOSED
PERIMETER		
BUILDING PERIMETER	70% PLANTED 5 SHRUBS/40 L.F. 10 PERENNIAL/ ANNUAL/ 40 L.F.	70% PLANTED RESIDENTIAL UNITS 0% PLANTED GARAGES (PLANTS LOCATED ON SITE) 5 SHRUBS/40 L.F. 10 PERENNIAL/ ANNUAL/ 40 L.F.

STREET TREES

- REQUIRED: 5 TREES @ 45' O.C. ALONG PUBLIC R.O.W.
- PROPOSED: 5 TREES @ 45' O.C. ALONG PUBLIC R.O.W.

RETAIL PARKING/  
TREE REQUIREMENTS

	REQUIRED	PROPOSED
SPACES PER UNIT	5/UNIT + 1/400 S.F. (5x3 + 16,400/400 = 56)	56 SURFACE SPACES
PLANTING REQUIRED	7 TREES MIN. @ 1 1/2" CAL.	7 TREES MIN. @ 1 1/2" CAL.

RETAIL  
TREE PLANTING REQUIREMENTS

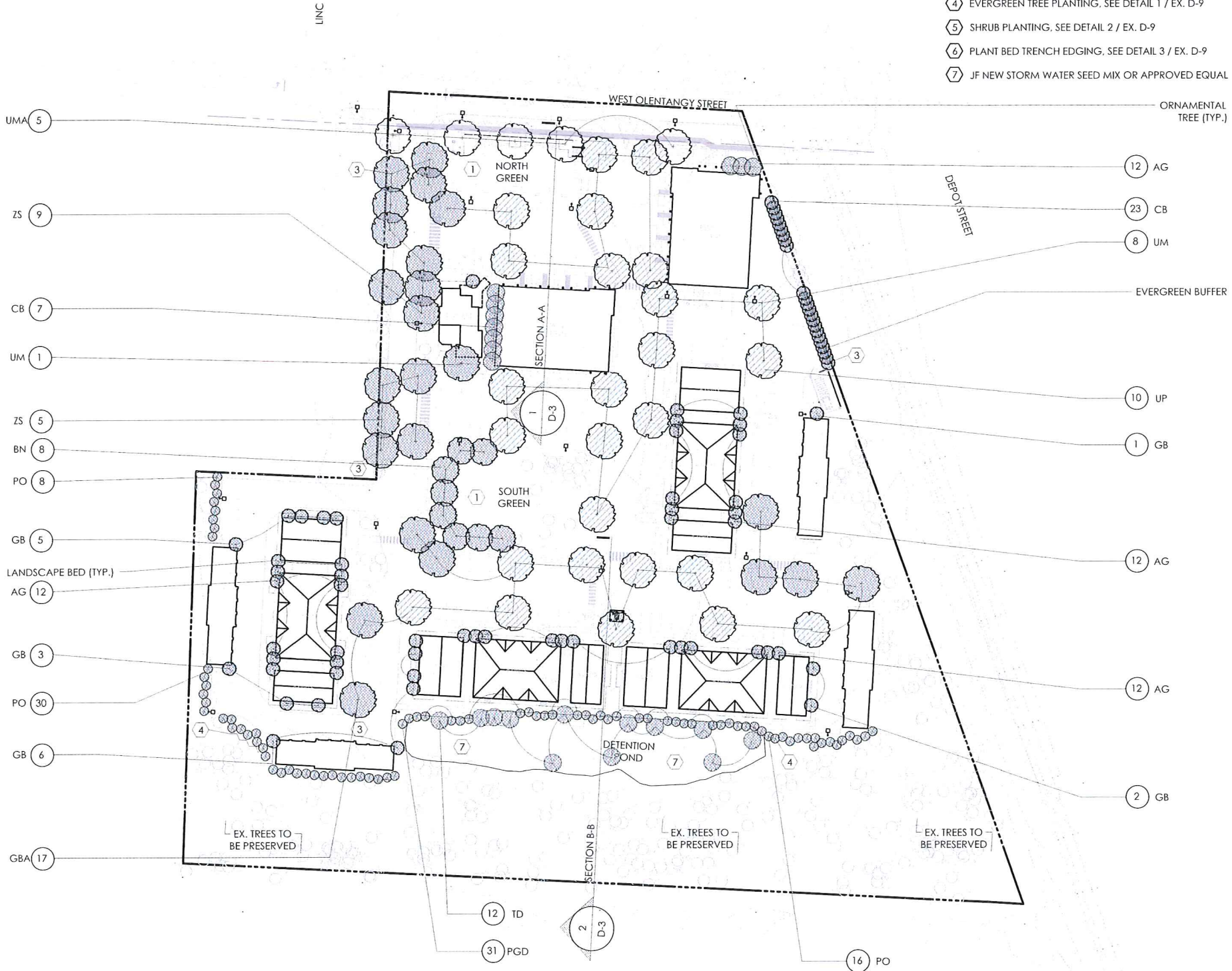
TOTAL AREA REQ'D (54,866 SF)	55"
LESS TREES PRESERVED ON-SITE*	2,883"
NET COVERAGE TREES REQ'D	0"
PARKING TREES REQ'D	7 @ 1.5" MIN
STREET TREES REQ'D	5
TOTAL TREE PLANTING REQUIRED	12

TOTAL AREA REQ'D (65,470 SF)	61"
LESS TREES PRESERVED ON-SITE*	2,883"
NET COVERAGE TREES PROPOSED	0"
PARKING TREES PROPOSED	7 @ 1.5" MIN
STREET TREE PROPOSED	5
TOTAL TREE PLANTING PROPOSED	12

\* SEE EXHIBITS H-1 AND H-2 FOR MORE INFORMATION REGARDING PRESERVED, DEMOLISHED, AND REPLACEMENT TREES.

RETAIL  
FOUNDATION PLANTING REQ'S

5 SHRUBS OR 10 PERENNIALS PER 40 LF.	PROV
RETAIL A AND B-734 LF= 92 SHRUBS OR 184 PERENNIALS	77 SHRUBS AND 41 PERENNIALS
CAMPBELL HOUSE-202 LF= 26 SHRUBS OR 52 PERENNIALS	56 SHRUBS AND 90 PERENNIALS



LANDSCAPE PLAN

POWELL CROSSING  
PREPARED FOR THE CENTER AT POWELL CROSSING, LLC.  
DATE: 1.3.2014

EXHIBIT D-1

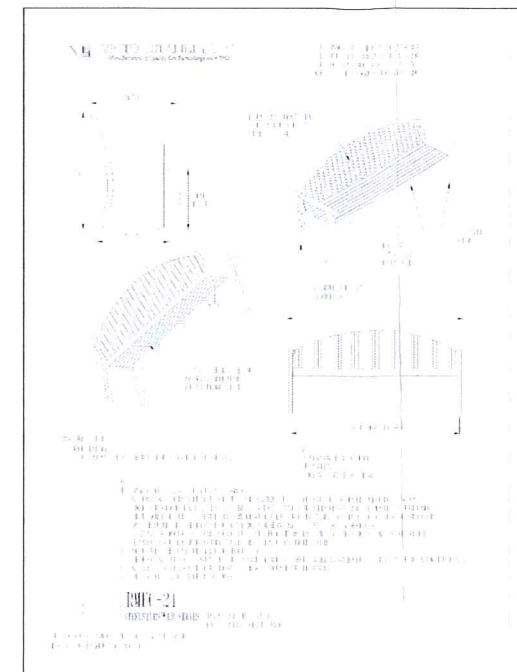
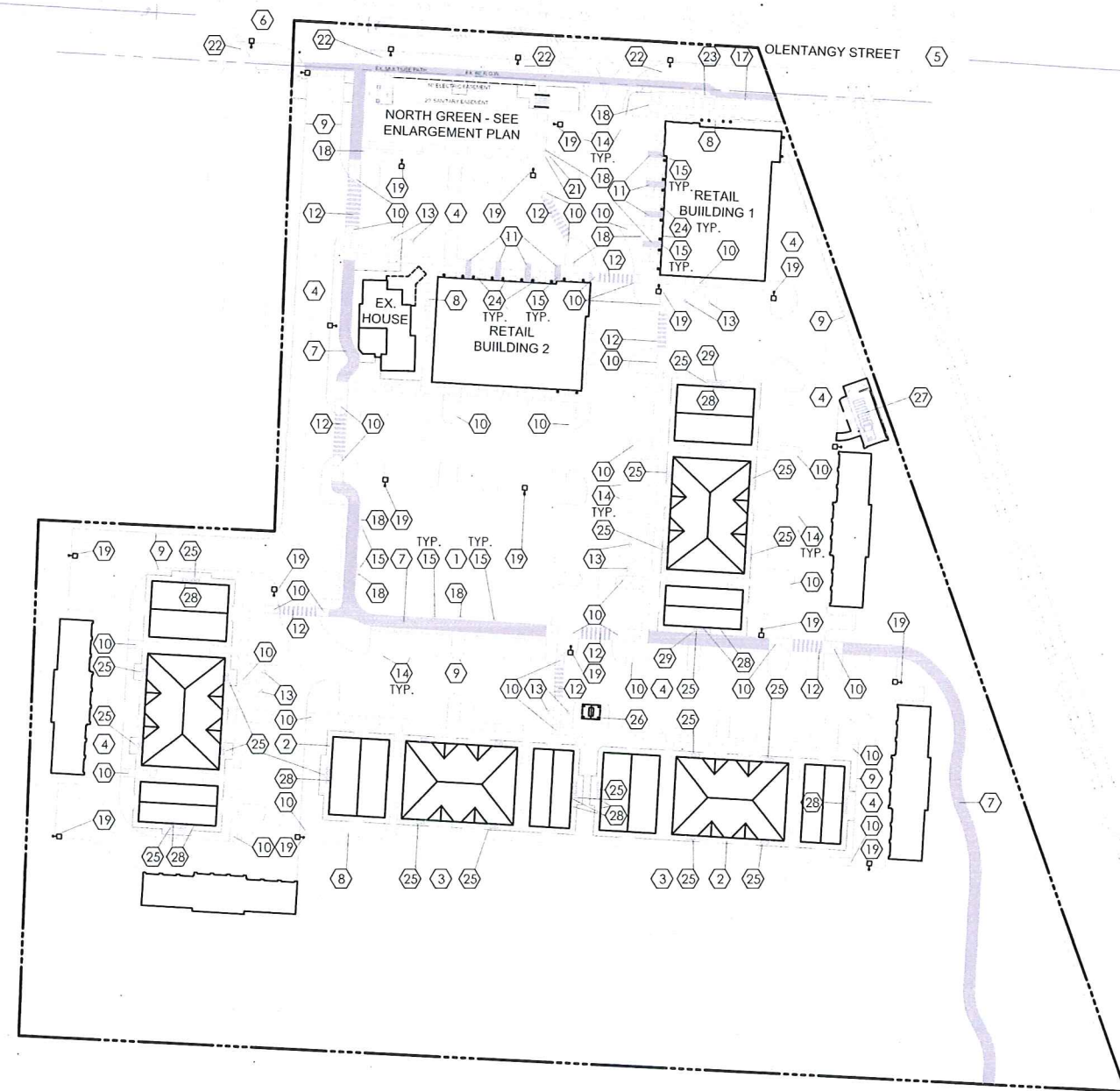


## LAYOUT AND MATERIALS

# POWELL CROSSING

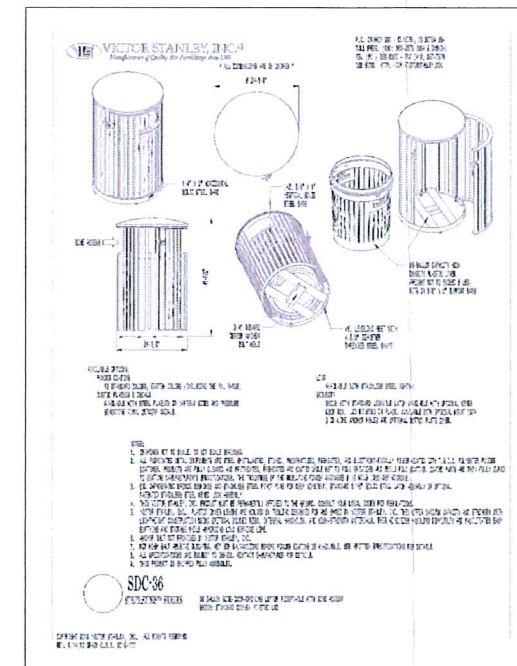
PREPARED FOR THE CENTER AT POWELL CROSSING, LLC.

DATE: 1.3.2014



INTERIOR SITE BENCH (OR OWNER APPROVED EQUAL)

SCALE: N.T.S.



TRASH RECEPTACLE (OR OWNER APPROVED EQUAL)

SCALE: N.T.S.

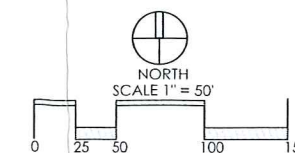
## CONSTRUCTION NOTES:

- 1 SEED, LAWN AREA, RESPREAD TOPSOIL AND SEED
- 2 LANDSCAPE AREA, PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES
- 3 JF NEW STORM WATER SEED MIX OR APPROVED EQUAL
- 4 ASPHALT PAVEMENT
- 5 EXISTING ASPHALT
- 6 PROPOSED TURN LANE, REFER TO TRAFFIC IMPACT STUDY AND CIVIL SERIES DRAWINGS
- 7 MULTI-USE PATH
- 8 CONCRETE PAVEMENT
- 9 CONCRETE CURB
- 10 CONCRETE CURB RAMP
- 11 SPECIAL PAVEMENT
- 12 PAINTED CROSSWALK
- 13 PAINTED DISABILITY ACCESSIBLE SYMBOL
- 14 4 INCH PAINTED LINE
- 15 BENCH, SEE DETAIL 1 / THIS SHEET
- 16 MAIN ENTRY SIGN, SEE DETAIL 1 / EX. D-8
- 17 PICKET FENCE, SEE DETAIL 2 / EX. D-8
- 18 POST LIGHT, SEE DETAIL 3 / EX. D-8
- 19 SITE LIGHTING, SEE LIGHTING PLANS / EX. I
- 20 ENTRY ARBOR, SEE DETAIL 4 / EX. D-8
- 21 CITY OF POWELL BIKE HITCH, SEE DETAIL 5 / EX. D-8
- 22 WEST OLENTANGY STREET PLANTER BOX, SEE DETAIL 7 / EX. D-9
- 23 TRASH RECEPTACLE, SEE DETAIL 2 / THIS SHEET
- 24 PLANTER, SEE DETAIL 8 / EX. D-9
- 25 AIR CONDITIONER AND PAD
- 26 MAILBOX KIOSK, SEE ARCHITECTURAL SERIES DRAWINGS
- 27 TRASH COMPACTOR, SEE ARCHITECTURAL SERIES DRAWINGS
- 28 METERS LOCATIONS, SEE ARCHITECTURAL SERIES DRAWINGS

## GENERAL LAYOUT NOTES

1. ALL DIMENSIONS ARE TAKEN TO FACE OF CURB OR BUILDING WHERE APPLICABLE UNLESS NOTED OTHERWISE
2. CONTRACTOR SHALL LAYOUT AND ADJUST AS REQUIRED FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION
3. CONTRACTOR SHALL VERIFY DIMENSIONS AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES
4. BROOM FINISH ON CONCRETE SHALL BE PERPENDICULAR TO TRAFFIC FLOW
5. USE DIMENSIONAL INFORMATION GIVEN. DO NOT SCALE DRAWINGS
6. CONTRACTOR SHALL REFER QUESTIONS ON MATERIALS, FINISHES, LABOR, AND / OR PERFORMANCE STANDARDS NOT SPECIFIED HEREIN TO THE LANDSCAPE ARCHITECT
7. THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES
8. BOUNDARY, TOPOGRAPHIC, AND UTILITY SURVEY PREPARED BY ADVANCED CIVIL DESIGN

## EXHIBIT D-2



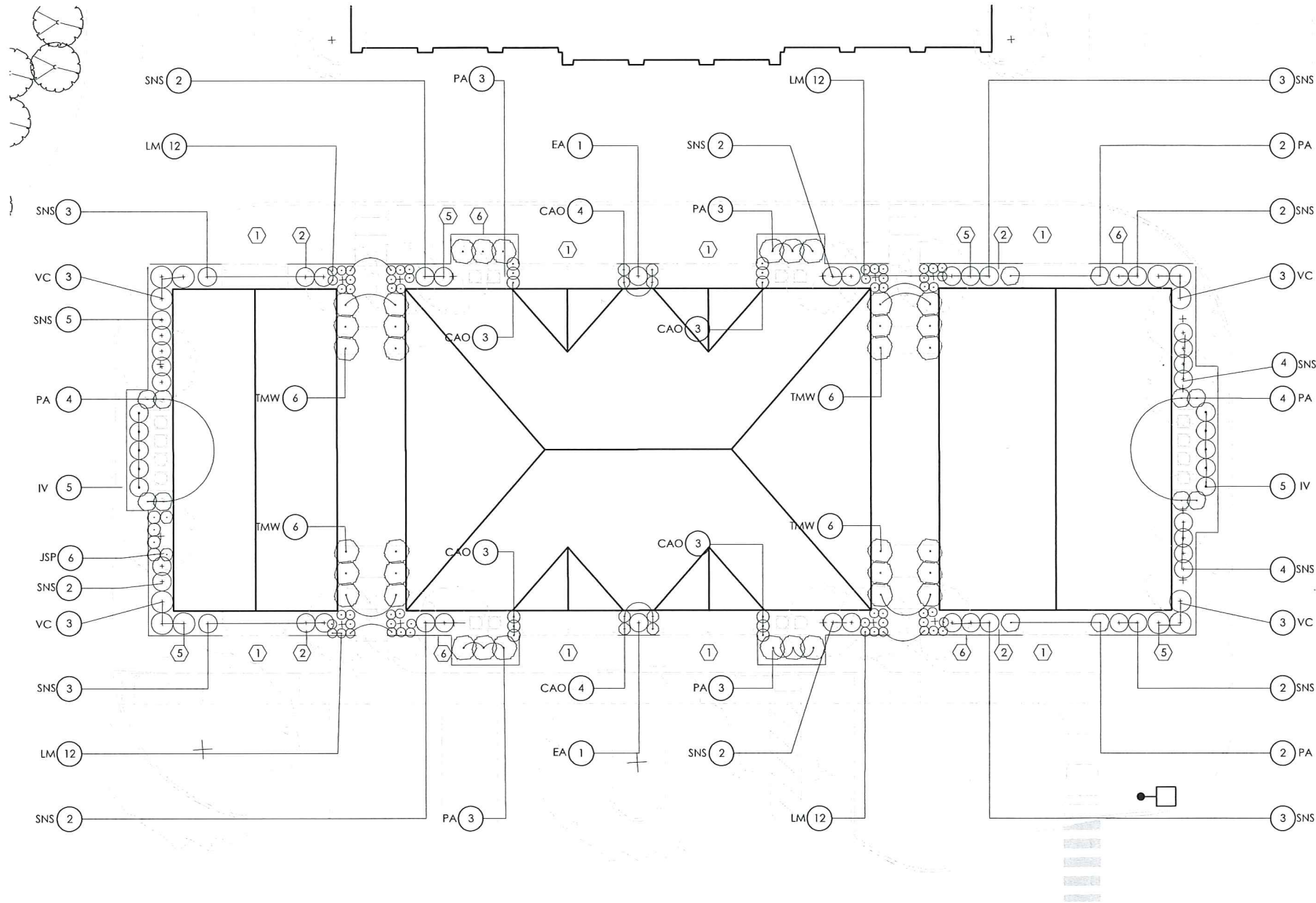
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CONSTRUCTION NOTES:

- 1 LAWN AREA, PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES
- 2 LANDSCAPE AREA, PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES
- 3 DECIDUOUS TREE PLANTING, SEE DETAIL 4 / EX. D-9
- 4 EVERGREEN TREE PLANTING, SEE DETAIL 1 / EX. D-9
- 5 SHRUB PLANTING, SEE DETAIL 2 / EX. D-9
- 6 PLANT BED TRENCH EDGING, SEE DETAIL 3 / EX. D-9
- 7 JF NEW STORM WATER SEED MIX OR APPROVED EQUAL

LANDSCAPE REQ.'S

PERIMETER	REQUIRED	PROPOSED
BUILDING PERIMETER	70% PLANTED 5 SHRUBS/40 L.F. 10 PERENNIAL/ ANNUAL/ 40 L.F.	70% PLANTED RESIDENTIAL UNITS 0% PLANTED GARAGES (PLANTS LOCATED ON SITE) 5 SHRUBS/40 L.F. 10 PERENNIAL/ ANNUAL/ 40 L.F.

PLANT LIST

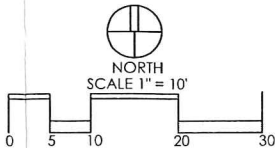
(CONTRACTOR RESPONSIBLE FOR ALL PLANTS SHOWN ON PLAN)

QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	COND.	REMARKS
TREES						
5	UMA	Ulmus X Morton	MORTON ELM	4 1/2" CAL.	B&B	MATCH FORM
48	AG	Amelanchier canadensis 'Glenform'	GLENFORM SERVICEBERRY	3 1/2" CAL.	B&B	TREE FORM
8	BN	Betula nigra 'Heritage'	HERITAGE RIVER BIRCH	15' HGT	B&B	MULTI-STEM (3 1/2")
30	CB	Carpinus betulus 'Frans Fontaine'	FRANS FONTAINE HORNBEAM	3 1/2" CAL.	B&B	MATCH FORM
54	PO	Picea Omorika	SERBIAN SPRUCE	7'-8' HGT	B&B	2 1/2" CAL MIN.
17	GB	Ginkgo biloba 'Princeton Sentry'	PRINCETON SENTRY GINKGO	3 1/2" CAL.	B&B	MATCH FORM
31	PGD	Picea glauca 'Densata'	BLACK HILLS SPRUCE	7'-8' HGT	B&B	2 1/2" CAL MIN.
9	UM	Ulmus x Morton	MORTON ELM	3 1/2" CAL.	B&B	MATCH FORM
12	TD	Taxodium distichum	BALD CYPRESS	2 1/2" CAL.	B&B	
10	UP	Ulmus parvifolia	LACEBARK ELM	3 1/2" CAL.	B&B	MATCH FORM
14	ZS	Zelkova serrata 'Green Vase'	GREEN VASE ZELKOVA	3 1/2" CAL.	B&B	MATCH FORM
17	GBA	Ginkgo biloba 'Autumn Gold'	AUTUMN GOLD GINKGO	3 1/2" CAL.	B&B	MATCH FORM
SHRUBS						
73	SLP	Spiraea japonica 'Little Princess'	LITTLE PRINCESS SPIREA	24" SPR	CONT.	
8	EA	Euonymus alatus 'Rudy Haag'	RUDY HAAG EUONYMUS	24" HGT	B&B	
94	EUK	Euonymus kiautschovicus 'Manhattan'	MANHATTAN EUONYMUS	24" HGT	B&B	
40	IV	Itea virginica 'Little Henry'	LITTLE HENRY DWARF SWEETSPIRE	24" HGT	CONT.	
47	JCS	Juniperus chinensis 'Sea Green'	SEA GREEN JUNIPER	30" HGT	B&B	
96	PA	Picea abies 'Nidiformis'	BIRD'S NEST SPRUCE	24" SPR	CONT.	
181	SNS	Spiraea nipponica 'Snowmound'	SNOWMOUND SPIREA	24" HGT	CONT.	
67	VC	Viburnum carlesii 'Compactum'	COMPACT KOREAN SPICE VIBURNUM	30" HGT	B&B	
33	JSP	Juniperus Chinensis 'Spartan'	SPARTAN JUNIPER	4' HGT	B&B	
6	HYP	Hydrangea petiolaris	CLIMBING HYDRANGEA	NO. 2	CONT.	TRAIN TO WALL
26	HYL	Hydrangea paniculata 'Limelight'	LIME LIGHT HYDRANGEA	24" HGT	CONT.	
122	TMW	Taxus x media 'Wardii'	WARDS YEW	24" SPR	B&B	
64	RHU	Rhus aromatica 'Gro Low'	GROW LOW FRAGRANT SUMAC	18" SPR	CONT.	
50	ROS	Rosa Radrazz	KNOCKOUT ROSE	24" HGT.	CONT.	
PERENNIALS/ORNAMENTAL GRASSES						
95	CAO	Calamagrostis x acutiflora 'Overdam'	OVERDAM REED GRASS	NO. 2	CONT.	
428	HSD	Heimerocallis 'Stella d'oro'	PATRIOT HOSTA	NO. 1	CONT.	
60	NEP	Cepeta x faassanellii 'Walker's Low'	WALKER'S LOW CATMINT	NO. 1	CONT.	
226	LM	Liriope Muscari 'Silver Sunproof'	SILVERY SUNPROOF LIRIOPE	NO. 1	CONT.	

BUILDING TYPICAL LANDSCAPE PLAN

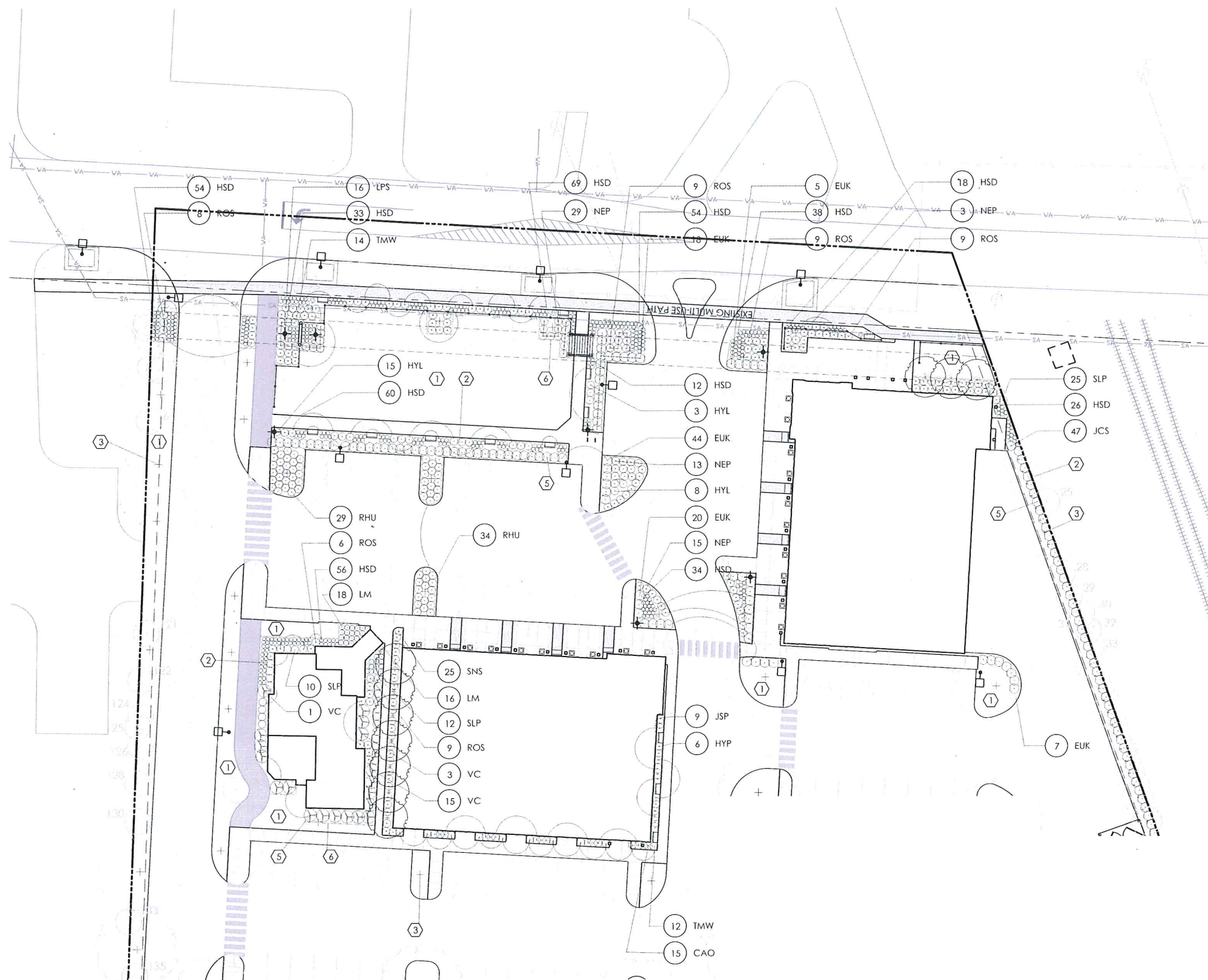
POWELL CROSSING  
PREPARED FOR THE CENTER AT POWELL CROSSING, LLC.  
DATE: 1.3.2014

EXHIBIT D-3



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# CONSTRUCTION NOTES:

- ① LAWN AREA, PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES
- ② LANDSCAPE AREA, PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES
- ③ DECIDUOUS TREE PLANTING, SEE DETAIL 4 / EX. D-9
- ④ EVERGREEN TREE PLANTING, SEE DETAIL 1 / EX. D-9
- ⑤ SHRUB PLANTING, SEE DETAIL 2 / EX. D-9
- ⑥ PLANT BED TRENCH EDGING, SEE DETAIL 3 / EX. D-9
- ⑦ JF NEW STORM WATER SEED MIX OR APPROVED EQUAL

③ RETAIL AREA AND NORTH GREEN ENLARGEMENT  
SCALE: 1" = 20'

## RETAIL ENLARGEMENT LANDSCAPE PLAN

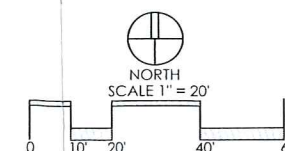
# POWELL CROSSING

PREPARED FOR THE CENTER AT POWELL CROSSING, LLC.  
DATE: 1.3.2014

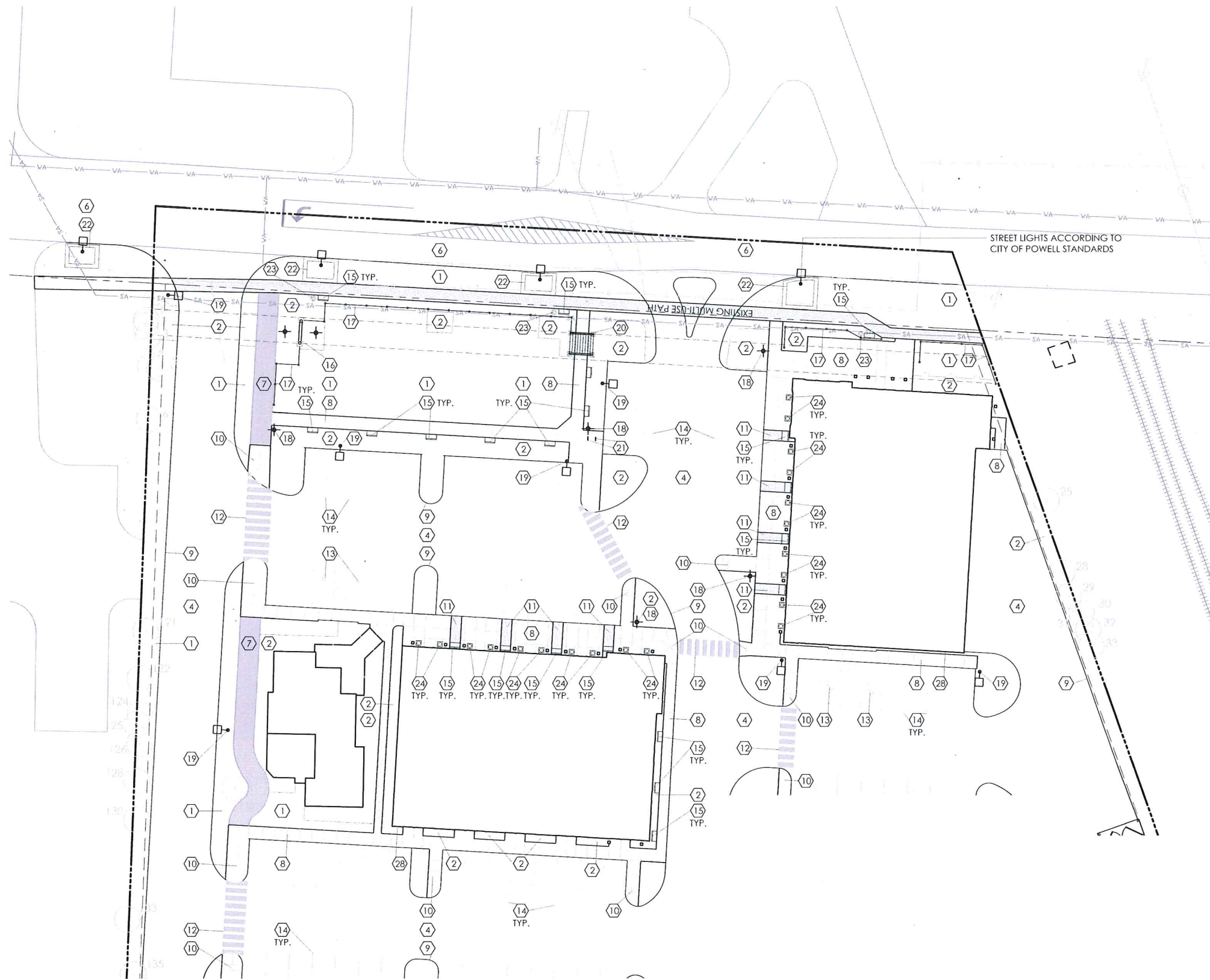
## EXHIBIT D-4

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③ RETAIL AREA AND NORTH GREEN ENLARGEMENT  
SCALE: 1" = 20'

## CONSTRUCTION NOTES:

- ① SEEDED LAWN AREA, RESPREAD TOPSOIL AND SEED
- ② LANDSCAPE AREA, PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES
- ③ IF NEW STORM WATER SEED MIX OR APPROVED EQUAL
- ④ ASPHALT PAVEMENT
- ⑤ EXISTING ASPHALT
- ⑥ PROPOSED TURN LANE, REFER TO TRAFFIC IMPACT STUDY AND CIVIL SERIES DRAWINGS
- ⑦ MULTI-USE PATH
- ⑧ CONCRETE PAVEMENT
- ⑨ CONCRETE CURB
- ⑩ CONCRETE CURB RAMP
- ⑪ SPECIAL PAVING
- ⑫ PAINTED CROSSWALK
- ⑬ PAINTED DISABILITY ACCESSIBLE SYMBOL
- ⑭ 4 INCH PAINTED LINE
- ⑮ BENCH, SEE DETAIL 1 / EX. D-2
- ⑯ MAIN ENTRY SIGN, SEE DETAIL 1 / EX. D-8
- ⑰ PICKET FENCE, SEE DETAIL 2 / EX. D-8
- ⑱ POST LIGHT, SEE DETAIL 3 / EX. D-8
- ⑲ SITE LIGHTING, SEE LIGHTING PLAN / EX. I
- ⑳ ENTRY ARBOR, SEE DETAIL 4 / EX. D-8
- ㉑ CITY OF POWELL BIKE HITCH, SEE DETAIL 5 / EX. D-8
- ㉒ WEST OLENTANGY STREET PLANTER BOX, SEE DETAIL 7 / EX. D-8
- ㉓ TRASH RECEPTACLE, SEE DETAIL 2 / EX. D-2
- ㉔ PLANTER, SEE DETAIL 8 / EX. D-9
- ㉕ AIR CONDITIONER AND PAD
- ㉖ MAILBOX KIOSK, SEE ARCHITECTURAL SERIES DRAWINGS
- ㉗ TRASH COMPACTOR, SEE ARCHITECTURAL SERIES DRAWINGS
- ㉘ METERS LOCATIONS, SEE ARCHITECTURAL SERIES DRAWINGS

## GENERAL LAYOUT NOTES

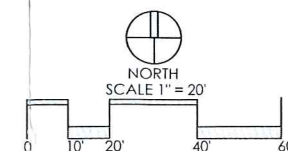
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3. CONTRACTOR SHALL VERIFY DIMENSIONS AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES
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5. USE DIMENSIONAL INFORMATION GIVEN. DO NOT SCALE DRAWINGS
6. CONTRACTOR SHALL REFER QUESTIONS ON MATERIALS, FINISHES, LABOR, AND / OR PERFORMANCE STANDARDS NOT SPECIFIED HEREIN TO THE LANDSCAPE ARCHITECT
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8. BOUNDARY, TOPOGRAPHIC, AND UTILITY SURVEY PREPARED BY ADVANCED CIVIL DESIGN

## EXHIBIT D-5

## RETAIL ENLARGEMENT LAYOUT AND MATERIALS PLAN

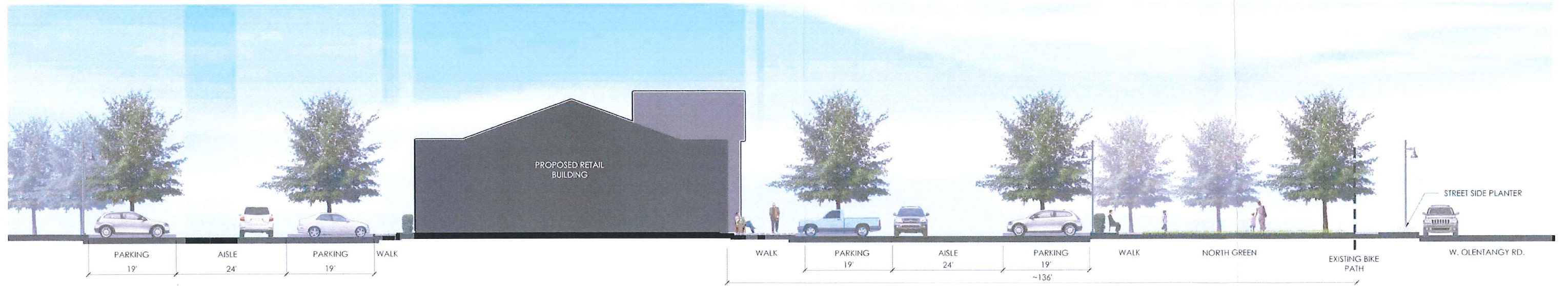
# POWELL CROSSING

PREPARED FOR THE CENTER AT POWELL CROSSING, LLC.  
DATE: 1.3.2014



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① SECTION A-A  
SCALE: 1" = 10'



② SECTION B-B  
SCALE: 1" = 10'

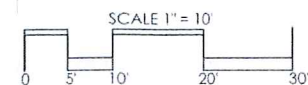
## SECTIONS

# POWELL CROSSING

PREPARED FOR THE CENTER AT POWELL CROSSING, LLC.  
DATE: 1.3.2014

## EXHIBIT D-6

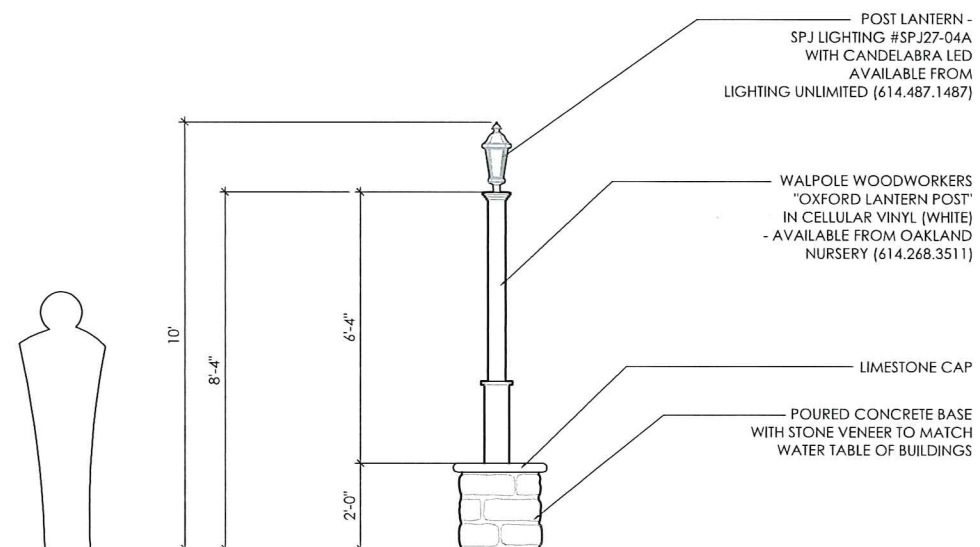
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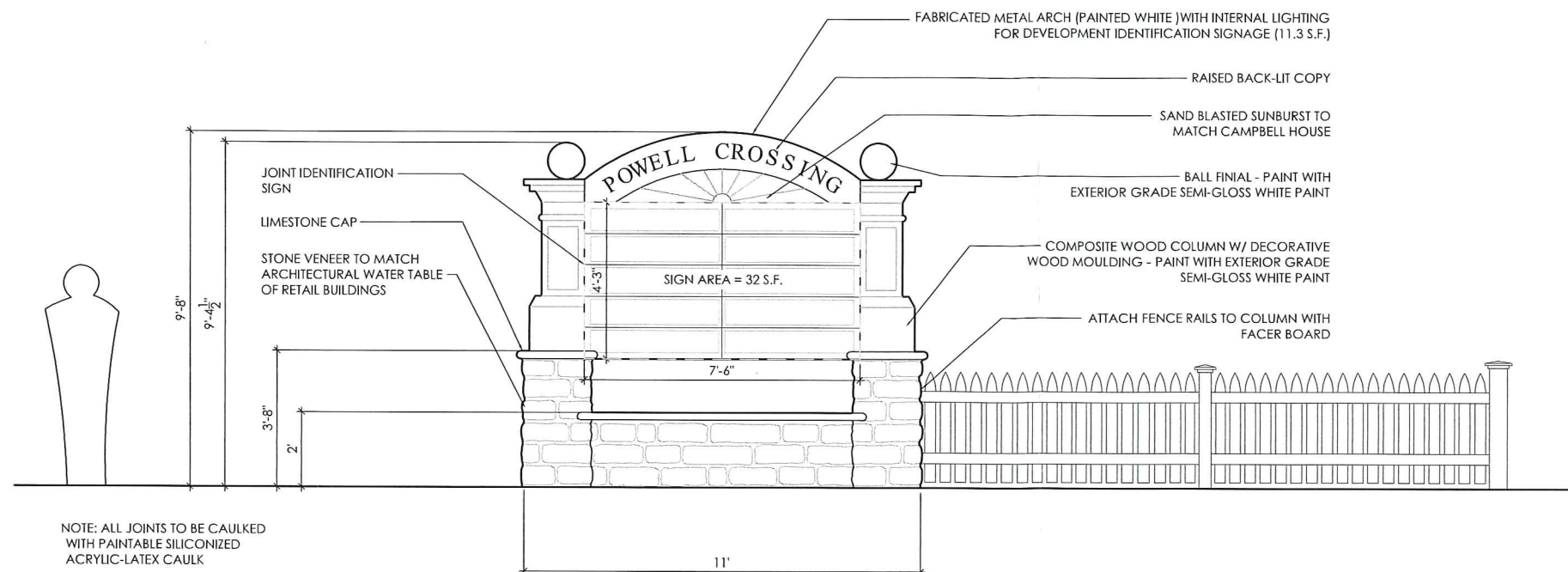
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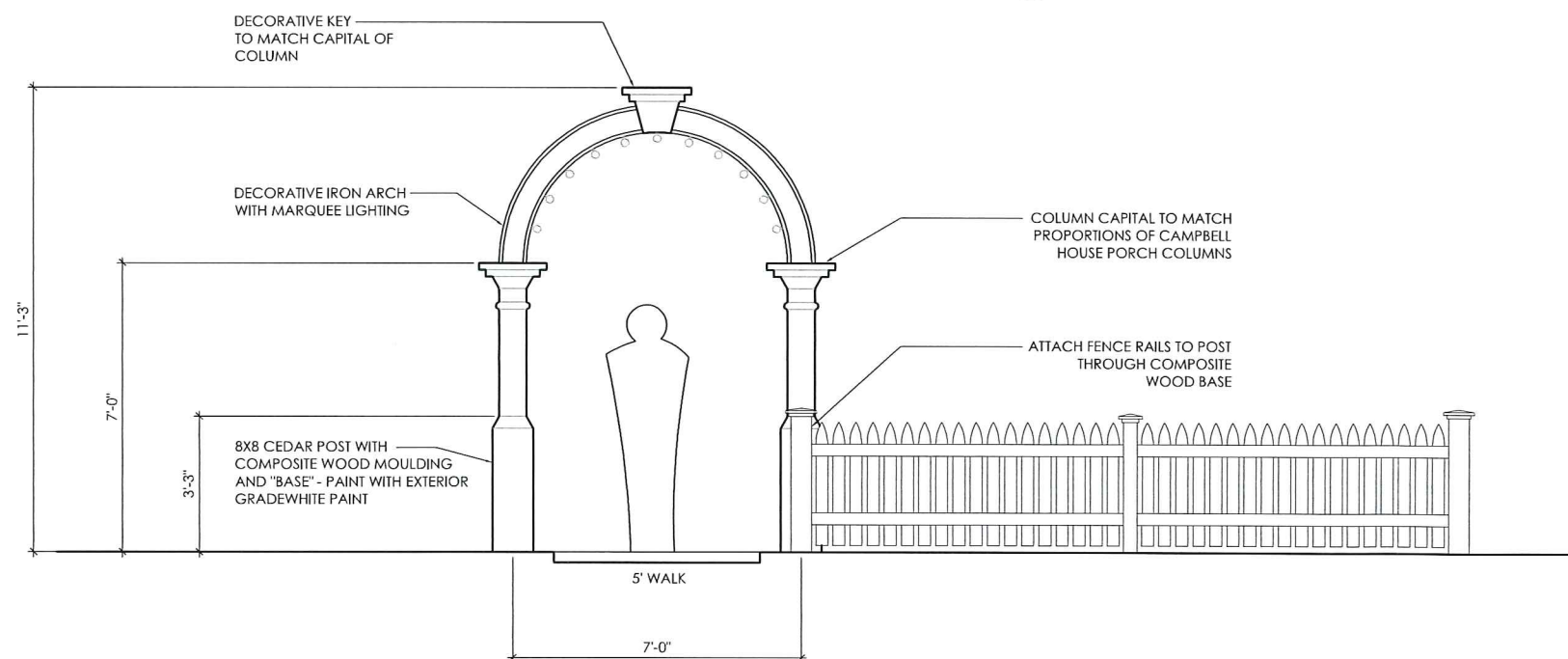




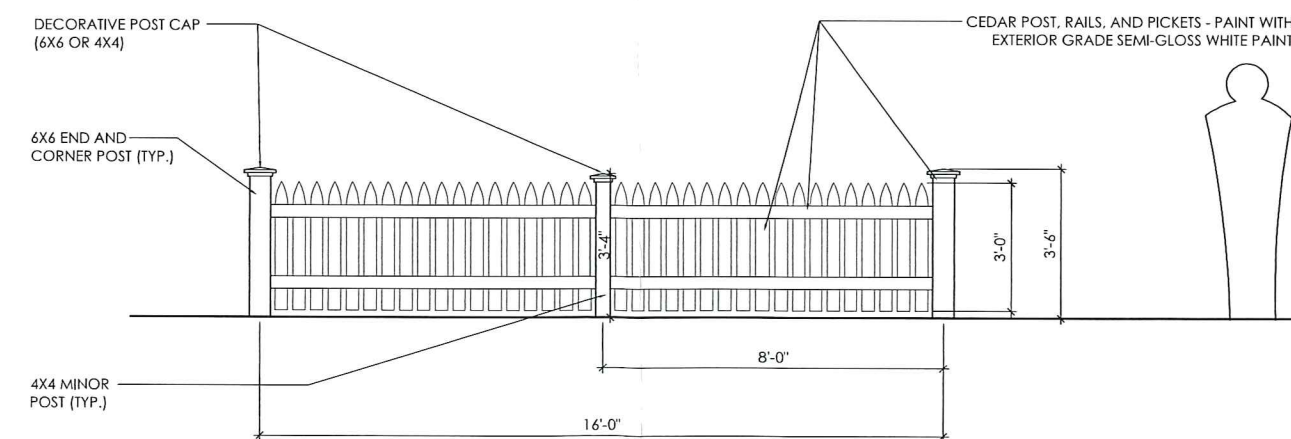
3 POST LIGHT  
N.T.S.



1 MAIN ENTRY SIGN (DOUBLE-SIDED, 1 TOTAL) ELEVATION  
N.T.S. - FINAL DETAIL T.B.D. BY SIGN CONTRACTOR



4 ENTRY ARBOR ELEVATION  
N.T.S. - FINAL DETAIL T.B.D. BY SIGN CONTRACTOR



2 DECORATIVE PICKET FENCE ELEVATION  
N.T.S. - FINAL DETAIL T.B.D. BY FENCE CONTRACTOR

## SITE ELEMENTS

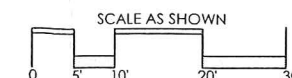
# POWELL CROSSING

PREPARED FOR THE CENTER AT POWELL CROSSING, LLC.

DATE: 1.3.2014

## EXHIBIT D-8

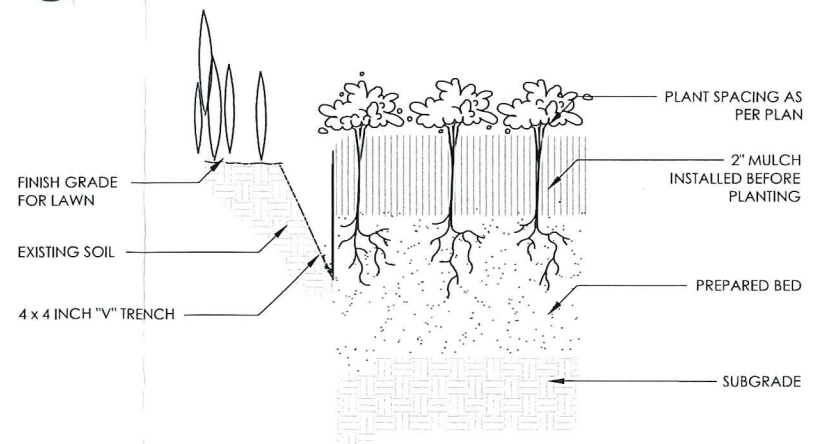
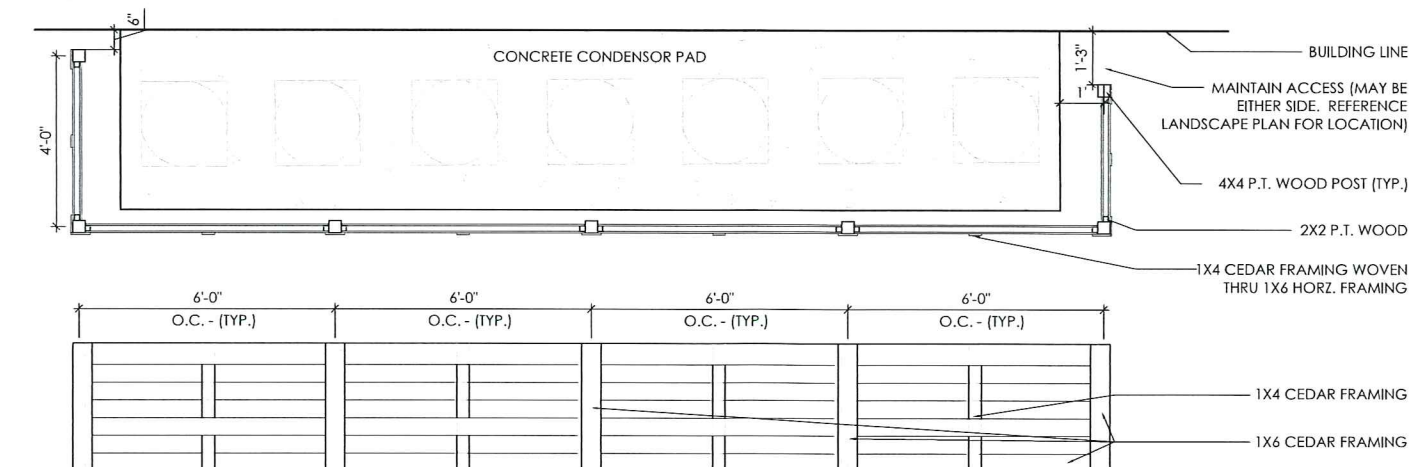
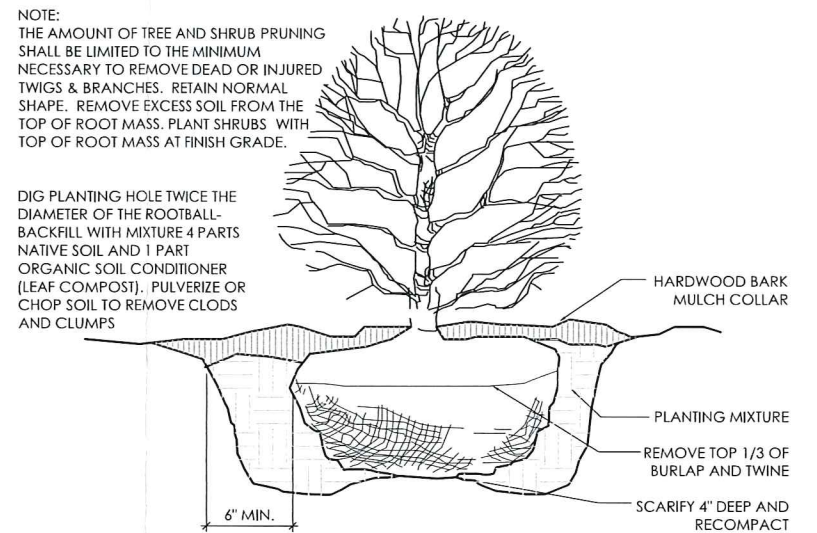
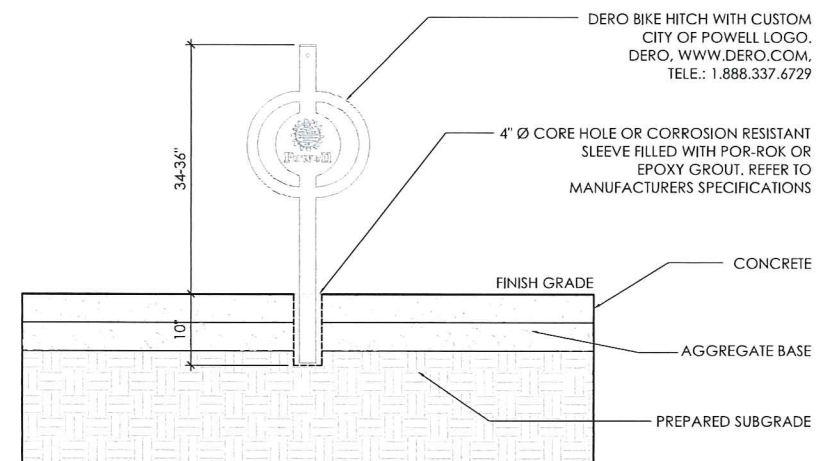
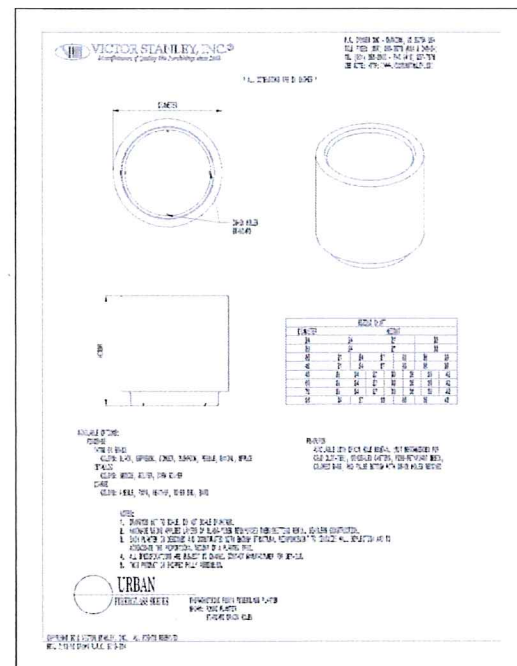
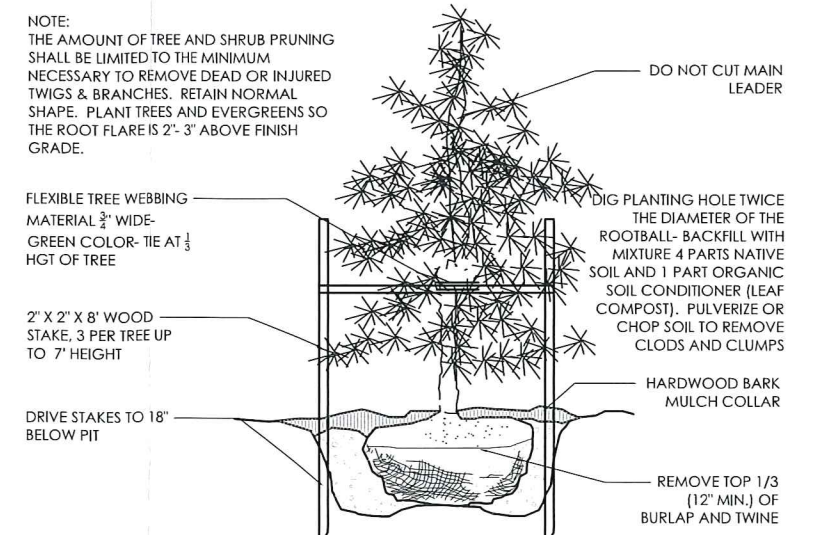
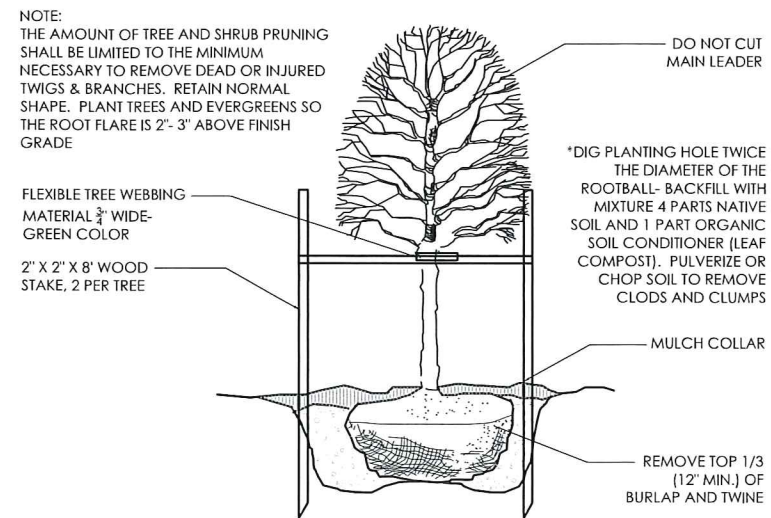
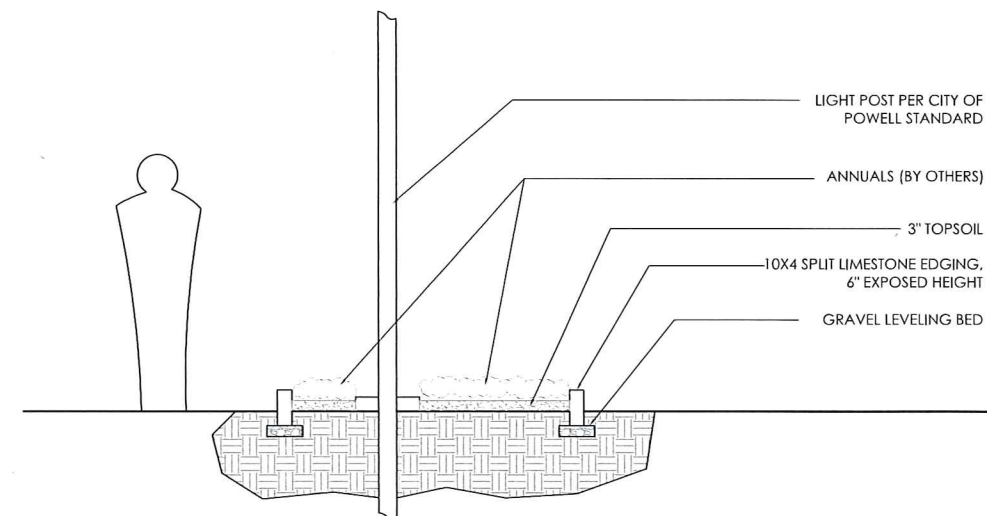
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## SITE DETAILS

# POWELL CROSSING

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DATE: 1.3.2014

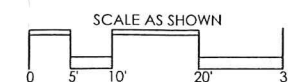
DATE: 1.3.2014

## EXHIBIT D-9

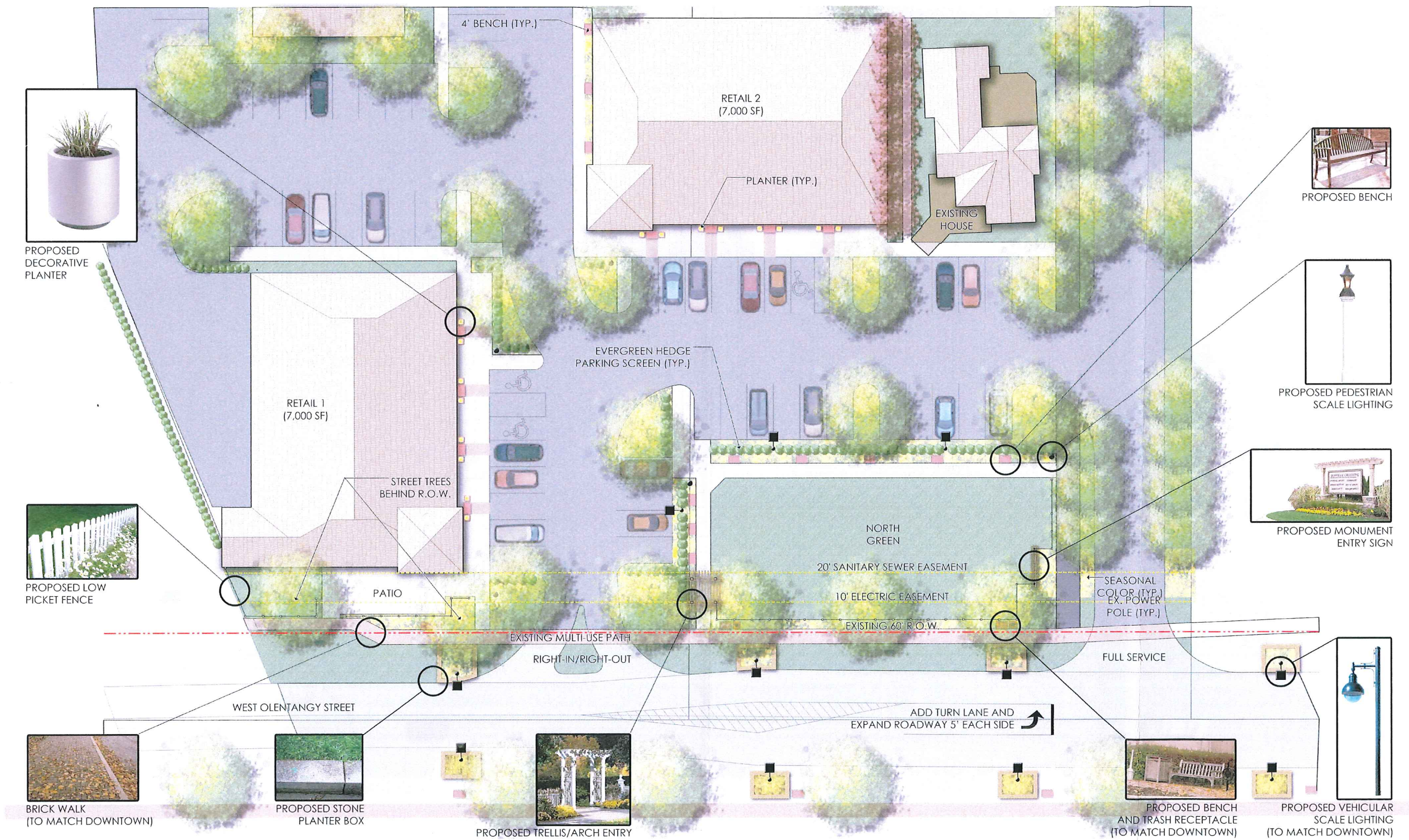
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# ILLUSTRATIVE PLAN-STREETScape CONCEPT

## POWELL CROSSING

PREPARED FOR THE CENTER AT POWELL CROSSING, LLC.  
DATE: 1/3/2014

EX. D-10



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CITY OF POWELL, OHIO  
FINAL DEVELOPMENT PLAN  
FOR  
POWELL CROSSING

DEVELOPER

THE CENTER AT POWELL CROSSING LLC  
5380 HAVENHILL DRIVE  
COLUMBUS, OHIO 43235  
CHARLIE VINCE, CHRIS VINCE, VALERIE SWIATEK

PLANNER/LANDSCAPE ARCHITECT

TODD FARIS  
FARIS PLANNING & DESIGN  
243 N. 5TH STREET, SUITE 401  
COLUMBUS, OH 43215  
614-487-1964,  
TFARIS@FARISPLANNINGANDDESIGN.COM  
TFOLEY@FARISPLANNINGANDDESIGN.COM

CIVIL ENGINEER

JASON HOCKSTOK  
ADVANCED CIVIL DESIGN  
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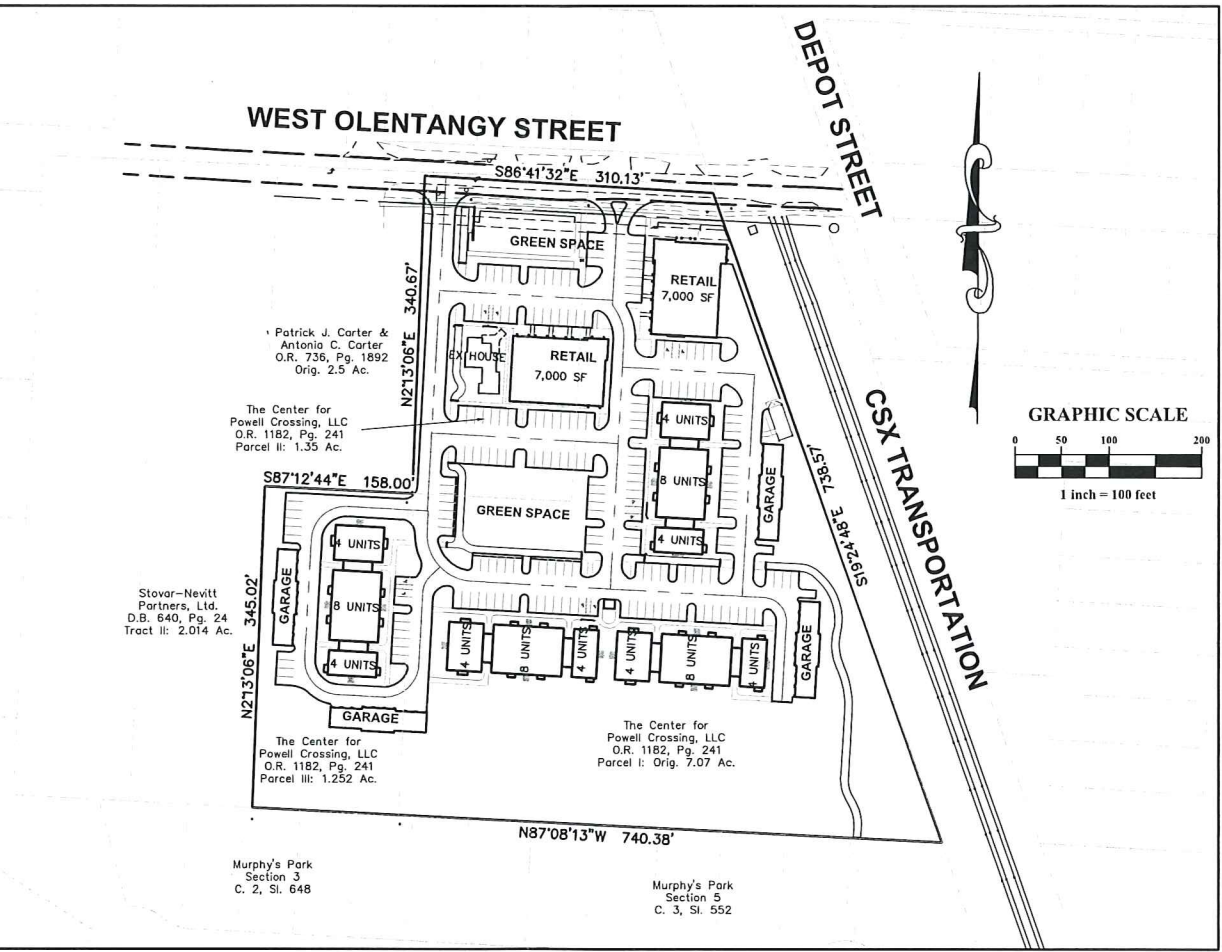
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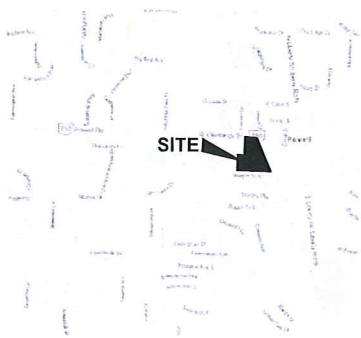
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INDEX MAP  
SCALE: 1"=100'

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LOCATION MAP

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PLAN PREPARED BY: ADVANCED CIVIL DESIGN ENGINEERS  
PLAN PREPARED FOR: CITY OF POWELL/ DELAWARE COUNTY, OHIO  
POWELL CROSSING  
FINAL DEVELOPMENT PLAN  
FOR  
THE CENTER AT POWELL CROSSING LLC  
TITLE SHEET  
Date: 01/03/2014  
Scale: N/A  
Drawn By: CAW  
Checked By: JMH  
Project Number: 13-0001-598  
Drawing Number: 1 / 9

EXHIBIT E-1



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GENERAL NOTES

1. THE REGULATIONS AND CONSTRUCTION STANDARDS OF THE CITY OF POWELL, TOGETHER WITH THE CURRENT CONSTRUCTION AND MATERIAL SPECIFICATIONS OF THE CITY OF COLUMBUS (COLS) AND THE OHIO DEPARTMENT OF TRANSPORTATION (ODOT), INCLUDING ALL SUPPLEMENTS THERETO, SHALL GOVERN ALL CONSTRUCTION ITEMS THAT ARE A PART OF THIS PLAN UNLESS OTHERWISE NOTED.
2. THE CITY ENGINEER OR HIS AUTHORIZED REPRESENTATIVE WILL MAKE INSPECTION OF THE WORK. THE CITY ENGINEER WILL REQUIRE AT LEAST 48 HOURS WRITTEN NOTICE BEFORE ANY WORK TAKES PLACE. FAILURE TO REQUEST THE NECESSARY INSPECTION MAY RESULT IN THE REJECTION OF THE WORK AND THE PROJECT.
3. IT IS THE INTENTION OF THE PLANS TO PROVIDE AND REQUIRE A COMPLETED PROJECT READY FOR OPERATION. ANY WORK ITEMS OMITTED FROM THE PLANS, WHICH ARE CLEARLY NECESSARY FOR COMPLETION OF THE WORK, AND ITS APPURTENANCES SHALL BE CONSIDERED A PART OF SUCH WORK. THOUGH NOT DIRECTLY SPECIFIED OR CALLED FOR IN THE PLANS, THIS INCLUDES, BUT IS NOT LIMITED TO SUCH INCIDENTAL ITEMS AS RELOCATION OF MAILBOXES, SAW CUTTING, AND REMOVAL AND/OR RELOCATION OF SIGNS, SPRINKLERS, OR OTHER MISCELLANEOUS ITEMS.
4. ALL ITEMS OF WORK CALLED FOR ON THE PLANS FOR WHICH NO SPECIFIC METHOD OF PAYMENT IS PROVIDED SHALL BE PERFORMED BY THE CONTRACTOR WITH THE COST TO BE INCLUDED IN THE UNIT PRICE BID FOR THE VARIOUS RELATED ITEMS.
5. THE CONTRACTOR OR DEVELOPER SHALL DEPOSIT THE TOTAL ESTIMATED COST FOR INSPECTIONS, AS DETERMINED BY THE CITY ENGINEER, WITH THE CITY OF POWELL PRIOR TO THE START OF CONSTRUCTION.
6. THE CONTRACTOR SHALL PROVIDE THE CITY OF POWELL, A SURETY, ACCEPTABLE TO THE CITY OF POWELL, EQUAL TO 100% OF CONSTRUCTION COSTS. THE SURETY SHALL GUARANTEE THE WORK FOR ONE YEAR AFTER ACCEPTANCE BY THE CITY.
7. THE CITY ENGINEER WILL NOT BE RESPONSIBLE FOR MEANS, METHODS, PROCEDURES, TECHNIQUES, OR SEQUENCES OF CONSTRUCTION THAT ARE NOT SPECIFIED HEREIN. THE CITY ENGINEER WILL NOT BE RESPONSIBLE FOR SAFETY ON THE WORK SITE, OR THE FAILURE BY THE CONTRACTOR TO PERFORM WORK ACCORDING TO PLANS.
8. APPROVAL OF THESE PLANS IS CONTINGENT UPON ALL EASEMENTS REQUIRED FOR CONSTRUCTION OF THE WORK BEING SECURED AND SUBMITTED TO THE CITY OF POWELL FOR RECORDING PRIOR TO COMMENCEMENT OF WORK. NO WORK, WHICH REQUIRES AN EASEMENT, WILL BE ALLOWED TO PROCEED UNTIL THIS IS DONE.
9. THE CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL SAFETY REQUIREMENTS INCLUDING THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970. THE CONTRACTOR SHALL EXERCISE PRECAUTION ALWAYS FOR THE PROTECTION OF PERSONS (INCLUDING EMPLOYEES) AND PROPERTY. IT SHALL ALSO BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO INITIATE, MAINTAIN AND SUPERVISE ALL SAFETY REQUIREMENTS, PRECAUTION AND PROGRAMS IN CONNECTION WITH THE WORK, INCLUDING THE REQUIREMENTS FOR CONFINED SPACES PER 29 CFR 1910.146.
10. THE CONTRACTOR/DEVELOPER SHALL BE RESPONSIBLE TO OBTAIN ALL NECESSARY PERMITS.
11. THE CONTRACTOR SHALL CONFINE HIS ACTIVITIES TO THE PROJECT SITE, EXISTING RIGHT-OF-WAYS, TEMPORARY AND PERMANENT EASEMENTS, AND SHALL NOT ENTER UPON OTHER PROPERTIES WITHOUT WRITTEN PERMISSION OF THE OWNER. IF THE PROPOSED WORK REQUIRES ENTERING EASEMENTS UPON OTHER PROPERTIES, THE CONTRACTOR SHALL NOTIFY THE OWNER(S) IN WRITING NO LESS THAN 72 HOURS IN ADVANCE OF THE COMMENCEMENT OF THE WORK AND COPY THE CITY ON ALL CORRESPONDENCE. FAILURE TO NOTIFY AFFECTED PROPERTY OWNERS MAY SUBJECT THE CONTRACTOR TO THE PENALTIES ASSOCIATED WITH THE VIOLATION OF POWELL CITY CODE, SECTION 541.05, CRIMINAL TRESPASS.
12. THE CONTRACTOR SHALL CAREFULLY PRESERVE BENCHMARKS, PROPERTY CORNERS, REFERENCE POINTS, STAKES AND OTHER SURVEY REFERENCE MONUMENTS OR MARKERS. IN CASES OF WILLFUL OR CARELESS DESTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE. RESETTling THE MARKERS SHALL BE PERFORMED BY AN OHIO PROFESSIONAL SURVEYOR AS APPROVED BY THE CITY ENGINEER AT THE CONTRACTOR'S EXPENSE.
13. PROPERTY BOUNDARIES, INCLUDING PROPERTY LINES AND ROAD RIGHT-OF-WAY, ARE SHOWN FROM THE BEST INFORMATION AVAILABLE AND ARE NOT NECESSARILY COMPLETE OR CORRECT.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING THE FINISHED WORK CONFORM TO THE LINES, GRADES, ELEVATIONS AND DIMENSIONS CALLED FOR ON THE DRAWINGS AND TYPICAL SECTIONS.
15. ANY DEVICE SHALL NOT BE OPERATED AT ANY TIME IN SUCH A MANNER THAT THE NOISE CREATED SUBSTANTIALLY EXCEEDS THE NOISE CUSTOMARILY AND NECESSARILY ATTENDANT TO THE REASONABLE AND EFFICIENT PERFORMANCE OF SUCH EQUIPMENT. PURSUANT TO POWELL CITY CODE, SECTION 509.08, CONSTRUCTION ACTIVITY IS ONLY PERMITTED BETWEEN THE HOURS OF 7:30 A.M. AND 7:00 P.M. ANY CONSTRUCTION ACTIVITY BEYOND THESE HOURS REQUIRES A WRITTEN REQUEST TO THE DIRECTOR OF PUBLIC SERVICE MEETING THE REQUIREMENTS OF POWELL CITY CODE, SECTION 509.08(B).
16. PAVEMENTS SHALL BE CUT IN NEAT, STRAIGHT LINES THE FULL DEPTH OF THE EXISTING PAVEMENT OR AS REQUIRED BY THE CITY ENGINEER.
17. ALL SOIL SUBGRADE SHALL BE PREPARED AND COMPACTED IN ACCORDANCE WITH ITEM 204 TO A DEPTH OF 12 INCHES BELOW THE SUBGRADE SURFACE. SUBGRADE SHALL BE SCARIFIED AND CONTAIN SUFFICIENT MOISTURE TO MEET ITEM 203 COMPACTION REQUIREMENTS.
18. THE CONTRACTOR IS NOT PERMITTED TO USE ANY RECLAIMED MATERIALS IN ITEM 304.
19. NON-RUBBER TIRED VEHICLES SHALL NOT BE MOVED ON OR ACROSS PUBLIC STREETS OR HIGHWAYS WITHOUT THE WRITTEN PERMISSION OF THE CITY ENGINEER.
20. TRACKING OR SPILLING MUD, DIRT, OR DEBRIS UPON STREETS, RESIDENTIAL OR COMMERCIAL DRIVES, SIDEWALKS OR BIKE PATHS IS PROHIBITED PER POWELL CITY CODE, SECTION 905.12 AND ANY SUCH OCCURRENCE SHALL BE CLEANED UP IMMEDIATELY BY THE CONTRACTOR. IF THE CONTRACTOR FAILS TO REMOVE SAID MUD, DIRT, DEBRIS, OR SPILLAGE, THE CITY OF POWELL RESERVES THE RIGHT TO REMOVE THESE MATERIALS AND CLEAN AFFECTED AREAS, THE COST OF WHICH SHALL BE PAID BY THE CONTRACTOR/DEVELOPER PER POWELL CITY CODE, SECTION 905.13.
21. DURING CONSTRUCTION THE CONTRACTOR SHALL PROVIDE ADEQUATE DRAINAGE AND PROPER SOIL EROSION CONTROL MEASURES FOR PROTECTION OF ALL ADJACENT ROADS AND LANDS, PER COLS ITEM 207.
22. THE CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS TO EQUAL OR BETTER THAN EXISTED BEFORE CONSTRUCTION. DRAINAGE DITCHES OR WATERCOURSES THAT ARE DISTURBED BY CONSTRUCTION SHALL BE RESTORED TO THE GRADES AND CROSS-SECTIONS THAT EXISTED BEFORE CONSTRUCTION.
23. THE CONTRACTOR SHALL CONDUCT HIS OPERATIONS SO AS TO MAINTAIN AT ALL TIMES SEWER, DRAIN, AND DITCH FLOWS THROUGH EXISTING FACILITIES TO REMAIN IN PLACE AND THROUGH EXISTING FACILITIES TO BE REPLACED UNTIL NEW FACILITIES ARE COMPLETED AND PUT INTO SERVICE. THE CONTRACTOR, TO A CONDITION SATISFACTORY TO THE CITY ENGINEER, SHALL RESTORE THE FLOW OF ALL SEWERS, DRAINS, AND OTHER WATERCOURSES DISTURBED DURING THE PROSECUTION OF THE WORK.
24. ANY MODIFICATION OF THE WORK AS SHOWN ON THESE DRAWINGS MUST HAVE PRIOR WRITTEN APPROVAL BY THE POWELL CITY ENGINEER.
25. THE CONTRACTOR SHALL CALL TOLL FREE, THE OHIO UTILITIES PROTECTION SERVICE (OUPS) AT 1-800-362-2764 SEVENTY-TWO (72) HOURS IN ADVANCE OF THE ANTICIPATED START OF CONSTRUCTION, AND SHALL NOTIFY ALL UTILITY COMPANIES AT LEAST FORTH-EIGHT (48) HOURS PRIOR TO WORK IN THE VICINITY OF THEIR LINES.

UTILITY	OWNER	TELEPHONE
TELEPHONE	AT&T 111 NORTH FRONT STREET COLUMBUS, OH 43215 CONTACT: RON C HARRISON	(614) 223-6790
ELECTRIC	AMERICAN ELECTRIC POWER 850 TECH CENTER DRIVE GAHANNA, OH 43230-6605 CONTACT: ANDY WAINWRIGHT	(614) 883-8821
GAS	COLUMBIA GAS 920 WEST GOODALE BLVD. COLUMBUS, OH 43215 CONTACT: JOEY BEAVER	(614) 460-5400
CABLE TELEVISION	TIME WARNER CABLE 1266 DUBLIN ROAD P.O. BOX 2553 COLUMBUS, OH 43216-2553 CONTACT: GREG MILLER	(614) 348-1539

26. EXISTING UTILITIES SHOWN ON THE PLAN ARE FROM THE BEST AVAILABLE RECORDS AND FIELD INVESTIGATION AND ARE NOT NECESSARILY COMPLETE OR CORRECT. THE CONTRACTOR IS RESPONSIBLE FOR THE INVESTIGATION, LOCATION, SUPPORT, PROTECTION AND RESTORATION OF ALL EXISTING UTILITIES AND APPURTENANCES WHETHER SHOWN OR NOT.
27. THE CONTRACTOR SHALL EXPOSE AND VERIFY THE LOCATION AND ELEVATION OF ANY UTILITIES WITHIN THE LIMITS OF THE PROPOSED CONDUIT PATH, PRIOR TO STARTING ANY EXCAVATION. IN CASE OF CONFLICT, ADJUSTMENTS IN LOCATION AND ELEVATION OF THE PROPOSED UTILITIES MAY BE MADE IF APPROVED PER GENERAL NOTE #24, OR ARRANGEMENTS SHALL BE MADE TO MOVE THE EXISTING UTILITY TO PROVIDE ADEQUATE CLEARANCE.
28. MAINTAIN THREE (3) FEET HORIZONTAL AND ONE (1) FOOT VERTICAL SEPARATION FROM ALL SEWER AND WATER LINES.
29. EXISTING DRAIN TILES ENCOUNTERED DURING CONSTRUCTION SHALL BE RECONNECTED OR CONNECTED TO THE STORM SEWER SYSTEM BY THE CONTRACTOR, AS APPROVED BY THE CITY ENGINEER. THE COST OF SAID WORK TO BE INCLUDED IN THE UNIT PRICE BID FOR THE VARIOUS RELATED ITEMS.
30. ALL TRENCHES WITHIN PAVEMENT, BERM, AND SHOULDER LIMITS SHALL BE BACKFILLED OR SECURELY PLATED DURING NON-WORKING HOURS.
31. ACCESS TO ALL ADJOINING PROPERTIES SHALL BE MAINTAINED AT ALL TIMES. AREAS WITH MULTIPLE DRIVES SHALL HAVE AT LEAST HALF OF THE DRIVES OPEN AT ALL TIMES. PROPERTIES WITH A SINGLE ACCESS WILL REQUIRE STAGED CONSTRUCTION; SHORT-TERM FULL CLOSURE OF A SINGLE ACCESS WILL BE PERMITTED WITH THE PROPERTY OWNER AND/OR TENANT'S AGREEMENT. SUCH FULL CLOSURES SHALL BE SCHEDULED AND COORDINATED WITH THE PROPERTY OWNER/TENANT.
32. AT ALL UTILITY CROSSINGS THE TRENCH BACKFILL SHALL CONSIST OF COMPACTED GRANULAR MATERIAL, COLS ITEM 912, BETWEEN THE DEEPER AND SHALLOWER PIPE.
33. BACKFILL FOR TRENCHES UNDER PAVEMENT AND WITHIN THE RIGHT-OF-WAY SHALL BE COMPACTED GRANULAR MATERIAL, COLS ITEM 912, TO THE PAVEMENT SUBGRADE. WHERE TRENCHES CROSS THE PAVEMENT, COLS ITEM 912 SHALL EXTEND THE FULL WIDTH OF THE RIGHT-OF-WAY, AND TO WITHIN 6 INCHES OF FINISHED GRADE WHERE NOT UNDER PAVEMENT.
34. BACKFILL FOR TRENCHES PARALLEL TO THE PAVEMENT AND WITHIN THE RIGHT-OF-WAY, WITH THE TOP OF THE TRENCH 3 FEET OR CLOSER TO THE BACK OF CURB OR EDGE OF PAVEMENT OR LOCATED UNDER A PEDESTRIAN PATHWAY, SHALL BE COMPACTED GRANULAR MATERIAL, COLS ITEM 912, TO WITHIN 6 INCHES OF FINISHED GRADE. BACKFILL FOR ALL OTHER TRENCHES WITHIN THE RIGHT-OF-WAY PARALLEL TO THE PAVEMENT, SHALL BE SHALL BE COMPACTED BACKFILL, COLS ITEM 911, EXCEPT THAT COMPACTION SHALL BE TO MINIMUM 9 PERCENT MAXIMUM DRY DENSITY. PRIOR TO CONSTRUCTION OF THE STREETS, THE CITY ENGINEER MAY REQUIRE SOIL TESTS ON THE BACKFILL. WHERE TEST RESULTS INDICATE THAT THE BACKFILL DOES NOT MEET COMPACTION REQUIREMENTS THE BACKFILL SHALL BE REMOVED, REPLACED, AND RE-TESTED UNTIL MEETING THOSE REQUIREMENTS.
35. THE CONTRACTOR SHALL INSTALL STREET LIGHTS AT THE LOCATIONS SHOWN ON THE PLANS, INCLUDING ALL WIRING AND DISCONNECTS AND PROVIDE A COMPLETE OPERATING LIGHTING SYSTEM THAT COMPLIES WITH THE CITY OF POWELL SPECIFICATIONS.
37. ALL AREAS FOR UNDERGROUND ELECTRIC AND STREET LIGHTING ELECTRIC, TELEPHONE, AND CABLE TV INSTALLATIONS SHALL BE BROUGHT TO FINISHED GRADE, AS SHOWN ON THE GRADING PLAN, PRIOR TO THEIR BEING INSTALLED. ALL FILL REQUIRED SHALL BE COMPACTED IN ACCORDANCE WITH COLS ITEM 203.12, CONDITION 1. THIS WORK SHALL BE PERFORMED AS PART OF THIS PLAN AND THE COST SHALL BE INCLUDED UNDER ITEM 203.
38. ALL SEEDING SHALL BE APPLIED AT THE RATE OF 8 POUNDS (LB.) PER 1,000 SQUARE FEET (SF) AND SHALL USE THE FOLLOWING SEED MIXTURE:
- 40% TITIAN TALL FESCUE

40% TARHEEL TALL FESCUE

10% DENIM KENTUCKY BLUEGRASS

10% RENAISSANCE PERENNIAL RYE GRASS
39. COMMERCIAL-GRADE COMPLETE FERTILIZER OF NEUTRAL CHARACTER, CONSISTING OF FAST, AND SLOW RELEASE NITROGEN, 50% DERIVED FROM NATURAL ORGANIC SOURCES OF UREA-FORM, PHOSPHOROUS, AND POTASSIUM AND WITH THE FOLLOWING COMPOSITION SHALL BE APPLIED:
- COMPOSITION: 13% NITROGEN, 26% PHOSPHOROUS, AND 12% POTASSIUM BY WEIGHT

FERTILIZER SHOULD BE APPLIED AT THE RATE OF 6 POUNDS (LB.) PER 1,000 SQUARE FEET (SF).
40. ALL SIGNS, LANDSCAPING, STRUCTURES OR OTHER APPURTENANCES DISTURBED OR DAMAGED DURING CONSTRUCTION SHALL BE REPLACED OR REPAIRED TO THE SATISFACTION OF THE CITY ENGINEER. THE CONTRACTOR SHALL PAY FOR THE COST OF THIS WORK.

GENERAL NOTES FOR STORM SEWERS

1. ANY MODIFICATION OF THE WORK AS SHOWN ON THESE DRAWINGS MUST HAVE PRIOR WRITTEN APPROVAL BY THE POWELL CITY ENGINEER.
2. THE PROPOSED SANITARY SEWERS AND SERVICES ARE TO BE CONSTRUCTED UNDER PLAN P PRIOR TO STREET IMPROVEMENTS.
3. BEFORE THE CONTRACTOR STARTS ANY WORK ON THE PROJECT AND AGAIN BEFORE FINAL ACCEPTANCE OF ANY WORK, REPRESENTATIVES OF THE CITY AND THE CONTRACTOR SHALL MAKE AN INSPECTION OF ALL EXISTING SEWERS THAT ARE TO REMAIN IN SERVICE AND WHICH MAY BE AFFECTED BY THE WORK. THE CONDITION OF THE EXISTING CONDUITS AND THEIR APPURTENANCES SHALL BE DETERMINED FROM FIELD OBSERVATIONS. THE CITY SHALL KEEP RECORDS OF THE INSPECTION IN WRITING.
4. ALL EXISTING SEWERS INSPECTED INITIALLY BY THE ABOVE MENTIONED PARTIES SHALL BE MAINTAINED AND LEFT IN A CONDITION REASONABLY COMPARABLE TO THAT DETERMINED BY THE ORIGINAL INSPECTION. THE CONTRACTOR, TO THE SATISFACTION OF THE CITY ENGINEER, SHALL CORRECT ANY CHANGE IN THE CONDITION RESULTING FROM THE CONTRACTOR'S OPERATIONS.
5. PAYMENT FOR ALL OPERATIONS DESCRIBED ABOVE SHALL BE INCLUDED IN THE CONTRACT PRICE FOR THE PERTINENT CONTRACT ITEMS.
6. ALL STORM SEWERS CONSTRUCTED UNDER THIS PLAN SHALL MEET THE REQUIREMENTS OF COLS ITEM 901, WITH A MINIMUM INSIDE DIAMETER OF 12 INCHES.
7. ALL NEW CONDUITS, CATCH BASINS AND MANHOLES CONSTRUCTED, AS A PART OF THE PROJECT SHALL BE FREE OF ALL FOREIGN MATTER AND IN A CLEANED CONDITION BEFORE THE CITY WILL ACCEPT THE PROJECT.
8. ALL INLETS, CATCH BASINS, AND MANHOLES SHALL BE CHANNELIZED.
9. ROADWAY UNDERDRAINS SHALL BE DISCHARGED INTO THE NEAREST STORM STRUCTURE AVAILABLE ALONG THE LINE OF FLOW UNLESS SHOWN OTHERWISE ON THE PLANS.
10. THE CONTRACTOR SHALL ADJUST ALL EXISTING AND PROPOSED CASTINGS TO MATCH THE SURROUNDING FINISHED GRADE. THE COST OF ALL CASTING ADJUSTMENTS SHALL BE INCLUDED IN THE VARIOUS SEWER ITEMS.
11. ALL DRAINAGE SWALES ALONG REAR LOT LINES, SHOWN ON THE GRADING PLAN, SHALL BE CONSTRUCTED TO FINISHED GRADE AS PART OF THIS PLAN AND THE COST SHALL BE INCLUDED UNDER COLS ITEM 203.
12. ALL STORM WATER DETENTION/RETENTION AREAS SHOWN ON THE GRADING PLAN SHALL BE CONSTRUCTED TO FINISHED GRADE PER COLS ITEM 203, HYDRO-SEEDED, AND HYDRO-MULCHED PER COLS ITEM 659, AS PART OF THIS PLAN. THE COST SHALL BE INCLUDED AS A LUMP SUM UNDER SPECIAL, DETENTION/RETENTION AREA CONSTRUCTION.
13. THE CONTRACTOR SHALL PROVIDE TWO ROOF DRAIN OPENINGS IN THE CURB FOR EACH LOT, LOCATED AS DIRECTED BY THE OWNER.
14. ALL CATCH BASINS ARE TO BE EQUIPPED WITH EAST JORDAN #5110, TYPE M3 GRATES, OR APPROVED EQUAL.
15. UPON COMPLETION OF CONSTRUCTION FOR EACH PHASE OF STORM SEWER WORK, THE DEVELOPER, THROUGH ITS ENGINEER, SHALL FURNISH THE CITY ENGINEER A TABULATION OF STRUCTURE NUMBERS, THE ELEVATION OF THE TOP OF CASTING AS PROPOSED ON THE PLANS, AND THE ELEVATION OF THE TOP OF CASTING, AS BUILT, FURTHER, A TABULATION OF STATIONING AND TOP OF CURB ELEVATION, AS BUILT, AT THE ENDS OF ALL STREETS, THAT ARE TO BE EXTENDED IN THE FUTURE, SHALL BE SUBMITTED. THE CITY ENGINEER WILL DETERMINE ADJUSTMENTS, IF ANY, THAT ARE NECESSARY AND ALL NECESSARY ADJUSTMENTS SHALL BE DONE PRIOR TO SUBMITTAL OF 'AS BUILT' DRAWINGS.
16. THE ORIGINAL TRACINGS, REVISED 'AS BUILT', AND TWO SETS OF PRINTS SHALL BE GIVEN TO THE CITY PRIOR TO ANY TAP PERMITS BEING ISSUED, OR ACCEPTANCE BY THE CITY FOR THE ONE YEAR MAINTENANCE PERIOD. THE INFORMATION SHOWN ON THE 'AS BUILT' PLANS SHALL BE FROM FIELD MEASUREMENTS. WATER SERVICES AND MAINLINE VALVES SHALL BE LOCATED BY STREET STATIONING. TOP OF CASTING ELEVATIONS FOR ALL STORM SEWER STRUCTURES AND ANY VARIANCE IN THE HORIZONTAL LOCATION OF THE UTILITIES FROM THAT SHOWN ON THE APPROVED PLANS, SHALL BE SHOWN.

DEL-CO WATER COMPANY  
GENERAL NOTES FOR WATER LINE CONSTRUCTION

1. GENERAL NOTES AS MODIFIED BY DEL-CO AND SHOWN ON THE APPROVED CONSTRUCTION DRAWINGS SHALL SUPERSEDE THE REQUIREMENTS OF THE SUBDIVISION CONSTRUCTION STANDARDS MANUAL WHEREVER DISCREPANCIES OCCUR.
2. STANDARD GENERAL NOTES:
- A. WATER LINE DESIGN, MATERIALS, AND INSTALLATION METHODS SHALL CONFORM TO APPLICABLE SECTIONS OF RECOMMENDED STANDARDS FOR WATER WORKS (TEN STATES STANDARDS), AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARDS, AND THE DEL-CO WATER SUBDIVISION CONSTRUCTION STANDARDS MANUAL. CONTRACTOR SHALL OBTAIN A COPY OF THE STANDARDS AND HAVE IN HIS POSSESSION AT ALL TIMES DURING CONSTRUCTION. COORDINATE WORK WITH DEL-CO WATER (740) 548-7746.
- B. WATER MAINS SHALL BECOME THE OWNERSHIP OF DEL-CO WATER UPON FINAL ACCEPTANCE.
- C. WATER LINE CONSTRUCTION PLANS ARE APPROVED FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE APPROVAL LETTER OR SIGNED PLANS. IF CONSTRUCTION HAS NOT STARTED WITHIN ONE YEAR OF THE DATE OF APPROVAL, PLANS SHALL BE RESUBMITTED TO DEL-CO WATER COMPANY FOR APPROVAL.
3. WATER LINE CONSTRUCTION:
- A. WATER LINES SHALL BE NSF 61 APPROVED, AND COMPLIANT WITH ASTM D2241 & OHIO EPA ENG\_08\_001 STANDARDS.
- B. USE THE FOLLOWING TYPE AND CLASS OF PIPE UNLESS OTHERWISE INDICATED ON THE DRAWINGS:
- I. 2-INCH WATER LINE PIPE: CLASS 200 SDR 21 YELOWINE PVC (RESTRAINED JOINT).

II. 4-INCH WATER LINE PIPE: CLASS 200 SDR 21 PVC.

III. 6-INCH TO 12-INCH WATER LINE PIPE: CLASS 160 SDR 26 PVC.

IV. 16-INCH AND LARGER WATER LINE PIPE: AWWA C151 CLASS 52 DIP.

V. 4-INCH PIPE AND LARGER USED FOR FIRE SERVICE: AWWA C900 DR 18 (150 PSI) PVC.

VI. ALL SIZES OF DEL-CO-OWNED WATER LINES USED ON MASTER METER PROJECTS: CLASS 200 SDR 21 PVC.
- C. ALL FITTINGS SHALL BE MECHANICAL JOINT CONFORMING TO AWWA C153.
- D. ALL VALVES SHALL BE MECHANICAL JOINT CONFORMING TO AWWA WITH AISI 304 STAINLESS STEEL EXTERNAL HARDWARE. VALVES 12-INCH AND SMALLER SHALL BE RESILIENT SEATED GATE VALVES PER AWWA C509 AND VALVES 16-INCH AND LARGER SHALL BE PRATT GROUNDHOG BUTTERFLY VALVES PER AWWA C504.
- E. PROVIDE HEAVY-DUTY VALVE BOXES ON ALL HOT-TAPS AND AT VALVES LOCATED UNDER GRAVEL OR PAVEMENT SURFACES.
- F. TOP OF VALVE BOX SHALL BE FLUSH WITH FINISHED GRADE IN PAVED AREAS, AND 4 INCHES ABOVE FINISHED GRADE IN NON-PAVED AREAS.
- G. CROSSES SHALL NOT BE USED WITHOUT APPROVAL OF DEL-CO WATER COMPANY.
- H. MAINTAIN A MINIMUM 12-FOOT HORIZONTAL AND 1.5-FOOT VERTICAL SEPARATION BETWEEN WATER LINES AND SANITARY AND STORM SEWERS.
- I. ALL OTHER BURIED UTILITIES SHALL MAINTAIN A MINIMUM 5-FOOT HORIZONTAL SEPARATION, AND 2-FOOT VERTICAL SEPARATION FROM THE CENTERLINE OF WATER LINES AS FINALLY LAID AND CONSTRUCTED.
- J. PROVIDE CONCRETE THRUST BLOCKING FOR ALL FITTINGS, VALVES, ANCHOR TEES, AND HYDRANTS.
- K. BURY WATER LINES A MINIMUM DEPTH OF 48-INCHES TO THE TOP OF PIPE.
- L. LAY 1/2" 10-FOOT STEEL FENCE POST OR 4X4" WOOD POST AT VALVES AND THE ENDS OF LINES. PAINT BLUE.
- M. TRACER WIRE:
- I. INSTALL COPPERHEAD® OR EQUAL 12-GAUGE HIGH STRENGTH 452LB BREAK STRENGTH 30 MIL HDPE JACKED COPPER-CLAD, STEEL REINFORCED TRACER WIRE ON ALL WATER MAIN AND SERVICE LINES INSTALLED BY TRENCHING METHODS.

II. INSTALL COPPERHEAD® OR EQUAL 12-GAUGE EXTRA HIGH STRENGTH 1150LB BREAK STRENGTH 45 MIL HDPE JACKET, COPPER-CLAD, STEEL REINFORCED TRACER WIRE ON ALL WATER MAIN AND SERVICE LINES INSTALLED BY BORING METHODS.

III. FASTEN WIRE TO PIPE IN TWO PLACES PER PIPE SECTION. EXTEND TRACER WIRE TO GROUND SURFACE AT ALL VALVES AND HYDRANTS AS SHOWN IN THE DEL-CO STANDARD DETAIL. SPLICE WIRES USING COPPERHEAD® LSC12-BLUE, OR PRO-TRACE® #73901 WEATHERPROOF UNDERGROUND WIRE CONNECTORS.

IV. CONNECT ALL SERVICE LINE WIRES TO MAIN LINE WIRES USING DURATRACE™ PART #3WB-01 (BLUE), COPPERHEAD® LSC12-BLUE, OR PRO-TRACE® #73901 WEATHERPROOF UNDERGROUND WIRE CONNECTORS.

V. CONTRACTOR SHALL TEST THE CONTINUITY OF ALL WIRE USING A THIRD-PARTY TESTER.
1. CONTRACTOR SHALL CONTACT DEL-CO'S INSPECTION DEPARTMENT A MINIMUM OF 24 HOURS PRIOR TO TEST.

2. TESTER SHALL SEND A SIGNED REPORT TO DEL-CO WATER INSPECTION DEPARTMENT AFFIRMING ALL WIRE HAS CONTINUITY.

3. CONTRACTOR SHALL REPAIR ALL DEFICIENCIES.
4. WATER SERVICE CONSTRUCTION (BETWEEN MAIN LINE AND METER PIT):
- A. ALL WATER SERVICES SHALL BE CONSTRUCTED AND INSTALLED PER AWWA C800.
- B. FOR METERS 1-INCH AND SMALLER, USE 1-INCH CLASS 200 SDR 7 IRON PIPE SIZE (IPS) POLYETHYLENE PIPE.
- C. CONNECTIONS TO PVC PIPE SHALL BE MADE WITH APPROVED TAPPING SADDLE AND CORPORATION STOP PER DEL-CO SUBDIVISION CONSTRUCTION STANDARDS MANUAL.
- D. CONNECTIONS TO DIP SHALL BE BY DIRECT TAP OR SADDLE AND APPROVED CORPORATION STOP PER DEL-CO SUBDIVISION CONSTRUCTION STANDARDS MANUAL.
- E. PROVIDE A CURB STOP WITH 1-INCH FEMALE IRON PIPE THREADS ON THE CUSTOMER SIDE AT THE END OF SERVICE LINES. LOCATE AT ROW, BUT A MINIMUM OF FIVE FEET FROM EDGE OF SIDEWALK.
- F. ALL SERVICE LINE VALVES 1 1/2-INCH AND LARGER SHALL BE MECHANICAL JOINT GATE VALVES, RESTRAINED WITH DUCT-LUGS AND GALVANIZED ALL THREAD ROD OR ANCHOR TEES WHERE APPLICABLE.
- G. MINIMUM DEPTH OF COVER SHALL BE 48 INCHES.
- H. PLACE A 3-FOOT STEEL FENCE POSTS OR 4X4" WOOD POST AT THE ENDS OF ALL SERVICE LINES.
- I. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SPECIAL BACKFILL MATERIAL FOR ALL LINES, INCLUDING THOSE INSTALLED BY DEL-CO WATER CO. INC., WHERE REQUIRED BY THE COUNTY OR CITY ENGINEER.
5. FIRE HYDRANTS:
- A. FIRE HYDRANTS SHALL CONFORM TO AWWA C502 FOR DRY BARREL HYDRANTS.
- B. MAIN VALVE: 5.25-INCH COMPRESSION.
- C. NOZZLES:
- I. THREADING: CONFORM TO NFPA NATIONAL STANDARD FIRE HOSE THREADS.

II. 5-INCH STEAMER, EXCEPT IN THE FOLLOWING LOCATIONS PROVIDE AN INTEGRAL STORZ CONNECTION; HARRINGTON HHS50 OR EQUAL: BERKSHIRE, BERLIN, CONCORD, GENOA, KINGSTON, LIBERTY, ORANGE, PORTER, TRENTON, AND SIOOTO TOWNSHIPS; CITY OF POWELL; AND THE VILLAGES OF SUNBURY AND GALENA.

III. TWO 2.5-INCH HOSE CONNECTIONS.
- D. INLET CONNECTION: 6-INCH MECHANICAL JOINT.
- E. OPERATING NUT: 1.5-INCH PENTAGON, TURN COUNTERCLOCKWISE TO OPEN.
- F. EXTENSIONS AND PARTS: SHALL BE MANUFACTURED BY THE ORIGINAL EQUIPMENT MANUFACTURER.
- G. APPROVED MANUFACTURERS: MUELLER SUPER CENTURION 200, AMERICAN FLOW CONTROL B-64-B, CLOW MEDALLION, M&H MODEL 129M, AVK NOSTALGIC 2780, OR KENNEDY GUARDIAN KB10.
- H. PAINTING: REPAINT ALL HYDRANTS AFTER INSTALLATION PER DEL-CO SUBDIVISION CONSTRUCTION STANDARDS MANUAL SECTION 02731, PART 2.06.
- I. LIBERTY TOWNSHIP, POWELL, AND VILAGE OF SUNBURY: SAFETY RED.

II. OTHER TOWNSHIPS: SAFETY YELLOW

III. FIRE HYDRANTS LOCATED ON PRIVATE WATER LINES SHALL BE PAINTED INDUSTRIAL GREEN.
6. DISINFECT ALL WATER LINES IN ACCORDANCE WITH AWWA C651 AND DEL-CO SPECIFICATIONS.
7. ALL PIPE INSTALLATION AND PRESSURE TESTING SHALL BE IN ACCORDANCE WITH AWWA C600 FOR DUCTILE IRON PIPE AND C605 FOR PLASTIC PIPE, AND DEL-CO SPECIFICATIONS.
- A. CONTRACTOR SHALL PROVIDE ALL EQUIPMENT NECESSARY TO PERFORM PRESSURE TEST.
- B. SCHEDULE TEST BETWEEN 8:00 AM AND 2:00 PM WEEKDAYS. NOTIFY DEL-CO 24 HOURS PRIOR TO TEST.
8. OBTAIN WRITTEN APPROVAL OF MATERIAL AND MANUFACTURERS LIST FROM DEL-CO WATER PRIOR TO BEGINNING CONSTRUCTION.
9. PROVIDE CASING PIPE FOR ALL ROAD CROSSINGS UNLESS OTHERWISE APPROVED BY DEL-CO. CASING PIPE SHALL BE STEEL PIPE WITH 0.375-INCH WALL THICKNESS, OR PVC C900 FOR WATER LINES 12-INCH DIA. OR LESS. CASINGS FOR WATER LINES LARGER THAN 12-INCH DIA. MAY BE AWWA C905.
10. EASEMENTS SHALL BE PROVIDED TO DEL-CO WATER BEFORE PERMISSION WILL BE GIVEN TO MAKE NEW SERVICE LINE CONNECTIONS.
11. CONNECTIONS TO EXISTING WATER LINES WILL BE MADE BY DEL-CO WATER AT THE CONTRACTOR'S EXPENSE, OR PERFORMED BY CONTRACTORS WHO ARE APPROVED FOR MAKING CONNECTIONS. NOTIFY ALL PROPERTY OWNERS, AND DEL-CO WATER, IN WRITING 48 HOURS BEFORE STARTING CONSTRUCTION.
12. CONTRACTOR SHALL EXCAVATE TO DETERMINE THE LOCATION AND DEPTH OF EXISTING WATER LINES WHEREVER COVER OVER THE WATER LINES IS BEING REDUCED. IF THE FINAL DEPTH OF THE WATERLINE WILL BE BELOW DEL-CO WATER STANDARDS, CONTRACTOR SHALL SUBMIT A RELOCATION PLAN FOR APPROVAL BY DEL-CO WATER, AND RELOCATE THE WATER LINE AT THEIR EXPENSE.
13. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING THE WATER LINE PRIOR TO FINAL ACCEPTANCE BY DEL-CO WATER, AND REPAIRING ALL DAMAGES FROM CONSTRUCTION ACTIVITY.
14. DO NOT FILL NEW WATER LINES UNTIL APPROVED BY DEL-CO WATER CO.
15. BOOSTER PUMPS ARE NOT ALLOWED ON INDIVIDUAL SERVICES.
16. NORMAL WORKING PRESSURE SHALL NOT BE LESS THAN 35 PSI.

PLAN PREPARED BY:

PLAN PREPARED FOR:

CITY OF POWELL/ DELAWARE COUNTY, OHIO

POWELL CROSSING

FINAL DEVELOPMENT PLAN

FOR

THE CENTER AT POWELL CROSSING LLC

GENERAL NOTES

Issue Dates:


Date: 01/03/2014  
Scale: N/A

Drawn By: JAW  
Checked By: JMH

Project Number:  
13-0001-598

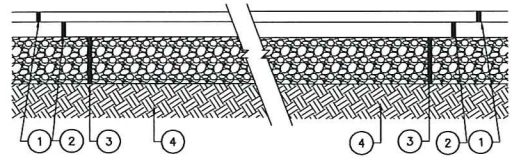
Drawing Number:

2 / 9



422 Beecher Road  
Gahanna, Ohio 43230  
ph 614.428.7750  
fax 614.428.7755



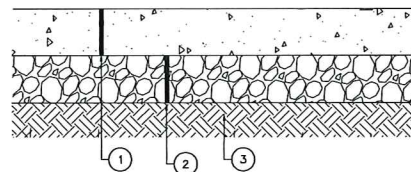


- LIGHT DUTY**
- ① ITEM 404, 1 1/2" ASPHALT CONCRETE
  - ② ITEM 402, 1 1/2" ASPHALT CONCRETE
  - ③ ITEM 304, 8" CRUSHED AGGREGATE BASE
  - ④ ITEM 310, SUBGRADE COMPACTION
- HEAVY DUTY**
- ① ITEM 404, 1 1/2" ASPHALT CONCRETE
  - ② ITEM 402, 2 1/2" ASPHALT CONCRETE
  - ③ ITEM 304, 10" CRUSHED AGGREGATE BASE
  - ④ ITEM 310, SUBGRADE COMPACTION
  - ⑤ ITEM 310, SUBGRADE COMPACTION

NOTES: ALL PAVEMENT MATERIALS SHALL CONFORM TO THE STATE OF OHIO DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIAL SPECIFICATIONS. PAVEMENT DESIGN AS PER GEOTECHNICAL REPORT

### TYPICAL PAVEMENT SECTIONS

(NO SCALE)



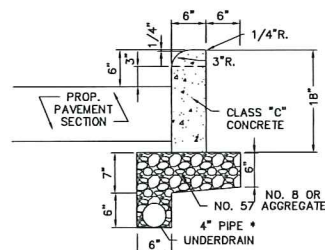
- ① ITEM 452, 6 1/2" PLAIN P.C. CONCRETE PAVEMENT (CLASS C)
- ② ITEM 304, 6" CRUSHED AGGREGATE BASE
- ③ ITEM 203, SUBGRADE COMPACTION, REF. SOILS REPORT

NOTE: CONCRETE PAVING, CMSC ITEM 452 SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS:

1. 4000 PSI COMPRESSIVE STRENGTH, 600 PSI FLEXURAL STRENGTH.
2. 5-7% ENTRAINED AIR WITH APPROVED WATER-REDUCING AND RETARDING ADMIXTURES.
3. CONSTRUCTION JOINTS SHALL BE SPECIFIED BY CONTRACTOR AS A PART OF THE CONTRACT BID.
4. CONCRETE PAVING SHALL HAVE A LIGHT BROOM FINISH.
5. CURING COMPOUND SHALL BE APPLIED AS PER CMSC ITEM 451.10.

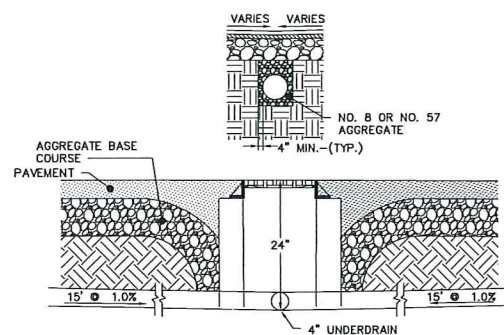
### CONCRETE PAVEMENT SECTION & DETAILS

(NO SCALE)



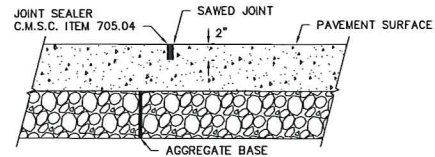
### STRAIGHT 18" CONCRETE CURB

(NO SCALE)



\* 4" PERFORATED UNDERDRAIN - SEE STORM SEWER PLAN FOR LOCATIONS. THE PERFORATED PIPE SHALL BE PROTECTED FROM HEAVY TRAFFIC AFTER INSTALLATION PRIOR TO PLACEMENT OF PROPOSED PAVING.

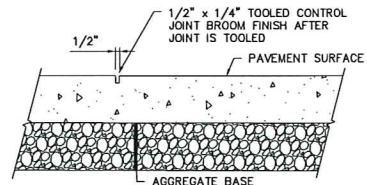
### TYPICAL 4" UNDERDRAIN DETAIL



JOINTS SHALL BE SAWS AS SOON AS THE INITIAL SETTING OF THE CONCRETE WILL PERMIT MOVEMENT OF THE SAWING EQUIPMENT WITHOUT DAMAGE TO THE SURFACE

### SAWED CONTROL JOINT DETAIL \*

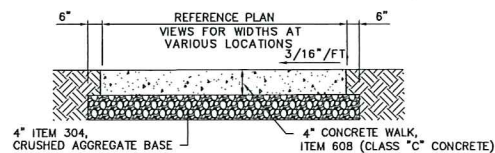
(NO SCALE)



### TOOLED CONTROL JOINT DETAIL \*

(NO SCALE)

\* : CONSTRUCTION JOINTS MAY BE SAWS OR TOOLED AS DIRECTED BY THE CONSTRUCTION MANAGER.

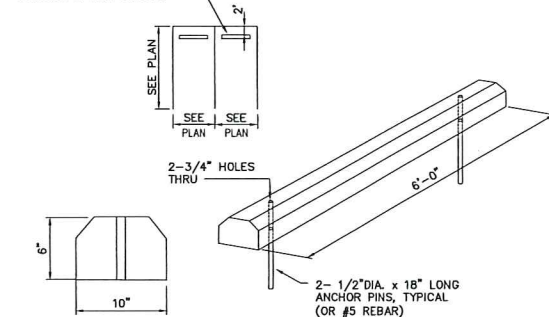


SIDEWALK JOINTS SHALL BE IN ACCORDANCE WITH CMSC ITEM 608.03 UNLESS OTHERWISE DETAILED AS A PART OF THE BUILDING OR LANDSCAPE ARCHITECT PLANS.

### SIDEWALK SECTION

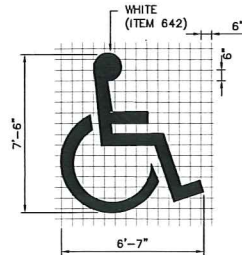
(NO SCALE)

PARKING BLOCK CENTERED IN PARKING SPACE, TYPICAL



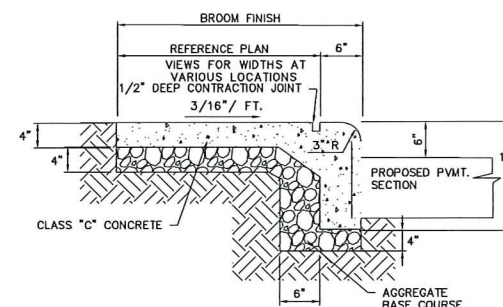
### CONCRETE WHEEL STOP DETAIL

(NO SCALE)



### TYPICAL PARKING AND HANDICAP SPACE

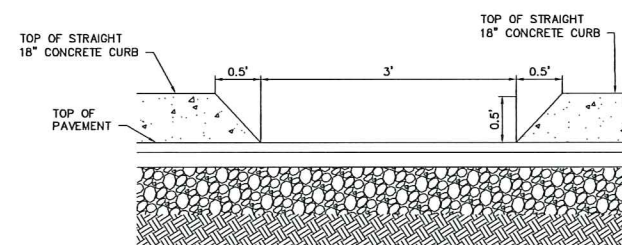
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NOTE: SIDEWALK JOINTS SHALL BE IN ACCORDANCE WITH CMSC ITEM 608.03 UNLESS OTHERWISE DETAILED AS A PART OF THE BUILDING OR LANDSCAPE ARCHITECT PLANS.

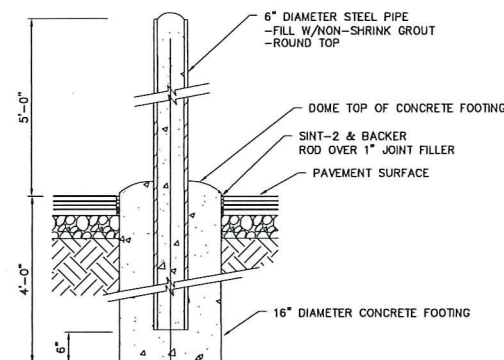
### STANDARD COMBINED CURB AND WALK

(NO SCALE)



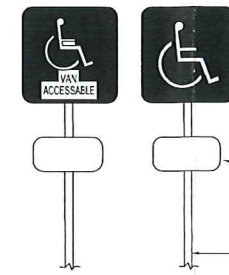
### CURB OPENING DETAIL

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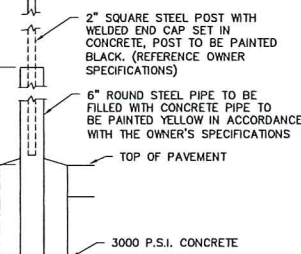
### EXTERIOR BOLLARD DETAIL

(NO SCALE)



### HANDICAP PARKING & VAN ACCESSIBLE SIGN DETAIL

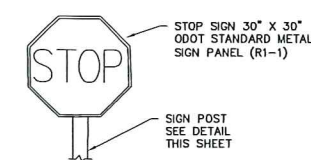
(NO SCALE)



NOTE: Handicap parking sign shall conform with current state and local codes and regulations

### HANDICAP PARKING SIGN DETAIL

(NO SCALE)



### STOP SIGN

(NO SCALE)

## EXHIBIT E-3

PLAN PREPARED FOR:

CITY OF POWELL / DELAWARE COUNTY, OHIO

### POWELL CROSSING FINAL DEVELOPMENT PLAN

FOR  
THE CENTER AT POWELL CROSSING LLC

### DETAILS

Issue Dates:

Date: 01/03/2014  
Scale: N/A

Drawn By: CAW  
Checked By: JMH

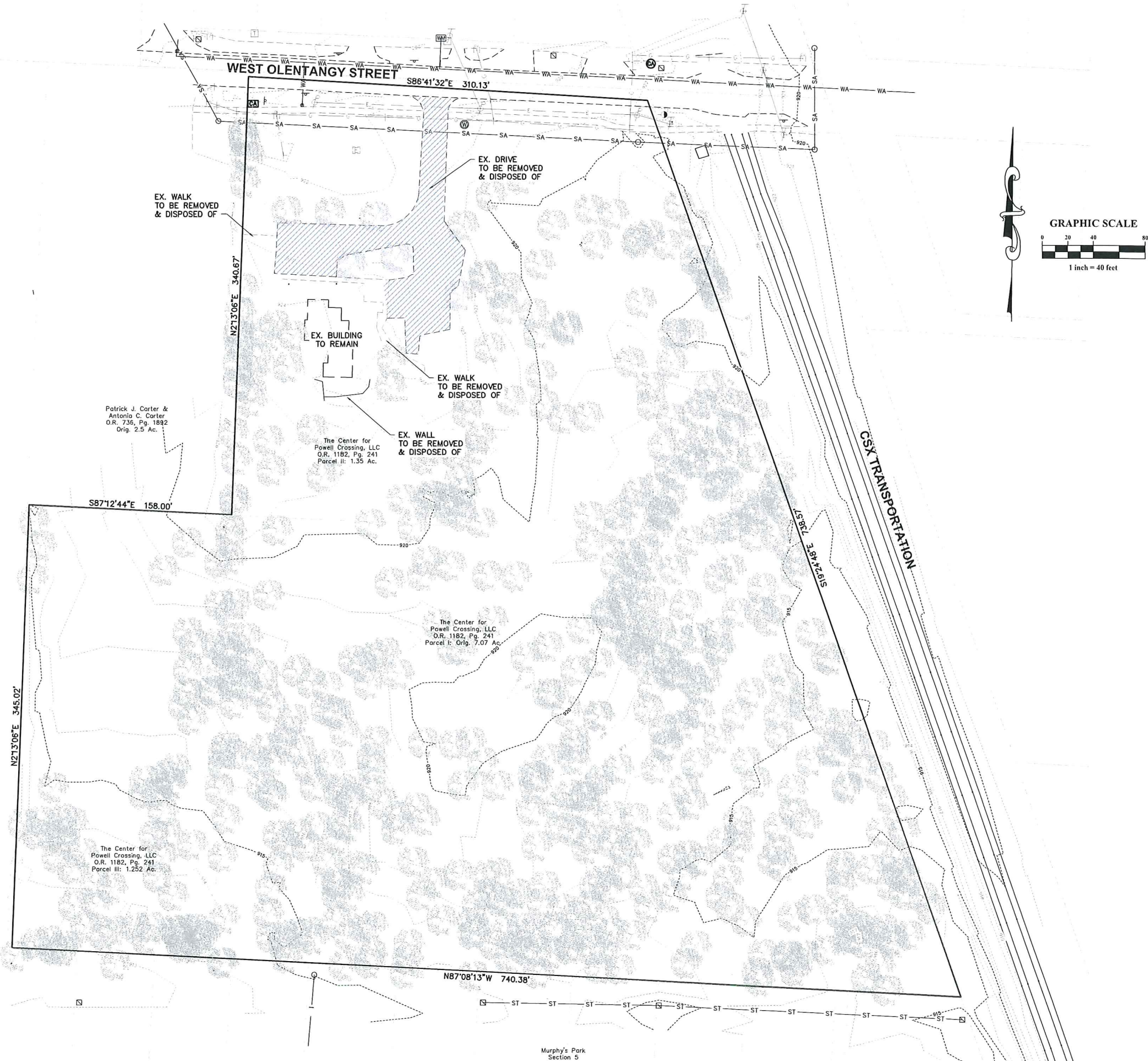
Project Number:  
13-0001-598

Drawing Number:



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City's Park  
Station 3  
St. 648

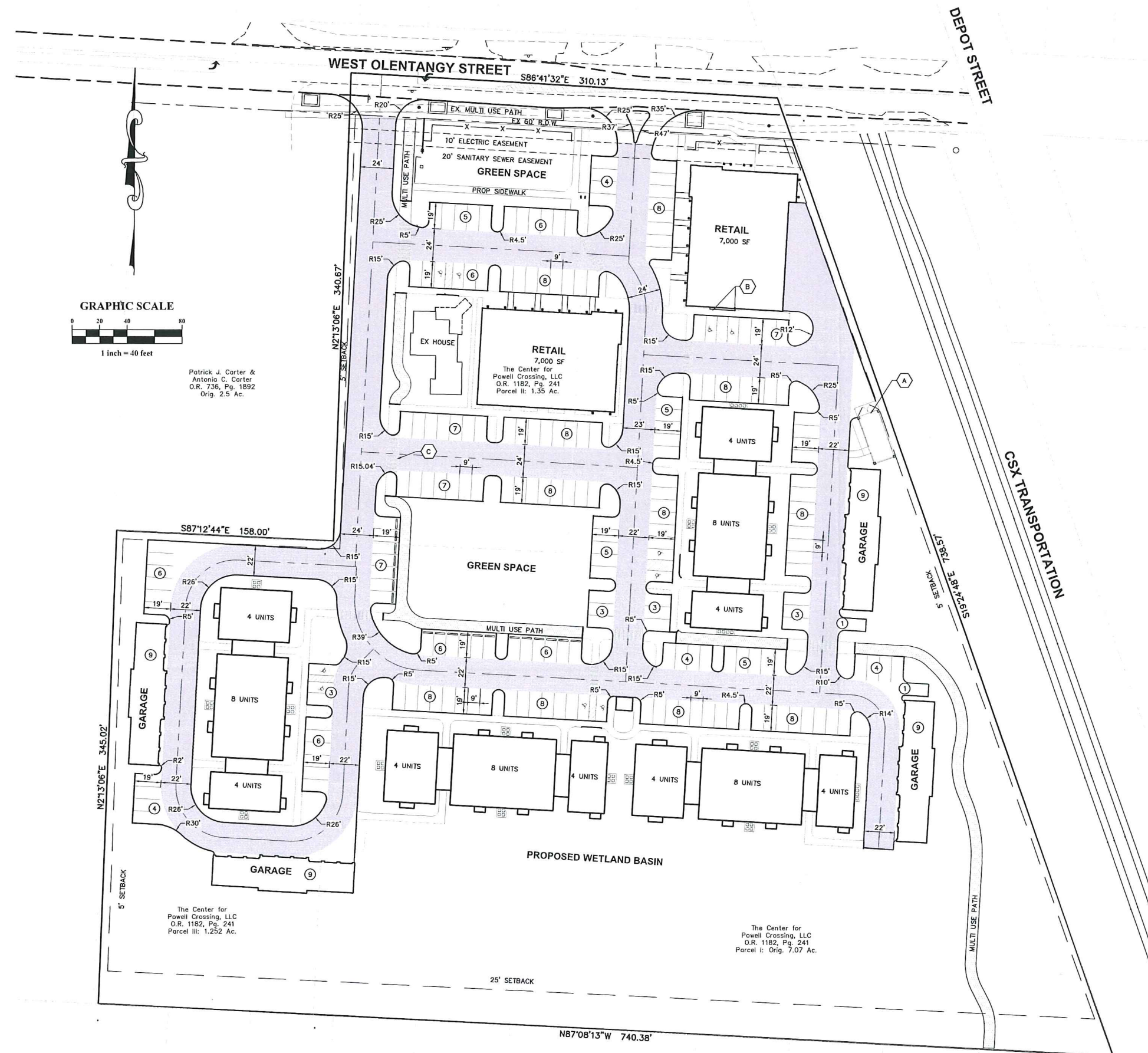


Murphy's Park  
Section 5

EXHIBIT E-4

PLAN PREPARED BY:		422 Brecher Road Gahanna, Ohio 43230 ph 614.428.7750 fax 614.428.7755	
PLAN PREPARED FOR:		ADVANCED CIVIL DESIGN ENGINEERS & SURVEYORS	
CITY OF POWELL/ DELAWARE COUNTY, OHIO		POWELL CROSSING	
FINAL DEVELOPMENT PLAN		FOR	
THE CENTER AT POWELL CROSSING LLC		EXISTING CONDITIONS	
Issue Dates:		Date:	01/03/2014
		Scale:	N/A
Drawn By:	CAW	Checked By:	JMH
Project Number:		13-0001-598	
Drawing Number:		4 / 9	





### GRAPHIC SCALE




1 inch = 40 feet

Patrick J. Carter &  
Antonio C. Carter  
O.R. 736, Pg. 1892  
Orig. 2.5 Ac.

The Center for  
Powell Crossing, LLC  
O.R. 1182, Pg. 241  
Parcel III: 1.252 Ac.

The Center for  
Powell Crossing, LLC  
O.R. 1182, Pg. 241  
Parcel I: Orig. 7.07 Ac

### LEGEND

-  STANDARD DUTY PAVEMENT SECTION  
 HEAVY DUTY PAVEMENT SECTION  
 PROPOSED MULTI-USE PATH

REFERENCE CONSTRUCTION DOCUMENTS FOR PAVEMENT SECTION DETAILS

PARKING = 238 TOTAL  
10 HANDICAPPED  
36 GARAGE  
192 SURFACE PARKING

- A PROPOSED DUMPSTER (BY OTHERS)
- B PROPOSED HANDICAPPED RAMP/SIGNAGE
- C PROPOSED PAINTED CROSSWALKS

## SITE STATISTICS

SOIL: .....UdB, GwB, BoA

ZONING DISTRICT:.....DOWNTOWN BUSINESS DISTRICT  
PROPOSED USE:.....RETAIL & MULTI -FAMILY

TOTAL PROPERTY AREA:.....8.262 ACRES (359,879 SF)  
SITE AREA:.....8.044 ACRES (350,395 SF)  
SITE COVERAGE PROVIDED:.....3.607 ACRES (157,117 SF - 44.8%)

TOTAL BUILDING AREA:	56,056 SF
MULTI-FAMILY & GARAGES:	41,680 SF
RETAIL BUILDINGS	14,376 SF

PAVEMENT AREA: ..... 101,061 SF

PARKING CALCULATIONS:

GARAGE PARKING SPACES.....	36 SPACES
HANDICAPPED SPACES.....	10 SPACES
PAVEMEN/SURFACE SPACES.....	192 SPACES

CITY OF POWELL / DELAWARE COUNTY, OHIO

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**POWELL CROSSING**

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**FINAL DEVELOPMENT PLAN**

FOR

**THE CENTER AT POWELL CROSSING**

---

**SITE PLAN**

---

**Issue Dates:**

Date: 01/03/2014  
Scale: N/A

Drawn By: XXX	Checked By: XXX
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Project Number:  
13-0001-598

Drawing Number:

5 / 9

PLAN PREPARED BY:

PLAN PREPARED FOR:

CITY OF POWELL/ DELAWARE COUNTY, OHIO

**Issue Dates:**

Date: 01/03/2014  
Scale: N/A


Drawn By: XXX	Checked By: XXX
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Project Number:  
13-0001-598

Drawing Number:

5 / 9

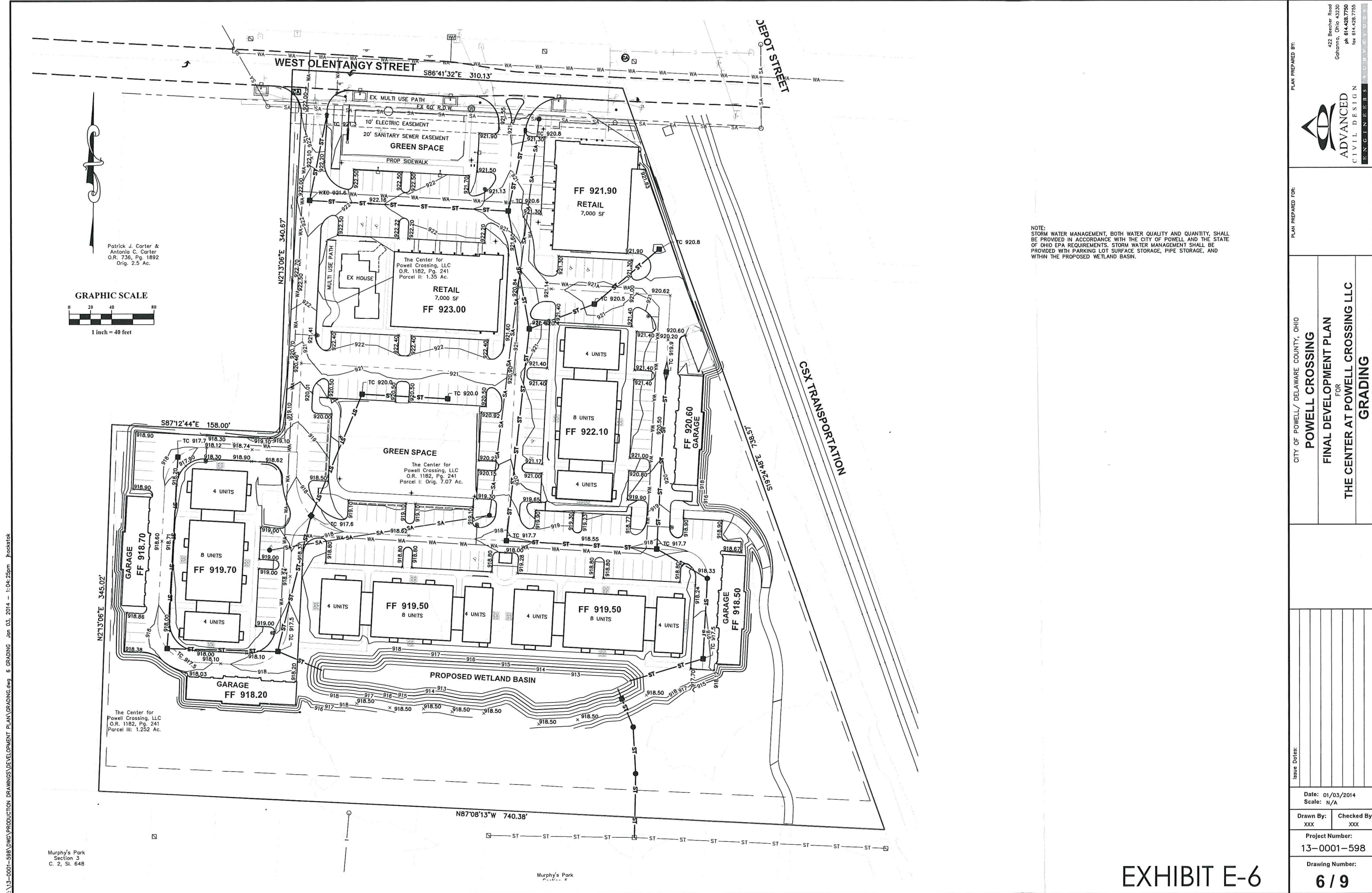
PLAN PREPARED BY:

 **ADVANCED**  
CIVIL DESIGN

422 Brecher Road  
Gahanna, Ohio 43230  
ph 614.428.7750  
fax 614.428.7755

EXHIBIT E-5





NOTE:  
STORM WATER MANAGEMENT, BOTH WATER QUALITY AND QUANTITY, SHALL  
BE PROVIDED IN ACCORDANCE WITH THE CITY OF POWELL AND THE STATE  
OF OHIO EPA REQUIREMENTS. STORM WATER MANAGEMENT SHALL BE  
PROVIDED WITH PARKING LOT SURFACE STORAGE, PIPE STORAGE, AND  
WITHIN THE PROPOSED WETLAND BASIN.

PLAN PREPARED BY:  
CITY OF POWELL / DELAWARE COUNTY, OHIO

PLAN PREPARED FOR:  
POWELL CROSSING  
FINAL DEVELOPMENT PLAN  
FOR  
THE CENTER AT POWELL CROSSING LLC  
GRADING

Issue Dates:  
Date: 01/03/2014  
Scale: N/A  
Drawn By: XXX  
Checked By: XXX  
Project Number:  
13-0001-598  
Drawing Number:  
6 / 9

422 Beecher Road  
Columbus, Ohio 43230  
ph 614-428-7750  
fax 614-428-7755

ADVANCED  
CIVIL DESIGN  
ENGINEERS

EXHIBIT E-6



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- LEGEND**
- SA — PROP. SANITARY SEWER
  - ST — PROP. STORM SEWER
  - WA — PROP. WATERLINE
  - SA — EX. SANITARY SEWER
  - ST — EX. STORM SEWER
  - WA — EX. WATERLINE
  - G — EX. GAS
  - E — EX. ELECTRIC
  - PROP. STORM MH
  - PROP. STORM CATCH BASIN
  - PROP. SANITARY MH
  - PROP. FIREHYDRANT
  - PROP. WATER VALVE

EXHIBIT E-7

PLAN PREPARED BY: <b>ADVANCED CIVIL DESIGN ENGINEERS</b> 422 Beecher Road Columbus, Ohio 43206 ph 614.428.7750 fax 614.428.7750	
PLAN PREPARED FOR: CITY OF POWELL/ DELAWARE COUNTY, OHIO	
PROJECT: <b>POWELL CROSSING</b>	
FINAL DEVELOPMENT PLAN FOR <b>THE CENTER AT POWELL CROSSING LLC</b>	
UTILITY	
Issue Dates:	
Date: 01/03/2014 Scale: N/A	
Drawn By: XXX	Checked By: XXX
Project Number: 13-0001-598	
Drawing Number: 7 / 9	



PLAN ENGINEERS:

ADVANCED CIVIL DESIGN, INC.  
422 BEECHER ROAD  
GAHANNA, OH 43230  
PH (614) 428-7750  
FAX (614) 428-7755  
CONTACT: JASON HOCKSTOK  
EMAIL: JHOCKSTOK@ADVANCEDCIVILDISEGN.COM

SITE MANAGER: UNKNOWN AT THIS TIME  
SITE CONTACT:

PROPERTY OWNER:

THE CENTER AT POWELL CROSSING LLC  
5380 HAVENHILL DRIVE  
COLUMBUS, OHIO 43235  
CHARLIE VINCE, CHRIS VINCE, VALERIE SMATEK

EXISTING SITE DESCRIPTION:

THE SITE IS A WOODED LOT WITH AN EXISTING STRUCTURE ONSITE.  
OVERALL SITE ACREAGE: 8.26 ACRES

EXISTING SITE DRAINAGE CONDITION:

THE EXISTING SITE DRAINS VIA OVERLAND SHEET FLOW TO THE SOUTH INTO A STORM SEWER SYSTEM WITHIN THE EXISTING SUBDIVISION TO THE SOUTH.

ADJACENT AREAS:

THE SITE IS BOUNDED BY WEST OLENTANGY STREET TO THE NORTH, A SINGLE FAMILY SUBOMSION TO THE SOUTH, RAILROAD TRACKS TO THE EAST & A COMMERCIAL PARCEL TO THE WEST

CRITICAL AREAS:

THE SITE IS A WOODED PARCEL AND EFFORT SHOULD BE MADE TO PRESERVE EVERY TREE POSSIBLE.

EROSION & SEDIMENT CONTROL MEASURES:

EROSION AND SEDIMENT RUNOFF WILL BE CONTROLLED BY THE USE OF SEDIMENT FENCE AND INLET PROTECTION. INLET PROTECTION AT ALL EXISTING INLETS SHALL BE PLACED AS A PART OF THE SITE MASS EXCAVATION.

MAINTENANCE:

MAINTENANCE OF THE EROSION & SEDIMENT CONTROL ITEMS SHALL BE IN ACCORDANCE WITH THE NOTES LISTED WITHIN THIS PLAN.

CONSTRUCTION SEQUENCE:  
(EROSION & SED. CONTROL)

1. OBTAIN PROPER CITY OF POWELL, COUNTY, STATE, AND FEDERAL PERMITS.

2. PRIOR TO CONSTRUCTION THE OWNER/OPERATOR SHALL COORDINATE WITH ALL CONTRACTORS AND THE CITY OF POWELL ENGINEER AS REQUIRED.

3. THE CONTRACTOR SHALL CALL THE OHIO UTILITIES PROTECTION SERVICE (OUPS) AT 1-800-362-2784 FORTY-EIGHT (48) HOURS IN ADVANCE OF ANTICIPATED START OF CONSTRUCTION, AND SHALL NOTIFY ALL UTILITY COMPANIES AT LEAST 48 HOURS PRIOR TO WORK IN THE VICINITY OF THEIR LINES:

4. ESTABLISH THE TEMPORARY CONSTRUCTION ENTRANCE INTO THE SITE PER DETAIL ON THIS SHEET.

5. THE CONTRACTOR SHALL INSTALL ORANGE CONSTRUCTION FENCE AROUND ALL PROTECTION AREAS (PRESERVED TREES) PRIOR TO COMMENCEMENT OF WORK.

6. CLEAR NECESSARY VEGETATION FOR THE INSTALLATION OF THE PERIMETER SEDIMENT FENCE.

7. WHILE PERFORMING SITE GRADING ACTIVITIES, DISTURBED AREAS SHALL BE SEEDED WITHIN 7 DAYS OF CONSTRUCTION, DRAINAGE SHALL BE DIRECTED TO A FILTERING FACILITY AT ALL TIMES DURING CONSTRUCTION. TOPSOIL SHALL BE STOCKPILED FOR LATER RE-SPREAD OR HAULED OFFSITE.

8. AS EACH AREA IS DISTURBED AND MOUNDING TAKES PLACE IN ORDER TO PROVIDE COMPACTION AND PLACEMENT OF FILL ACROSS THE SITE, EROSION CONTROL MEASURES SHALL BE USED. STOCKPILES SHALL BE SURROUNDED BY SEDIMENT FENCE AND TEMPORARY SEEDING APPLIED.

9. SEED AND MULCH THE SITE ACCORDING TO THE TEMPORARY AND PERMANENT SEEDING REQUIREMENTS TO REESTABLISH ALL DENUDED AREAS.

10. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF THE TEMPORARY EROSION CONTROL DEVICES ONLY AFTER ALL AREAS HAVE BEEN PAVED AND/OR SEEDED/MULCHED. AFTER REMOVAL OF THE EROSION CONTROL DEVICES, THE CONTRACTOR SHALL CLEAN ALL INLETS AND STORM SEWER PIPES OF ALL SEDIMENT INCURRED DURING CONSTRUCTION

CONTRACTOR RESPONSIBILITY:

DETAILS HAVE BEEN PROVIDED ON THE PLANS IN AN EFFORT TO HELP THE CONTRACTOR PROVIDE EROSION AND SEDIMENTATION CONTROL. THE DETAILS SHOWN ON THE PLAN SHALL BE CONSIDERED A MINIMUM. ADDITIONAL OR ALTERNATE DETAILS MAY BE FOUND IN THE S.C.S. MANUAL "WATER MANAGEMENT AND SEDIMENT CONTROL FOR URBANIZING AREAS." THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR PROVIDING NECESSARY AND ADEQUATE MEASURES FOR PROPER CONTROL OF EROSION AND SEDIMENT RUNOFF FROM THE SITE ALONG WITH PROPER MAINTENANCE AND INSPECTION IN COMPLIANCE WITH THE NPDES GENERAL PERMIT FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY.

CONCRETE WASHOUT AREA

CONCRETE WASHOUT AREA

4' X 4'

5' MIN

HOLLOW OUT AREA 6" MINIMUM

8" MIN.

SOIL BERM

FILL 4" - 6" WITH AGGREGATE (No. 57, No. 4, OR No. 2)

STREET

SILT FENCE

CONCRETE WASHOUT AREA

CONSTRUCTION ENTRANCE

(NO SCALE)

ENTRANCE SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MUD AND DIRT TRACKED ONTO PUBLIC ROADWAY. PERIODIC STREET CLEANING MAY BE REQUIRED AND SHOULD BE INCLUDED IN THE BID PRICE FOR ITEM 207, EROSION AND SEDIMENT CONTROL.

WATER BAR - A WATER BAR SHALL BE CONSTRUCTED AS PART OF THE CONSTRUCTION ENTRANCE TO PREVENT RUNOFF FROM FLOWING THE LENGTH OF THE CONSTRUCTION ENTRANCE AND OUT ONTO PAVED SURFACES.

WATER BAR DIVERSION

50' MINIMUM

8" MINIMUM NO. 2 STONE

GEOTEXTILE UNDERLINER

GENERAL EROSION AND SEDIMENT CONTROL NOTES

PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN DAYS AFTER FINAL PROPOSED GRADE IS REACHED ON ANY PORTION OF THE SITE. ALL DENUDED AREAS SHALL BE CONSTRUCTED TO FINAL PROPOSED GRADE AS QUICKLY AS POSSIBLE AND SHOULD NOT BE LEFT DORMANT UNLESS SITE CONDITIONS DO NOT ALLOW FINAL GRADING TO BE COMPLETED. SOIL STABILIZATION SHALL ALSO BE APPLIED WITHIN SEVEN DAYS TO DENUDED AREAS WHERE GRADING MAY NOT BE COMPLETE, BUT WILL REMAIN DORMANT (UNDISTURBED) FOR LONGER THAN FORTY-FIVE DAYS.

SHEET FLOW RUNOFF FROM DENUDED AREAS SHALL BE FILTERED OR DIVERTED TO A SETTLING FACILITY.

SEDIMENT BARRIERS SUCH AS SEDIMENT FENCE OR DIVERSIONS TO SETTLING FACILITIES SHALL PROTECT ADJACENT PROPERTIES AND WATER RESOURCES FROM SEDIMENT TRANSPORTED BY SHEET FLOW.

PRIOR TO CONSTRUCTION OPERATIONS IN A PARTICULAR AREA, ALL SEDIMENTATION AND EROSION CONTROL FEATURES SHALL BE IN PLACE. FIELD ADJUSTMENTS WITH RESPECT TO LOCATIONS AND DIMENSIONS MAY BE MADE BY THE ENGINEER.

THE CONTRACTOR SHALL PLACE INLET PROTECTION FOR THE EROSION CONTROL IMMEDIATELY AFTER CONSTRUCTION OF THE CATCH BASINS OR INLETS WHICH ARE NOT TRIBUTARY TO A SEDIMENT BASIN OR DAM.

THE LIMITS OF SEEDING AND MULCHING WILL EXTEND OVER THE PROJECT AREA IN ACCORDANCE WITH THE LEVEL OF DISTURBANCE ASSOCIATED WITH THE ACTUAL CONSTRUCTION SEQUENCE. ALL AREAS NOT DESIGNATED TO BE SEEDED SHALL REMAIN UNDER NATURAL GROUND COVER. THOSE AREAS DISTURBED OUTSIDE THE SEEDING LIMITS SHALL BE SEEDED AND MULCHED AT THE CONTRACTOR'S EXPENSE.

TEMPORARY SEEDING

Area requiring temporary stabilization	Time frame to apply erosion controls
Any disturbance areas within 50 feet of a surface water of the State and not at final grade	Within two days of the most recent Disturbance if the area will remain idle for more than 21 days
For all construction activities, any disturbed areas that will be dormant for more than 21 days but less than one year, and not within 50 feet of a surface water of the State	Within seven days of the most recent disturbance within the area  For residential subdivisions, disturbed areas must be stabilized at least seven days prior to transfer of permit coverage for the individual lot(s)
Disturbed areas that will be idle over winter	Prior to the onset of winter weather

PERMANENT SEEDING

Area requiring Permanent stabilization	Time frame to apply erosion controls
Any area that will lie dormant for one year or more	Within seven days of the most recent disturbance
Any areas within 50 feet of a surface water of the State and at final grade	Within two days of reaching final grade
Any other areas at final grade	Within seven days of reaching final grade within that area

DESCRIPTION

DATES

RECOMMENDED APPLICATION RATE (OR EQUIVALENT) AS SPECIFIED IN RAINWATER & LAND DEVELOPMENT

PERMANENT SEEDING

MARCH 1-SEPT 30

GENERAL USE  
MIX OF - CREEPING RED FESCUE @ 20-40 LB/AC  
DOMESTIC RYEGRASS @ 10-20 LB/AC  
KENTUCKY BLUEGRASS @ 10-20 LB/AC  
  
STEEP BANKS  
ROAD DITCHES  
TALL FESCUE @ 40 LB/AC

TEMPORARY SEEDING

MARCH 1-SEPT 30

MIX OF - PERENIAL RYEGRASS @ 40 LB/AC  
TALL FESCUE @ 40 LB/AC  
ANNUAL RYEGRASS @ 40 LB/AC

DORMANT SEEDING

OCT 1-NOV 20

PREPARE SEEDBED, ADD LIME & FERTILIZER, THEN MULCH. FROM NOV 21 THROUGH MARCH 15, APPLY THE SELECTED SEED MIXTURE AT A 50% INCREASE IN RATE.

NOV 20-MARCH 15

PREPARE SEEDBED, ADD LIME & FERTILIZER, APPLY THE SELECTED SEED MIXTURE AT A 50% INCREASE IN RATE, THEN MULCH.

MULCH

ANY TIME OF YEAR

STRAW 2 TONS/AC OR 90 LB/1000FT  
HYDROSEED (WOOD CELLULOSE FIBER) 1 TON/AC OR 46 LB/1000FT

MAINTENANCE:

IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THE SEDIMENT CONTROL FEATURES USED ON THIS PROJECT. THE SITE SHALL BE INSPECTED EVERY 7 DAYS AND WITHIN 24 HOURS OF A STORM EVENT GREATER THAN 0.5" PER 24 HOUR PERIOD. RECORDS OF THESE INSPECTIONS SHALL BE KEPT AND MADE AVAILABLE TO JURISDICTIONAL AGENCIES IF REQUESTED. ANY SEDIMENT OR DEBRIS WHICH HAS REDUCED THE EFFICIENCY OF A STRUCTURE SHALL BE REMOVED IMMEDIATELY. SHOULD A STRUCTURE OR FEATURE BECOME DAMAGED, THE CONTRACTOR SHALL REPAIR OR REPLACE AT NO ADDITIONAL COST TO THE OWNER.

SCHEDULE:

THE CONTRACTOR SHALL PROVIDE A SCHEDULE OF OPERATIONS TO THE CONSTRUCTION MANAGER. SEDIMENTATION AND EROSION CONTROL FEATURES SHALL BE PLACED IN ACCORDANCE WITH THIS SCHEDULE.

CONTRACTOR RESPONSIBILITY

DETAILS HAVE BEEN PROVIDED ON THE PLANS IN AN EFFORT TO HELP THE CONTRACTOR PROVIDE EROSION AND SEDIMENTATION CONTROL. THE DETAILS SHOWN ON THE PLAN SHALL BE CONSIDERED A MINIMUM. ADDITIONAL OR ALTERNATE DETAILS MAY BE FOUND IN THE S.C.S. MANUAL "WATER MANAGEMENT AND SEDIMENT CONTROL FOR URBANIZING AREAS." THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR PROVIDING NECESSARY AND ADEQUATE MEASURES FOR PROPER CONTROL OF EROSION AND SEDIMENT RUNOFF FROM THE SITE ALONG WITH PROPER MAINTENANCE AND INSPECTION IN COMPLIANCE WITH THE NPDES GENERAL PERMIT FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY.

THE CONTRACTOR SHALL PROVIDE A SCHEDULE OF OPERATIONS TO THE OWNER. THE SCHEDULE SHOULD INCLUDE A SEQUENCE OF THE PLACEMENT OF THE SEDIMENTATION AND EROSION CONTROL MEASURES THAT PROVIDES FOR CONTINUAL PROTECTION OF THE SITE THROUGHOUT THE EARTH MOVING ACTIVITIES.

THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT OFF-SITE TRACKING OF SEDIMENTS BY VEHICLES AND EQUIPMENT IS MINIMIZED. ALL SUCH OFF-SITE SEDIMENT SHALL BE CLEANED UP DAILY.

SEDIMENT FENCE NOTES

SILT FENCE: THIS SEDIMENT BARRIER UTILIZES STANDARD STRENGTH OR EXTRA STRENGTH SYNTHETIC FILTER FABRICS. IT IS DESIGNED FOR SITUATIONS IN WHICH ONLY SHEET OR OVERLAND FLOWS ARE EXPECTED.

1. THE HEIGHT OF A SILT FENCE SHALL NOT EXCEED 36-INCHES (HIGHER FENCES MAY IMPOUND VOLUMES OF WATER SUFFICIENT TO CAUSE FAILURE OF THE STRUCTURE).

2. THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID THE USE OF JOINTS. WHEN JOINTS ARE NECESSARY, FILTER CLOTH SHALL BE SPLICED TOGETHER ONLY AT A SUPPORT POST, WITH A MINIMUM OF A 6 INCH OVERLAP, AND SECURELY SEALED.

3. POSTS SHALL BE SPACED A MAXIMUM OF 10 FEET APART AT THE BARRIER LOCATION AND DRIVEN SECURELY INTO THE GROUND (MINIMUM OF 12-INCHES). WHEN EXTRA STRENGTH FABRIC IS USED WITHOUT THE WIRE SUPPORT FENCE, POST SPACING SHALL NOT EXCEED 6 FEET.

4. A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4-INCHES WIDE AND 4 INCHES DEEP ALONG THE LINE OF POSTS AND UPSLOPE FROM THE BARRIER.

5. WHEN STANDARD STRENGTH FILTER FABRIC IS USED, A WIRE MESH SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY DUTY WIRE STAPLES AT LEAST 1-INCH LONG, THE WIRES OR HOG RINGS. THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF 2-INCHES AND SHALL NOT EXTEND MORE THAN 36-INCHES ABOVE THE ORIGINAL GROUND SURFACE.

6. THE STANDARD STRENGTH FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE FENCE, AND 8-INCHES OF THE FABRIC SHALL BE EXTENDED INTO THE TRENCH. THE FABRIC SHALL NOT EXTEND MORE THAN 36-INCHES ABOVE THE ORIGINAL GROUND SURFACE. FILTER FABRIC SHALL NOT BE STAPLED TO EXISTING TREES.

7. WHEN EXTRA STRENGTH FILTER FABRIC AND CLOSER POST SPACING ARE USED, THE WIRE MESH SUPPORT FENCE MAY BE ELIMINATED. IN SUCH A CASE, THE FILTER FABRIC IS STAPLED OR WIRED DIRECTLY TO THE POSTS WITH ALL OTHER PROVISIONS OF ITEM NO. 6 APPLYING.

8. THE TRENCH SHALL BE BACKFILLED AND SOIL COMPACTED OVER THE FILTER FABRIC.

9. SILT FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UPSLOPE AREA HAS BEEN PERMANENTLY STABILIZED.

SILT FENCES AND FILTER BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.

MAINTENANCE

SHOULD THE FABRIC ON A SILT FENCE OR FILTER BARRIER DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER IS STILL NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.

SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.

ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE OR FILTER BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM WITH THE EXISTING GRADE, PREPARED AND SEEDED.

SEDIMENT FENCE DETAIL

(No Scale)

DANDY BAG

INSTALLATION:

STAND GRATE ON END. PLACE DANDY BAG OVER GRATE. ROLL GRATE OVER SO THAT OPEN END IS UP. PULL UP SLACK. TUCK FLAP IN. BE SURE END OF GRATE IS COMPLETELY COVERED BY FLAP OR DANDY BAG WILL NOT FIT PROPERLY. HOLDING HANDLES, CAREFULLY PLACE DANDY BAG WITH GRATE INSERTED INTO CATCH BASIN FRAME SO THAT RED DOT ON THE TOP OF THE DANDY BAG IS VISIBLE.

MAINTENANCE:

WITH A STIFF BRISTLE BROOM OR SQUARE POINT SHOVEL REMOVE SILT & OTHER DEBRIS OFF SURFACE AFTER EACH EVENT.

INLET PROTECTION DETAIL

(No Scale)

DANDY BAG MAY ONLY BE USED IF IT IS NOT POSSIBLE TO USE THE SILT FENCE INLET FILTER

SILT FENCE INLET FILTER

(No Scale)

Use for all inlets.

PLAN VIEW

Attach Filter Fabric Securely to 2x4 Wood Frame, Overlapping Fabric to Next Stake

Drop Inlet

Top Frame Necessary for Stability

2x4 Wood Frame (100x50) 4 Sides of D.I.

NOTES:

1. DROP INLET SEDIMENT BARRIERS ARE TO BE USED FOR SMALL, NEARLY LEVEL DRAINAGE AREAS. (LESS THAN 5%)

2. USE 2"x4" WOOD OR EQUIVALENT METAL STAKES, 3' (1M) MINIMUM LENGTH.

3. INSTALL 2"x4" WOOD TOP FRAME TO INSURE STABILITY.

4. THE TOP OF THE FRAME (PONDING HEIGHT) MUST BE WELL BELOW THE GROUND ELEVATION DOWNSLOPE TO PREVENT RUNOFF FROM BY- PASSING THE INLET. A TEMPORARY DIKE MAY BE NECESSARY ON THE DOWNSLOPE SIDE OF THE STRUCTURE.

PLAN PREPARED BY:

PLAN PREPARED FOR:

CITY OF POWELL/ DELAWARE COUNTY, OHIO

POWER CROSSING

FINAL DEVELOPMENT PLAN

FOR

THE CENTER AT POWELL CROSSING LLC

EROSION CONTROL NOTES & DETAILS

Issue Dates:

Date: 01/03/2014  
Scale: N/A

Drawn By: XXX  
Checked By: XXX

Project Number:  
13-0001-598

Drawing Number:

8 / 9



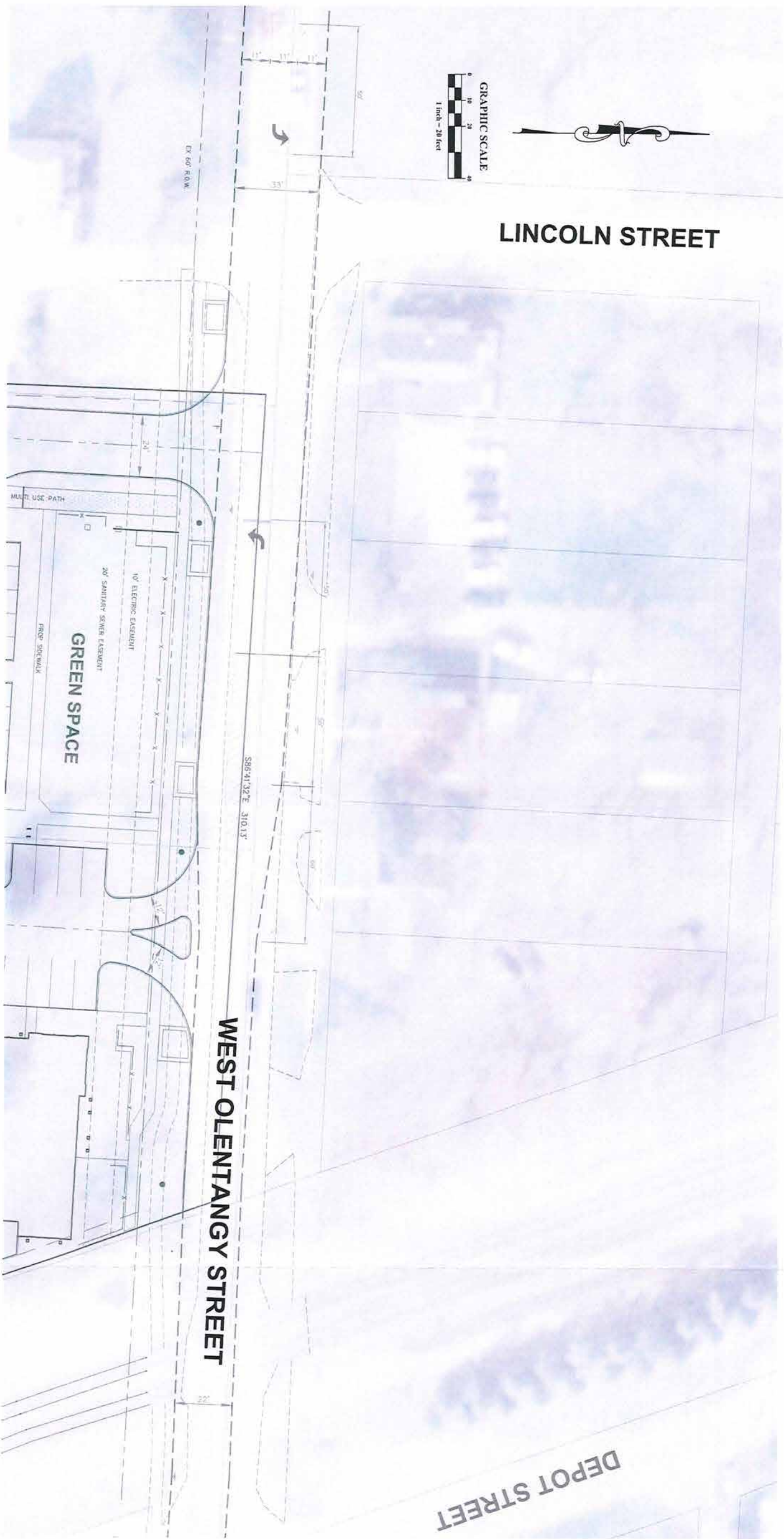



EXHIBIT E-9

CITY OF POWELL/ DELAWARE COUNTY, OHIO <b>POWELL CROSSING</b>		PLAN PREPARED FOR:	 <b>ADVANCED</b> CIVIL DESIGN ENGINEERS	PLAN PREPARED BY:  422 Beecher Road Gahanna, Ohio 43230 ph 614.428.7750 fax 614.428.7755
<b>FINAL DEVELOPMENT PLAN</b> FOR <b>THE CENTER AT POWELL CROSSING LLC</b>		<b>OFFSITE ROADWAY EXHIBIT</b>		
Issue Dates:				
Date: 01/03/2014				
Scale: 1/4"				
Drawn By: CAW				
Checked By: JMK				
Project Number: 13-0001-598				
Drawing Number: 9/9				



## **Exhibit "F" - Architectural Elevations**





BOARD AND BATTEN SIDING



STANDING SEAM METAL ROOF



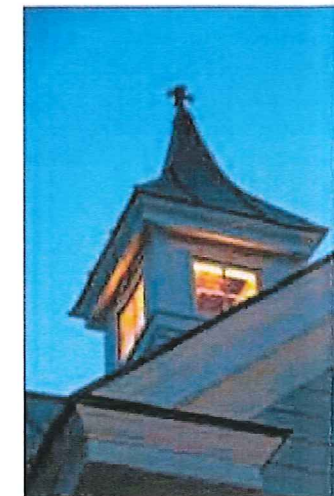
ARCHITECTURAL DIMENSIONAL ASPHALT SHINGLE



STONE VENEER



EXTERIOR LIGHT - GOOSE NECK



CUPOLA



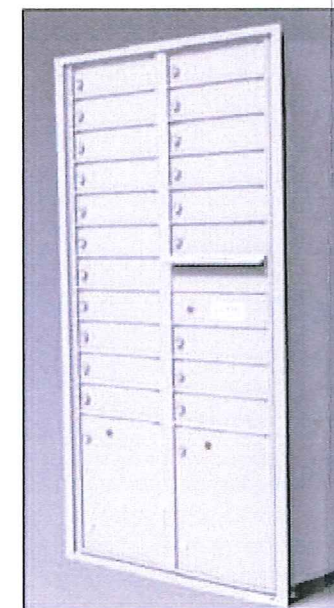
EXTERIOR LIGHT - WALL SCONCE



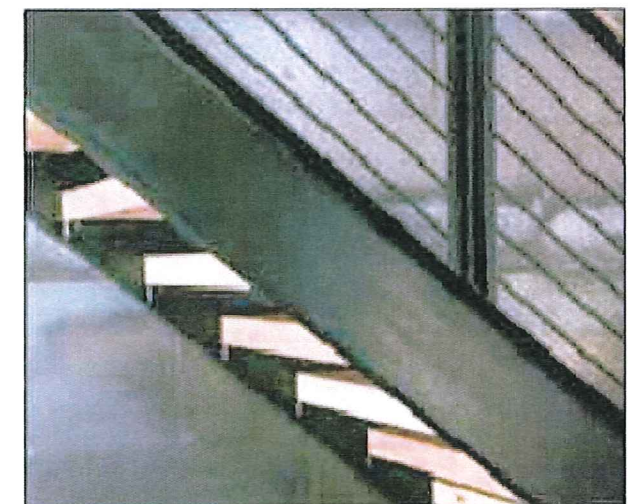
CEMENT BOARD SIDING



ALUMINUM BALCONY RAILINGS

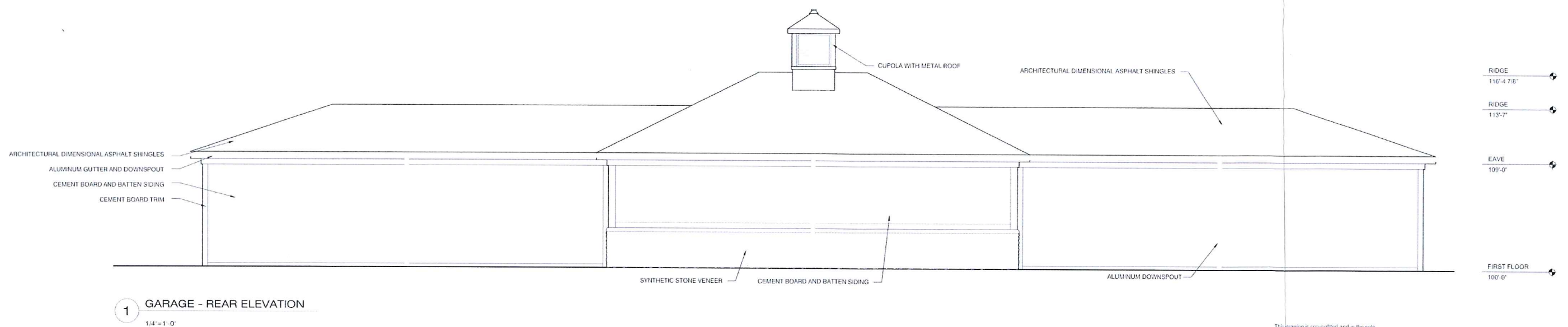
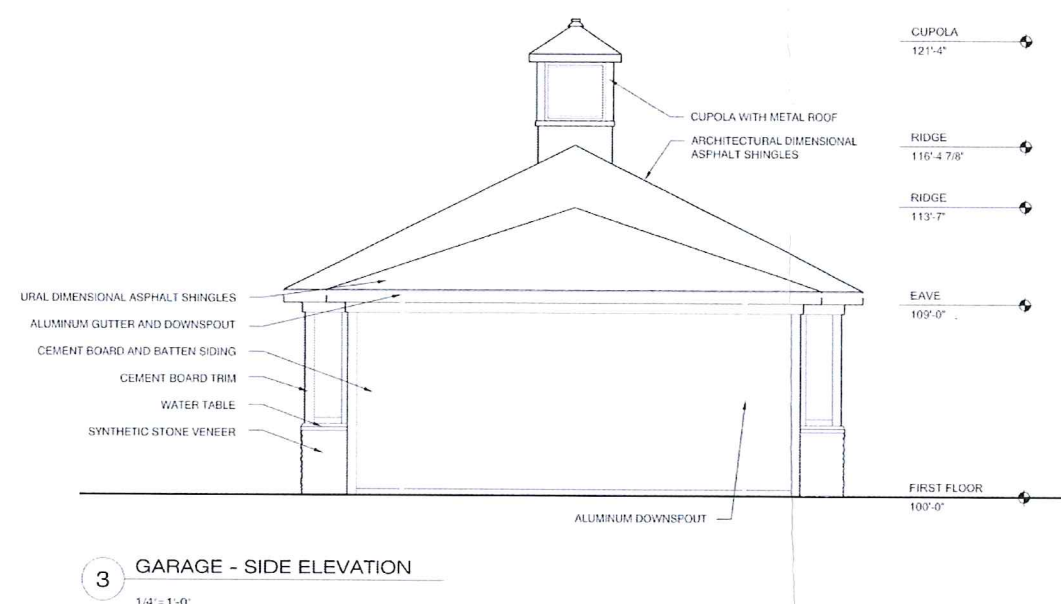
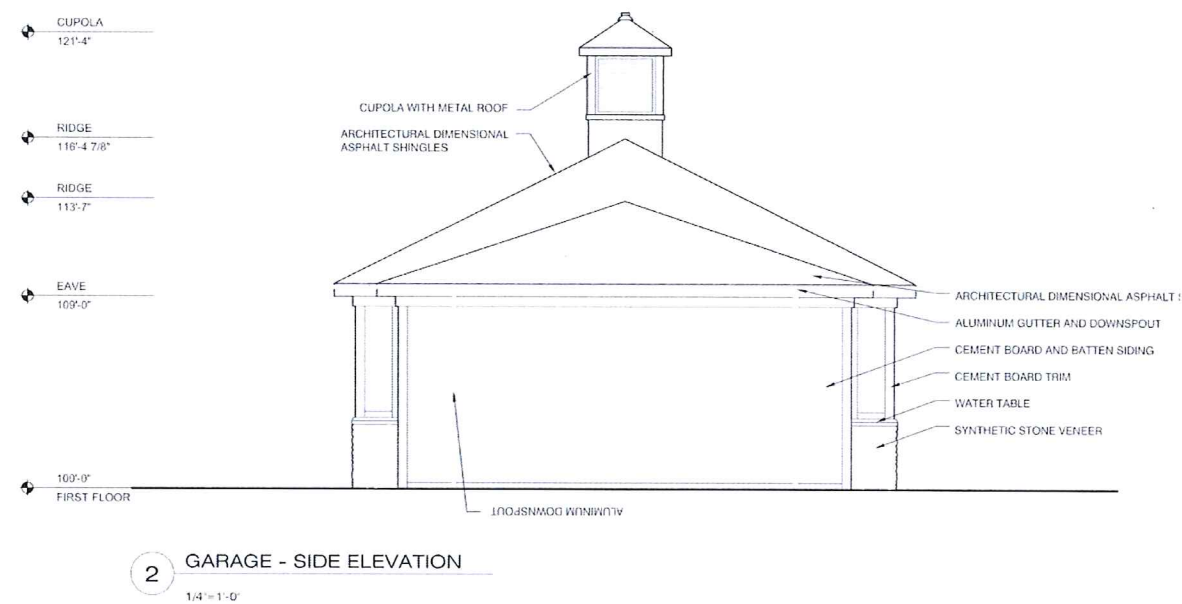
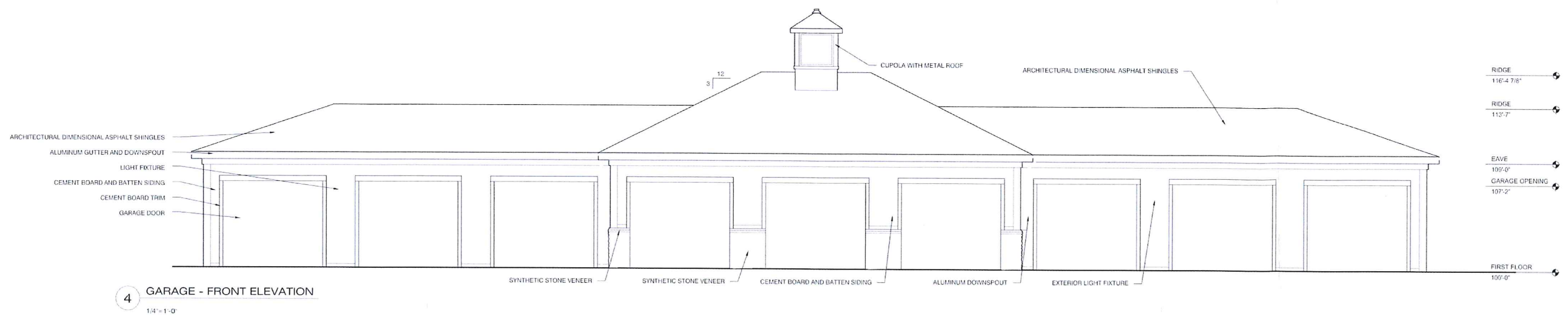


MAILBOXES



HEAVY TIMBER STAIRS





powell crossing

garages

EXHIBIT F-2

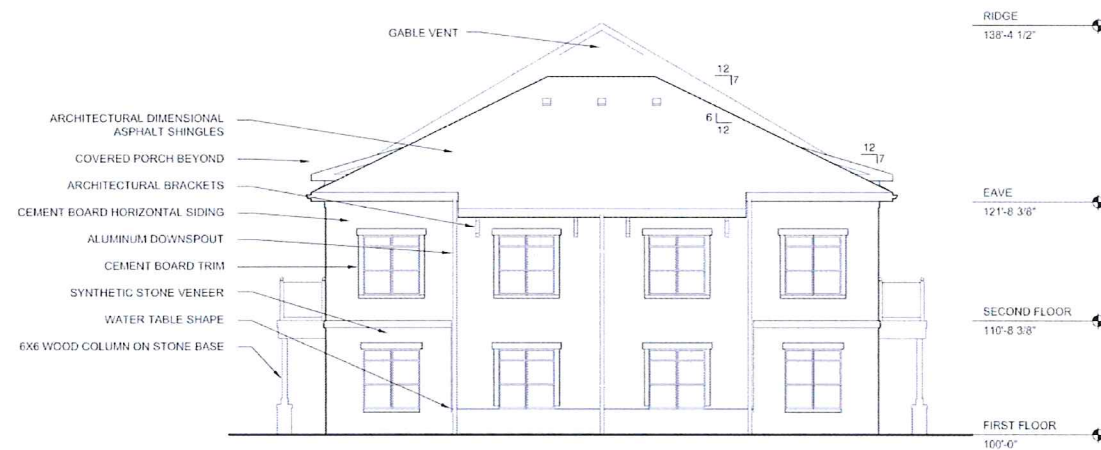
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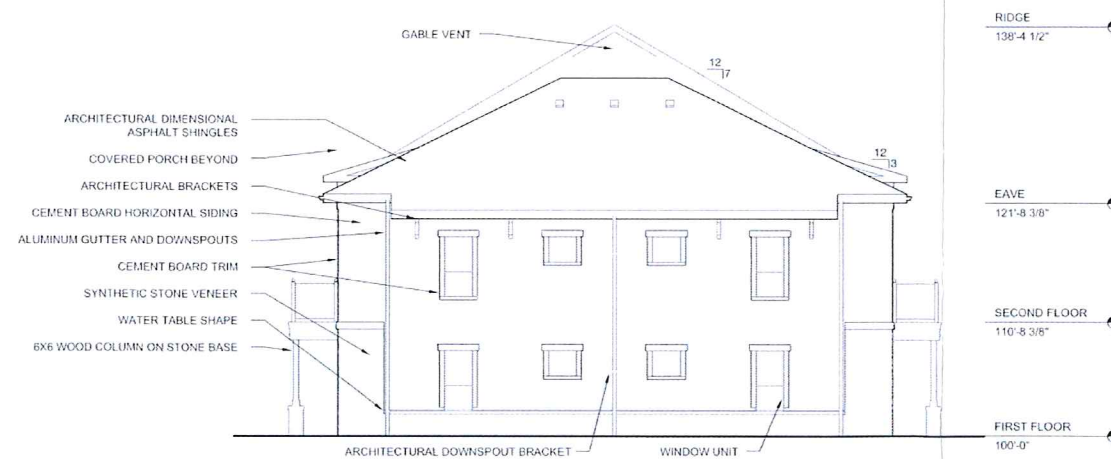




3 Front/Rear Elevation  
1/8" = 1'-0"

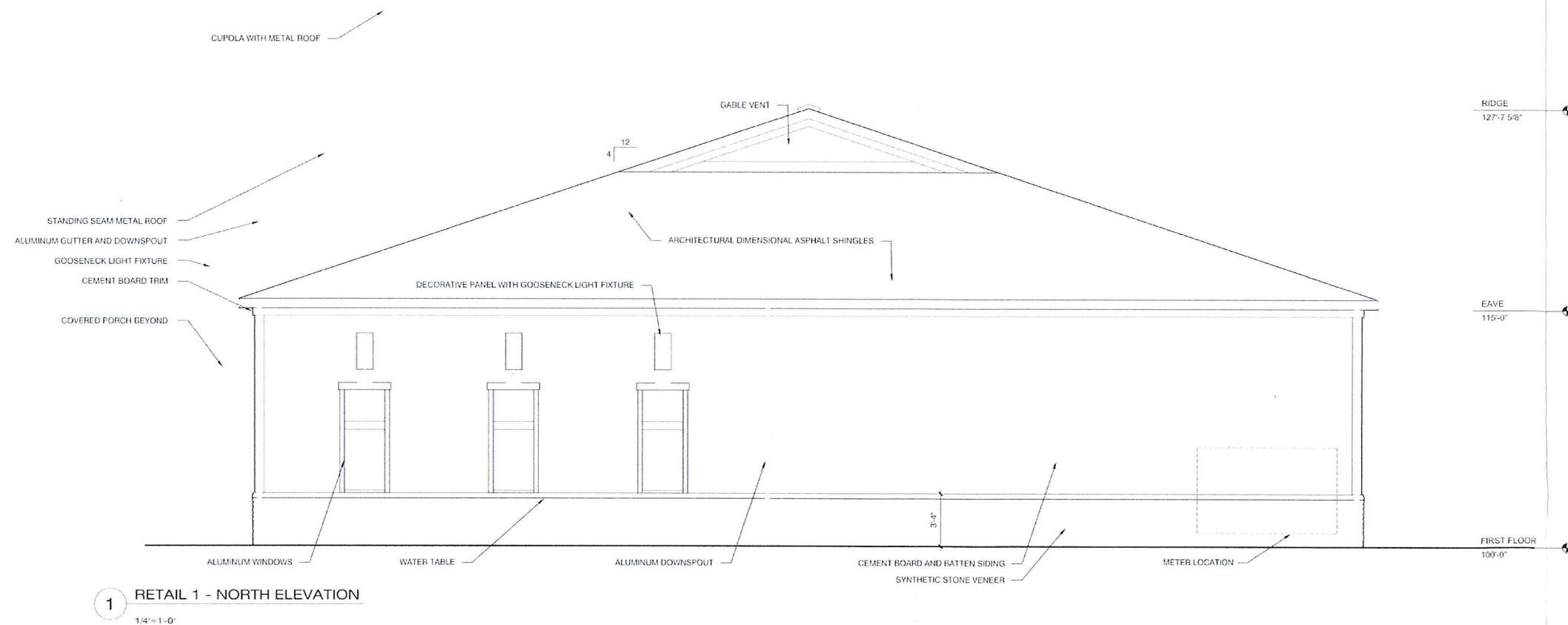
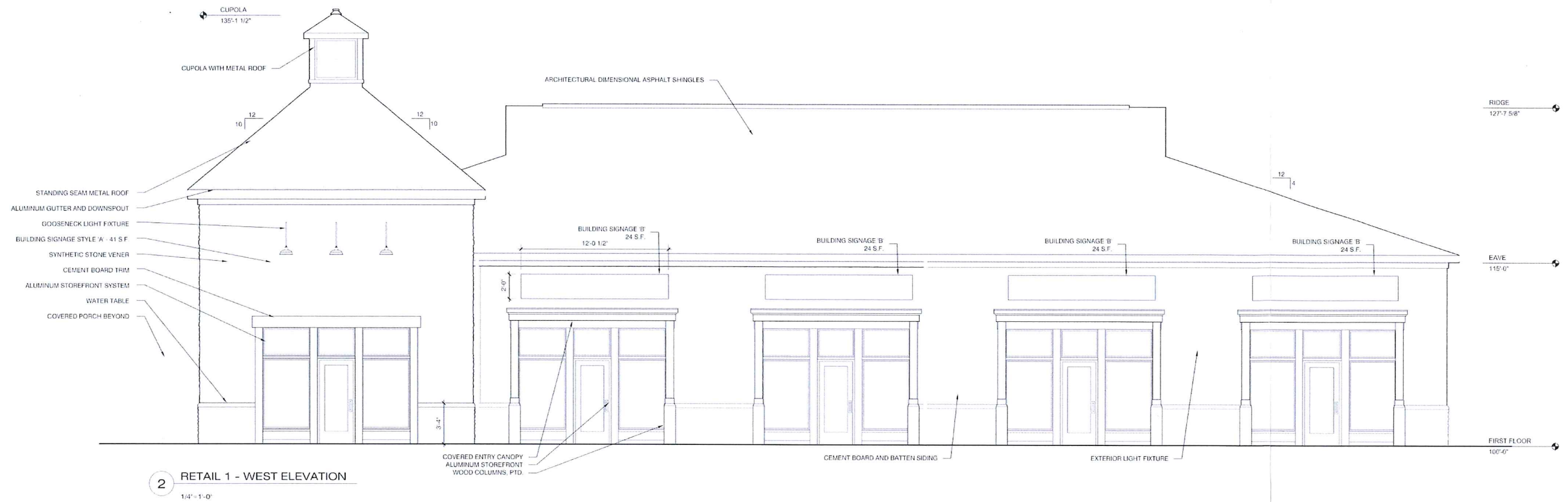


1 Left Elevation  
1/8" = 1'-0"



2 Right Elevation  
1/8" = 1'-0"





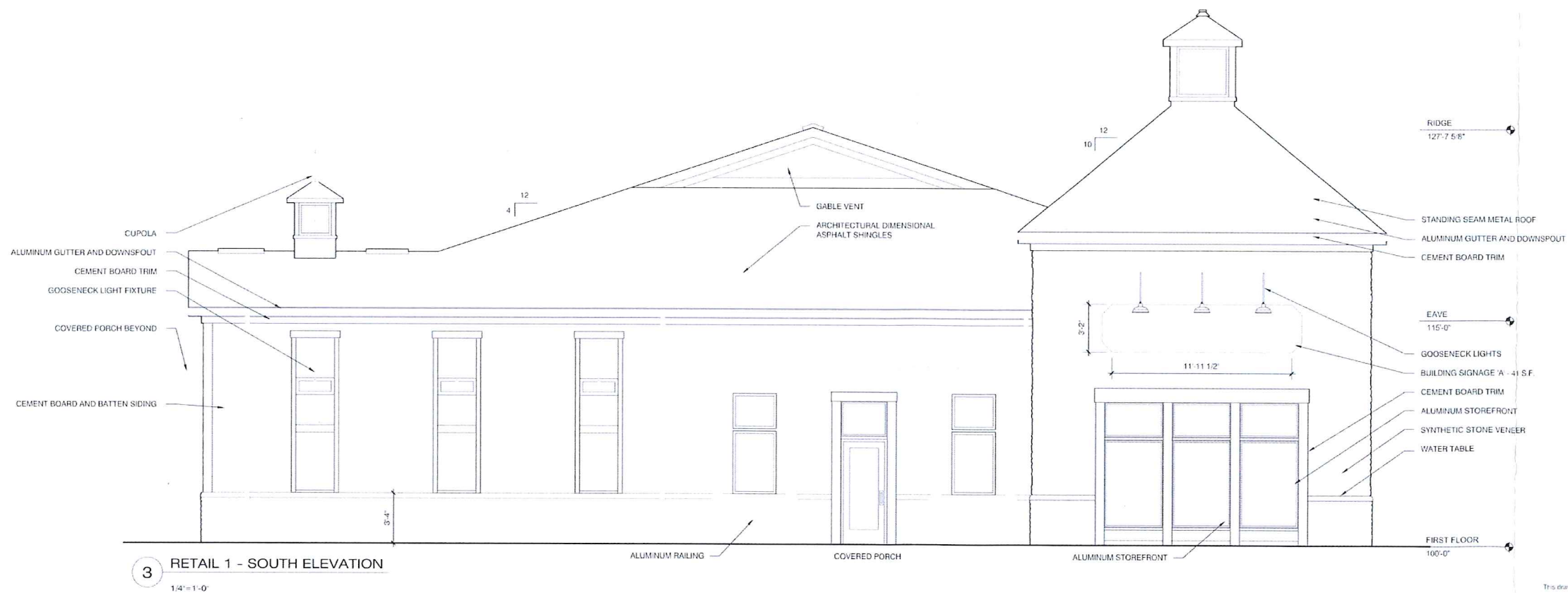
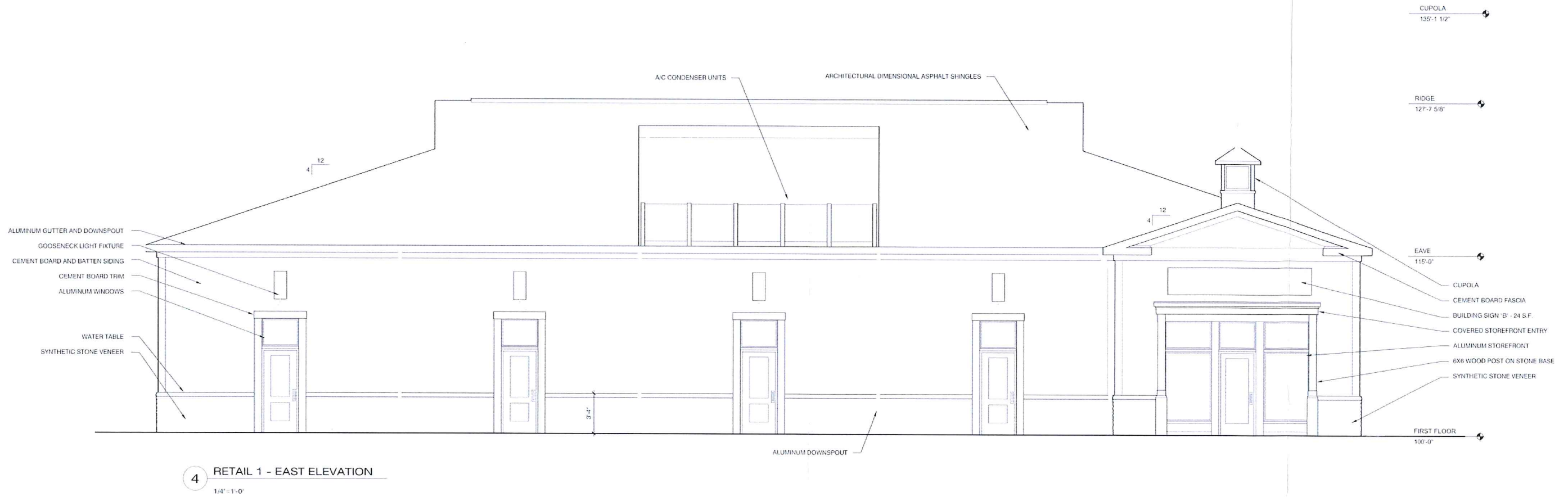
powell crossing

retail 1 building

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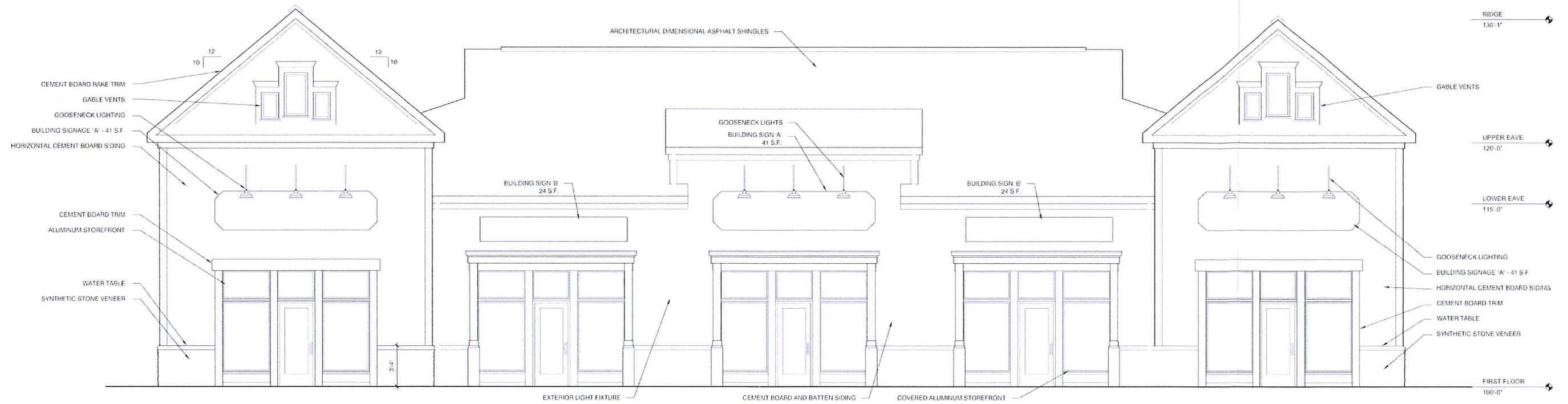
retail 1 building

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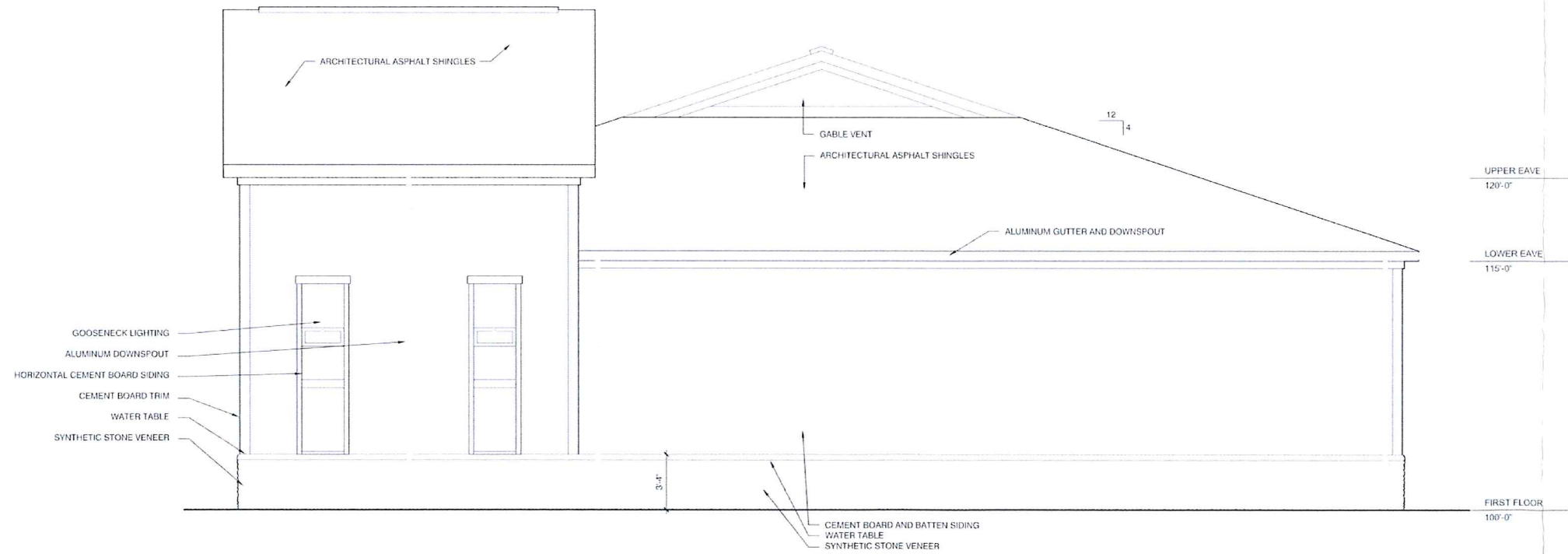
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2 NORTH ELEVATION

1/4" = 1'-0"



1 WEST ELEVATION

1/4" = 1'-0"

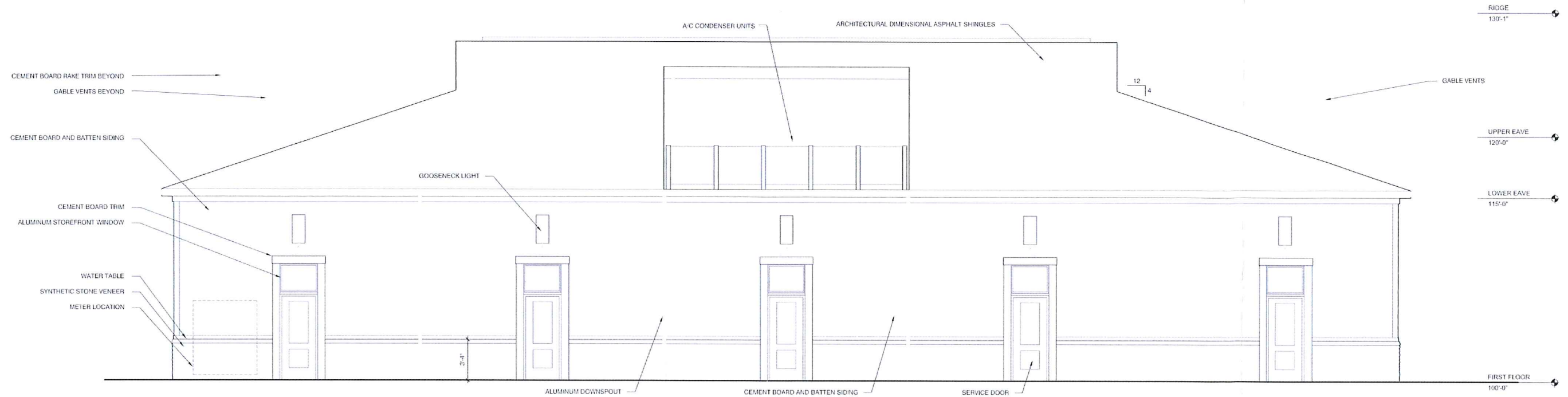
powell crossing

retail 2 building

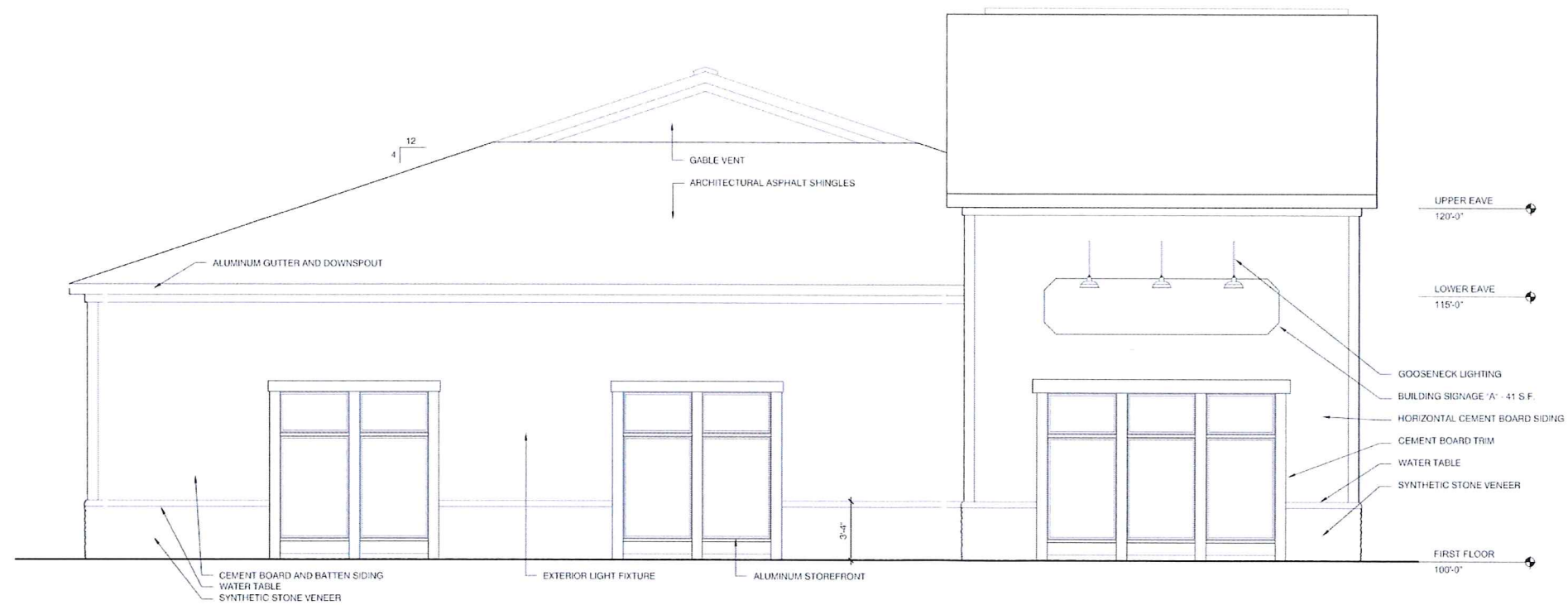
EXHIBIT F-6

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4 SOUTH ELEVATION  
1/4" = 1'-0"



3 EAST ELEVATION  
1/4" = 1'-0"

powell crossing

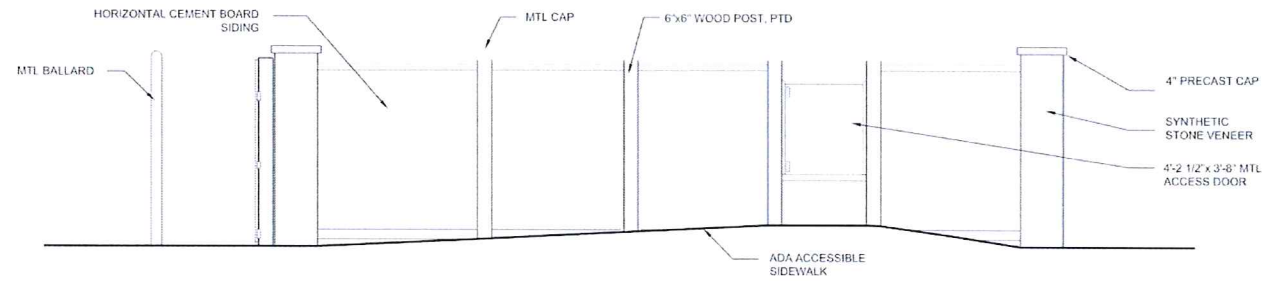
retail 2 building

EXHIBIT F-7

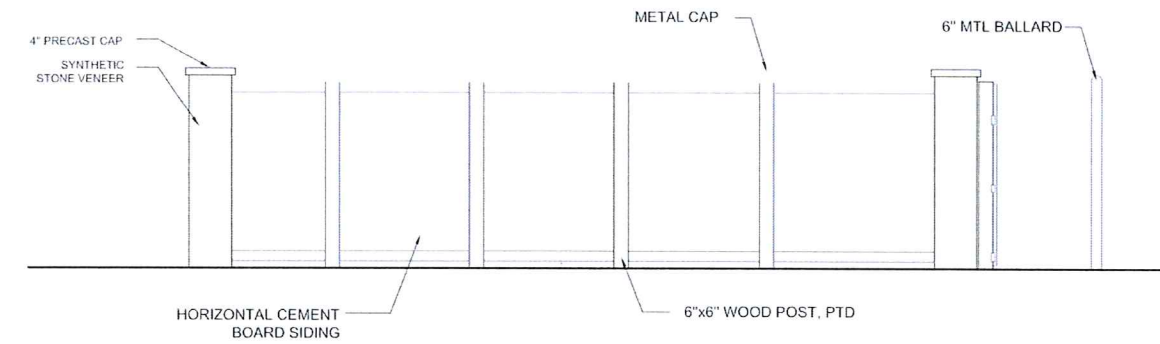
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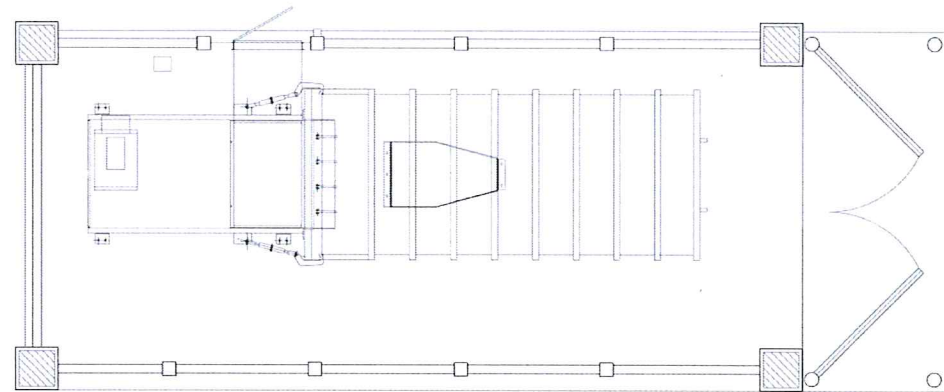




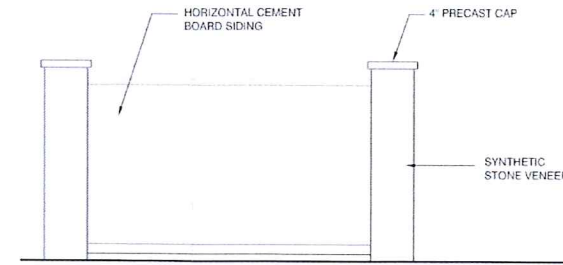
4 COMPACTOR ENCLOSURE - SIDE ELEVATION  
1/4" = 1'-0"



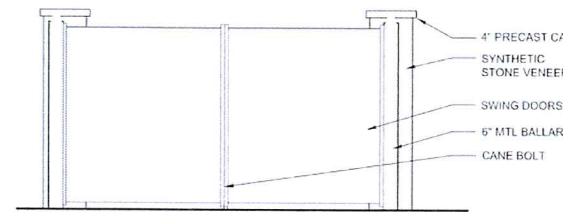
2 COMPACTOR ENCLOSURE - SIDE ELEVATION  
1/4" = 1'-0"



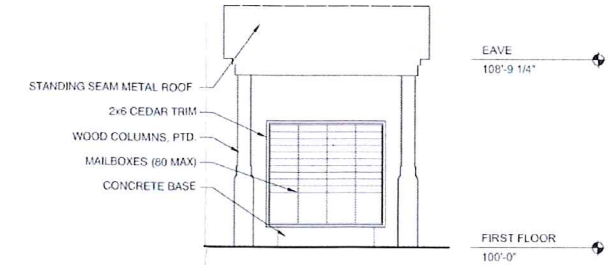
1 COMPACTOR ENCLOSURE - PLAN  
1/4" = 1'-0"



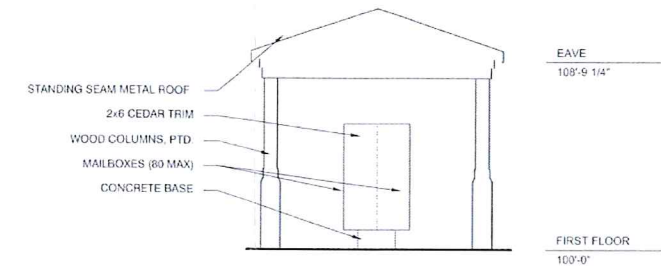
5 COMPACTOR ENCLOSURE - REAR ELEVATION  
1/4" = 1'-0"



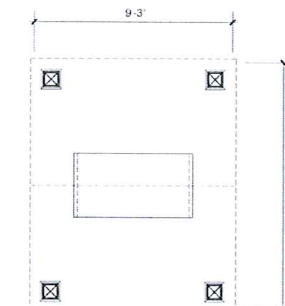
3 COMPACTOR ENCLOSURE - FRONT ELEVATION  
1/4" = 1'-0"



8 MAIL KIOSK - FRONT/REAR ELEVATION  
1/4" = 1'-0"



7 MAIL KIOSK - SIDE ELEVATION  
1/4" = 1'-0"



6 MAIL KIOSK - PLAN  
1/4" = 1'-0"

compactor enclosure

mail kiosk

## **Exhibit "H" – Tree Survey and Preservation Plan**





○ X EXISTING TREE TO BE PRESERVED\*

X EXISTING TREE TO BE REMOVED\*

## PRESERVED TREES

TREES PRESERVED ON SITE	CALIPER INCHES
	2.883"

\*CROSS-REFERENCE TREE NUMBER ON PLAN WITH INDEX ON EXHIBIT H-2 FOR MORE INFORMATION REGARDING SPECIFIC TREES.

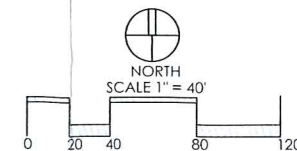
## TREE PRESERVATION PLAN

# POWELL CROSSING

PREPARED FOR THE CENTER AT POWELL CROSSING, LLC.

DATE: 1.3.2014

## EXHIBIT H-1



**Faris Planning & Design**

LAND PLANNING

243 N. 5th Street  
p (614) 487-1964

LANDSCAPE ARCHITECTURE

Suite 401  
Columbus, OH 43215  
www.farisplanninganddesign.com



EXISTING TREES

NO.	SIZE	SPECIES	CONDITION	STATUS
1	13"	MAPLE	FAIR	PRESERVE
2	9"	MAPLE	FAIR	PRESERVE
3	12"	MAPLE	FAIR	PRESERVE
4	9"	MAPLE	FAIR	PRESERVE
5	MS 20"	CATALPA	FAIR	PRESERVE
6	15"	MAPLE	FAIR	PRESERVE
7	40"	CATALPA	FAIR	REPLACE - 6
8	38"	CATALPA	FAIR	REPLACE - 6
9	44"	CATALPA	FAIR	REPLACE - 7
10	47"	CATALPA	FAIR	REPLACE - 7
11	12"	W. MULBERRY	FAIR	REPLACE - 2
12	15"	SPRUCE	FAIR	REPLACE - 2
13	19"	SPRUCE	POOR	REPLACE - 3
14	20"	MAPLE	FAIR	REPLACE - 3
15	34"	OAK	FAIR	REPLACE - 5
16	14"	PINE	POOR	REPLACE - 3
17	15"	PINE	POOR	REPLACE - 2
18	7"	CATALPA	FAIR	REPLACE - 1
19	6"	CATALPA	FAIR	REPLACE - 1
20	7"	CATALPA	FAIR	REPLACE - 1
21	NOT USED			
22	NOT USED			
23	NOT USED			
24	10"	CATALPA	FAIR	REPLACE - 1
25	10"	OAK	FAIR	PRESERVE
26	6"	CATALPA	FAIR	REPLACE - 1
27	8"	CRABAPPLE	POOR	REPLACE - 1
28	8"	MAPLE	FAIR	PRESERVE
29	6"	HICKORY	FAIR	PRESERVE
30	7"	ELM	FAIR	PRESERVE
31	6"	CHERRY	POOR	PRESERVE
32	12"	HICKORY	POOR	PRESERVE
33	MS 20"	MAPLE	FAIR	PRESERVE
34	19"	OAK	FAIR	REPLACE - 3
35	9"	MAPLE	FAIR	REPLACE - 1
36	32"	OAK	FAIR	REPLACE - 1
37	18"	SPRUCE	FAIR	REPLACE - 2
38	MS 24"	SPRUCE	POOR	REPLACE - 3
39	8"	ELM	POOR	REPLACE - 1
40	9"	PINE	POOR	REPLACE - 1
41	MS 16"	PINE	POOR	REPLACE - 2
42	10"	ELM	POOR	REPLACE - 1
43	NOT USED			
44	24"	CATALPA	FAIR	REPLACE - 3
45	9"	PINE	POOR	REPLACE - 1
46	7"	ELM	POOR	REPLACE - 1
47	8"	ELM	FAIR	REPLACE - 1
48	MS 15"	MAPLE	FAIR	REPLACE - 1
49	12"	ELM	FAIR	REPLACE - 1
50	8"	CRABAPPLE	POOR	REPLACE - 1
51	15"	OAK	POOR	REPLACE - 2
52	11"	ELM	POOR	REPLACE - 1
53	23"	MAPLE	FAIR	REPLACE - 3
54	10"	CRABAPPLE	POOR	REPLACE - 1
55	10"	MAPLE	FAIR	REPLACE - 1
56	11"	MAPLE	FAIR	REPLACE - 1
57	6"	ELM	FAIR	REPLACE - 1
58	6"	ELM	FAIR	REPLACE - 1
59	11"	CRABAPPLE	POOR	REPLACE - 1
60	6"	CATALPA	FAIR	REPLACE - 1

EXISTING TREES

NO.	SIZE	SPECIES	CONDITION	STATUS
61	8"	CRABAPPLE	FAIR	REPLACE - 1
62	7"	ELM	POOR	REPLACE - 1
63	MS 28"	CRABAPPLE	POOR	REPLACE - 4
64	7"	ELM	POOR	REPLACE - 1
65	13"	OAK	POOR	REPLACE - 2
66	12"	OAK	POOR	REPLACE - 1
67	14"	OAK	POOR	REPLACE - 2
68	14"	MAPLE	FAIR	REPLACE - 2
69	7"	HICKORY	FAIR	REPLACE - 1
70	7"	OAK	POOR	REPLACE - 1
71	7"	OAK	POOR	REPLACE - 1
72	7"	OAK	POOR	REPLACE - 1
73	10"	HICKORY	FAIR	REPLACE - 1
74	MS 22"	OAK	POOR	REPLACE - 3
75	18"	OAK	POOR	REPLACE - 2
76	20"	OAK	POOR	REPLACE - 3
77	6"	ELM	POOR	REPLACE - 1
78	9"	HICKORY	FAIR	REPLACE - 1
79	9"	HICKORY	FAIR	PRESERVE
80	7"	ELM	POOR	PRESERVE
81	25"	OAK	FAIR	PRESERVE
82	6"	MAPLE	POOR	PRESERVE
83	17"	OAK	POOR	PRESERVE
84	8"	ELM	POOR	PRESERVE
85	20"	OAK	POOR	PRESERVE
86	9"	OAK	POOR	PRESERVE
87	17"	OAK	POOR	REPLACE - 2
88	10"	FAIR	POOR	PRESERVE
89	15"	OAK	POOR	REPLACE - 2
90	32"	HICKORY	FAIR	REPLACE - 5
91	11"	OAK	POOR	REPLACE - 1
92	22"	FAIR	POOR	REPLACE - 1
93	17"	OAK	POOR	REPLACE - 2
94	17"	OAK	POOR	REPLACE - 2
95	17"	OAK	POOR	REPLACE - 2
96	MS 20"	CRABAPPLE	POOR	REPLACE - 3
97	NOT USED			
98	8"	ELM	POOR	REPLACE - 1
99	8"	ELM	POOR	REPLACE - 1
100	9"	CATALPA	POOR	REPLACE - 1
101	MS 23"	CRABAPPLE	POOR	PRESERVE
102	NOT USED			
103	MS 19"	CATALPA	FAIR	REPLACE - 3
104	16"	CATALPA	FAIR	REPLACE - 2
105	18"	CATALPA	POOR	REPLACE - 2
106	9"	CATALPA	POOR	REPLACE - 1
107	10"	WALNUT	FAIR	REPLACE - 1
108	11"	CATALPA	POOR	REPLACE - 1
109	8"	APPLE	POOR	REPLACE - 1
110	12"	WALNUT	POOR	REPLACE - 1
111	34"	CATALPA	FAIR	REPLACE - 5
112	11"	OAK	FAIR	REPLACE - 7
113	23"	OAK	POOR	PRESERVE
114	11"	MAPLE	FAIR	REPLACE - 1
115	19"	WALNUT	POOR	REPLACE - 3
116	MS 14"	ASH	POOR	D.N.R.
117	25"	MULBERRY	POOR	REPLACE - 4
118	24"	OAK	POOR	PRESERVE
119	14"	SPRUCE	POOR	REPLACE - 2
120	10"	PINE	POOR	REPLACE - 1

EXISTING TREES

NO.	SIZE	SPECIES	CONDITION	STATUS
121	10"	MAPLE	FAIR	PRESERVE
122	22"	MAPLE	POOR	PRESERVE
123	9"	PINE	POOR	REPLACE - 1
124	8"	MAPLE	FAIR	PRESERVE
125	10"	ELM	POOR	PRESERVE
126	18"	MAPLE	FAIR	PRESERVE
127	10"	PINE	POOR	REPLACE - 1
128	7"	ELM	POOR	PRESERVE
129	8"	PINE	FAIR	REPLACE - 1
130	9"	WALNUT	POOR	PRESERVE
131	MS 15"	ASH	POOR	D.N.R.
132	MS 17"	CATALPA	FAIR	REPLACE - 2
133	7"	CATALPA	POOR	PRESERVE
134	6"	CATALPA	FAIR	REPLACE - 1
135	22"	MAPLE	POOR	PRESERVE
136	MS 18"	MAPLE	FAIR	PRESERVE
137	MS 12"	HACKBERRY	FAIR	PRESERVE
138	19"	OAK	POOR	REPLACE - 3
139	6"	CHERRY	POOR	REPLACE - 1
140	18"	MAPLE	FAIR	REPLACE - 2
141	8"	CHERRY	POOR	REPLACE - 1
142	22"	PINE	POOR	PRESERVE
143	25"	MAPLE	GOOD	REPLACE - 4
144	20"	WALNUT	POOR	REPLACE - 3
145	M. STEM OP	WILLOW	POOR	PRESERVE
146	M. STEM OP	WILLOW	POOR	PRESERVE
147	M. STEM OP	WILLOW	POOR	PRESERVE
148	NOT USED			
149	16"	MAPLE	FAIR	PRESERVE
150	13"	WILLOW	POOR	PRESERVE
151	14"	MAPLE	FAIR	PRESERVE
152	MS 10"	SASSAFRAS	FAIR	PRESERVE
153	NOT USED			
154	8"	HACKBERRY	FAIR	PRESERVE
155	6"	ASH	POOR	PRESERVE
156	10"	WALNUT	POOR	PRESERVE
157	11"	WALNUT	POOR	PRESERVE
158	NOT USED			
159	7"	ELM	POOR	PRESERVE
160	10"	ELM	POOR	PRESERVE
161	11"	OAK	POOR	PRESERVE
162	21"	OAK	POOR	PRESERVE
163	15"	HICKORY	FAIR	PRESERVE
164	9"	MAPLE	FAIR	PRESERVE
165	NOT USED			
166	7"	MAPLE	POOR	PRESERVE
167	9"	SASSAFRAS	POOR	PRESERVE
168	15"	OAK	POOR	PRESERVE
169	MS 44"	OAK	POOR	PRESERVE
170	11"	ELM	POOR	PRESERVE
171	8"	CATALPA	POOR	PRESERVE
172	11"	WALNUT	POOR	PRESERVE
173	18"	OAK	POOR	PRESERVE
174	18"	HICKORY	FAIR	PRESERVE
175	10"	MAPLE	POOR	PRESERVE
176	MS 24"	WALNUT	POOR	PRESERVE
177	8"	MAPLE	POOR	PRESERVE
178	13"	HICKORY	FAIR	PRESERVE
179	8"	MAPLE	FAIR	PRESERVE
180	13"	MAPLE	FAIR	PRESERVE

EXISTING TREES

NO.	SIZE	SPECIES	CONDITION	STATUS
181	9"	MAPLE	FAIR	REPLACE - 1
182	24"	OAK	POOR	REPLACE - 3
183	13"	MAPLE	POOR	REPLACE - 2
184	11"	MAPLE	POOR	REPLACE - 1
185	13"	MAPLE	POOR	REPLACE - 2
186	13"	MAPLE	POOR	REPLACE - 2
187	19"	OAK	POOR	REPLACE - 3
188	31"	OAK	POOR	REPLACE - 5
189	15"	MAPLE	FAIR	REPLACE - 2
190	9"	ELM	POOR	REPLACE - 1
191	MS 17"	CATALPA	FAIR	REPLACE - 2
192	8"	OAK	POOR	REPLACE - 1
193	12"	CATALPA	POOR	PRESERVE
194	14"	MAPLE	POOR	REPLACE - 2
195	MS 20"	CRABAPPLE	POOR	REPLACE - 3
196	11"	MAPLE	FAIR	REPLACE - 1
197	15"	PINE	POOR	REPLACE - 1
198	22"	OAK	POOR	REPLACE - 3
199	25"	MAPLE	POOR	REPLACE - 4
200	9"	WALNUT	POOR	REPLACE - 1
201	NOT USED			
202	10"	OAK	POOR	REPLACE - 1
203	10"	OAK	POOR	REPLACE - 1
204	10"	OAK	POOR	REPLACE - 1
205	6"	OAK	POOR	PRESERVE
206	8"	MAPLE	FAIR	REPLACE - 1
207	11"	MAPLE	POOR	REPLACE - 1
208	7"	ELM	POOR	REPLACE - 1
209	MS 6"	MAPLE	FAIR	REPLACE - 1
210	10"	MAPLE	FAIR	REPLACE - 1
211	9"	MAPLE	FAIR	REPLACE - 1
212	9"	MULBERRY	POOR	REPLACE - 1
213	7"	ELM	POOR	REPLACE - 3
214	7"	MAPLE	POOR	REPLACE - 1
215	12"	WALNUT	POOR	PRESERVE
216	7"	MAPLE	FAIR	PRESERVE
217	6"	MAPLE	POOR	REPLACE - 1
218	13"	WALNUT	POOR	PRESERVE
219	9"	MAPLE	POOR	PRESERVE
220	7"	MAPLE	POOR	PRESERVE
221	9"	MAPLE	POOR	PRESERVE
222	8"	MAPLE	POOR	PRESERVE
223	6"	MAPLE	FAIR	PRESERVE
224	8"	MAPLE	FAIR	PRESERVE
225	10"	MAPLE	FAIR	PRESERVE
226	12"	HICKORY	POOR	PRESERVE
227	20"	WALNUT	POOR	PRESERVE
228	11"	OAK	POOR	PRESERVE
229	NOT USED			
230	15"	WALNUT	POOR	PRESERVE
231	8"	ELM	POOR	PRESERVE
232	12"	ELM	POOR	PRESERVE
233	7"	ELM	POOR	PRESERVE
234	MS 12"	ELM	POOR	PRESERVE
235	25"	MAPLE	FAIR	PRESERVE
236	8"	ELM	POOR	PRESERVE
237	6"	ELM	POOR	PRESERVE
238	29"	ELM	POOR	PRESERVE
239	7"	WALNUT	POOR	PRESERVE
240	6"	ELM	POOR	PRESERVE

EXISTING TREES

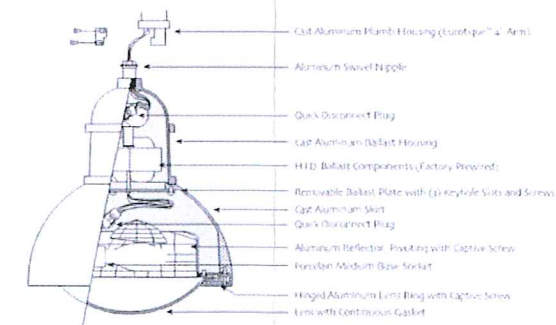
NO.	SIZE	SPECIES	CONDITION	STATUS
241	MS 12"	ELM	POOR	PRESERVE
242	29"	WALNUT	POOR	PRESERVE
243	6"	ELM	POOR	PRESERVE
244	9"	ELM	FAIR	PRESERVE
245	6"	MAPLE	POOR	PRESERVE
246	8"	CHERRY	POOR	PRESERVE
247	7"	MAPLE	POOR	PRESERVE
248	7"	ELM	POOR	PRESERVE
249	7"	MAPLE	POOR	PRESERVE
250	11"	WALNUT	POOR	PRESERVE
251	11"	WALNUT	POOR	PRESERVE
252	13"	WALNUT	POOR	PRESERVE
253	12"	WALNUT	POOR	PRESERVE
254	14"	WALNUT	POOR	PRESERVE
255	NOT USED			
256	9"	ELM	POOR	PRESERVE
257	16"	WALNUT	POOR	PRESERVE
258	16"	OAK	POOR	PRESERVE
259	10"	CHERRY	POOR	PRESERVE
260	7"	HICKORY	FAIR	PRESERVE
261	12"	OAK	POOR	PRESERVE
262	13"	OAK	POOR	PRESERVE
263	6"	ELM	POOR	PRESERVE
264	6"	MAPLE	FAIR	PRESERVE
265	18"	OAK	POOR	PRESERVE
266	12"	OAK	POOR	PRESERVE
267	11"	OAK	POOR	PRESERVE
268	MS 20"	CRABAPPLE	POOR	PRESERVE
269	16"	OAK	POOR	REPLACE - 2
270	10"	OAK	POOR	REPLACE - 1
271	8"	OAK	POOR	REPLACE - 1
272	7"	OAK	POOR	REPLACE - 1
273	20"	OAK	POOR	REPLACE - 3
274	12"	OAK	POOR	REPLACE - 1
275	17"	OAK	POOR	REPLACE - 2
276	20"	OAK	POOR	REPLACE - 3
277	6"	HICKORY	POOR	REPLACE - 1
278	MS 15"	ELM	POOR	REPLACE - 2
279	11"	HICKORY	POOR	REPLACE - 1
280	12"	OAK	POOR	REPLACE - 1
281	22"	OAK	POOR	REPLACE - 3
282	9"	HICKORY	POOR	REPLACE - 1
283	9"	ELM	POOR	REPLACE - 1
284	15"	OAK	POOR	REPLACE - 2
285	7"	MAPLE	POOR	REPLACE - 1
286	12"	HICKORY	POOR	REPLACE - 1
287	11"	HICKORY	POOR	REPLACE - 1
288	11"	OAK	POOR	REPLACE - 1
289	13"	OAK	POOR	REPLACE - 2
290	9"	OAK	POOR	REPLACE - 1
291	14"	OAK	POOR	REPLACE - 1
292	12"	OAK	POOR	REPLACE - 1
293	26"	HICKORY	POOR	REPLACE - 4
294	8"	HICKORY	POOR	REPLACE - 1
295	15"	OAK	POOR	REPLACE - 3
296	8"	ELM	POOR	PRESERVE
297	19"	OAK	POOR	PRESERVE
298	7"	ELM	POOR	PRESERVE
299	22"	OAK	POOR	PRESERVE
300	9"	OAK	POOR	PRESERVE



## **Exhibit "I" – Lighting Plan and Fixture Cuts**



EUROTICQUE™ Architectural Lighting



Example EH16R1 150S MED GCSG SR2 120 ANBK DE

[illegible]

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### Note

1) Area fixtures on 18ft poles. With 2 1/2' concrete pad, BOF is 20 1/2' AFG.

Type P1 fixtures on 8'4" poles, lamps shown at 9' for projected illumination contribution.

2) Isoline displays 1/2 foot-candle contribution of an individual fixture / pole assembly

3) Calculations are the expected average maintained illumination at grade during rated normal life of lamps.

Statistics							
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	Avg/Max
Entire Drive and Parking lot	+	0.3 fc	2.5 fc	0.0 fc	N/A	N/A	0.1:1
Typical Residential Parking	X	0.1 fc	0.4 fc	0.0 fc	N/A	N/A	0.3:1
Typical Retail Parking	X	0.9 fc	2.2 fc	0.2 fc	11.0:1	4.5:1	0.4:1

[illegible]





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Land Planning  
Suite 401  
43215  
f(614)487-1975

February 7, 2014

David Betz  
City of Powell  
47 Hall Street  
Powell, OH 43137

RE: Traffic impact mitigation and methods- Powell Crossing

The following items are being implemented with the proposed plan and other plans currently under progress by the City and other entities in the surrounding areas to alleviate/reduce traffic impacts.

- Construction of a left turn lane for west bound traffic. The turn lane will store two cars (50' storage), provide a 50' taper into the turn lane, and a 60' for the west bound traffic.
- A pedestrian path will be provided along the property right-of-way.
- A right-in/right-out will be provided at the eastern access point and will facilitate onsite traffic for east bound Olentangy Street traffic.
- Provide a multi-use path for the Murphy Park neighborhood to provide a pedestrian path to the development and the remainder of the downtown area.
- Addition of street scape that slows or 'calms' traffic
- Addition of turn lanes at Liberty and 315 will reduce wait times and backups
- Site improvements actually completed and useable by public at same/similar time frame as Murphy Parkway extension construction
- Potential installation of queue cutter or other traffic/railway control system

Sincerely,



Todd M. Faris  
Faris Planning & Design, LLC