

CITY OF POWELL

PLANNING AND ZONING COMMISSION (P&Z)

CERTIFICATE OF APPROPRIATENESS APPLICATION



ALL ITEMS ON THIS APPLICATION MUST BE COMPLETED.

Application Fee: \$240.00

Applicant: _____ Sun Properties Development LLC _____

Address/City/State/Zip: _____ 9619 Shawnee Trail 43065 _____

Email Address: _____ dustin@espresso22.com _____

Phone No: _____ Cell Phone No: _____ 614-772-6064 _____ Fax No: _____

Property Owner: _____ Sun Properties Development _____

Address/City/State/Zip: _____ 9619 Shawnee Trail _____ 43065 _____

Email Address: _____

Phone No: _____ Cell Phone No: _____ Fax No: _____

Architect/Designer for Applicant: _____ Matt Althouse _____

Address/City/State/Zip: _____

Email Address: _____ matthew.althouse@gmail.com _____

Phone No: _____ Cell Phone No: _____ 937-578-8770 _____ Fax No: _____

Property Address: _____ 26 W Olentangy St _____

Lot Number/Subdivision: _____ Existing Use: _____ Retail _____ Proposed Use: _____ Tavern _____

Proposed type of Environmental Change: _____

Checklist:

- ☐ Attach **5 copies** of plot plan as well as any other drawings or written material that will help the Administration and Commission understand the nature of the proposal.
- ☐ **1 digital copy** (CD, USB, Email) of the complete application packet.
- ☐ Attach the required fee - \$240.00

I agree to grant the City Staff, the Commission, Board or Council considering this application access to the property that is the subject of this application for the purposes of reviewing this application and posting public notice for this application.

Signature of Applicant: _____ *Dustin* _____ Date: *7/6/18* _____

Office Use
Received

Office Use
AMT _____
TYPE/DATE _____
RECEIPT # _____
PAYOR _____
Payment



renovation for: restaurant/bar 26 olentangy street powell ohio

GENERAL NOTES

1. THE USE OF THESE DOCUMENTS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED. REUSE OR REPRODUCTION OF THE DOCUMENTS, (WHOLE OR IN PART) FOR ANY OTHER PURPOSE IS PROHIBITED. MATTHEW R. ALTHOUSE RETAINS ALL RIGHTS OF OWNERSHIP.
2. THE CONTRACTOR AND SUB-CONTRACTORS SHALL BE SOLELY RESPONSIBLE FOR COMPLYING WITH ALL FEDERAL, STATE, AND LOCAL SAFETY REQUIREMENTS TOGETHER WITH EXERCISING PRECAUTIONS AT ALL TIMES FOR THE PROTECTION OF PERSONS INCLUDING EMPLOYEES AND PROPERTY. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND SUB-CONTRACTORS TO INITIATE, MAINTAIN, AND SUPERVISE ALL SAFETY REQUIREMENTS, PRECAUTIONS, AND PROGRAMS IN CONNECTION WITH THE WORK.
3. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE ALL WORK AND FOR THE MEANS, METHODS, PROCEDURES, TECHNIQUES, AND SEQUENCE OF CONSTRUCTION.
4. THE GENERAL CONTRACTOR IS TO GUARANTEE ALL WORK INCLUDING WORK DONE BY SUB-CONTRACTORS FOR A PERIOD OF A MINIMUM ONE (1) YEAR COMMENCING WITH THE DATE OF SUBSTANTIAL COMPLETION OF THE WORK, OR AS STATED IN CONTRACT WITH OWNER. WHICHEVER IS GREATER.
5. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SCHEDULING AND MONITORING OF ON-SITE TESTING AND INSPECTION SERVICES AS LISTED IN GENERAL CONDITIONS A201.
6. THE GENERAL CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND EXISTING FIELD CONDITIONS WITH THE DRAWINGS. IN PARTICULAR: SOIL CONDITIONS, INCOMING UTILITIES, ETC. GENERAL CONTRACTOR IS TO REPORT IMMEDIATELY TO THE ARCHITECT ANY VARIANCES OR FIELD CONDITIONS THAT MAY CAUSE CONSTRUCTION PROBLEMS PRIOR TO COMMENCING WORK.
7. ALL DIMENSIONS SHOWN ARE TO FACE OF FRAMING UNLESS SPECIFICALLY NOTED OTHERWISE.
8. ALL DIMENSIONS SHOWN ARE NOMINAL DIMENSIONS UNLESS SPECIFICALLY NOTED OTHERWISE.
9. ALL DOOR HANDLES SHALL BE OF THE LEVER TYPE, HARDWARE SHALL BE MOUNTED NO HIGHER THAN 48" ABOVE FINISH FLOOR.
10. THE CONTRACTORS SHALL FURNISH ALL MATERIAL, LABOR AND EQUIPMENT TO COMPLETE ALL OF THE WORK.
11. THE GENERAL CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND FIELD CONDITIONS WITH THE DRAWINGS. NOTIFY THE OWNER OF ANY VARIANCES PRIOR TO COMMENCING WORK.
12. THE CONTRACTORS SHALL CAREFULLY STUDY AND COMPARE ALL CONTRACT DOCUMENTS WITH EACH OTHER AND SHALL IMMEDIATELY REPORT TO THE ARCHITECT, ANY ERRORS, INCONSISTENCIES OR OMISSIONS DISCOVERED. IF THE CONTRACTOR PERFORMS ANY CONSTRUCTION ACTIVITY KNOWING IT INVOLVES A RECOGNIZED ERROR, INCONSISTENCY OR OMISSION IN THE CONTRACT DOCUMENTS WITHOUT NOTICE TO THE CONTRACT MANAGERS, THE CONTRACTOR SHALL ASSUME APPROPRIATE RESPONSIBILITY FOR SUCH PERFORMANCE AND SHALL BEAR AN APPROPRIATE AMOUNT OF THE ATTRIBUTABLE COST FOR CORRECTION.
13. ANY MATERIAL OR LABOR, WHICH MAY NOT BE SHOWN ON THE DRAWINGS OR NOT SPECIFIED, BUT WHICH IS OBVIOUSLY NECESSARY TO COMPLETE THE WORK SHALL BE FURNISHED WITHOUT ADDITIONAL COST.
14. THE GENERAL CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS AND INSPECTIONS REQUIRED AND SHALL ALSO PAY FEES REQUIRED FOR THE GENERAL CONSTRUCTION. PLUMBING, ELECTRICAL, HVAC AND SPRINKLER CONTRACTORS SHALL PAY FOR THEIR PERMITS.
15. ANY CHANGES, INCLUDING TIME DELAYS, RESULTING FROM THE USE OF APPROVED DOCUMENTS SHALL BE BORN BY THE CONTRACTOR. ANY EFFECTS ON OTHER PORTIONS OF THE WORK CREATED BY SUCH CHANGES SHALL BE COORDINATED BY ALL CONTRACTORS.
16. VERIFY UNDERGROUND UTILITIES AND CONDITIONS WITH THE OWNER AND PROPER AUTHORITY PRIOR TO START OF WORK. CALL TWO DAYS BEFORE DIGGING.
17. DO NOT SCALE DRAWINGS, WRITTEN DIMENSIONS SHALL CONTROL AT ALL LOCATIONS.
18. CONTRACTOR SHALL KEEP THE JOB SITE NEAT AND ORDERLY, REMOVING SCRAP MATERIAL DAILY AND SHALL CLEAN THE SITE AND THE WORK THOROUGHLY UPON COMPLETION.
19. IT IS THE OWNER'S RESPONSIBILITY TO HAVE THESE DOCUMENTS REVIEWED BY THEIR RESPECTIVE INSURANCE COMPANIES FOR COMPLIANCE WITH SPECIFIC REQUIREMENTS OF THOSE INSURANCE COMPANIES.
20. VERIFY ALL ROUGH OPENINGS BEFORE FRAMING.

PROJECT INFORMATION

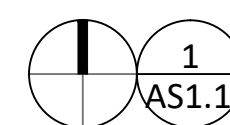
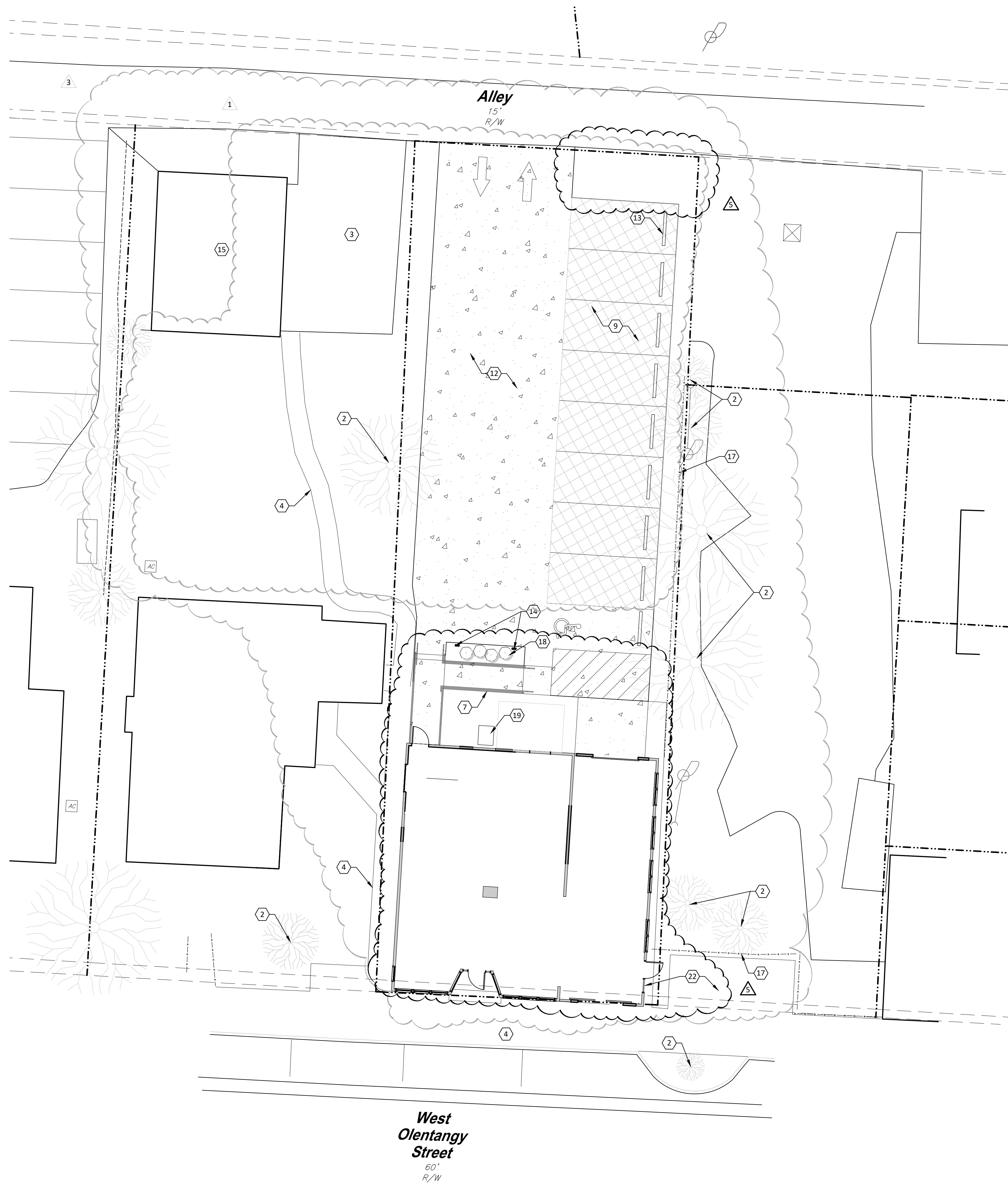
PROJECT ADDRESS:	26 OLENTANGY STREET POWELL, OHIO 43065
PROJECT OWNER:	SUN PROPERTIES 26 OLENTANGY STREET POWELL, OHIO 43065
PROJECT ARCHITECT:	MATTHEW R. ALTHOUSE 1165 ELM PARK CIRCLE GALLOWAY, OHIO 43119 937.578.8770
CIVIL ENGINEER:	CRAIG STEVENESON HARRAL AND STEVENSON 120 EAST MAIN STREET, SUITE A CIRCLEVILLE, OHIO 43113 740.497.4432
MEP ENGINEER:	FREDERICK J. SAMBOUR, P.E. 1390 HANBURY COURT GAHANNA, OHIO 43230 614.563.7349
GENERAL CONTRACTOR:	PAUL BUTLER COMPANY ADDRESS CITY STATE ZIP PHONE
PROJECT DESCRIPTION:	COMMERCIAL REMODEL PROJECT. EXTERIOR AND INTERIOR RENOVATIONS. NEW KITCHEN AND RESTROOMS. PARTIAL DEMOLITION OF BUILDING. CHANGE OF USE OF FROM RETAIL TO RESTAURANT. NO CHANGE OF BUILDING FOOTPRINT. ZONING CLEARANCE PLAN HAS ALREADY BEEN SUBMITTED. SIGNAGE SHALL BE SUBMITTED UNDER A SEPARATE COVER.
BUILDING CODES:	BUILDING CODE 2011 OHIO BUILDING CODE STRUCTURAL CODE 2011 OHIO BUILDING CODE PLUMBING CODE 2011 OHIO PLUMBING CODE (IPC 2009) MECHANICAL CODE 2011 OHIO MECHANICAL CODE ELECTRICAL CODE 2014 NATIONAL ELECTRIC CODE - NFPA 70 LIFE SAFETY CODE 2011 OHIO FIRE CODE ENERGY CODE ASHREA 90.1 - 2010 GAS CODE 2011 OHIO FUEL GAS CODE ACCESSIBILITY CODE ANSI A117.1-2009 AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG) 2010
CONSTRUCTION TYPE:	V-B, UNPROTECTED
USE GROUP:	A-2
ALLOWABLE AREA:	5,000 SQ. FT.
ACTUAL AREA:	1,971 SQ. FT.
FIRE PROTECTION:	NONE REQUIRED, NONE PROVIDED
FIRE ALARM:	NONE REQUIRED, NONE PROVIDED
SEPARATION:	NONE REQUIRED, NONE PROVIDED
OCCUPANCY:	USE AREA SF/OCC OCC. LOAD DINING 913 15 61 (40 SEATS) QUEUING 42 5 9 KITCHEN 410 200 3 RR/CIRC. 340 100 4 TOTAL 68 (47 ACTUAL)
EGRESS:	MAX REQUIRED: 68 x 0.2 = 13.6" PROVIDED: 102" EXITS REQUIRED: 2 EXITS PROVIDED: 3
TRAVEL DISTANCE:	COMMON PATH: 75'-0" EXIT ACCESS: 200'-0"
PLUMBING FIXTURES:	FIXTURE RATIO (M/F) REQ'D PROVIDED WC 1.75/1.75 1/1 1/1 LAV 1:200 1/1 1/1 MS 1 1

SHEET INDEX

ISSUE	SHEET NO.	SHEET NAME
06/19/2018 REVISION #5		
02/19/2018 REVISION #4		
12/23/2017 REVISION #3		
11/13/2017 REVISION #2		
10/17/2017 REVISION #1		
08/28/2017 PERMIT		
08/26/2017 OWNER REVIEW		
04/09/2017 OWNER REVIEW		
	GENERAL	
	G0.0	COVER SHEET
	G0.1	LIFE SAFETY PLAN
	G0.2	ADA REQUIREMENTS
	G0.3	ADA REQUIREMENTS
	ARCHITECTURAL	
	AS1.1	ARCHITECTURAL SITE PLAN
	AS1.2	DUMPSTER DETAILS
	AD1.1	DEMOLITION FLOOR PLAN
	A1.1	ARCHITECTURAL FLOOR PLAN
	A1.2	EQUIPMENT PLAN
	A1.3	REFLECTED CEILING PLAN
	A1.4	ROOF PLAN
	A1.5	ENLARGED RESTROOM PLAN
	A2.1	EXTERIOR ELEVATIONS
	A2.2	EXTERIOR ELEVATIONS
	A2.3	BUILDING SECTIONS
	A4.1	WALL SECTIONS
	A4.2	WALL SECTIONS
	A4.3	WALL SECTIONS
	A4.4	SECTION DETAILS
	A5.1	FINISH PLAN
	A6.1	DINING ROOM ELEVATIONS
	A6.2	KITCHEN ELEVATIONS
	A6.3	MILLWORK DETAILS
	A8.1	DOORS AND WINDOWS
	MEP	
	E-1	LIGHTING PLAN
	E-2	POWER PLAN
	H-1	HOOD PLAN
	M-1	HVAC PLAN
	P-1	PLUMBING PLAN
	P-2	ISOMETRICS



6/19/2018 6:35 PM



ARCHITECTURAL SITE PLAN

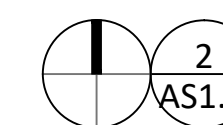
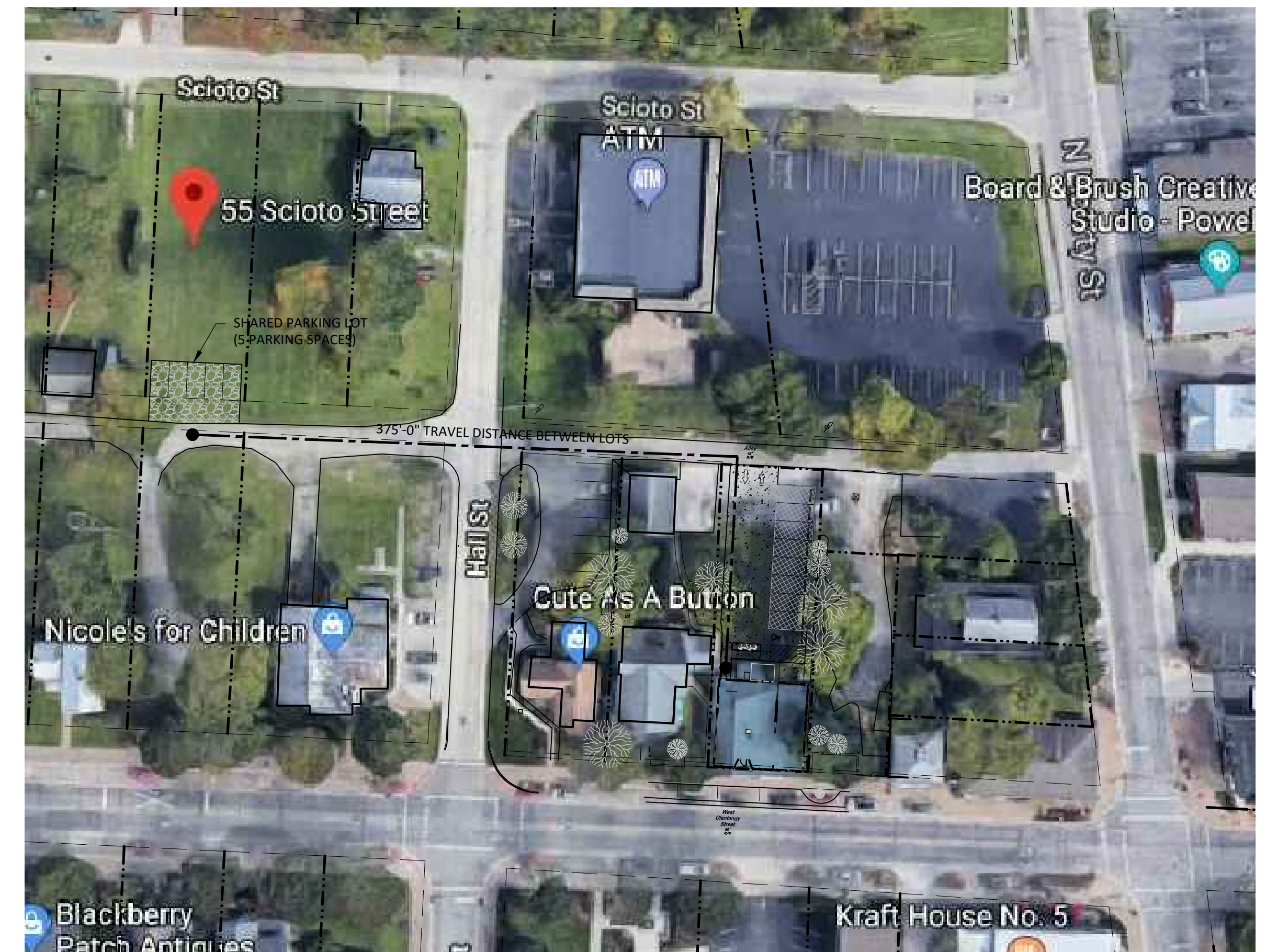
1" = 10'-0"

GENERAL FLOOR PLAN NOTES

1. ARCHITECTURAL SITE IS FOR DESIGN INTENT PURPOSES AND COORDINATION ONLY. REFER TO CIVIL ENGINEERING DESIGN PLANS FOR UTILITY, GRADING, AND MATERIAL INFORMATION.

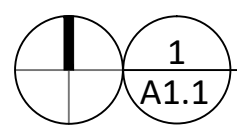
CODED NOTES

1. REMOVE EXISTING TREE.
2. EXISTING TREE TO REMAIN.
3. EXISTING CONCRETE DRIVE TO REMAIN.
4. EXISTING SIDEWALK TO REMAIN.
5. REMOVE EXISTING SIDEWALK.
6. NEW CONCRETE SIDEWALK.
7. NEW CONCRETE RAMP AND RAILINGS.
8. NEW DUMPSTER ENCLOSURE, REFER TO SHEET AS1.2.
9. PERVIOUS PAVER AREA.
10. NEW STAINED CONCRETE PATIO AREA.
11. COOLER BOX ENCLOSURE.
12. NEW CONCRETE DRIVE AISLE.
13. PRECAST CONCRETE PARKING CURB.
14. ILLUMINATED BOLLARD.
15. EXISTING GARAGE ON ADJACENT PARCEL, N.I.C.
16. PATIO FURNITURE.
17. EXISTING FENCE.
18. NEW LANDSCAPING.
19. RELOCATED CONDENSING UNIT.
20. NEW FENCE, MATCH EXISTING. PROVIDE GATE ON BOTH ENDS.
21. PROVIDE LIGHTING ON TOP OF FENCE POSTS.
22. REWORK EXISTING BRICK SIDE WALK TO BE FLUSH WITH NEW SIDE DOOR.
23. CONCRETE PAD FOR FUTURE WALK IN COOLER.



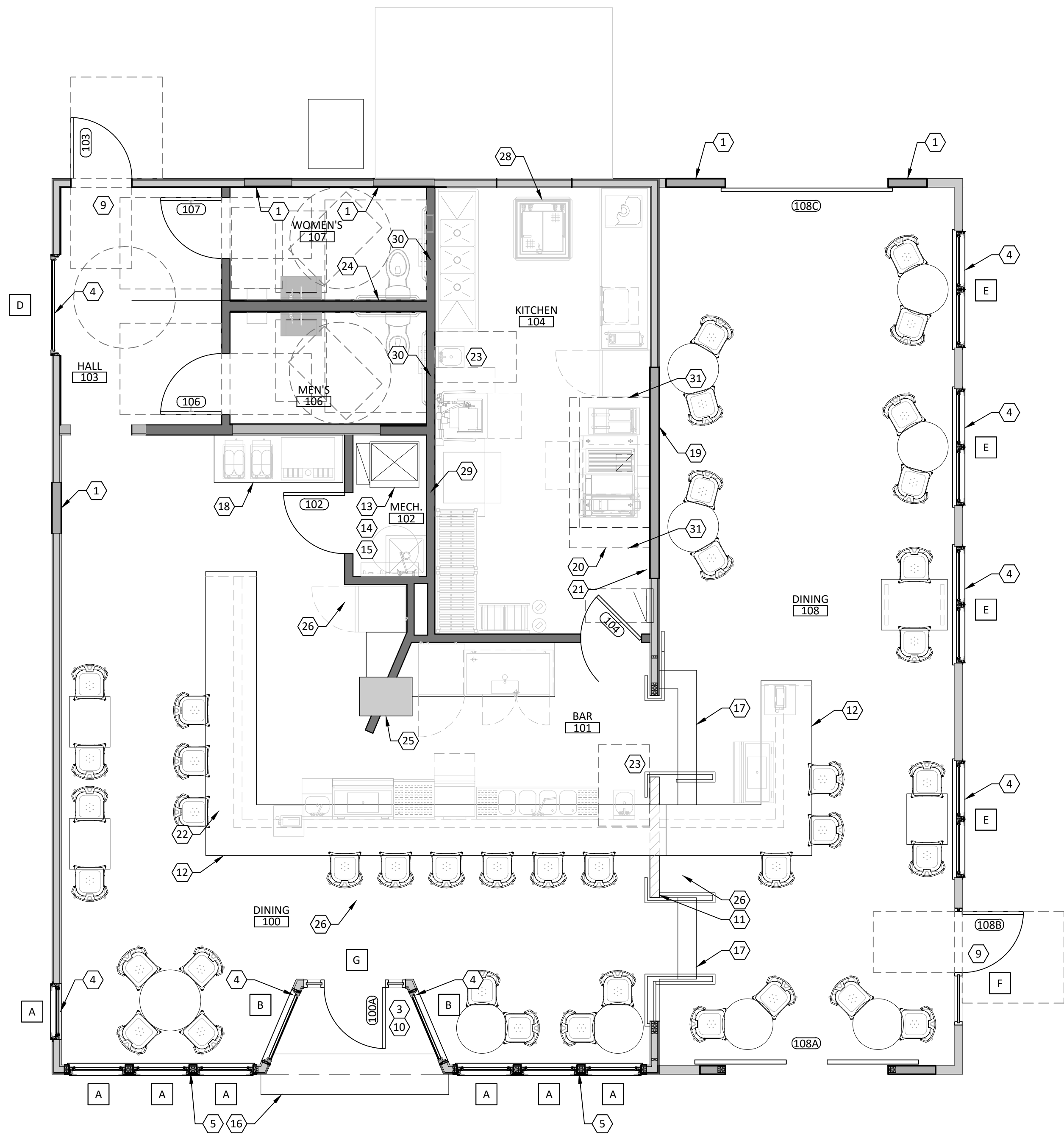
VICINITY MAP

1" = 50'-0"



ARCHITECTURAL FLOOR PLAN

1/4" = 1'-0"



CODED NOTES

1. INFILL EXISTING OPENING WITH SIMILAR CONSTRUCTION AND THICKNESS.
2. NOT USED.
3. NEW DOOR IN EXISTING OPENING.
4. NEW WINDOW IN EXISTING OPENING.
5. NEW WINDOW IN RE-FRAMED OPENING.
6. NEW SLIDING BARN DOOR IN NEW OPENING.
7. NEW SLIDING BARN DOOR IN EXISTING OPENING.
8. NEW COLUMN AND FOUNDATION.
9. ACCESSIBLE ENTRANCE.
10. PROVIDE SIGN AT NON-ACCESSIBLE ENTRANCE DIRECTING PATRON TO ACCESSIBLE ENTRANCE.
11. PARTIAL HEIGHT WALL. REFER TO 5/A6.3
12. CONCRETE COUNTERTOP
13. RELOCATED FURNACE.
14. MOP SINK.
15. WATER HEATER.
16. EXISTING STAIR TO REMAIN.
17. NEW CONCRETE STAIR. REFER TO INTERIOR ELEVATIONS.
18. BEVERAGE BAR.
19. NEW NON-COMBUSTIBLE WALL BEHIND NEW HOOD. BEHIND HOOD PROVIDE STAINLESS STEEL SHEET OVER 5/8" CEMENT BOARD ON 18 GAUGE MIN. 6" METAL STUD FRAMING AT 16" O.C. WITH CLARK DIETRICH FAST BRIDGE CLIPS AND COLD ROLLED CHANNEL BRIDGING AT 4'-0" AF.F. PROVIDE (2) 2x6 WOOD TOP PLATE AND 16 GAUGE 6" TRACK AT TOP AND BOTTOM OF WALL. EXTEND MIN. 18" BEYOND EDGE OF HOOD IN BOTH DIRECTIONS, FROM SLAB TO T.O. WALL. PROVIDE 1/2" OSB SHEATHING ON EXTERIOR OF WALL. MATCH EXISTING SIDING.
20. NEW HOOD ABOVE. REFER TO MECHANICAL PLANS.
21. ELECTRIC PANEL, REFER TO ELECTRICAL PLANS.
22. GLASS SNEEZE GUARD.
23. HAND SINK.
24. 2x6 WOOD STUD WALL.
25. EXISTING CHIMNEY TO REMAIN.
26. LINE OF SOFFIT ABOVE.
27. LINE OF PORCH ROOF ABOVE.
28. CRAWL SPACE ACCESS DOOR. 24" x 24". SEALED DOOR. BILCO TYPE TER ARCHITECTURAL FLOORING. INFILL DOOR WITH KITCHEN FLOORING, REFER TO FINISH PLAN.
29. PROVIDE 2x8 BLOCKING UNDER WALL.
30. PROVIDE 2x8 JOIST UNDER NEW WALL.
31. NEW HOOD SUPPORT BEAM. REFER TO 3/A2.3.

GENERAL FLOOR PLAN NOTES

- A. ALL NEW WALLS TO BE 2x4 WOOD STUD WALLS @ 16" O.C. WITH 5/8" GYP. BOARD ON BOTH SIDES, U.N.O.
- B. ALL WET WALLS (KITCHEN, BAR, RESTROOMS) TO RECEIVE 5/8" GLASS MAT BOARD.
- C. IN AREAS OF INFILL, MATCH EXISTING THICKNESS OF ADJACENT WALL. TRANSITION BETWEEN NEW AND EXISTING WALLS IS TO BE FLUSH.
- D. PROVIDE 5/8" GYP. BOARD ON ALL EXISTING WALLS TO REMAIN THAT DO NOT HAVE EXISTING INTERIOR WALL SHEATHING.
- E. PROVIDE 3/4" T&G PLYWOOD FLOOR DECK IN BACK OF HOUSE AREA WHERE NONE IS PRESENT.
- F. REFER TO SHEET A1.2 FOR EQUIPMENT AND FURNITURE LOCATIONS AND SPECIFICATIONS.
- G. REMOVE TO SHEET A1.3 FOR CEILING INFORMATION, LIGHTING FIXTURE AND HVAC DEVICE LOCATION AND SCHEDULE.
- H. VERIFY ALL UNMARKED WALLS WITH ARCHITECT.
- I. GENERAL CONTRACTOR TO PROVIDE ALL WALLS INDICATED ON FLOOR PLAN.
- J. PROVIDE 2x6 FIRE RETARDANT TREATED WOOD BLOCKING IN PARTITIONS TO SUPPORT ALL CASEWORK, DOOR WALL STOPS, ELECTRICAL AND MECHANICAL DEVICES, AND FIRE EXTINGUISHERS.
- K. ELECTRICAL CONTRACTOR TO COORDINATE LOCATIONS WITH MECHANICAL EQUIPMENT AND FIRE PROTECTION PRIOR TO STARTING WORK.
- L. GENERAL CONTRACTOR TO PATCH ALL ROOF PENETRATIONS MADE BY THIS PROJECT WITH ROOFING CONTRACTOR.
- M. GENERAL CONTRACTOR TO PROVIDE ALL ROOF PATCHING AROUND MECHANICAL EQUIPMENT. VERIFY ROOF WARRANTY REQUIREMENTS WITH OWNER.
- N. SEE SECTION A4.x FOR WALL SECTIONS AND DETAILS.
- O. SEE SHEET A8.1 FOR DOOR SCHEDULE.
- P. SEE SHEET A8.1 FOR WINDOW SCHEDULE.
- Q. VERIFY ALL OWNER SUPPLIED EQUIPMENT BEFORE ROUGH-INS ARE COMPLETED & GYP. BOARD IS INSTALLED.
- R. ELECTRICAL CONTRACTOR TO COORDINATE LIGHT FIXTURE LOCATIONS WITH MECHANICAL EQUIPMENT PRIOR TO INSTALLATION.
- S. FRAMING CONTRACTOR TO COORDINATE FRAMING AROUND HVAC DUCTS, PIPES, CONDUITS AND OTHER ITEMS LOCATED ABOVE THE CEILING.
- T. THERMAL AND ACOUSTICAL INSULATION IN FLOORS, WALLS AND CEILING TO COMPLY WITH STATE AND LOCAL CODE REQUIREMENTS FOR FLAME SPREAD AND SMOKE DEVELOPMENT RATINGS.
- U. ALL SHEATHING THAT IS TO RECEIVE FULLY ADHERED ROOF MEMBRANE IS TO BE ATTACHED TO FRAMING BY THE USE OF NON-REVERSING SCREWS. NO NAIL FASTENERS ARE PERMITTED.
- V. EC TO PROVIDE CONDUIT & PULL STRINGS FOR OWNER SUPPLIED COMMUNICATION.
- W. PROVIDE TACTILE EXIT SIGNAGE AT EACH DOOR TO AN EGRESS STAIRWAY, AN EXIT PASSAGEWAY AND ALL EXIT DISCHARGE POINTS.
- X. ALL MATERIALS SPECIFIED ARE TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS. CONTRACTOR IS TO CONSTRUCT THE PROJECT ACCORDING TO THE CONTRACT DOCUMENTS. ANY DEVIATION FROM THE INTENT OF THE CONTRACT DOCUMENTS WITHOUT ARCHITECT OR OWNER APPROVAL ARE AT THE CONTRACTOR'S OWN RISK.
- Y. VERIFY LOCATION OF ALL EQUIPMENT AND VERIFY SIZES, WALL OPENINGS, AND SUPPORT REQUIREMENTS WITH MANUFACTURE. PROVIDE REINFORCEMENT AS REQUIRED BY MANUFACTURER.
- Z. ALL DOORS TO BE LOCATED 4" FROM ADJACENT WALL OR COUNTER, OR CENTERED IN WALL UNLESS OTHERWISE NOTED.
- AA. THE GENERAL CONTRACTOR IS TO VERIFY SIZE, QUANTITY AND LOCATION W/ LOCAL FIRE MARSHAL PRIOR TO INSTALLATION AND CONFIRM WITH OWNER WHO IS TO PROVIDE THEM.
- AB. 2x FRT BLOCKING TO BE PROVIDED AT ALL SINKS, GRAB BARS, MIRRORS, DISPENSERS, ETC. PER MFR. SPECIFICATIONS.
- AC. PROVIDE IN-WALL BLOCKING AS REQUIRED FOR ALL CASEWORK AND DOOR WALL STOPS.
- AD. ALL EXISTING WALLS TO BE PATCHED & REPAIRED AND MADE READY TO RECEIVE SPECIFIED FINISH.
- AE. DO NOT SCALE OF PLANS, CALL THE ARCHITECT FOR ADDITIONAL DIMENSIONAL INFORMATION IF REQUIRED.
- AF. WRITTEN DIMENSIONS HAVE PRECEDENT OVER SCALED DIMENSIONS IN ALL CASES. G.C. SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS AT THE JOB SITE AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO STARTING WORK.

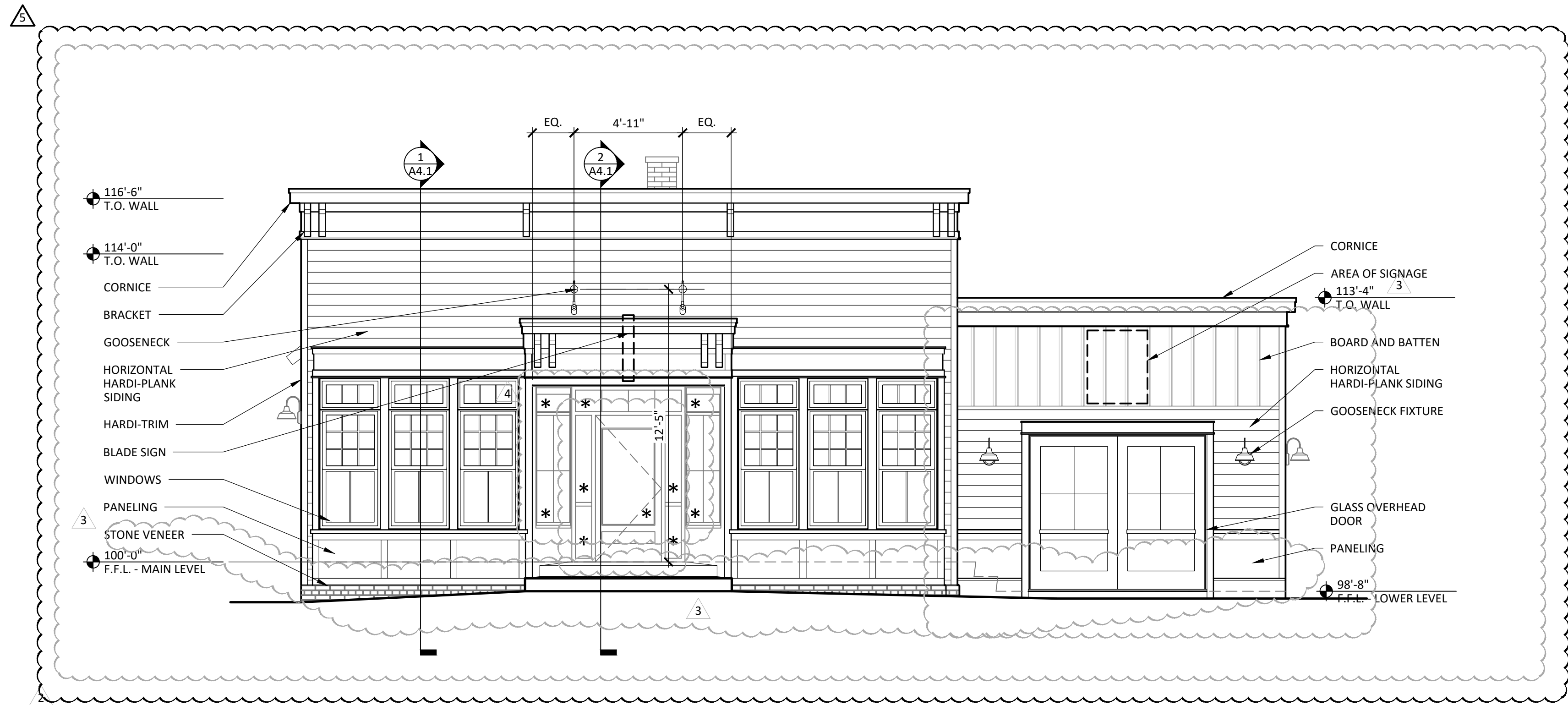
WALL LEGEND

	EXISTING WALL/PARTITION TO REMAIN
	NEW WALL/PARTITION
	NEW PARTIAL HEIGHT WALL

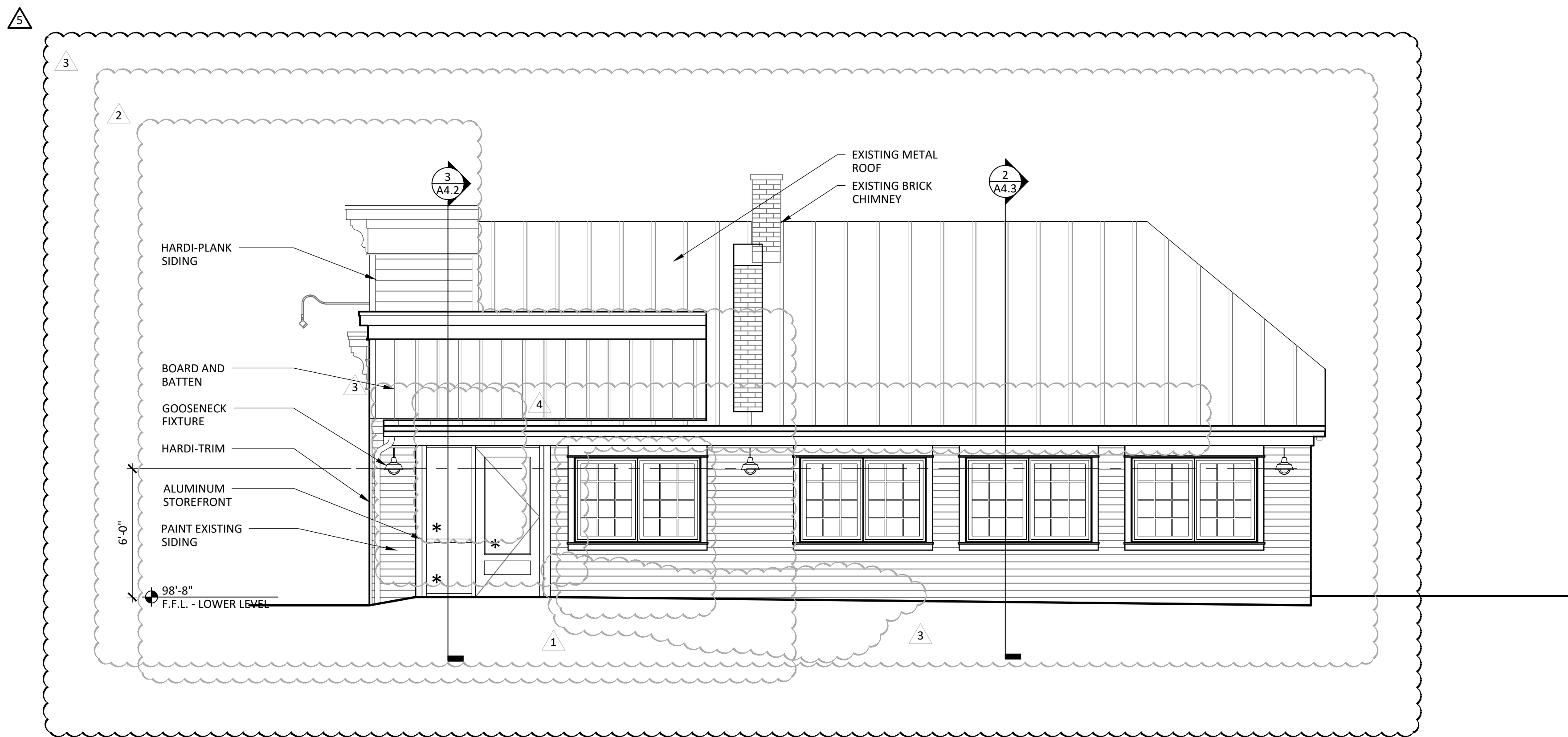
SYMBOL LEGEND

	FLOOR PLAN CODED NOTE (SEE SCHEDULE ON THIS SHEET)
	DOOR TAG (SEE SCHEDULE ON SHEET A8.1)
	WALL TYPE TAG (SEE SCHEDULE ON SHEET A1.0)
	WINDOW SYSTEM TAG (SEE ELEVATIONS ON SHEET A8.1)



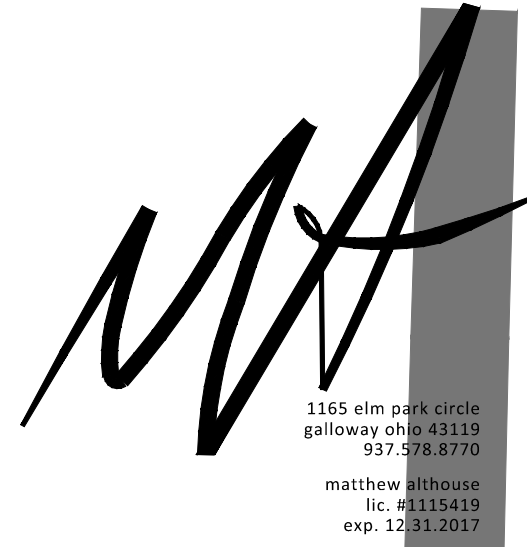


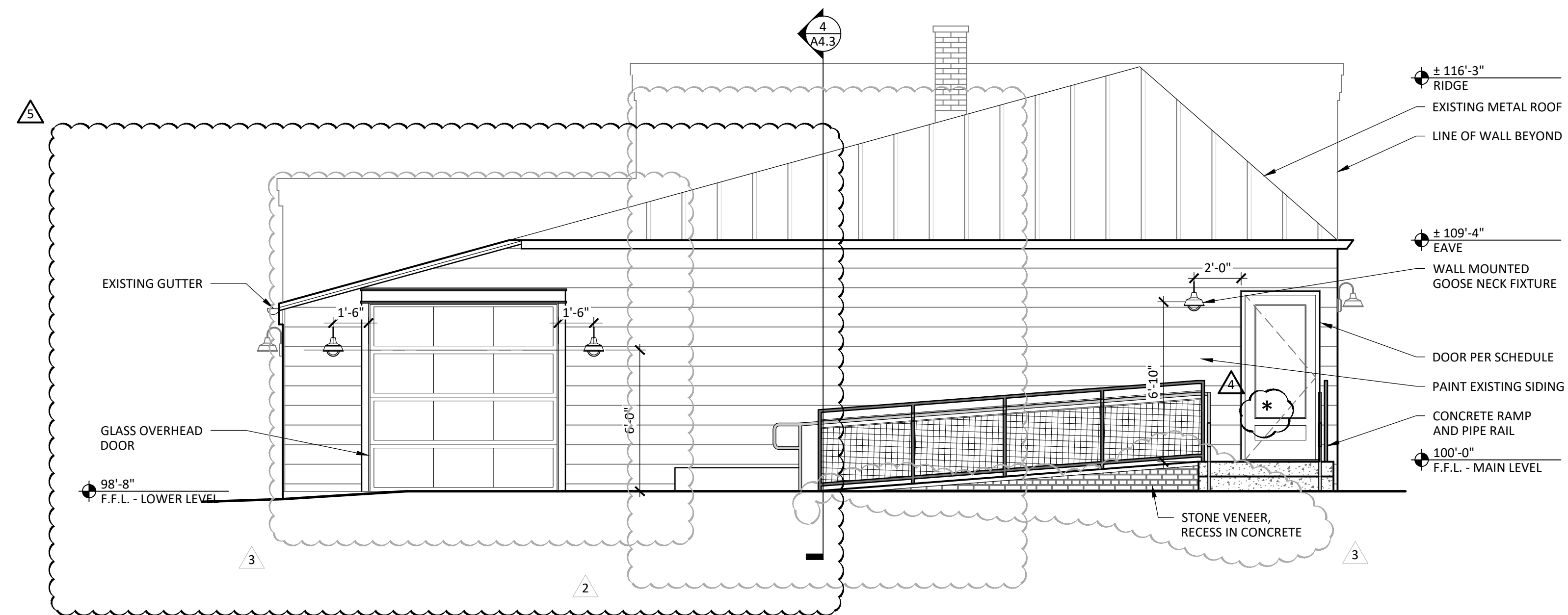
1
A2.1
EXTERIOR ELEVATION - SOUTH
1/4" = 1'-0"



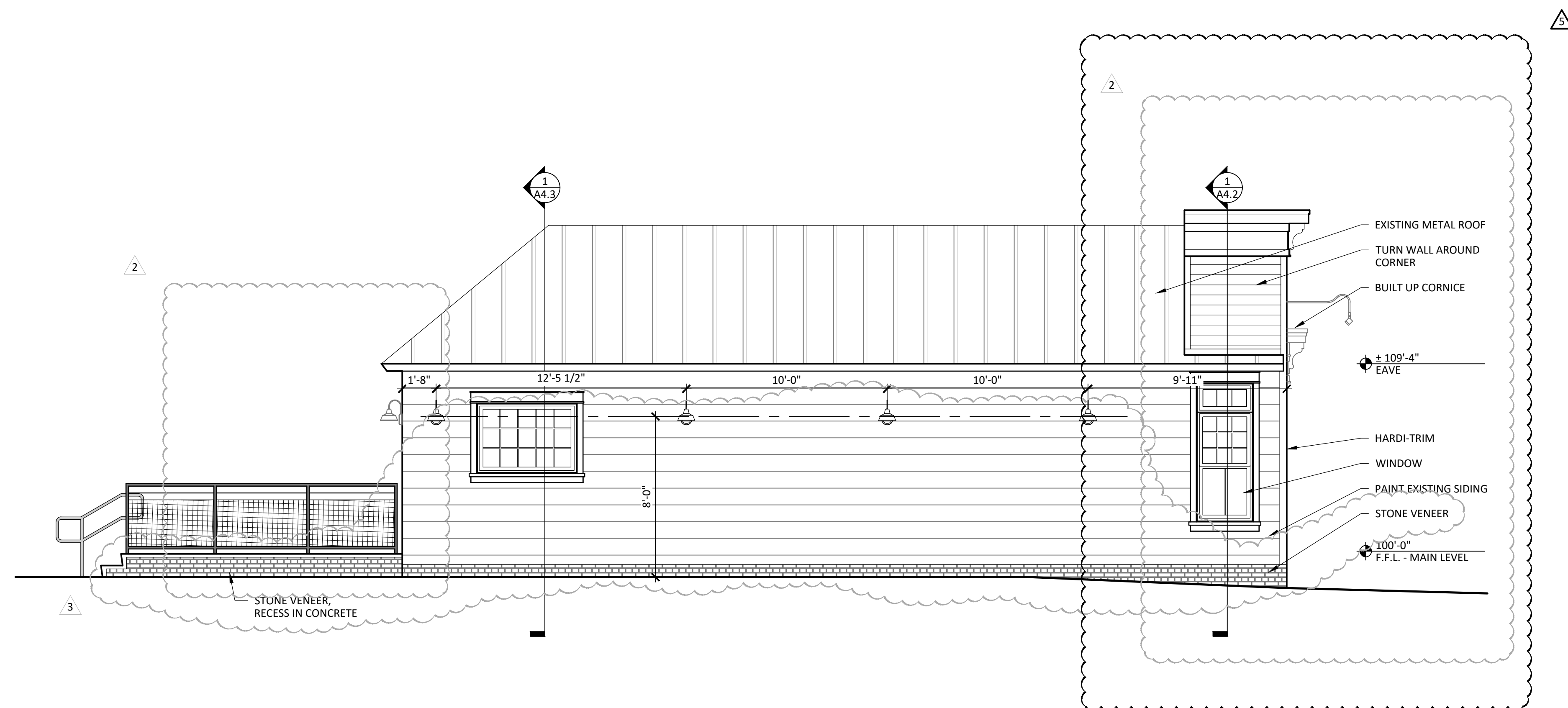
2
A2.1
EXTERIOR ELEVATION - EAST
1/4" = 1'-0"

FINISH SCHEDULE		
DESCRIPTION	MANUFACTURER	MODEL/COLOR
HORIZONTAL HARDI-PLANK SIDING	JAMES HARDIE	HARDIEPLANK, SELECT CEDARMILL, MOUNTAIN SAGE 7 1/4" WIDTH, 6" EXPOSURE
HARDI-TRIM	JAMES HARDIE	HARDIETRIM BOARDS, 4/4 SMOOTH, MOUNTAIN SAGE, WIDTH VARIES. PREPARE SURFACE TO BE PAINTED
PANELING (BELOW WINDOWS AND BOARD AND BATTEN	JAMES HARDIE	HARDIEPANEL VERTICAL SIDING, SMOOTH, MOUNTAIN SAGE, PREPARE SURFACE TO BE PAINTED.
SOFFIT PANEL AT ENTRY	JAMES HARDIE	HARDIESOFFIT PANEL, NON-VENTED SMOOTH, MOUNTAIN SAGE
WINDOW/BUILDING TRIM	SHERWIN WILLIAMS	SW 2847 ROYCROFT BOTTLE GREEN
FOUNDATION WALL PAINT	SHERWIN WILLIAMS	SW 2847 ROYCROFT BOTTLE GREEN
PORCH PAINT	SHERWIN WILLIAMS	SW 7505 MANOR HOUSE
GREEN ACCENT PAINT	SHERWIN WILLIAMS	SW 2846 ROYCROFT BRONZE GREEN
RED ACCENT PAINT	SHERWIN WILLIAMS	SW 2839 ROYCROFT COPPER RED
BRACKETS	GC TO SOURCE OR FABRICATE	SW 2846 ROYCROFT BRONZE GREEN
STANDING SEAM METAL ROOF	EXISTING TO REMAIN	PATCH AND REPAIR AS REQUIRED
GUTTERS	GC TO SOURCE OR FABRICATE	GALVANIZED METAL
DOWNSPOUTS	GC TO SOURCE OR FABRICATE	GALVANIZED METAL
WINDOWS	PELLA	DESIGNER SERIES ALUMINUM CLAD
STONE VENEER	PLYGEM	CUT COBBLESTONE WINFIELD
1. PAINT ALL EXPOSED METERS, SERVICE ENTRANCES, GAS PIPE, ROOF ACCESS LADDER, ETC. TO MATCH ADJACENT EXTERIOR WALL SURFACE.		
2. "A" INDICATES TEMPERED GLAZING LOCATIONS.		
3. ALL STOREFRONT TO BE BLACK ANODIZED.		
4. ALL GLAZING TO BE 1" INSULATED GLAZING.		
5. SIGNAGE IS SHOWN FOR REFERENCE ONLY. FINAL SIZE, LOCATION AND QUANTITY TO BE DETERMINED BY SIGNAGE VENDOR. SIGNAGE VENDER SHALL PERMIT ALL SIGNS UNDER SEPARATE COVER.		
6. REFER TO REFLECTED CEILING PLAN FOR EXTERIOR LIGHTING SPECIFICATIONS.		
7. ALL FINISHES TO BE APPROVED BY ARCHITECT AND OWNER PRIOR TO INSTALLATION.		
8. ALTERNATES ARE TO BE APPROVED BY ARCHITECT.		
9. PROVIDE SAMPLES OF ALL MATERIALS. SUBMIT TO ARCHITECT AND OWNER FOR REVIEW.		
10. FINISHES ARE SUBJECT TO CHANGE AT ANY TIME. COORDINATE FINAL FINISH SELECTION WITH OWNER.		
11. EXTERIOR METAL SHALL BE GALVANIZED AND PAINTED BLACK.		





1
A2.2
EXTERIOR ELEVATION - SOUTH
1/4" = 1'-0"



2
A2.2
EXTERIOR ELEVATION - WEST
1/4" = 1'-0"

PARKING SPACE LEASE AGREEMENT

This Parking Space Lease Agreement ("the Lease") is made this 1st day of December, 2017 ("the Effective Date") by and between William J. Waddell, whose mailing address is 2080 Jewett Rd, Powell Ohio 43065 ("Lessor") and Sun Properties Development, LLC, an Ohio limited liability company, whose mailing address is 9619 Shawnee Trail, Shawnee Hills, Ohio 43065 ("Lessee").

1. **PREMISES LEASED.** Lessor, in consideration of the rent to be paid, and the covenants and agreements to be performed by Lessee, does hereby lease to Lessee a total of Five (5) parking spaces located to the rear of 55 Scioto Street, Powell, Ohio, and more specifically depicted on Exhibit A attached hereto and incorporated herein by reference (hereinafter referred to as the "Premises"). The Premises are identified as Tax Parcel ID# 31942604003000 respectively by the Delaware County Auditor's Office (the "Parcels"). Lessee acknowledges that the parking spaces to the rear of 55 Scioto Street have not yet been constructed and must receive engineering plan approval.

2. **LEASE TERM.** The term of this Lease shall be for a period of 2 years, which term shall begin on March 1, 2018. This Lease shall expire on February 28, 2020. At the end of the Lease Term, the Lease shall automatically renew for a period of One (1) additional years from the expiration date. If the Lessor or Lessee does not want to renew the Lease, the party not wanting to renew must notify the other party in writing at least 30 days before the end of the Lease Term.

3. **RENT.**

(a) Lessee shall pay to Lessor monthly the sum of \$100 (the "Rent"). Rent shall be due on the Commencement Date and the first day of each month thereafter for the duration of the Lease Term. Rent in partial months shall be equitably prorated. In the event that Lessee fails to pay Rent within ten (10) days after it becomes due, Lessor shall notify Lessee in writing of the failure to timely pay rent. Lessee will have five (5) weekdays after receiving written notice of such failure to cure.

Sun Restaurant Development (the "Permitted Use") and will be open for the Permitted Use from 12 p.m. until 12 a.m., seven days a week.

5. **RIGHT OF ACCESS.** The designated access point for the parking spaces located to the rear of 55 Scioto Street. The Right of Access shall inure to the benefit of the Lessee and its invitees, successors and assigns for the duration of the Lease Term and any extensions thereof.

6. **MAINTENANCE.** Lessor shall be solely responsible for performing all maintenance necessary to ensure the integrity of the Premises and its fitness and use as a parking lot, including snow plowing and removal, crack sealing, sealing, and striping of the entire parking lot.

7. **INSURANCE.** During the Lease Term, Lessee shall, at Lessee's sole cost and expense, keep in full force and effect, a commercial general liability policy insuring Lessee against any liability or claim for personal liability, wrongful death, or property damage occurring within or upon the Premises arising out of negligent actions of the Lessee, with commercially reasonable policy limits. Lessor shall add the Lessee as an additional insured for negligent actions of the Lessee, and/or its officials, employees or other representatives, arising out of its use of the designated parking spaces. Lessee shall verify proof of insurance coverage by providing a valid certificate of insurance or comparable document to the Lessor for the Lease Term set forth herein.

8. **DAMAGE OR DESTRUCTION OF PREMISES.** In the event that the Premises is damaged or destroyed by any hazard, peril or other casualty, then Lessor shall, repair or restore the Premises to its condition as of the effective date of this Lease within a reasonable time from receipt of payment as agreed by the parties. Should the damage, destruction or construction prevent partial use or use of the Premises by the Lessee, rent shall be prorated per space lost.

9. **DEFAULT.** Failure to comply with any of the terms and provisions of this Lease shall constitute a default hereof. In the event that either Lessor or Lessee are in default of this Lease, then the non-defaulting party must provide the defaulting party with written notice of the default and the defaulting party shall have thirty (30) days in which to cure the default. If the default is of such a nature that it cannot reasonably be cured within thirty (30) days, then the defaulting party shall have such time as is reasonably necessary to cure the default.

10. **TERMINATION.** Lessor or Lessee shall have the right at any time during the Lease Term to terminate this Lease upon providing six (6) months prior written notice of the intent to terminate to the non-terminating party.

11. **REPRESENTATIONS AND WARRANTIES.** Lessor represents and warrants that it has full right and title to the Premises, that it is authorized to enter into this Lease, and that there is a mortgage but otherwise no other liens on the Premises. Lessor further represents and warrants that there are no restrictions, easements, or covenants currently governing the Premises that would prevent its use as a parking lot. Lessor covenants that it will defend Lessee's leasehold title and right to the Premises and ensure Lessee's undisturbed, quiet and peaceful possession of the Premises. Lessor will not do or suffer any act to be done which could in any way lessen or impair the rights of Lessee in the Premises, so long as Lessee shall fully perform and comply with the terms and provisions herein.

12. **ENTIRE AGREEMENT.** This document shall constitute the entire agreement between the parties and shall supersede any prior agreements of the parties with respect to the Premises, whether written or oral. The Lease shall not be modified or amended except by written instrument signed by both parties.

13. **ASSIGNMENT.** The Parties may not assign this Agreement or any part of the Premises without the prior written consent of the other party.

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14. **SEVERABILITY**. The invalidity of any provision of this Lease as determined by a court of competent jurisdiction shall in no way affect the validity of any other provision hereof.

15. **APPLICABLE LAW**. This Lease shall be governed by the laws of the State of Ohio.

IN WITNESS WHEREOF, the parties hereto have executed this Lease as of the date first written above.

Lessor:

 12/11/17
William J Waddell

Lessee:

 12/11/17
Sun Properties Development, LLC
By: Dustin Sun, Member



**HI-LITE MFG.
CO., INC**

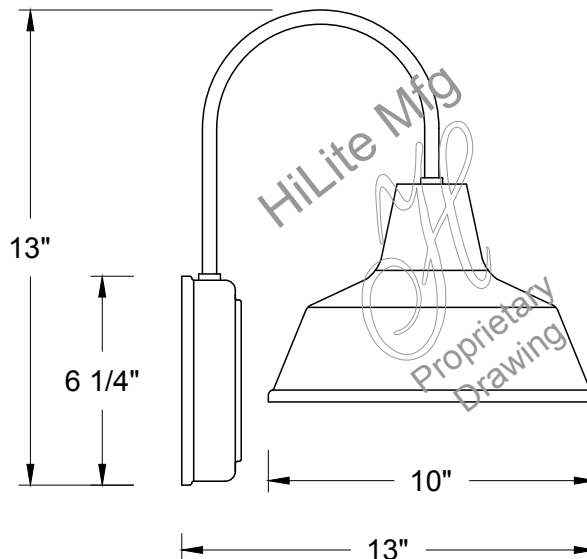
13450 Monte Vista Avenue
Chino, California 91710
Telephone: (909) 465-1999
Toll Free: (800) 465-0211
Fax: (909) 465-0907
web: www.hilitemfg.com
e-mail: sales@hilitemfg.com

**H-15110-B
Warehouse Shade
Collection**

Job Name:

Type:

Quantity:



FINISH -Multi-stage pretreatment procedure using materials of polyester/polished powder coat, baking enamel liquid, raw metals, and galvanized finishes.

Standard Finishes are: 91(Black), 93(White), 95(Dark Green), 96(Galvanized), BR47(Powder Coat Rust), BK01(Black Texture), GN20(Powder Coat Patina).

Upgraded Finishes are: 29, 66, 82, 90, 92, 94, 97, 99, 100, 103, 104, 105, 110, 112, 113, 114, 115, 117, 118, 119, 120, 127, 128, 129, 133, 134, 135, 136, 138, 139, 140, 01, 11, 22, 25, 33, 77, 89, 24, 44, 48, 49.

(Custom finishes available).

For interior finish of fixture refer to color chart on pages 344-348.

REFLECTOR - Heavy duty, spun shade, aluminum 6061-0 and/or 1100-0, galvanized 22 gauge, steel 20/22 gauge, copper 032/040 and brass 032/040 construction. Dependant on finish.

SOCKETS/LAMPS - Available in:

Incandescent

- rated 100 watt max/120 volt, medium base.

MOUNTING - Wall Mount.

ACCESSORIES - WGR(Wire Guard) available.

MADE IN THE U.S.A.

Suitable for wet location.



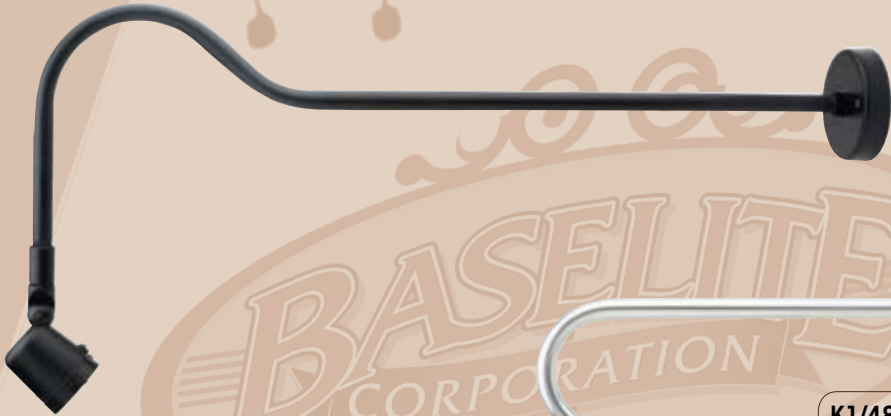
SIGN LIGHTS



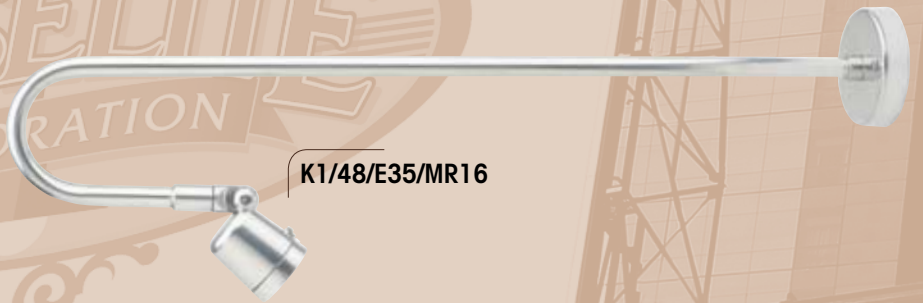
K4/42/E39



K3/63/E39



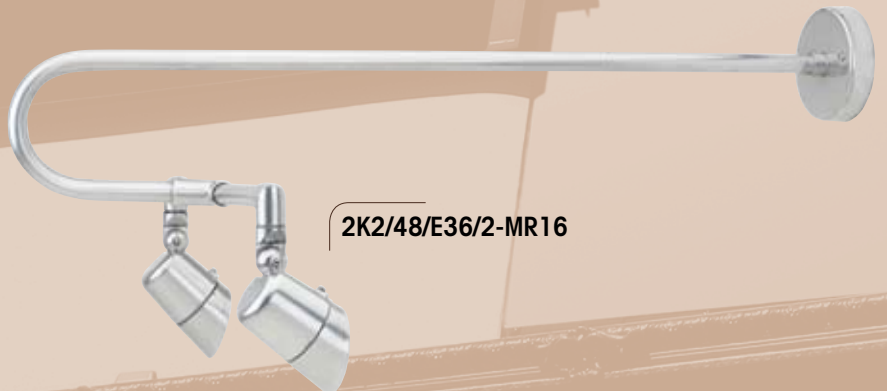
K1/61/E34/MR16



K1/48/E35/MR16



2K2/41/E37/2-MR16



2K2/48/E36/2-MR16

SIGN LIGHTS



K2/61/E32/MR16



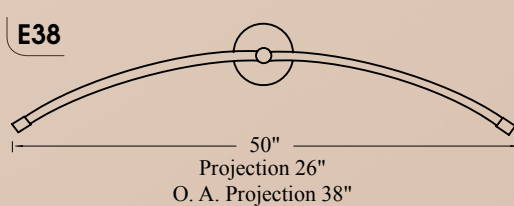
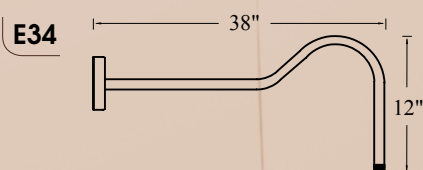
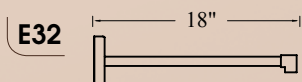
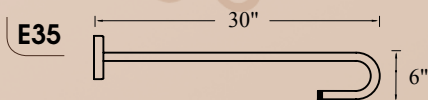
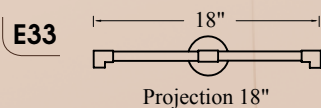
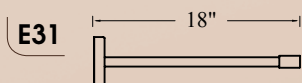
2K2/61/E33/2-MR16



K1/41/E31/MR16



2K1/74/E38/2-MR16



Model #	Color	Mounting Source	Light Source
K1	40,41,42,43,44,45,46,48,	E31,E32,E33,34,	MR16-50W
K2	49,50,51,52,53,54,55,57,	E35,E36,E37,E38	
	58,59,60,61,62,63		
K3			26, 32 or 42WCF
K4			26, 32 or 42WCF
			70, 100 or 175WMH