CITY OF POWELL

PLANNING AND ZONING COMMISSION (P&Z) FINAL DEVELOPMENT PLAN APPLICATION



ALL ITEMS ON THIS APPLICATION	N MUST BE COMPLETED.	Application Fee: \$600.00 + \$90.00 per acre
Applicant:		
Address/City/State/Zip:		
Email Address:		
Phone No:	Cell Phone No:	Fax No:
Property Owner:		
Address/City/State/Zip:		
Email Address:		
Phone No:	Cell Phone No:	Fax No:
Architect/Designer for Applica	nt:	
Address/City/State/Zip:		
Email Address:		
Phone No:	Cell Phone No:	Fax No:
Property Address:		
Lot Number/Subdivision:	Existing Use:	Proposed Use:
Reason for Administrative Revie	ew (attach necessary documer	nts):
<u>Checklist:</u>		
 □ Provide any other information below or attach additional page □ 5 copies of all drawings, text, □ 1 digital copy (CD, USB, Emai □ Attach the required fee - \$60 	n that may be useful to the Plannes. any other items, and application) of the complete application pa 0.00 + \$90.00 per acre. st (10) days prior to a public heari	

APPROVAL SHALL EXPIRE AND MAY BE REVOKED IF CONSTRUCTION DOES NOT BEGIN WITHIN TWO (2) YEARS FROM THE DATE OF ISSUANCE OF APPROVAL.

I agree to grant the City Staff, the Commission, Board or Council considering this application access to the property that is the subject of this application for the purposes of reviewing this application and posting public notice for this application.

ure of Applicant:	au Certe Date:	
Office Use	Office Use	
	AMT	
	TYPE/DATE	
	RECEIPT #	
	PAYOR	
Pacaivad	Payment	

City of Powell · 47 Hall Street · Powell, Ohio 43065 · (614) 885-5380 · (614) 885-5339 fax· www.cityofpowell.us

Final Development Plan Application for:

The Mews at Zion

Residential Development

10331 Sawmill Road Powell, Ohio





39 East Main Street Suite 101 New Albany, Ohio 43054 (614) 245-8273 www.dpaarchitecture.com

The Mews at Zion:

The Mews at Zion is a residential development at the southeast corner of Old Sawmill and Zion road in Powell, Ohio. The development consists of four 2-unit buildings that will have its main frontage facing Zion Road with access coming off Old Sawmill Road. All the units will be two-story 3-bedroom units with a master bedroom on the first floor and a two car attached garage. Units shall range from 2,000 to 2,430 square feet.

The target market for these units shall be focused toward retirees and empty nesters. It is anticipated with that information that these units will have a minimal impact on schools. With these units also located on a street corner it also provides a more ideal use, as these unit are likely not to have children. The density of the development will also provide an ideal buffer to the existing southern condominium development. The development is intended to be structured as a Fee Simple Ownership.

The Building Design has been developed to fit the context of the area and while the structures are two stories, elements have been added to breakdown the scale of the buildings to fit well with single story structures in the area. Other design elements have been incorporated from the City of Powell Architectural Guidelines for the Downtown Historic District.

A sight line study has been performed comparing the existing structures with the new two-story units. The primary heights of the Mews at Zion have 60% of their roof lines at the same height or lower than Sawmill Commons, this was accomplished through the use of single story elements, porch roof lines, and variations in the roof to provide a sense of scale that is proportionate to that of the surrounding one-story buildings.

The Organization of the development shall allow the individual owner to provide a patio on the garage side of the structure and have the following limitations:

Patios and Decks shall comply with the following: Patio materials shall be of a natural color paver or stone material with a maximum square footage of 150 square feet. Decks shall be of a natural wood or composite decking material with railings not exceeding 42" in height and shall have a maximum square footage of 150 square feet. Each home owner shall be responsible for obtaining all permits necessary for the construction from the City of Powell.

Site circulation shall be from Old Sawmill Road and provide direct access to the 2 car garages while keeping the main front Zion Road elevations free of garage doors. Access has been provided from the garage side of the units to the front by access sidewalks between the units. Mail shall be provided by a mail kiosk located on site for those residents to access as directed per the local United States Post Office. Trash pickup shall be weekly with each home owner maintaining them off the streetscape until trash pickup day. There shall be direct access to the biking/walking path from the units by direct walkway connections. Landscaping on the site adheres to the density required by the City of Powell with emphasis placed with landscaping materials in areas to block headlights from the adjacent development.

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MEWS AT ZION

residential development

10331 Sawmill Road Powell, Ohio 43065



BUILDING-00 I







BUILDING-004

DRAWING INDEX

COVER SHEET
OVERALL CONTEXT PLAN
COLOR FRONT ELEVATIONS
COLOR SITE PLAN RENDERING
ENLARGED COLOR ELEVATIONS-1
ENLARGED COLOR ELEVATIONS-2

A6.10 DETAILS & SPECIFICATIONS

LINE OF SIGHT STUDIES

L-I LANDSCAPE PLAN

BUILDING OO I-FLOOR PLAN
BUILDING OO I-SECOND FLOOR PLAN
BUILDING OO2-FLOOR PLAN
BUILDING OO2-SECOND FLOOR PLAN

A1.31 BUILDING 003-FLOOR PLAN
A1.32 BUILDING 003-SECOND FLOOR PLAN
A1.41 BUILDING 004-FLOOR PLAN
A1.42 BUILDING 004-SECOND FLOOR PLAN

BUILDING 004-ROOF PLAN

BUILDING 004-ELEVATIONS

BUILDING 001-ROOF PLAN
BUILDING 002-ROOF PLAN
BUILDING 003-ROOF PLAN

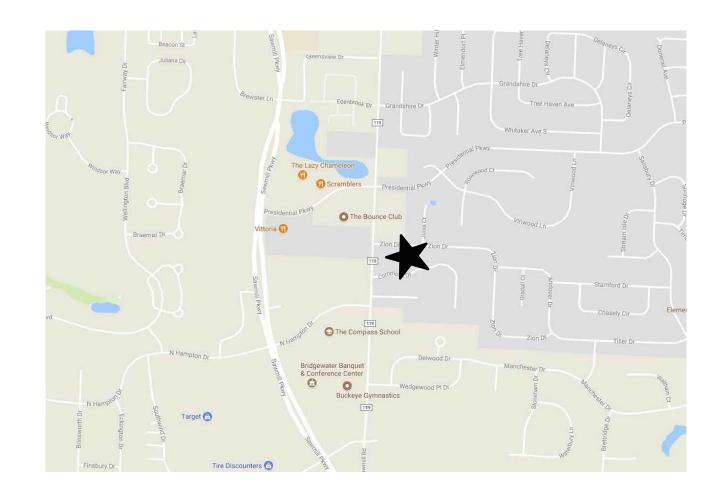
A3.11 BUILDING OO I -ELEVATIONS
A3.12 BUILDING OO I -ELEVATIONS
A3.21 BUILDING OO2-ELEVATIONS

A3.22 BUILDING 002-ELEVATIONS
A3.31 BUILDING 003-ELEVATIONS
A3.32 BUILDING 003-ELEVATIONS
A3.41 BUILDING 004-ELEVATIONS

SANITARY/SEWER & SITE DRAWINGS - SEE ENGINEER'S DRAWING PACKAGE FOR SHEET INDEX

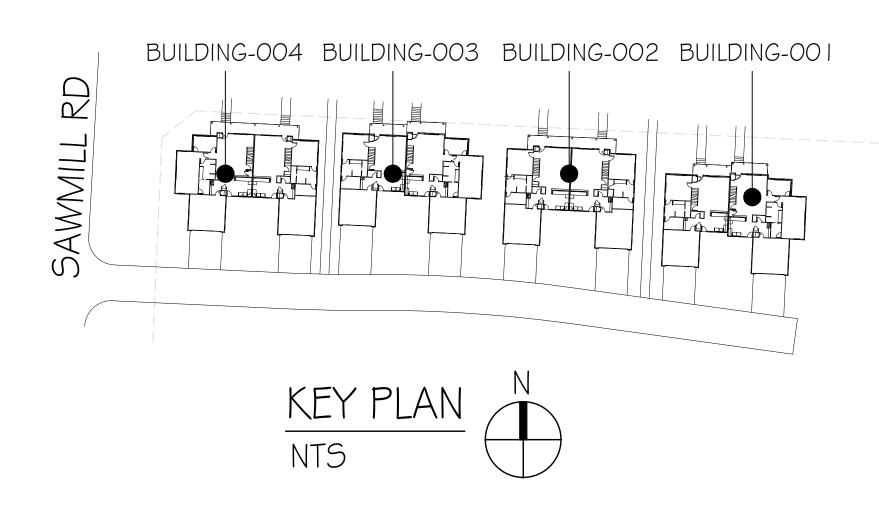
OWNER

Elite Real Estate Holdings, LLC 1033 | Sawmill Road Powell, Ohio 43065 614-286-4875















Overall Context Plan

SCALE: NTS

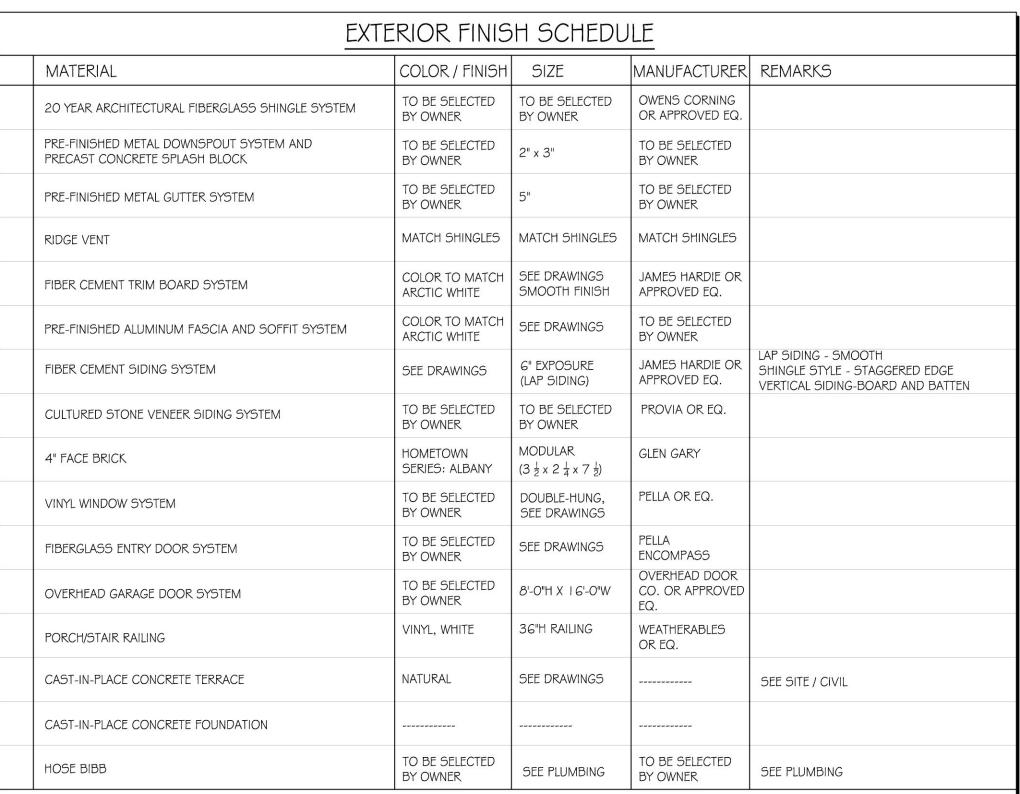












I. SUBMITTALS OF ALL COLOR SAMPLES AND MOCK-UPS TO DESIGN ARCHITECT FOR APPROVAL IS AT THE DISCRETION OF OWNER.

AND AESTHETIC REQUIREMENTS OF SCHEDULED PRODUCTS ARE SUBJECT TO REVIEW \$ APPROVAL BY OWNER AND ARCHITECT.

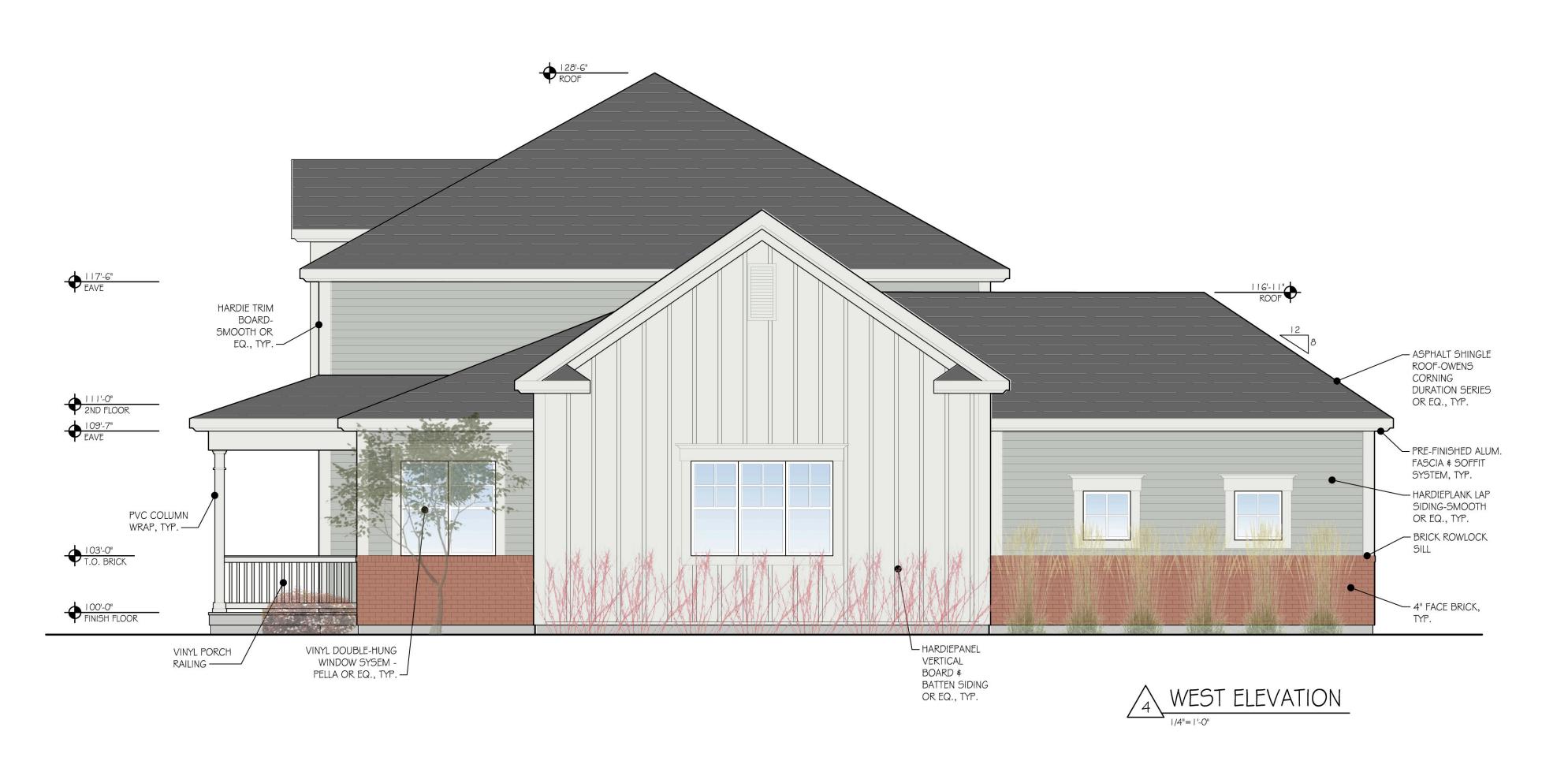
ALL DETAILS SHOWN BY DESIGN ARCHITECT ARE FOR DESIGN INTENT ONLY.
 SCHEDULED PRODUCTS \$ FINISHES ARE BASIS OF DESIGN FOR THE WORK. ALTERNATE PRODUCTS THAT MEET PERFORMANCE



Building 004 Elevations

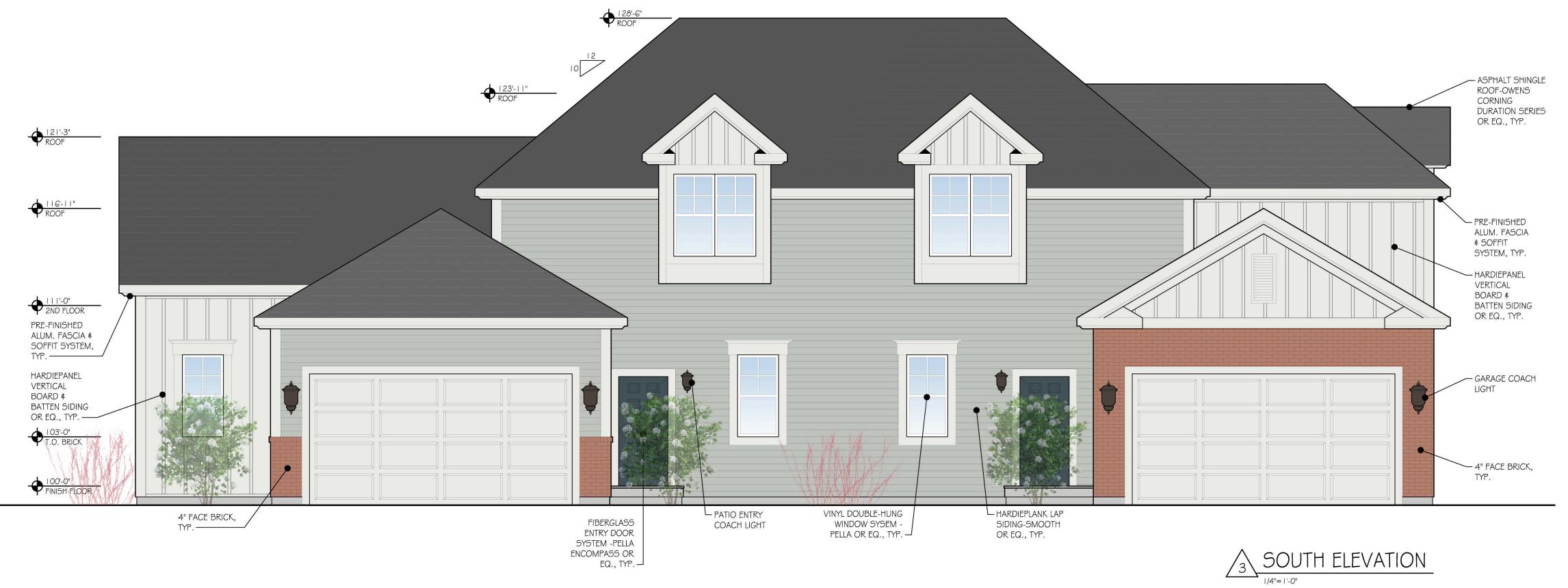
SCALE: 1/4" = 1'-0"





EXTERIOR FINISH SCHEDULE						
MATERIAL	COLOR / FINISH	SIZE	MANUFACTURER	REMARKS		
20 YEAR ARCHITECTURAL FIBERGLASS SHINGLE SYSTEM	TO BE SELECTED BY OWNER	TO BE SELECTED BY OWNER	OWENS CORNING OR APPROVED EQ.			
PRE-FINISHED METAL DOWNSPOUT SYSTEM AND PRECAST CONCRETE SPLASH BLOCK	TO BE SELECTED BY OWNER	2" x 3"	TO BE SELECTED BY OWNER			
PRE-FINISHED METAL GUTTER SYSTEM	TO BE SELECTED BY OWNER	5"	TO BE SELECTED BY OWNER			
RIDGE VENT	MATCH SHINGLES	MATCH SHINGLES	MATCH SHINGLES			
FIBER CEMENT TRIM BOARD SYSTEM	COLOR TO MATCH ARCTIC WHITE	SEE DRAWINGS SMOOTH FINISH	JAMES HARDIE OR APPROVED EQ.			
PRE-FINISHED ALUMINUM FASCIA AND SOFFIT SYSTEM	COLOR TO MATCH ARCTIC WHITE	SEE DRAWINGS	TO BE SELECTED BY OWNER			
FIBER CEMENT SIDING SYSTEM	SEE DRAWINGS	6" EXPOSURE (LAP SIDING)	JAMES HARDIE OR APPROVED EQ.	LAP SIDING - SMOOTH SHINGLE STYLE - STAGGERED EDGE VERTICAL SIDING-BOARD AND BATTEN		
CULTURED STONE VENEER SIDING SYSTEM	TO BE SELECTED BY OWNER	TO BE SELECTED BY OWNER	PROVIA OR EQ.			
4" FACE BRICK	HOMETOWN SERIES: ALBANY	MODULAR (3 $\frac{1}{2}$ x 2 $\frac{1}{4}$ x 7 $\frac{1}{2}$)	GLEN GARY			
VINYL WINDOW SYSTEM	TO BE SELECTED BY OWNER	DOUBLE-HUNG, SEE DRAWINGS	PELLA OR EQ.			
FIBERGLASS ENTRY DOOR SYSTEM	TO BE SELECTED BY OWNER	SEE DRAWINGS	PELLA ENCOMPASS			
OVERHEAD GARAGE DOOR SYSTEM	TO BE SELECTED BY OWNER	8'-0"H X 16'-0"W	OVERHEAD DOOR CO. OR APPROVED EQ.			
PORCH/STAIR RAILING	VINYL, WHITE	36"H RAILING	WEATHERABLES OR EQ.			
CAST-IN-PLACE CONCRETE TERRACE	NATURAL	SEE DRAWINGS		SEE SITE / CIVIL		
CAST-IN-PLACE CONCRETE FOUNDATION						
HOSE BIBB	TO BE SELECTED BY OWNER	SEE PLUMBING	TO BE SELECTED BY OWNER	SEE PLUMBING		

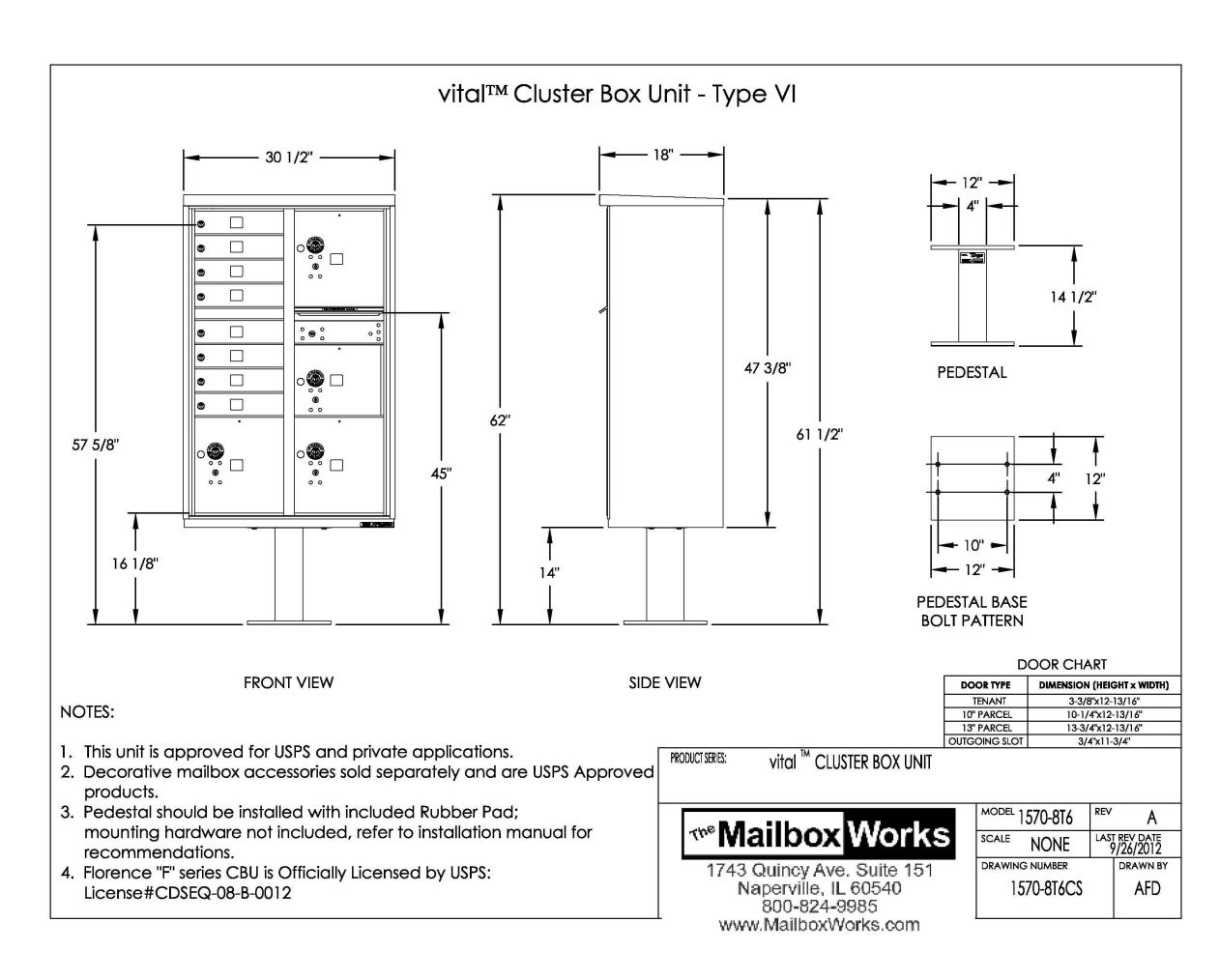
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Building 004 Elevations

SCALE: 1/4" = 1'-0"









Yorkshire™ 36" Vinyl Railing System

QUICK OVERVIEW

The Yorkshire™ is a 36" vinyl railing system that offers a stylish look featuring NOT FOR CONSTRUCTION molded Trail top rail and bottom will all the stylish look featuring NOT FOR CONSTRUCTION molded T-rail top rail and bottom rail, along with 7/8" x 1 1/2" rectangular pickets. Like all of our vinyl railing systems, the Yorkshire™ is a vinyl railing that is easy to assemble, offers hidden fastening brackets and includes all of the instructions needed for installation.

PORCH RAILING SPECIFICATION

PORCH \$ STAIR RAILING: WEATHERABLES, 36" VINYL RAILING, YORKSHIRE, WHITE

-LINTEL (1X8 TRIM BOARD)

JAMB (IXG TRIM BOARD)

~30"W x 60"H VINYL

DOUBLE-HUNG WINDOW

SYSTEM BY PELLA OR EQ

-SILL (IX6 TRIM BOARD)

DAVID PONTIA, #9310464 EXPIRATION DATE 12/31/2019

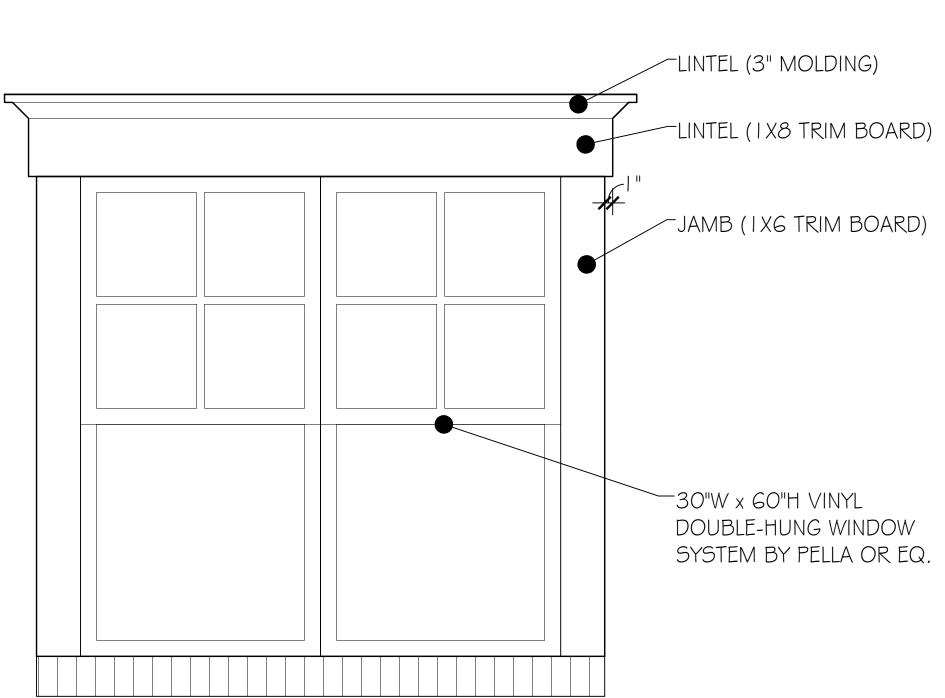


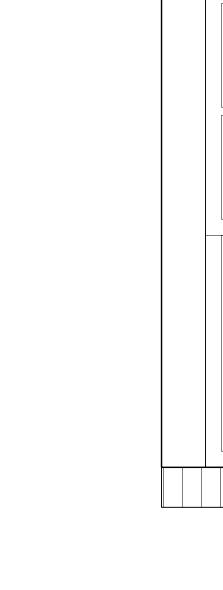
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DETAILS \$ SPECIFICATIONS

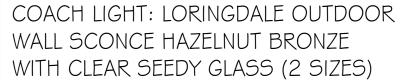
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FINAL DEVELOPMENT
PLAN APPLICATION REVISIONS _____





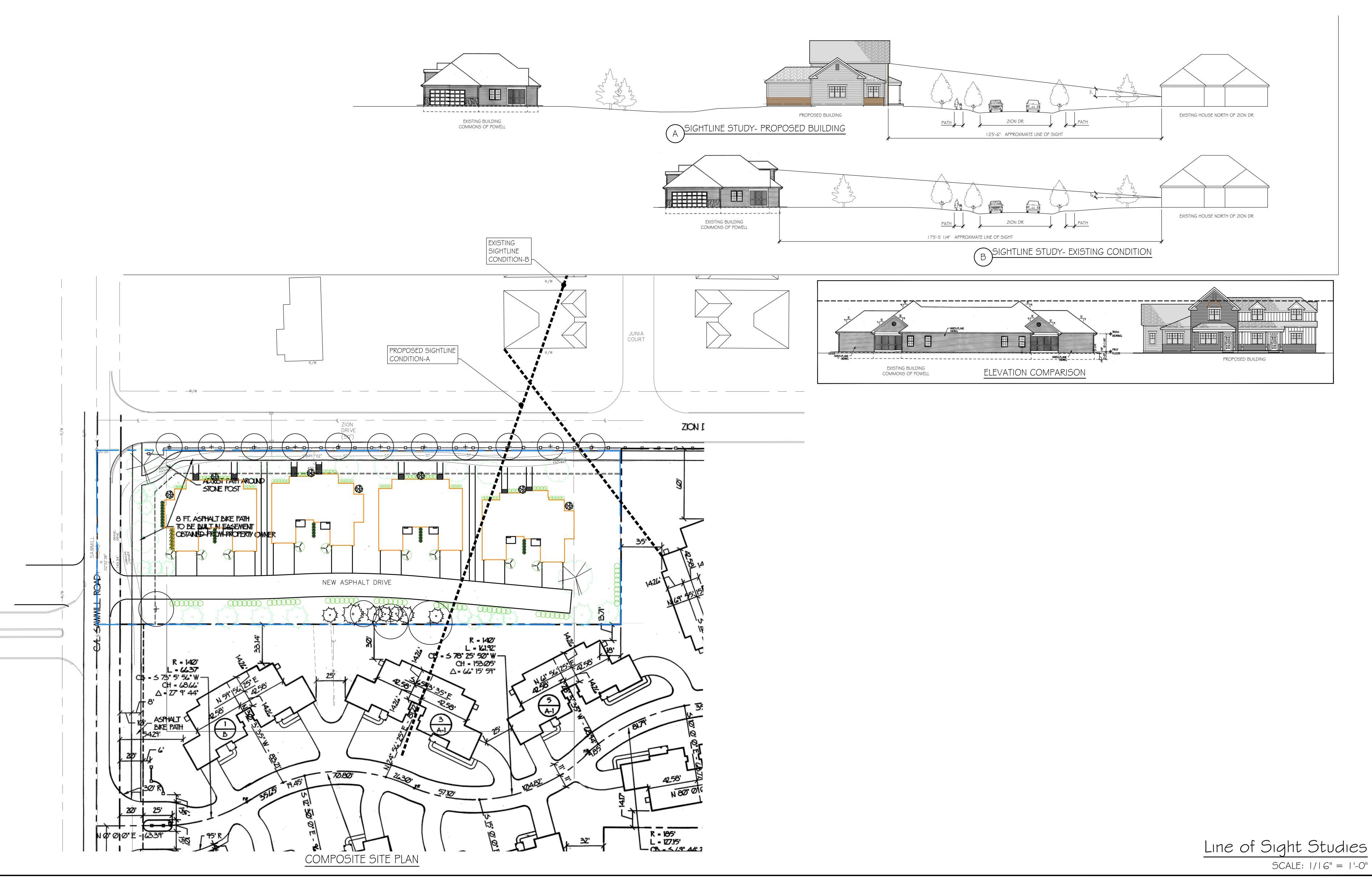




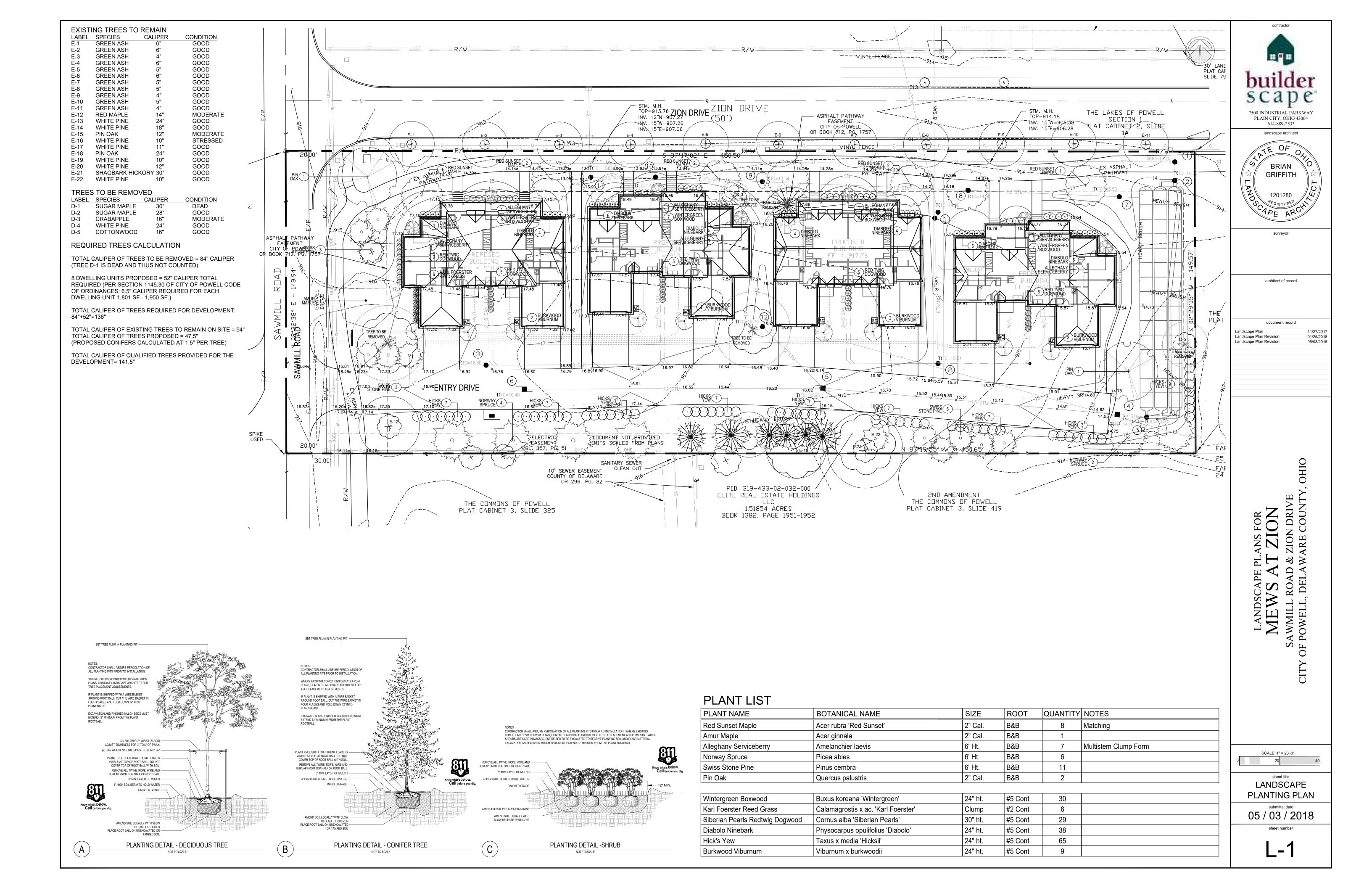


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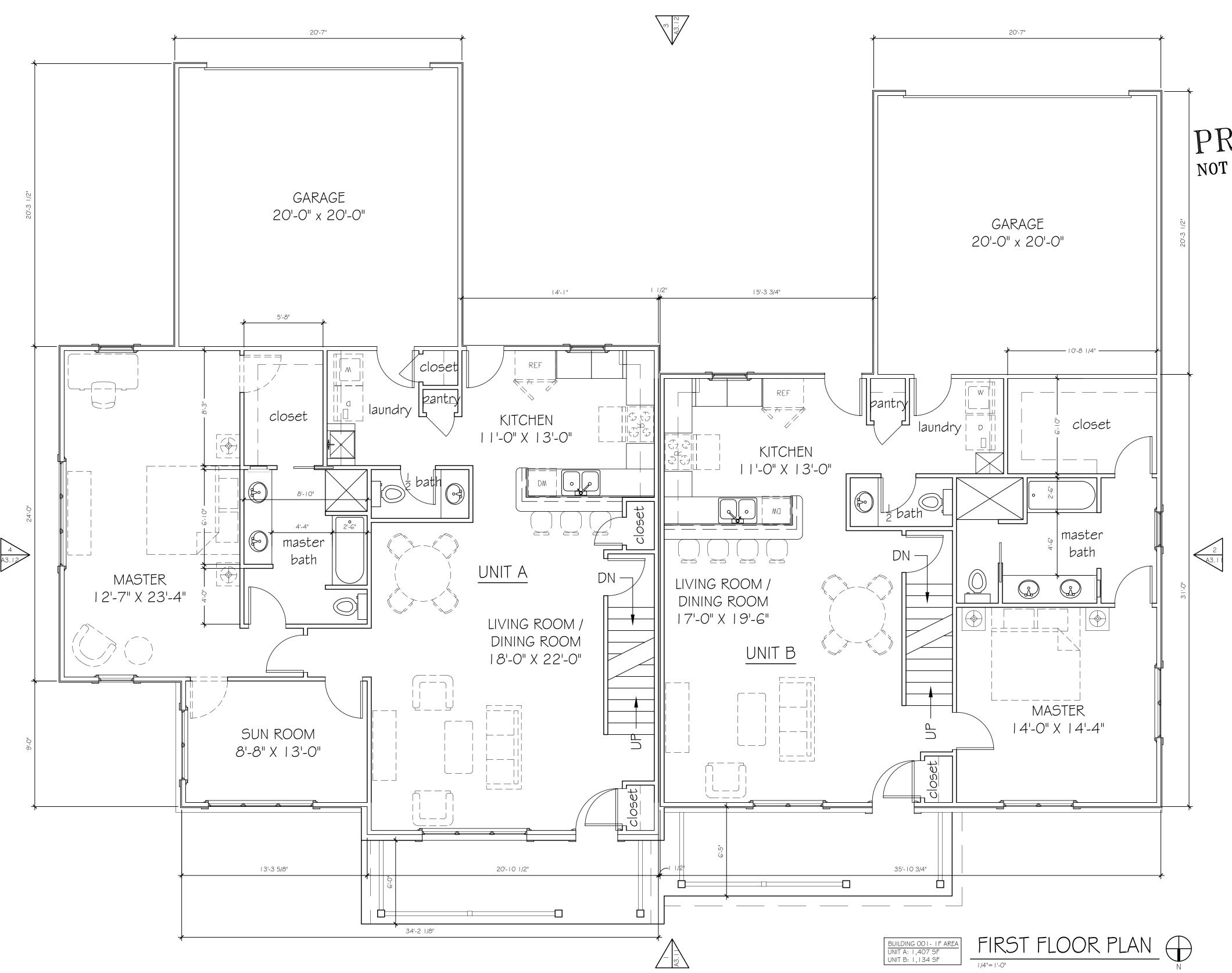


PRELIMINARY
NOT FOR CONSTRUCTION DAVID PONTIA, #9310464 EXPIRATION DATE 12/31/2019



SHEET TITLE FLOOR PLAN BUILDING-001

SHEET INFORMATION PROJECT NUMBER ______1619 DRAWN BY _____ CHECKED BY _______ REVISIONS ____ SHEET NUMBER



E. Main Street, Suite 101

A Albany, Ohio 43054
-245-8273

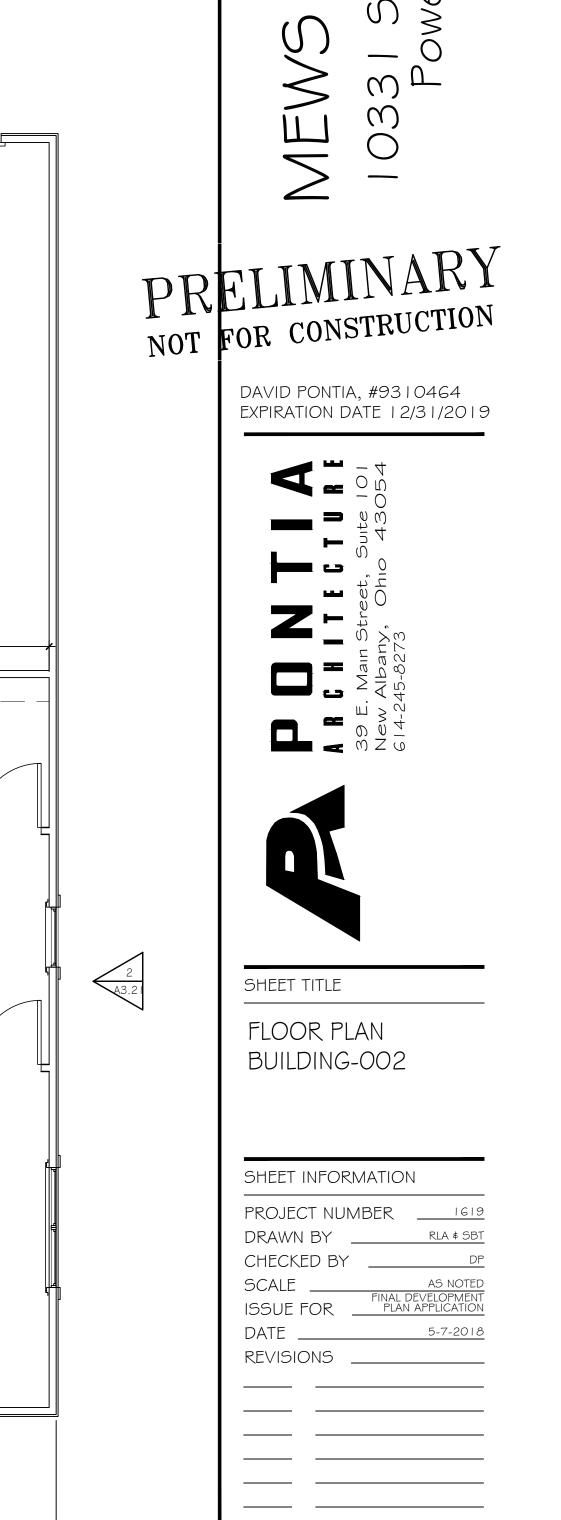


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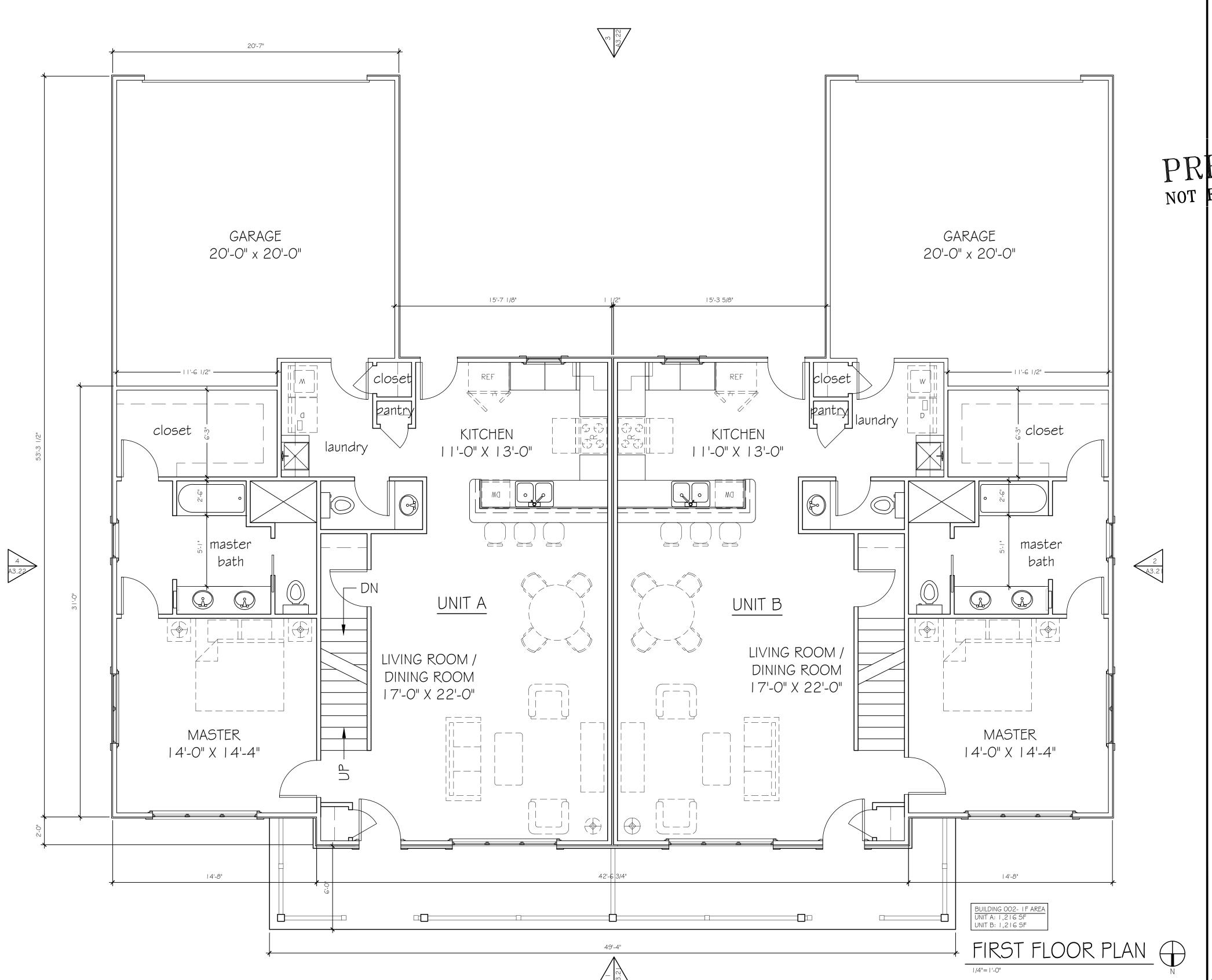
SECOND FLOOR BUILDING-00 I

SHEET INFORMATION
PROJECT NUMBER
SHEET NUMBER

35'-0"	BEDROOM 12'-3" x 18'-0" DN bathroom bathroom	BEDROON 17'-0" x 17'-			closet	BEDROOM 14'-0" x 17'-0"	24-0"
	BEDROOM 12'-6" x 18'-0"		BUILD UNIT A	35'-10 3/4" 35'-10 3/4" Sing ool - 2F AREA A: 738 SF B: 871 SF	SECONI	D FLOOR PLAN	



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SHEET TITLE

SECOND FLOOR

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PROJECT NUMBER 1619

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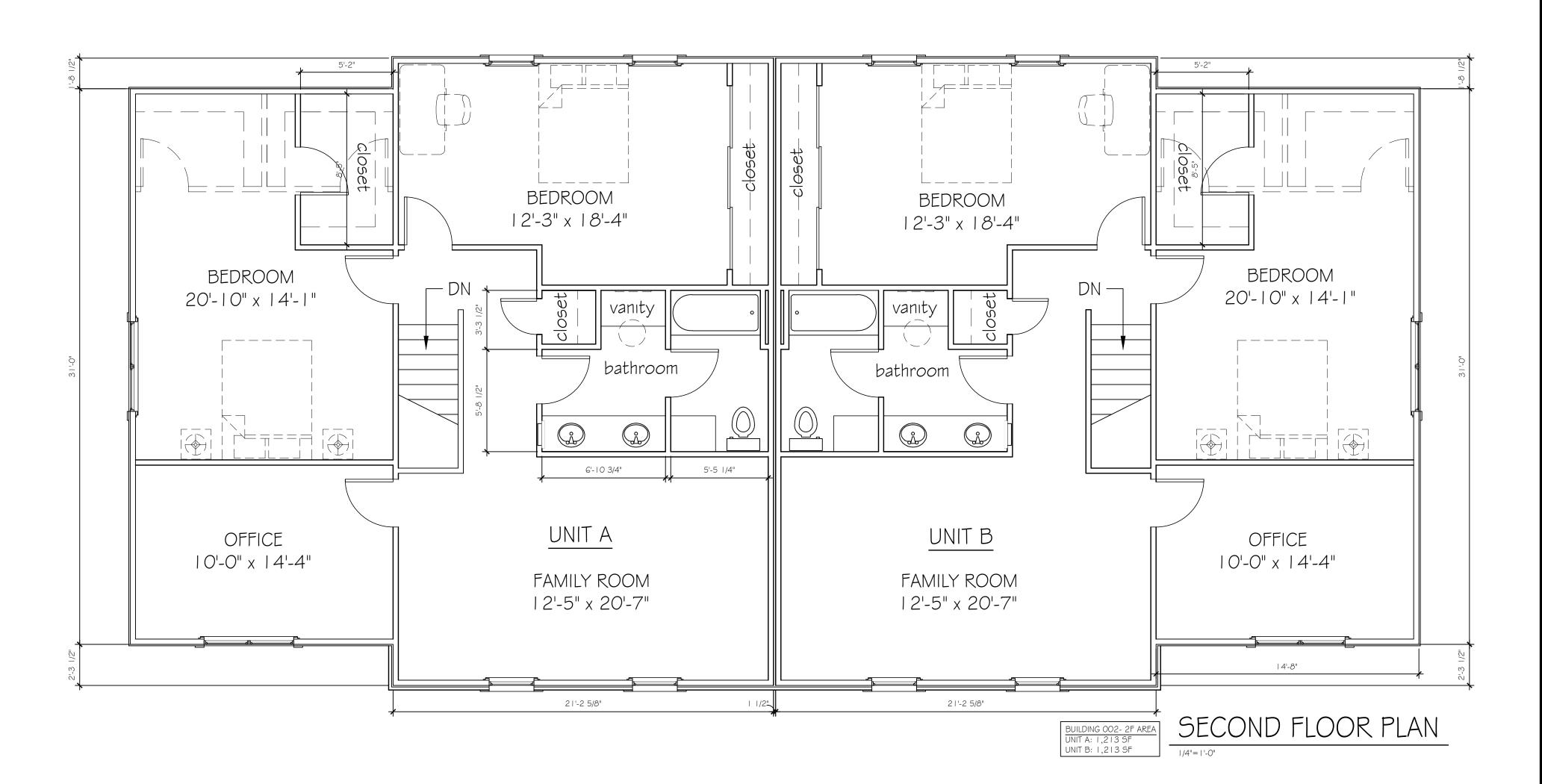
CHECKED BY DP

BUILDING-002

SCALE AS NOTED
ISSUE FOR FINAL DEVELOPMENT PLAN APPLICATION
DATE 5-7-2018
REVISIONS

REVISIONS _____

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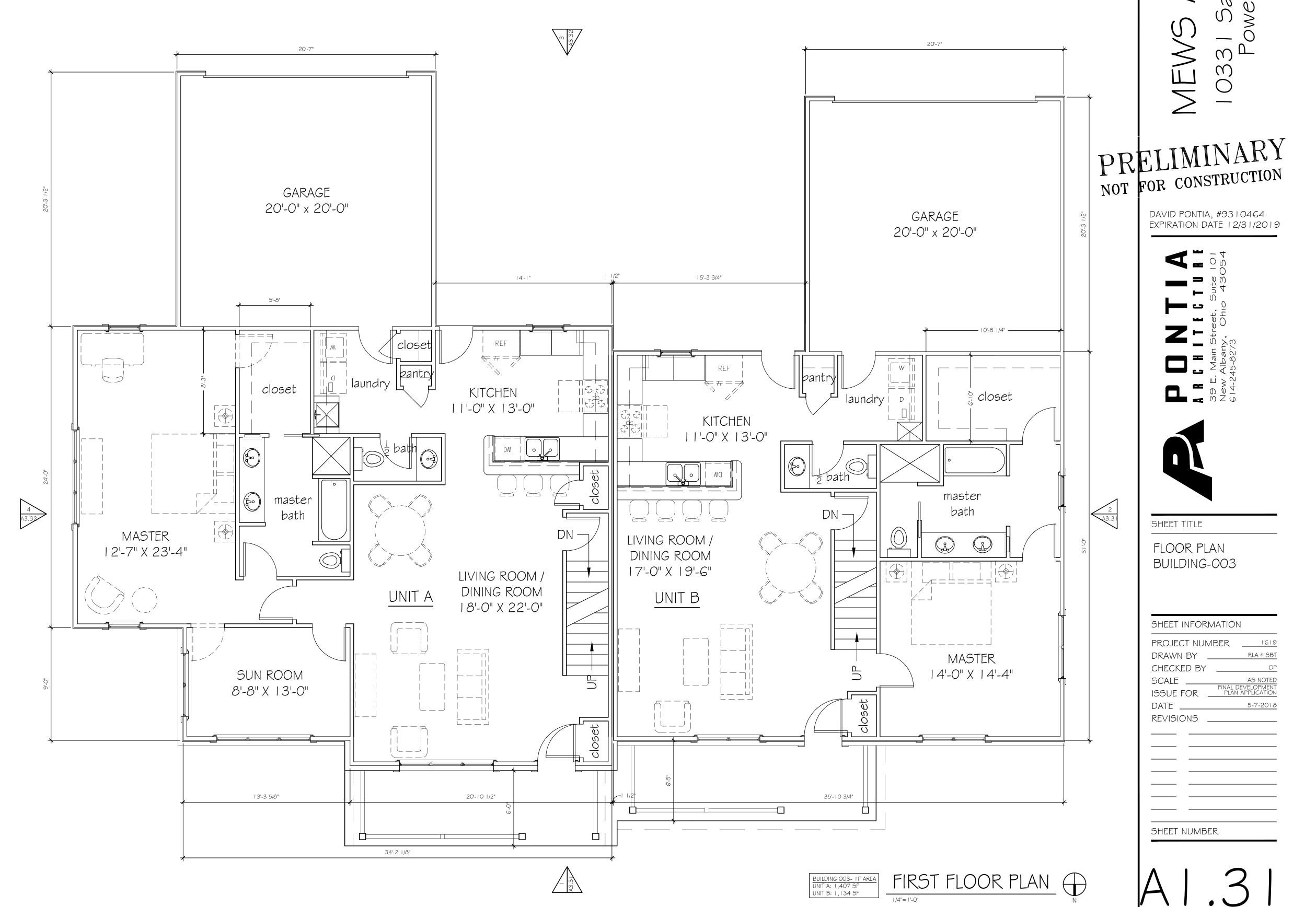




SHEET TITLE FLOOR PLAN BUILDING-003

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FINAL DEVELOPMENT
PLAN APPLICATION REVISIONS ____ SHEET NUMBER



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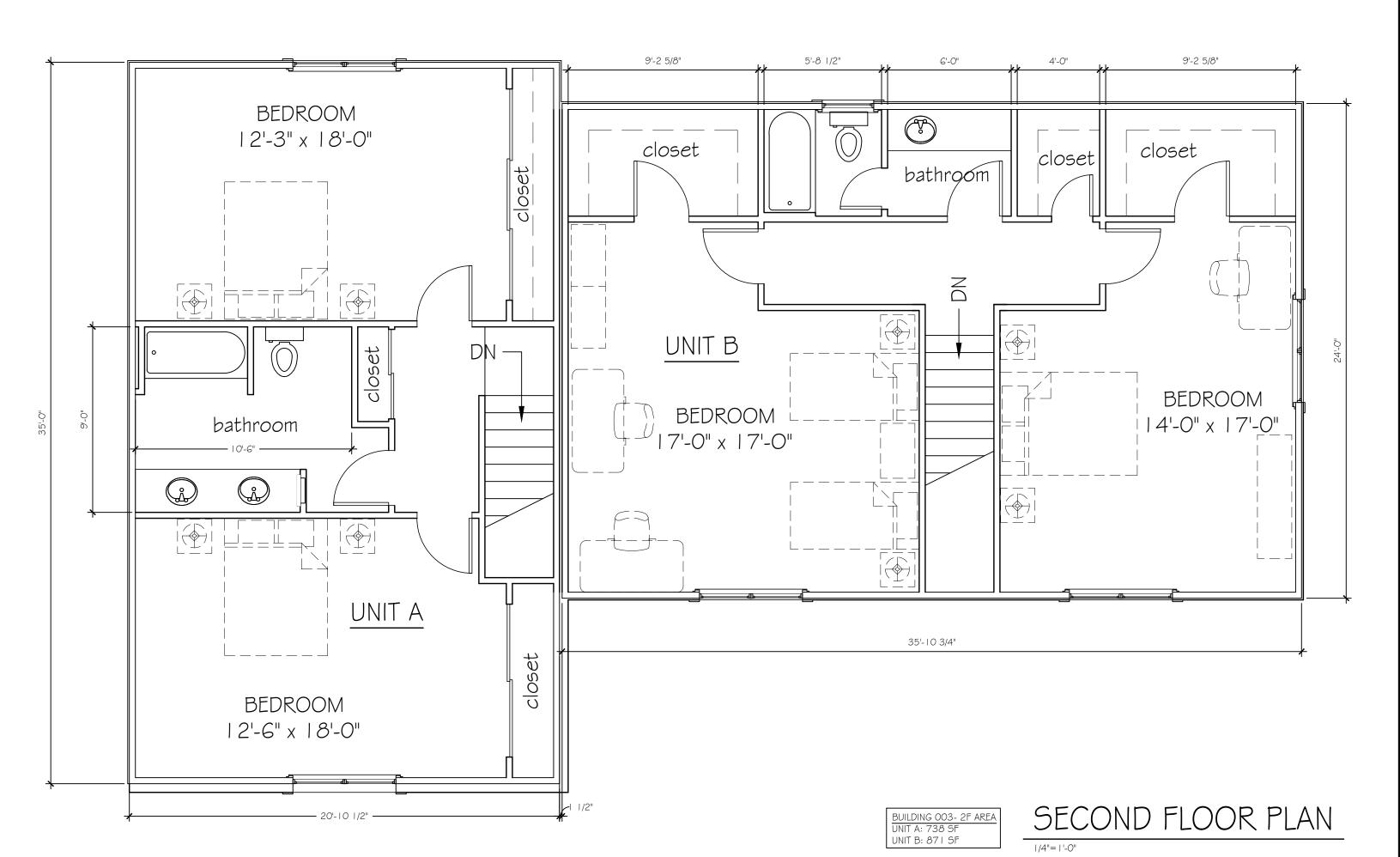
DAVID PONTIA, #9310464 EXPIRATION DATE 12/31/2019

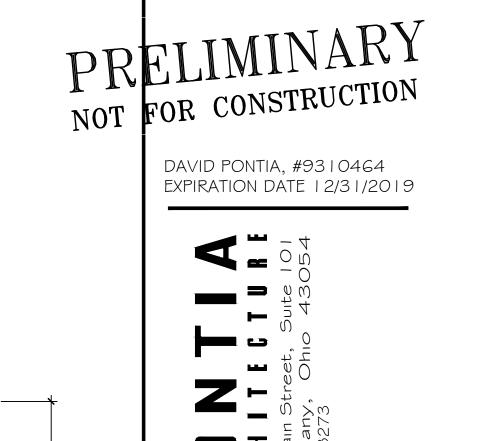
B C H I T E C T B E S S E. Main Street, Suite 101
New Albany, Ohio 43054
14-245-8273



SHEET TITLE

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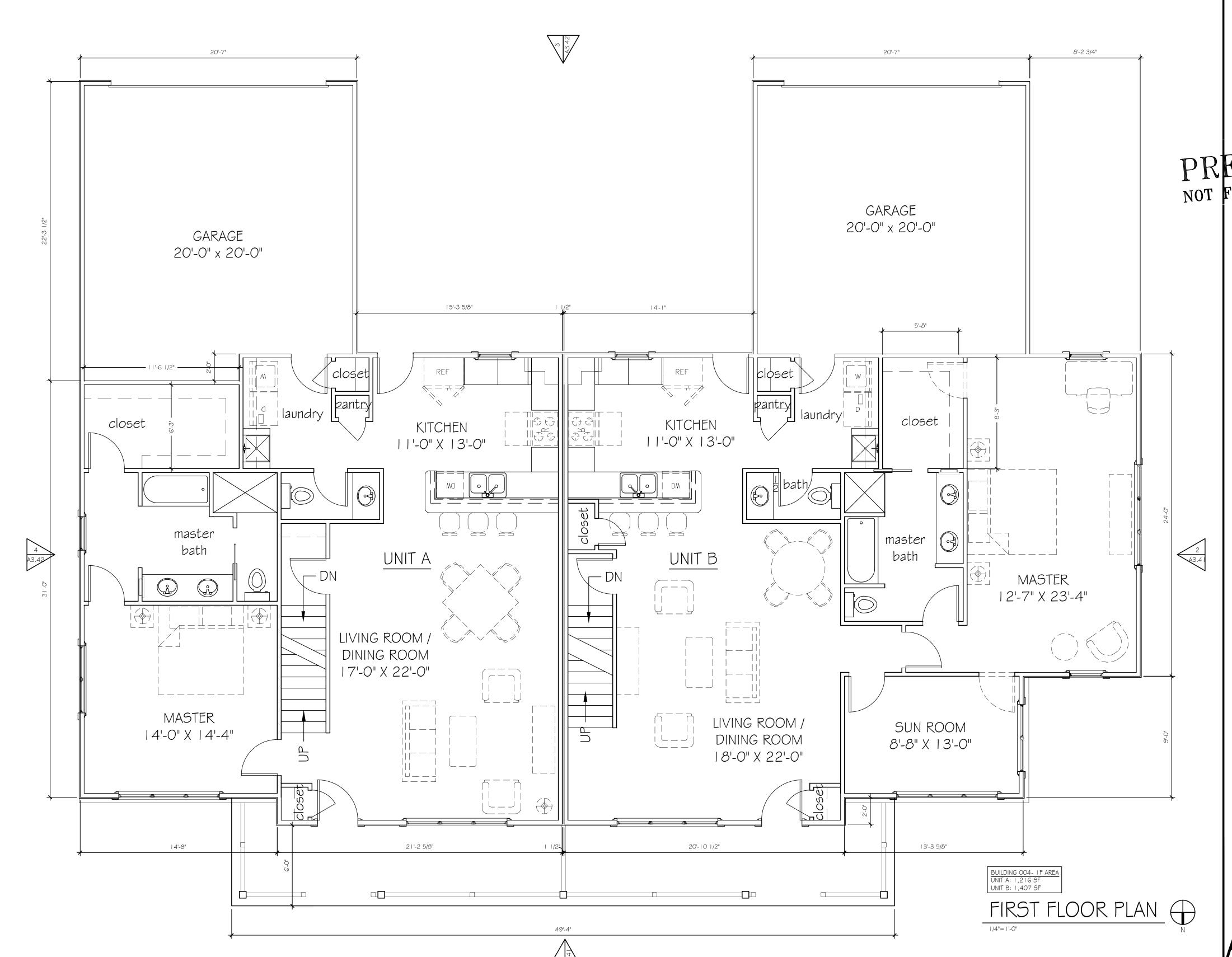






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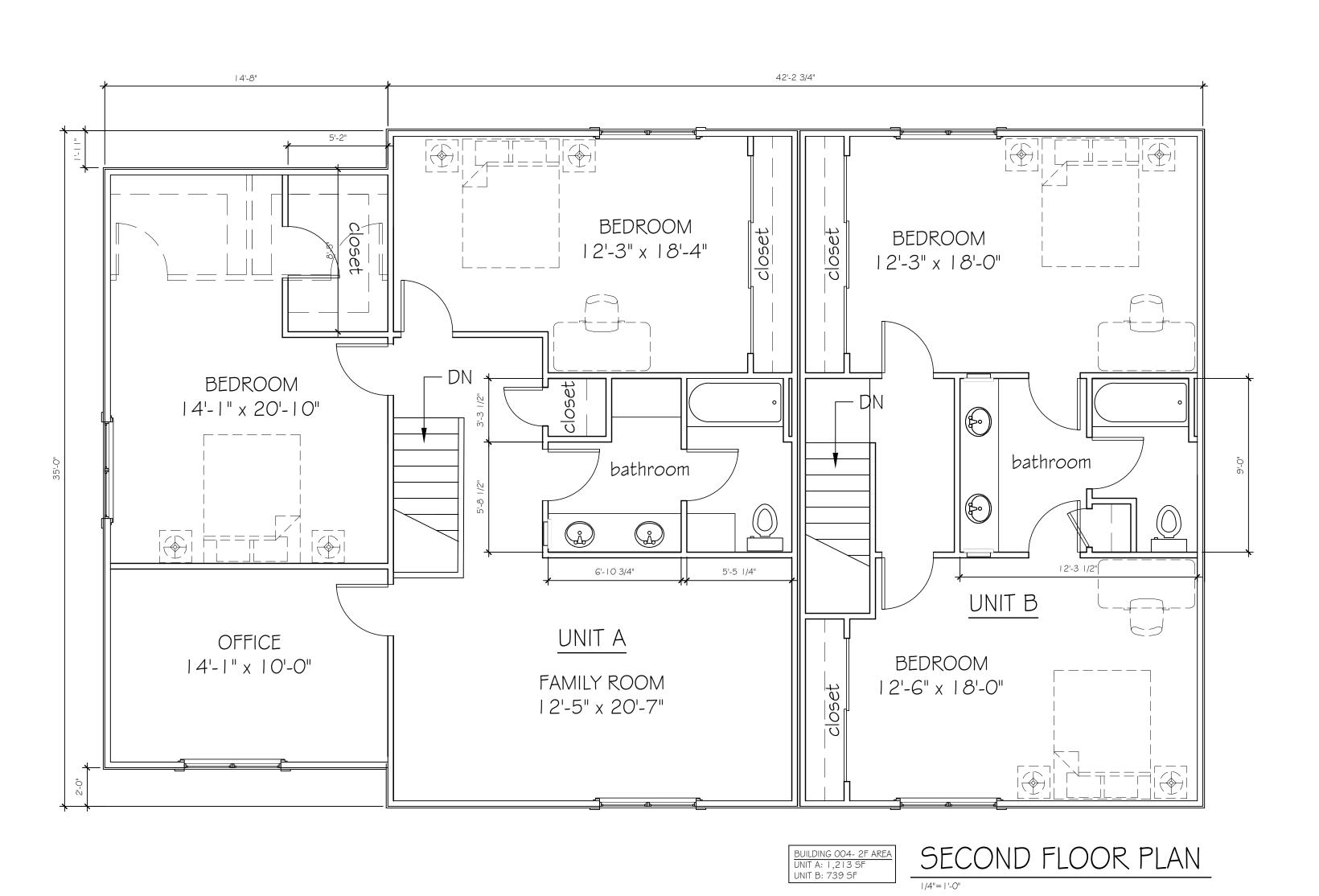
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DAVID PONTIA, #9310464 EXPIRATION DATE 12/31/2019



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SECOND FLOOR BUILDING-004



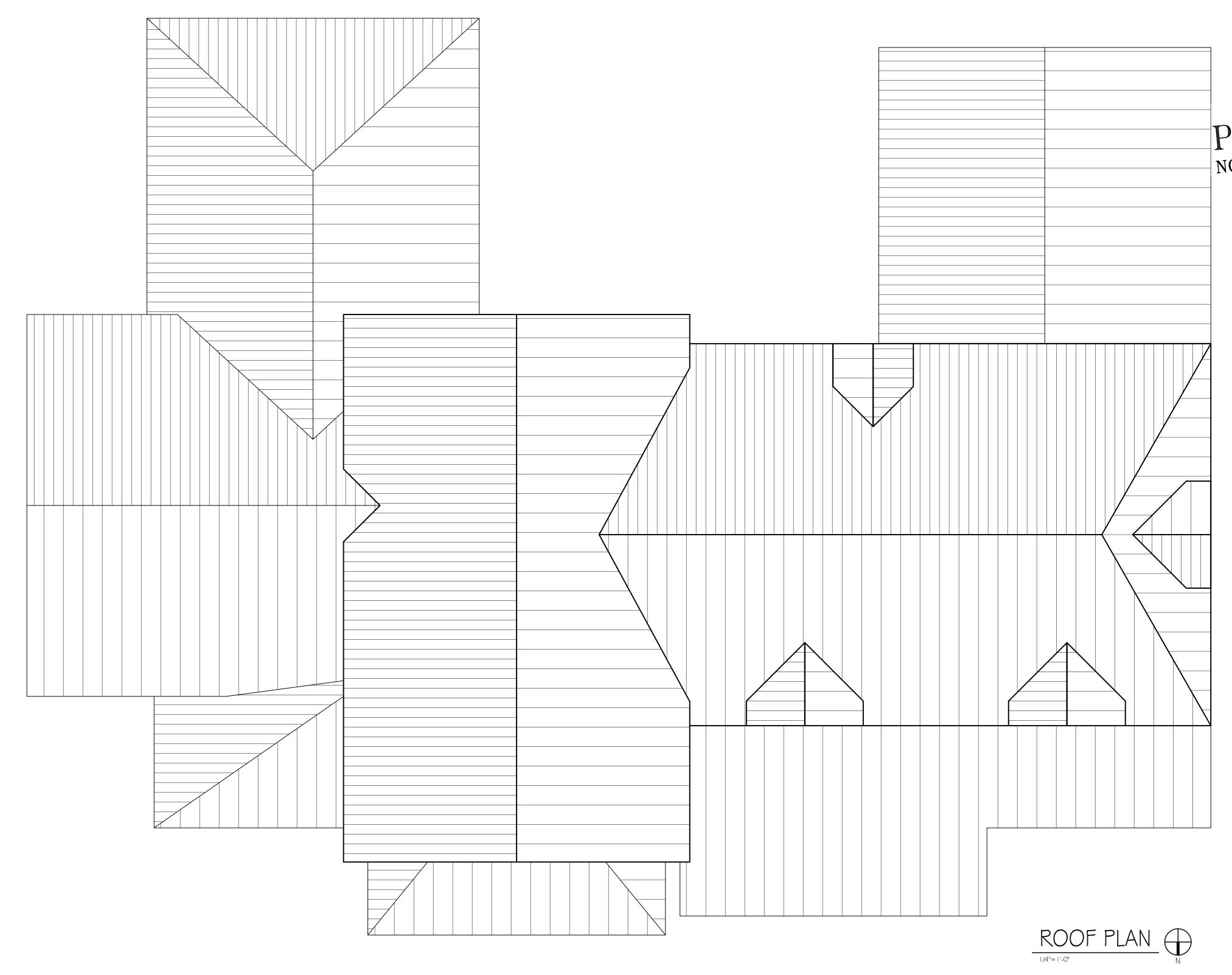


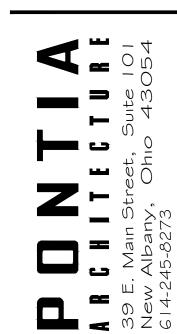
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ROOF PLAN BUILDING-00 I

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SCALE	AS NOTED				
ISSUE FOR PL	L DEVELOPMENT AN APPLICATION				
DATE	5-7-2018				
REVISIONS					
SHEET NUMBER					

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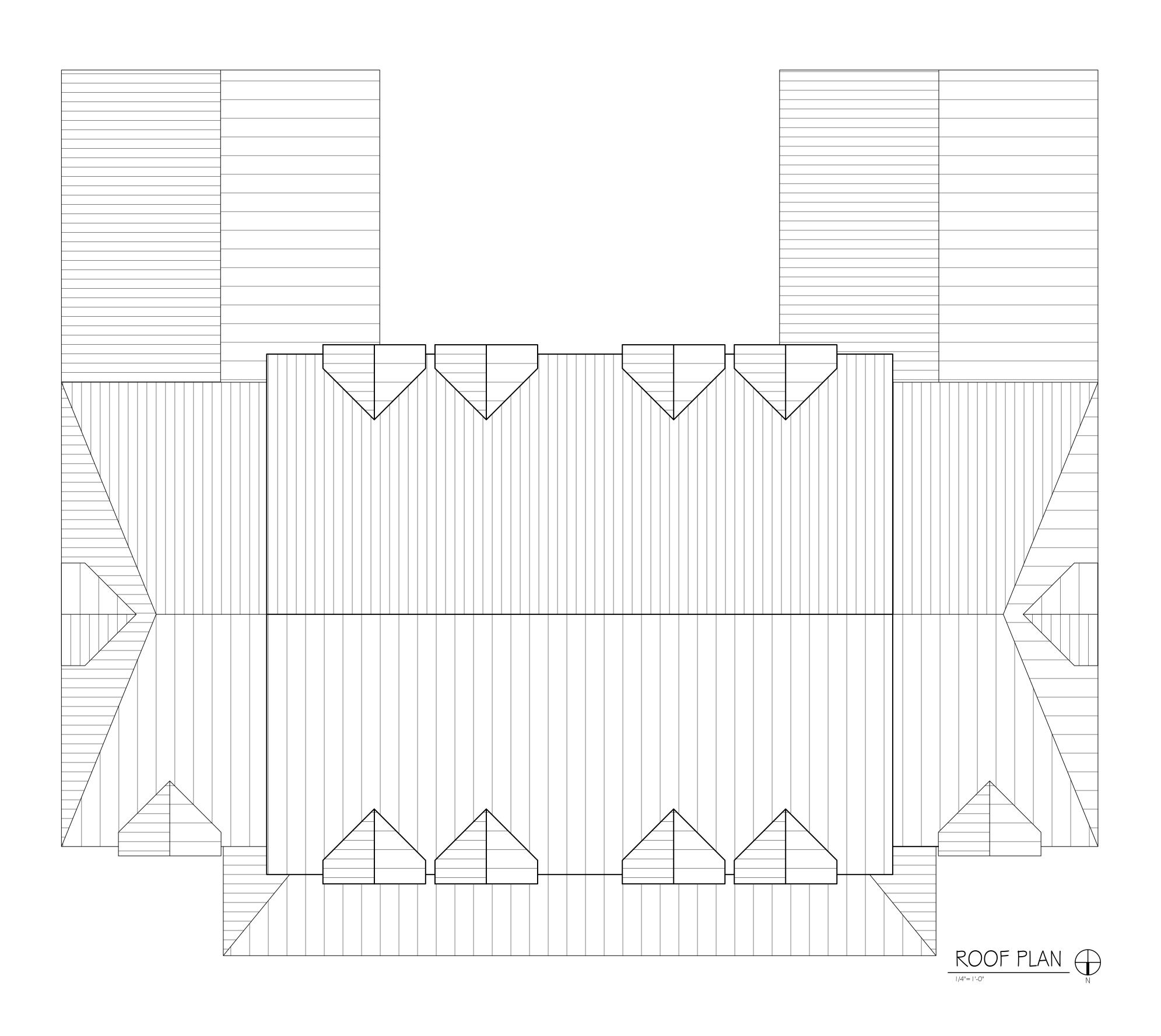




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ROOF PLAN BUILDING-002

A2.2



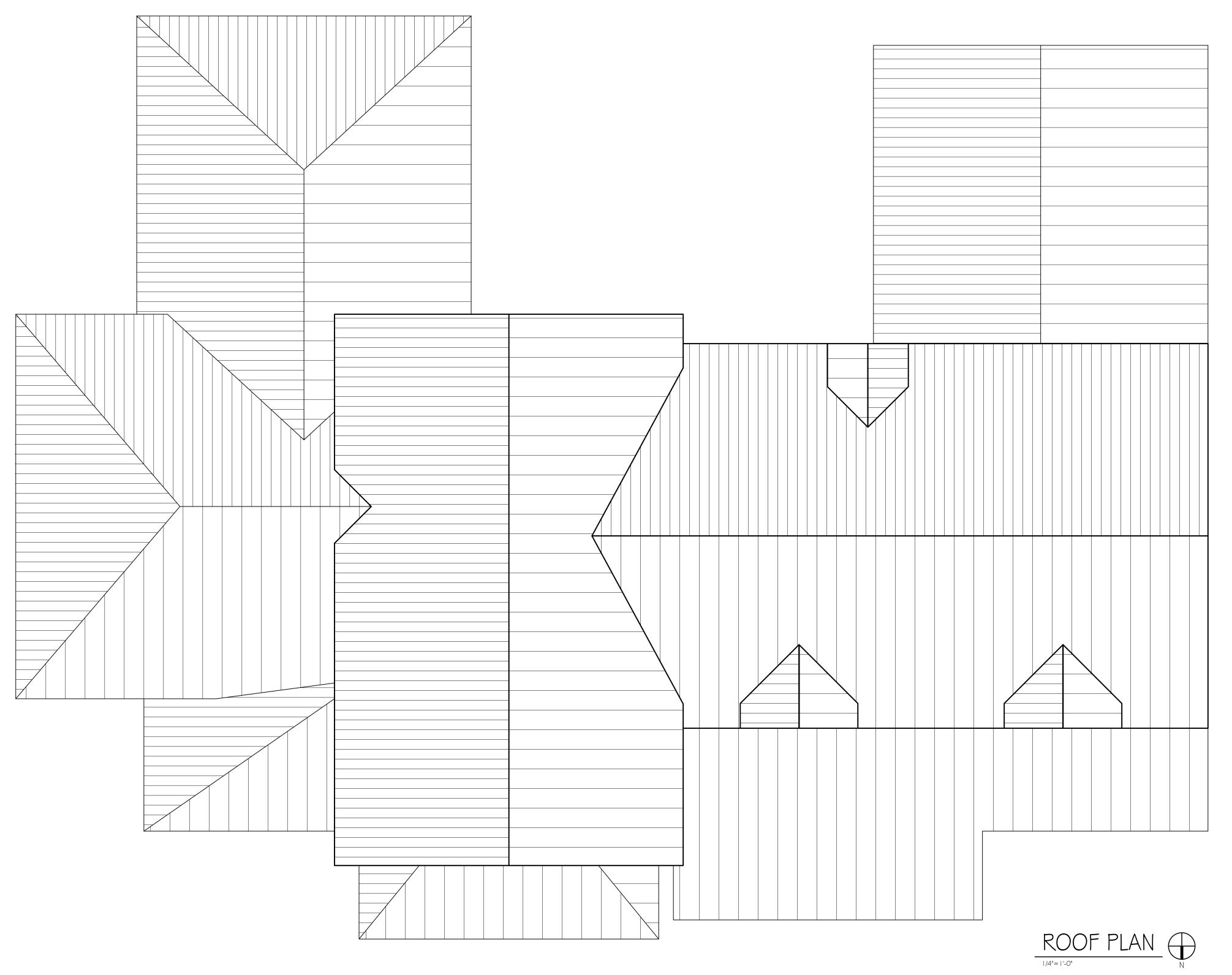




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ROOF PLAN BUILDING-003

A2.3



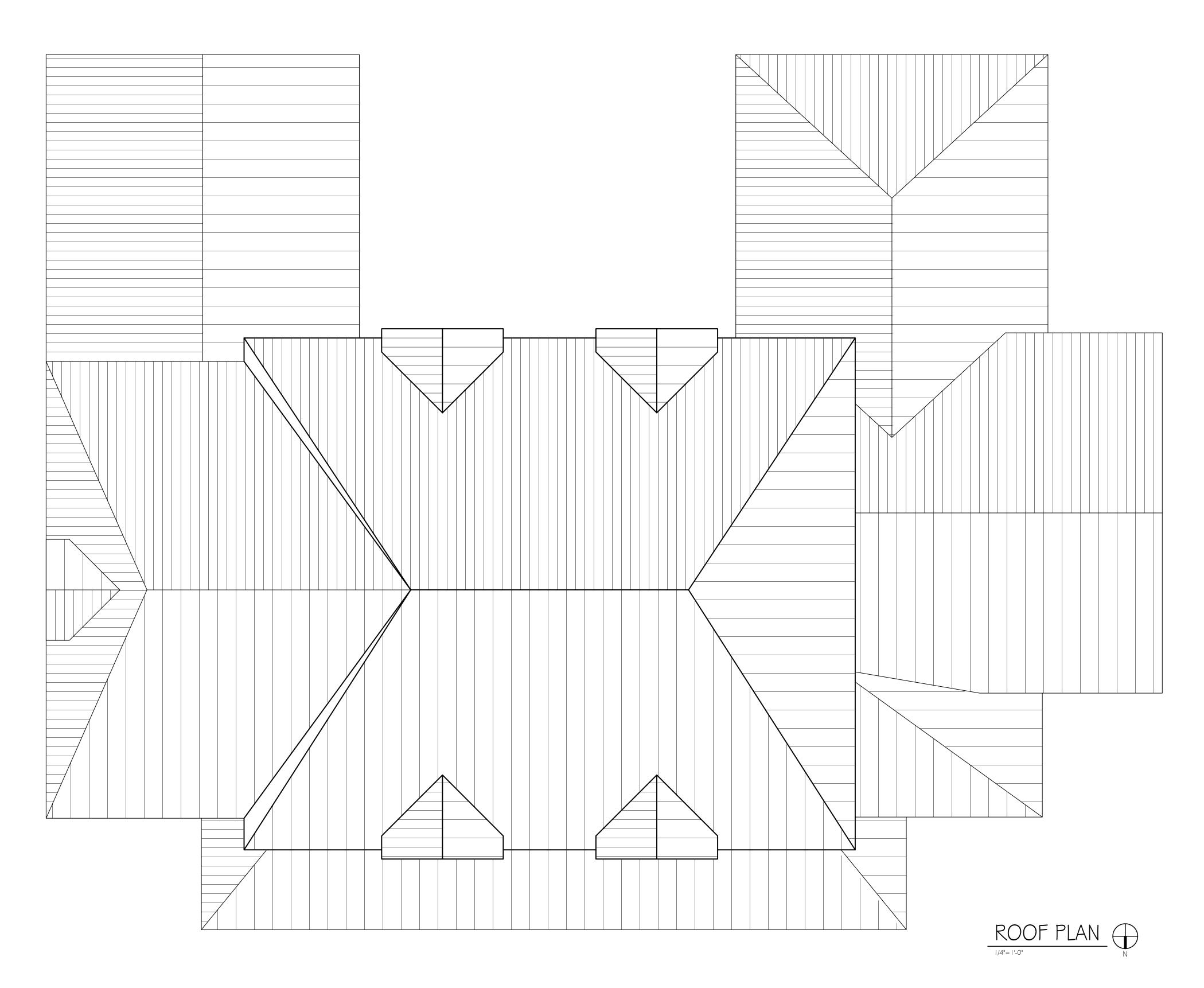


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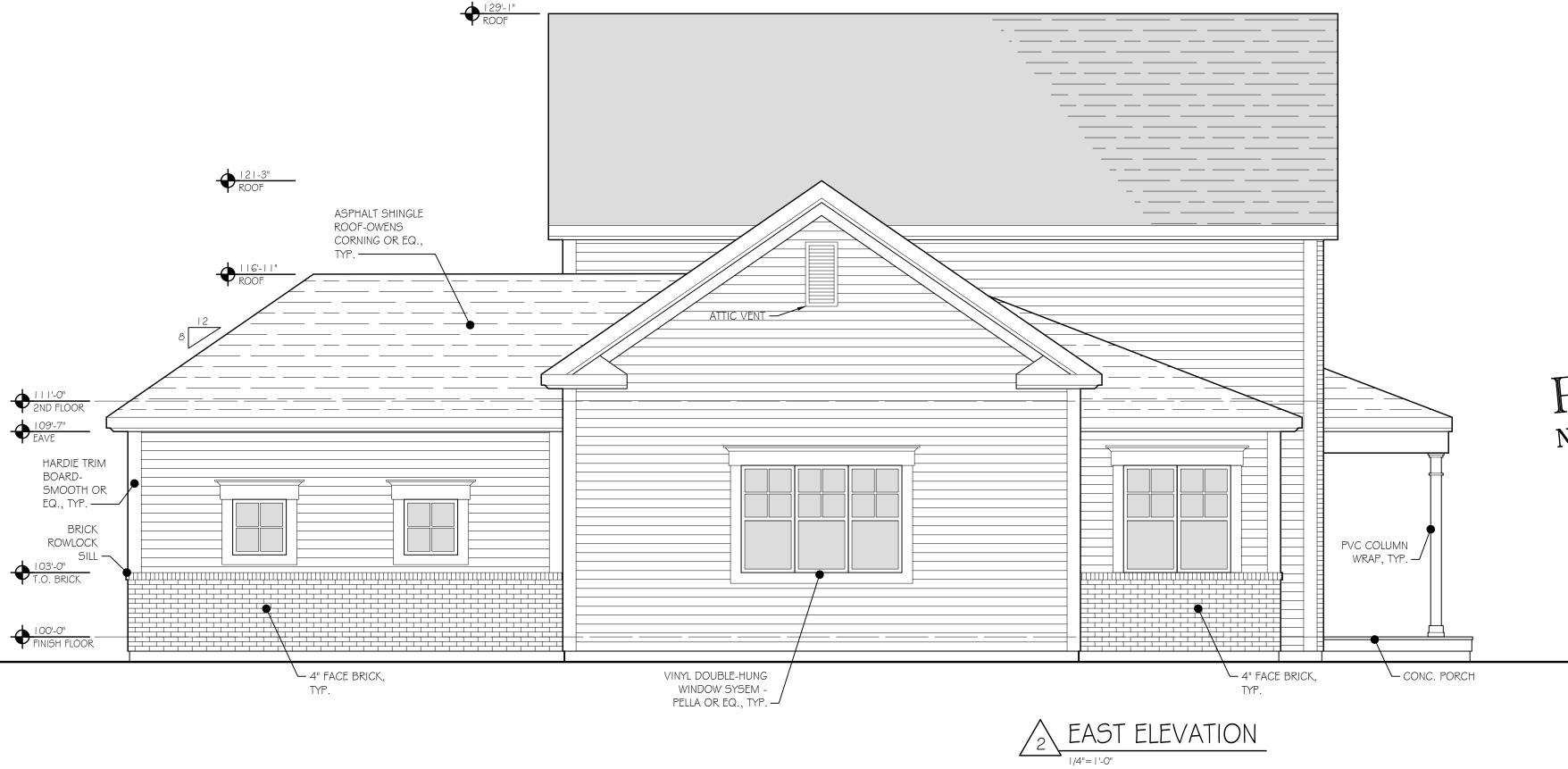
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PROJECT NUMBER
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CHECKED BY
SCALE AS NOTED
ISSUE FOR FINAL DEVELOPMENT PLAN APPLICATION
DATE5-7-2018
REVISIONS
SHEET NUMBER

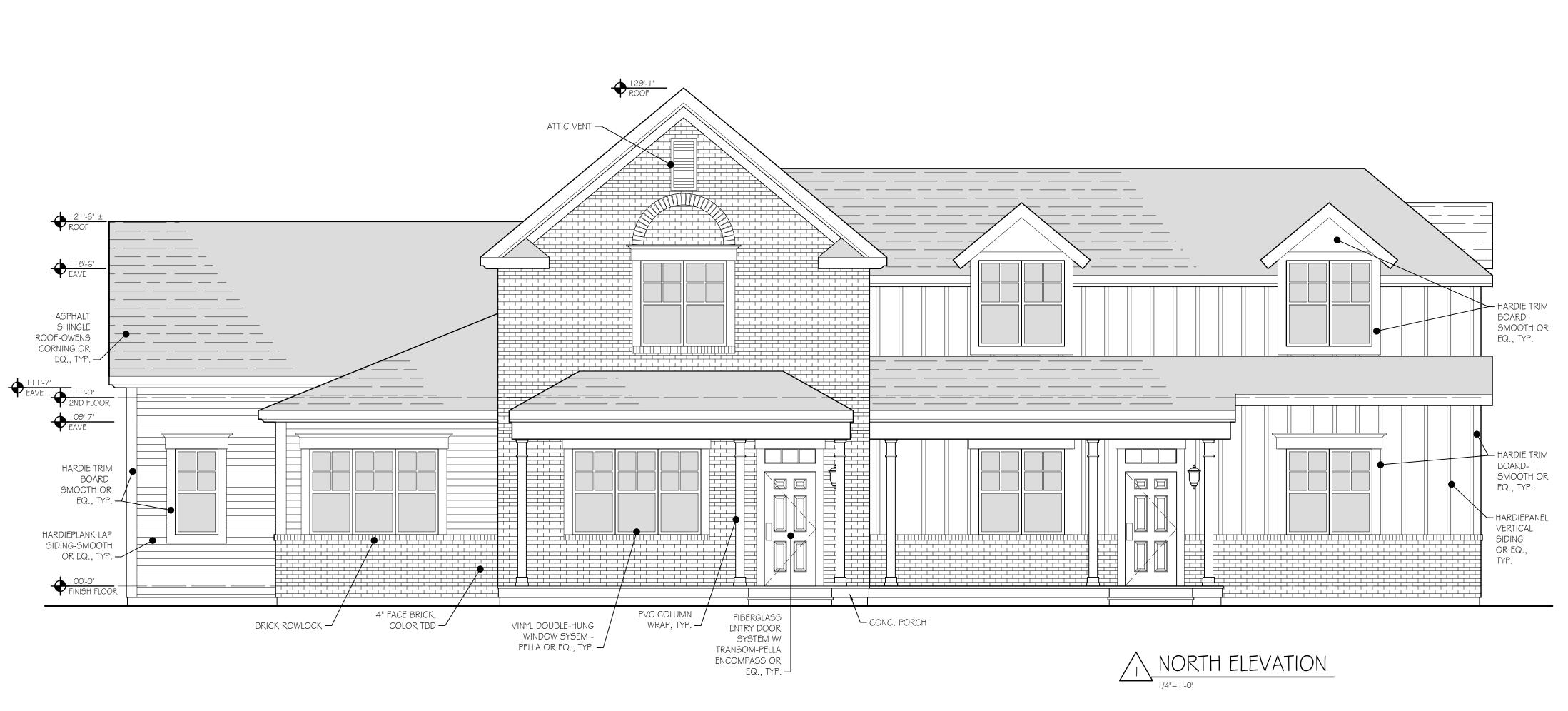
A2.4



EXTERIOR FINISH SCHEDULE							
MATERIAL	COLOR / FINISH	SIZE	MANUFACTURER	REMARKS			
20 YEAR ARCHITECTURAL FIBERGLASS SHINGLE SYSTEM	DURATION SERIES, ESTATE GREY	TO BE SELECTED BY OWNER	OWENS CORNING OR APPROVED EQ.				
PRE-FINISHED METAL DOWNSPOUT SYSTEM AND PRECAST CONCRETE SPLASH BLOCK	TO BE SELECTED BY OWNER	2" x 3"	TO BE SELECTED BY OWNER				
PRE-FINISHED METAL GUTTER SYSTEM	TO BE SELECTED BY OWNER	5"	TO BE SELECTED BY OWNER				
RIDGE VENT	MATCH SHINGLES	MATCH SHINGLES	MATCH SHINGLES				
FIBER CEMENT TRIM BOARD SYSTEM	COLOR TO MATCH ARCTIC WHITE	SEE DRAWINGS SMOOTH FINISH	JAMES HARDIE OR APPROVED EQ.				
PRE-FINISHED ALUMINUM FASCIA AND SOFFIT SYSTEM	COLOR TO MATCH ARCTIC WHITE	SEE DRAWINGS	TO BE SELECTED BY OWNER				
FIBER CEMENT SIDING SYSTEM	SEE DRAWINGS	6" EXPOSURE (LAP SIDING)	JAMES HARDIE OR APPROVED EQ.	LAP SIDING - SMOOTH SHINGLE STYLE - STAGGERED EDGE VERTICAL SIDING-BOARD AND BATTEN			
CULTURED STONE VENEER SIDING SYSTEM	TO BE SELECTED BY OWNER	TO BE SELECTED BY OWNER	PROVIA OR EQ.				
4" FACE BRICK	HOMETOWN SERIES: ALBANY	MODULAR (3 ½ x 2 ¼ x 7 ½)	GLEN GARY				
VINYL WINDOW SYSTEM	TO BE SELECTED BY OWNER	DOUBLE-HUNG, SEE DRAWINGS	PELLA OR EQ.				
FIBERGLASS ENTRY DOOR SYSTEM	TO BE SELECTED BY OWNER	SEE DRAWINGS	PELLA ENCOMPASS				
OVERHEAD GARAGE DOOR SYSTEM	TO BE SELECTED BY OWNER	8'-0"H X 16'-0"W	OVERHEAD DOOR CO. OR APPROVED EQ.				
PORCH/STAIR RAILING	VINYL, WHITE	36"H RAILING	WEATHERABLES OR EQ.				
CAST-IN-PLACE CONCRETE TERRACE	NATURAL	SEE DRAWINGS		SEE SITE / CIVIL			
CAST-IN-PLACE CONCRETE FOUNDATION							
HOSE BIBB	TO BE SELECTED BY OWNER	SEE PLUMBING	TO BE SELECTED BY OWNER	SEE PLUMBING			

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MEWS AT ZION 10331 Sawmil Road

PRELIMINARY NOT FOR CONSTRUCTION

DAVID PONTIA, #9310464 EXPIRATION DATE 12/31/2019





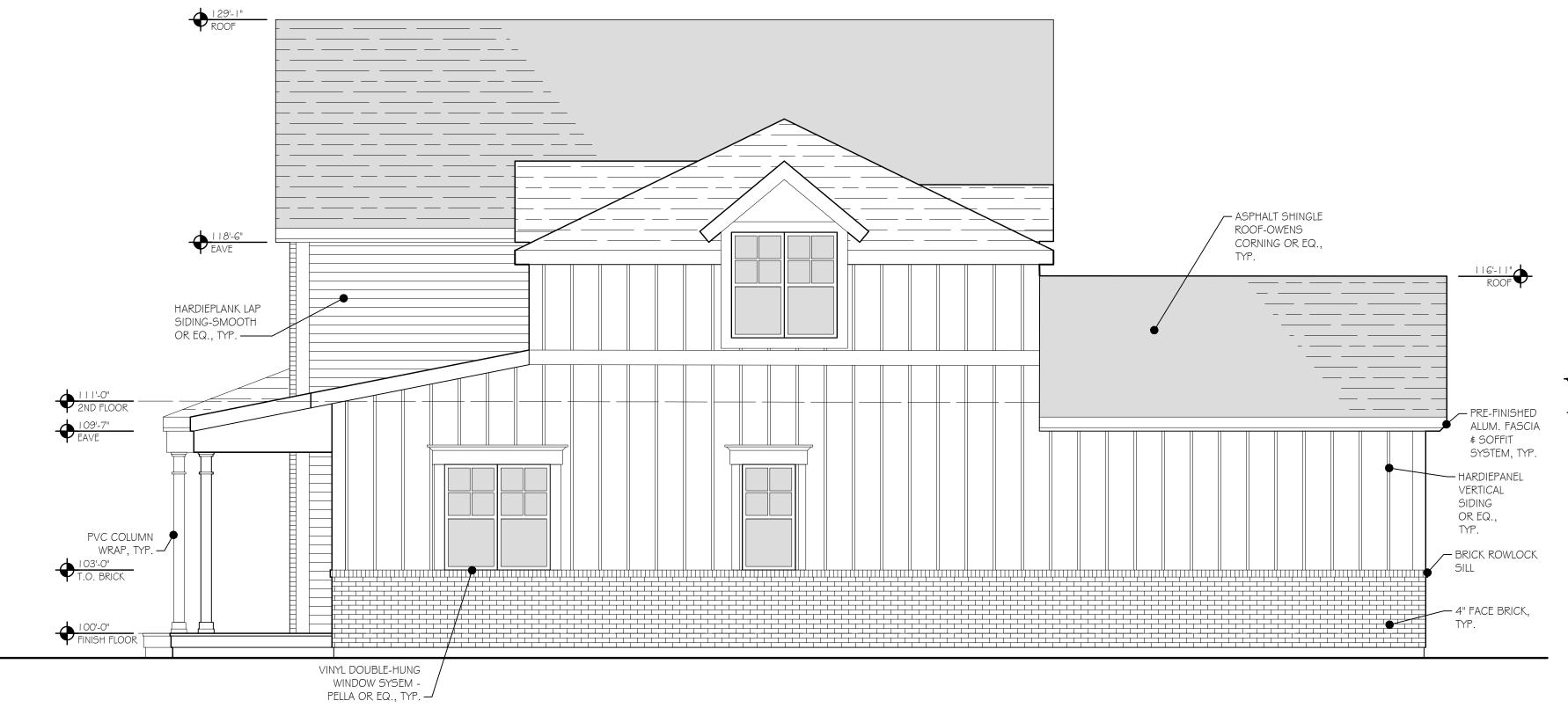
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BUILDING ELEVATIONS BUILDING-00 I

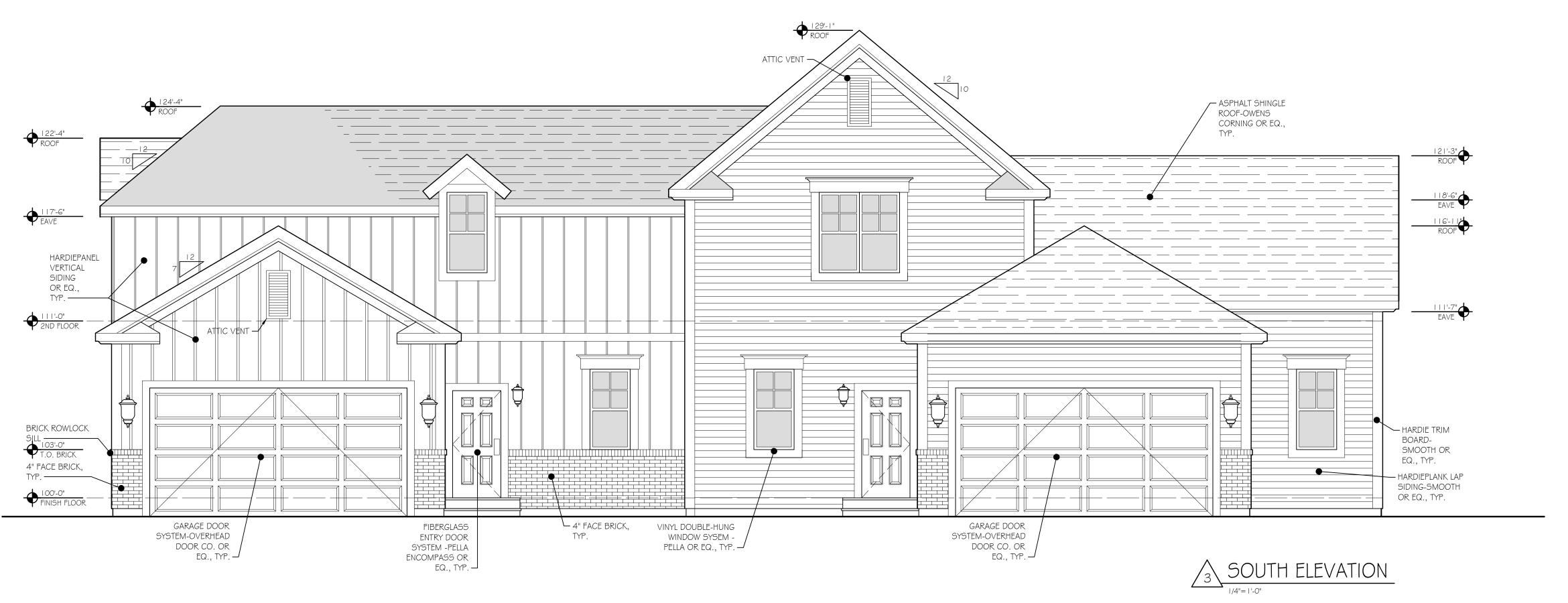
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SCALE	AS NOTED
ISSUE FOR	FINAL DEVELOPMENT PLAN APPLICATION
DATE	5-7-2018
REVISIONS	

EXTERIOR FINISH SCHEDULE							
MATERIAL	COLOR / FINISH	SIZE	MANUFACTURER	REMARKS			
20 YEAR ARCHITECTURAL FIBERGLASS SHINGLE SYSTEM	DURATION SERIES, ESTATE GREY	TO BE SELECTED BY OWNER	OWENS CORNING OR APPROVED EQ.				
PRE-FINISHED METAL DOWNSPOUT SYSTEM AND PRECAST CONCRETE SPLASH BLOCK	TO BE SELECTED BY OWNER	2" x 3"	TO BE SELECTED BY OWNER				
PRE-FINISHED METAL GUTTER SYSTEM	TO BE SELECTED BY OWNER	5"	TO BE SELECTED BY OWNER				
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FIBER CEMENT TRIM BOARD SYSTEM	COLOR TO MATCH ARCTIC WHITE	SEE DRAWINGS SMOOTH FINISH	JAMES HARDIE OR APPROVED EQ.				
PRE-FINISHED ALUMINUM FASCIA AND SOFFIT SYSTEM	COLOR TO MATCH ARCTIC WHITE	SEE DRAWINGS	TO BE SELECTED BY OWNER				
FIBER CEMENT SIDING SYSTEM	SEE DRAWINGS	6" EXPOSURE (LAP SIDING)	JAMES HARDIE OR APPROVED EQ.	LAP SIDING - SMOOTH SHINGLE STYLE - STAGGERED EDGE VERTICAL SIDING-BOARD AND BATTEN			
CULTURED STONE VENEER SIDING SYSTEM	TO BE SELECTED BY OWNER	TO BE SELECTED BY OWNER	PROVIA OR EQ.				
4" FACE BRICK	HOMETOWN SERIES: ALBANY	MODULAR (3 ½ x 2 ¼ x 7 ½)	GLEN GARY				
VINYL WINDOW SYSTEM	TO BE SELECTED BY OWNER	DOUBLE-HUNG, SEE DRAWINGS	PELLA OR EQ.				
FIBERGLASS ENTRY DOOR SYSTEM	TO BE SELECTED BY OWNER	SEE DRAWINGS	PELLA ENCOMPASS				
OVERHEAD GARAGE DOOR SYSTEM	TO BE SELECTED BY OWNER	8'-0"H X 16'-0"W	OVERHEAD DOOR CO. OR APPROVED EQ.				
PORCH/STAIR RAILING	VINYL, WHITE	36"H RAILING	WEATHERABLES OR EQ.				
CAST-IN-PLACE CONCRETE TERRACE	NATURAL	SEE DRAWINGS		SEE SITE / CIVIL			
CAST-IN-PLACE CONCRETE FOUNDATION							
HOSE BIBB	TO BE SELECTED BY OWNER	SEE PLUMBING	TO BE SELECTED BY OWNER	SEE PLUMBING			

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WEST ELEVATION



MEWS AT ZION 10331 Sawmil Road

PRELIMINARY NOT FOR CONSTRUCTION

DAVID PONTIA, #9310464 EXPIRATION DATE 12/31/2019





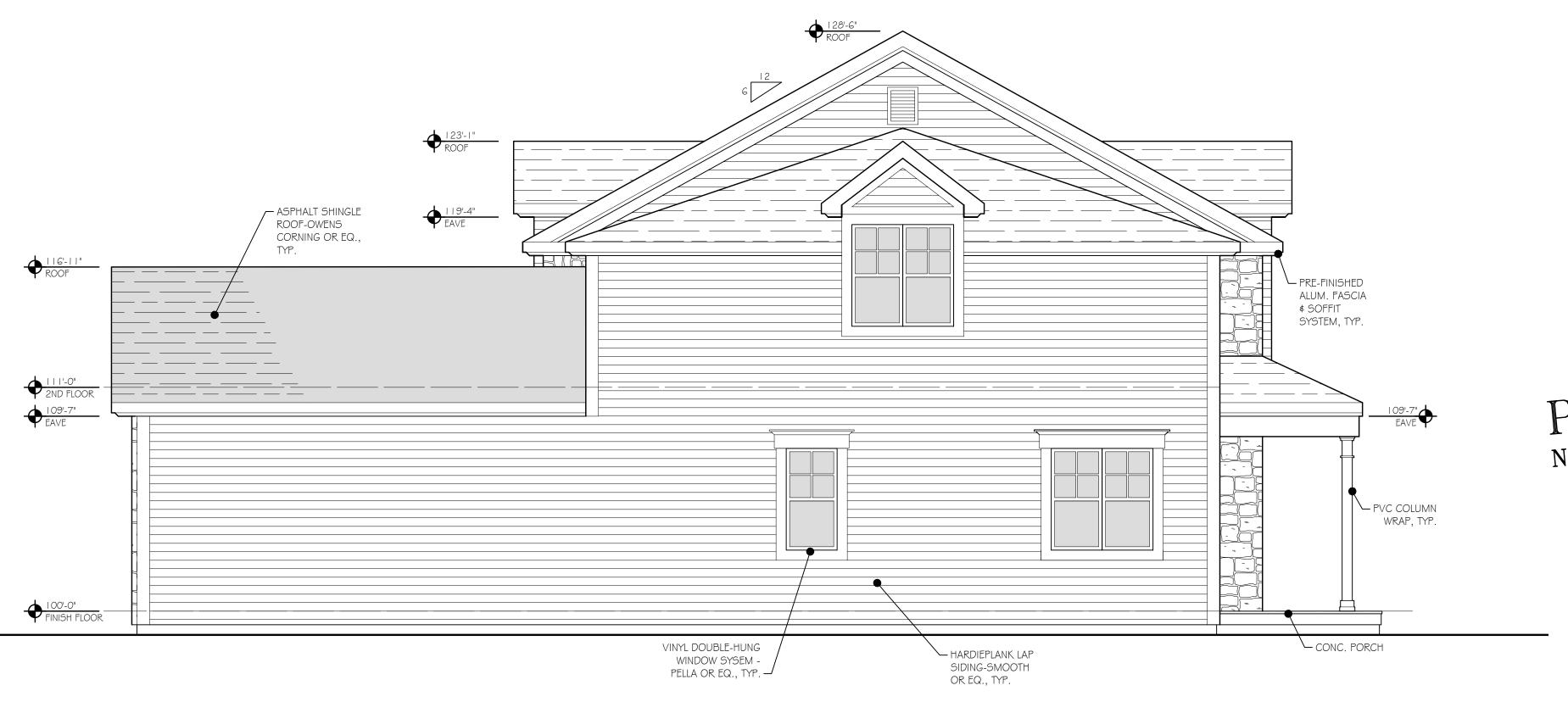
SHEET TITLE

BUILDING ELEVATIONS BUILDING-00 I

PROJECT NUM	BER1619
DRAWN BY _	RLA ≉ SBT
CHECKED BY	DF
SCALE	AS NOTED
ISSUE FOR _	FINAL DEVELOPMENT PLAN APPLICATION
DATE	5-7-2018
REVISIONS _	

EXTERIOR FINISH SCHEDULE							
MATERIAL	COLOR / FINISH	SIZE	MANUFACTURER	REMARKS			
20 YEAR ARCHITECTURAL FIBERGLASS SHINGLE SYSTEM	DURATION SERIES, ESTATE GREY	TO BE SELECTED BY OWNER	OWENS CORNING OR APPROVED EQ.				
PRE-FINISHED METAL DOWNSPOUT SYSTEM AND PRECAST CONCRETE SPLASH BLOCK	TO BE SELECTED BY OWNER	2" x 3"	TO BE SELECTED BY OWNER				
PRE-FINISHED METAL GUTTER SYSTEM	TO BE SELECTED BY OWNER	5"	TO BE SELECTED BY OWNER				
RIDGE VENT	MATCH SHINGLES	MATCH SHINGLES	MATCH SHINGLES				
FIBER CEMENT TRIM BOARD SYSTEM	COLOR TO MATCH ARCTIC WHITE	SEE DRAWINGS SMOOTH FINISH	JAMES HARDIE OR APPROVED EQ.				
PRE-FINISHED ALUMINUM FASCIA AND SOFFIT SYSTEM	COLOR TO MATCH ARCTIC WHITE	SEE DRAWINGS	TO BE SELECTED BY OWNER				
FIBER CEMENT SIDING SYSTEM	SEE DRAWINGS	6" EXPOSURE (LAP SIDING)	JAMES HARDIE OR APPROVED EQ.	LAP SIDING - SMOOTH SHINGLE STYLE - STAGGERED EDGE VERTICAL SIDING-BOARD AND BATTEN			
CULTURED STONE VENEER SIDING SYSTEM	TO BE SELECTED BY OWNER	TO BE SELECTED BY OWNER	PROVIA OR EQ.				
4" FACE BRICK	HOMETOWN SERIES: ALBANY	MODULAR (3 ½ x 2 ¼ x 7 ½)	GLEN GARY				
VINYL WINDOW SYSTEM	TO BE SELECTED BY OWNER	DOUBLE-HUNG, SEE DRAWINGS	PELLA OR EQ.				
FIBERGLASS ENTRY DOOR SYSTEM	TO BE SELECTED BY OWNER	SEE DRAWINGS	PELLA ENCOMPASS				
OVERHEAD GARAGE DOOR SYSTEM	TO BE SELECTED BY OWNER	8'-0"H X 16'-0"W	OVERHEAD DOOR CO. OR APPROVED EQ.				
PORCH/STAIR RAILING	VINYL, WHITE	36"H RAILING	WEATHERABLES OR EQ.				
CAST-IN-PLACE CONCRETE TERRACE	NATURAL	SEE DRAWINGS		SEE SITE / CIVIL			
CAST-IN-PLACE CONCRETE FOUNDATION							
HOSE BIBB	TO BE SELECTED BY OWNER	SEE PLUMBING	TO BE SELECTED BY OWNER	SEE PLUMBING			

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MEWS AT ZION 10331 Sawmil Road

PRELIMINARY
NOT FOR CONSTRUCTION

DAVID PONTIA, #9310464 EXPIRATION DATE 12/31/2019





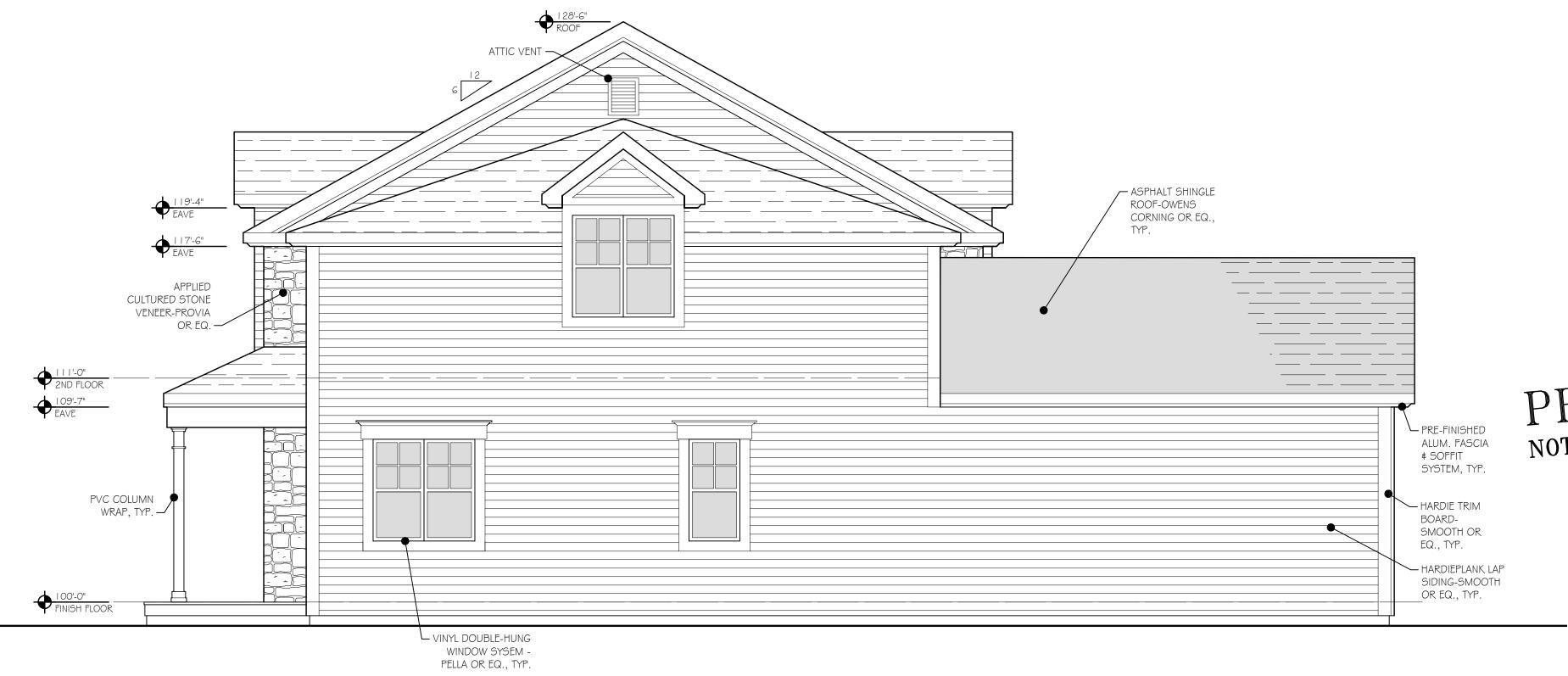
SHEET TITLE

BUILDING ELEVATIONS BUILDING-002

SHEET INFORMATIO	N
PROJECT NUMBER	1619
DRAWN BY	RLA \$ SBT
CHECKED BY	DF
SCALE	AS NOTED
	DEVELOPMENT N APPLICATION
DATE	5-7-2018
REVISIONS	
	

EVITEDIOD EINICH COHEDINE						
EXTERIOR FINISH SCHEDULE						
MATERIAL	COLOR / FINISH	SIZE	MANUFACTURER	REMARKS		
20 YEAR ARCHITECTURAL FIBERGLASS SHINGLE SYSTEM	DURATION SERIES, ESTATE GREY	TO BE SELECTED BY OWNER	OWENS CORNING OR APPROVED EQ.			
PRE-FINISHED METAL DOWNSPOUT SYSTEM AND PRECAST CONCRETE SPLASH BLOCK	TO BE SELECTED BY OWNER	2" x 3"	TO BE SELECTED BY OWNER			
PRE-FINISHED METAL GUTTER SYSTEM	TO BE SELECTED BY OWNER	5"	TO BE SELECTED BY OWNER			
RIDGE VENT	MATCH SHINGLES	MATCH SHINGLES	MATCH SHINGLES			
FIBER CEMENT TRIM BOARD SYSTEM	COLOR TO MATCH ARCTIC WHITE	SEE DRAWINGS SMOOTH FINISH	JAMES HARDIE OR APPROVED EQ.			
PRE-FINISHED ALUMINUM FASCIA AND SOFFIT SYSTEM	COLOR TO MATCH ARCTIC WHITE	SEE DRAWINGS	TO BE SELECTED BY OWNER			
FIBER CEMENT SIDING SYSTEM	SEE DRAWINGS	6" EXPOSURE (LAP SIDING)	JAMES HARDIE OR APPROVED EQ.	LAP SIDING - SMOOTH SHINGLE STYLE - STAGGERED EDGE VERTICAL SIDING-BOARD AND BATTEN		
CULTURED STONE VENEER SIDING SYSTEM	TO BE SELECTED BY OWNER	TO BE SELECTED BY OWNER	PROVIA OR EQ.			
4" FACE BRICK	HOMETOWN SERIES: ALBANY	MODULAR $(3\frac{1}{2} \times 2\frac{1}{4} \times 7\frac{1}{2})$	GLEN GARY			
VINYL WINDOW SYSTEM	TO BE SELECTED BY OWNER	DOUBLE-HUNG, SEE DRAWINGS	PELLA OR EQ.			
FIBERGLASS ENTRY DOOR SYSTEM	TO BE SELECTED BY OWNER	SEE DRAWINGS	PELLA ENCOMPASS			
OVERHEAD GARAGE DOOR SYSTEM	TO BE SELECTED BY OWNER	8'-0"H X 16'-0"W	OVERHEAD DOOR CO. OR APPROVED EQ.			
PORCH/STAIR RAILING	VINYL, WHITE	36"H RAILING	WEATHERABLES OR EQ.			
CAST-IN-PLACE CONCRETE TERRACE	NATURAL	SEE DRAWINGS		SEE SITE / CIVIL		
CAST-IN-PLACE CONCRETE FOUNDATION						
HOSE BIBB	TO BE SELECTED BY OWNER	SEE PLUMBING	TO BE SELECTED BY OWNER	SEE PLUMBING		

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WEST ELEVATION



MEWS AT ZION 10331 Sawmil Road

PRELIMINARY NOT FOR CONSTRUCTION

DAVID PONTIA, #9310464 EXPIRATION DATE 12/31/2019

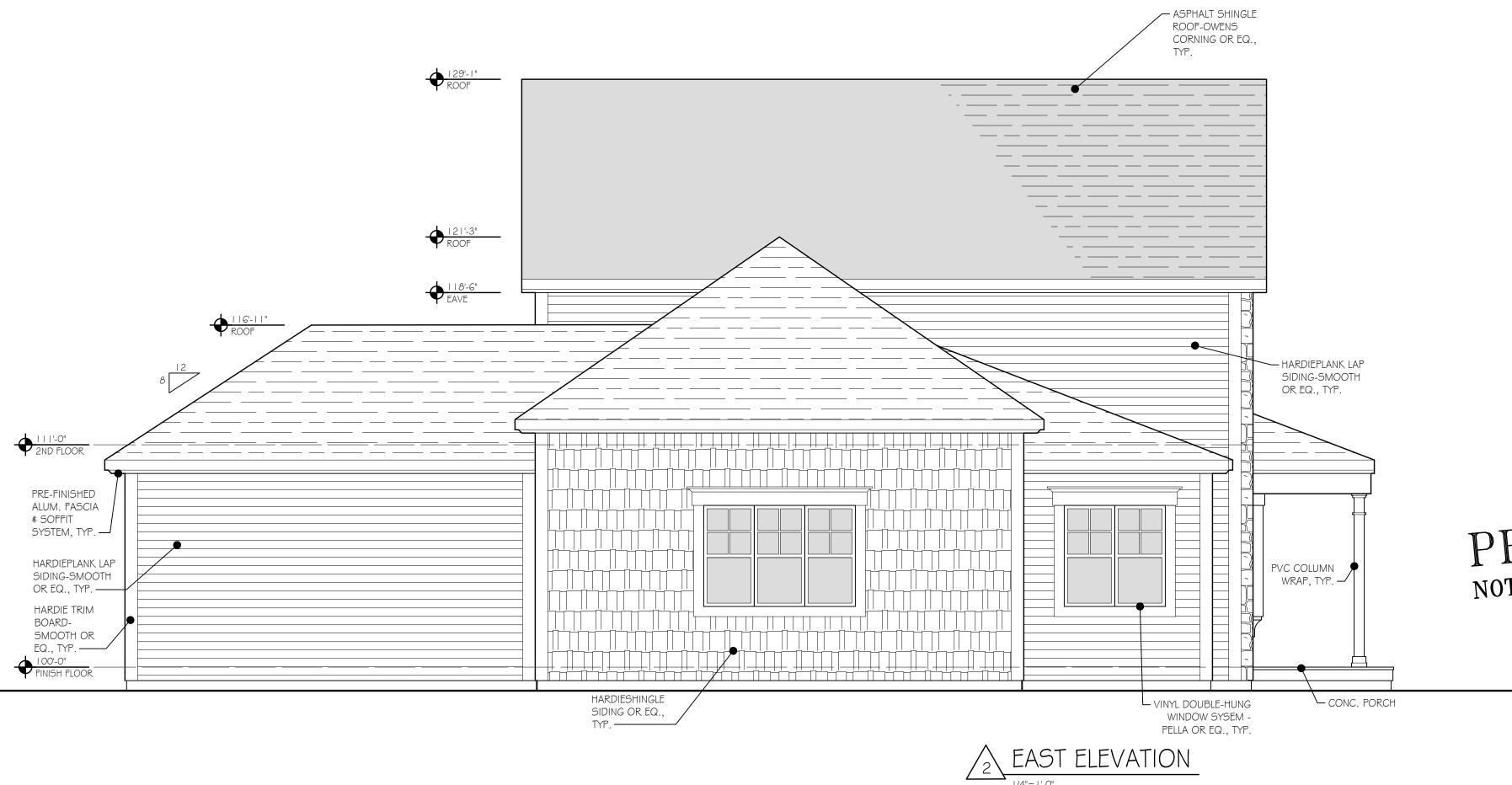


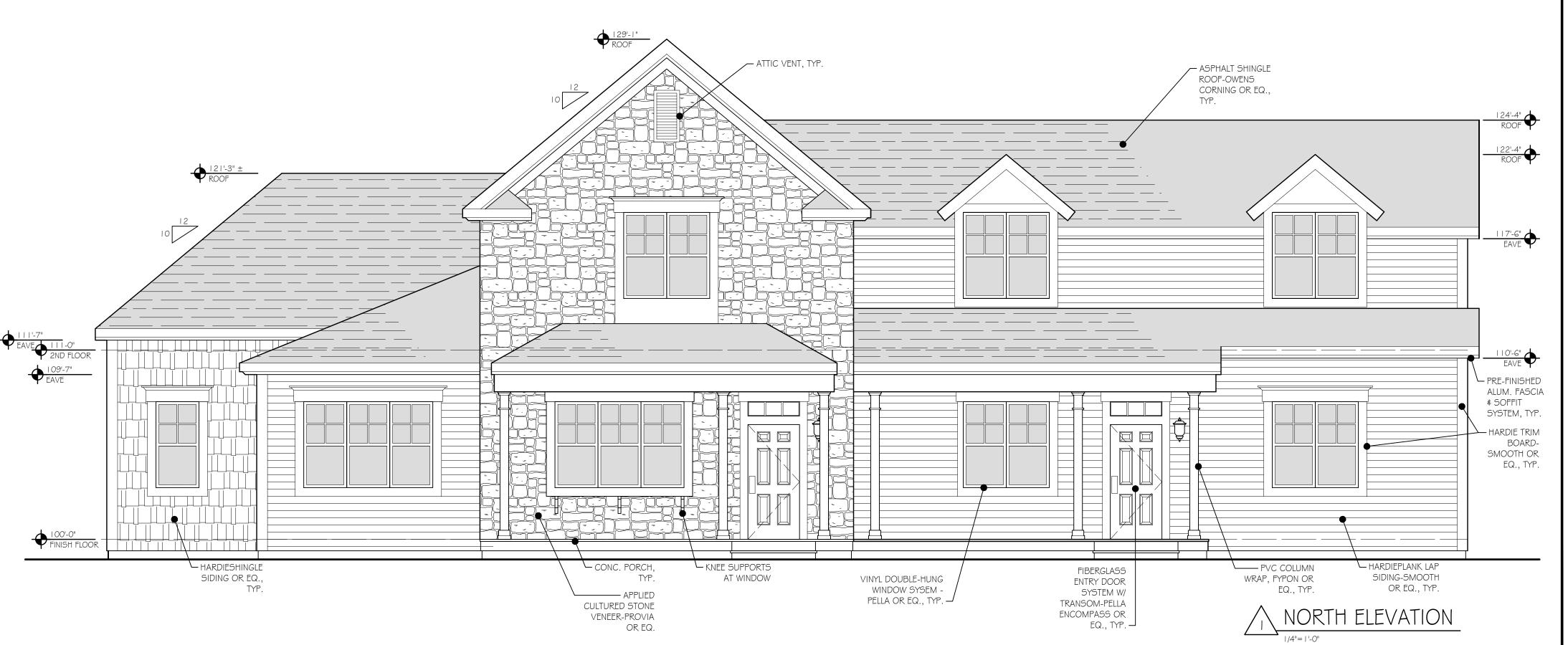
SHEET TITLE

BUILDING ELEVATIONS BUILDING-002

EXTERIOR FINISH SCHEDULE				
	ILNORTING			
MATERIAL	COLOR / FINISH	SIZE	MANUFACTURER	REMARKS
20 YEAR ARCHITECTURAL FIBERGLASS SHINGLE SYSTEM	DURATION SERIES, ESTATE GREY	TO BE SELECTED BY OWNER	OWENS CORNING OR APPROVED EQ.	
PRE-FINISHED METAL DOWNSPOUT SYSTEM AND PRECAST CONCRETE SPLASH BLOCK	TO BE SELECTED BY OWNER	2" x 3"	TO BE SELECTED BY OWNER	
PRE-FINISHED METAL GUTTER SYSTEM	TO BE SELECTED BY OWNER	5"	TO BE SELECTED BY OWNER	
RIDGE VENT	MATCH SHINGLES	MATCH SHINGLES	MATCH SHINGLES	
FIBER CEMENT TRIM BOARD SYSTEM	COLOR TO MATCH ARCTIC WHITE	SEE DRAWINGS SMOOTH FINISH	JAMES HARDIE OR APPROVED EQ.	
PRE-FINISHED ALUMINUM FASCIA AND SOFFIT SYSTEM	COLOR TO MATCH ARCTIC WHITE	SEE DRAWINGS	TO BE SELECTED BY OWNER	
FIBER CEMENT SIDING SYSTEM	SEE DRAWINGS	6" EXPOSURE (LAP SIDING)	JAMES HARDIE OR APPROVED EQ.	LAP SIDING - SMOOTH SHINGLE STYLE - STAGGERED EDGE VERTICAL SIDING-BOARD AND BATTEN
CULTURED STONE VENEER SIDING SYSTEM	TO BE SELECTED BY OWNER	TO BE SELECTED BY OWNER	PROVIA OR EQ.	
4" FACE BRICK	HOMETOWN SERIES: ALBANY	MODULAR (3 ½ x 2 ¼ x 7 ½)	GLEN GARY	
VINYL WINDOW SYSTEM	TO BE SELECTED BY OWNER	DOUBLE-HUNG, SEE DRAWINGS	PELLA OR EQ.	
FIBERGLASS ENTRY DOOR SYSTEM	TO BE SELECTED BY OWNER	SEE DRAWINGS	PELLA ENCOMPASS	
OVERHEAD GARAGE DOOR SYSTEM	TO BE SELECTED BY OWNER	8'-0"H X 16'-0"W	OVERHEAD DOOR CO. OR APPROVED EQ.	
PORCH/STAIR RAILING	VINYL, WHITE	36"H RAILING	WEATHERABLES OR EQ.	
CAST-IN-PLACE CONCRETE TERRACE	NATURAL	SEE DRAWINGS		SEE SITE / CIVIL
CAST-IN-PLACE CONCRETE FOUNDATION				
HOSE BIBB	TO BE SELECTED BY OWNER	SEE PLUMBING	TO BE SELECTED BY OWNER	SEE PLUMBING

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MEWS AT ZION 10331 Sawmil Road

PRELIMINARY NOT FOR CONSTRUCTION

DAVID PONTIA, #9310464 EXPIRATION DATE 12/31/2019



SHEET TITLE

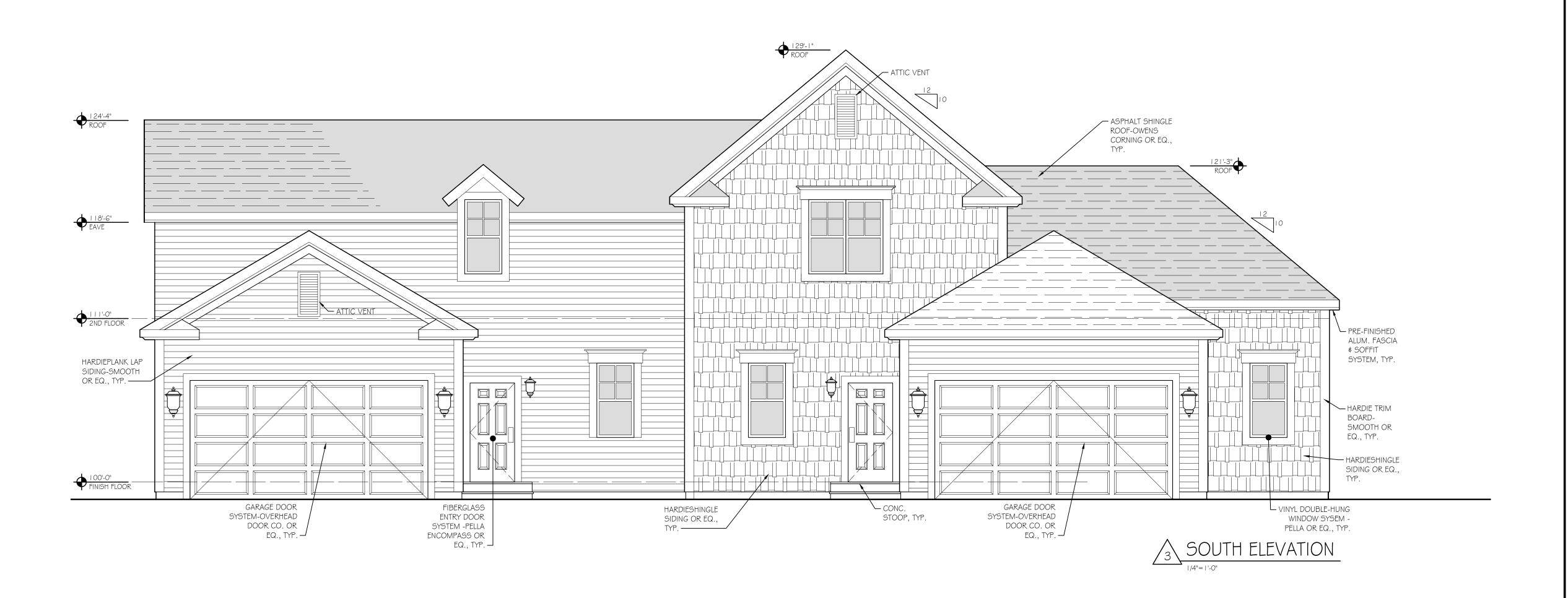
BUILDING ELEVATIONS BUILDING-003

EXTERIOR FINISH SCHEDULE					
MATERIAL	COLOR / FINISH	SIZE	MANUFACTURER	REMARKS	
20 YEAR ARCHITECTURAL FIBERGLASS SHINGLE SYSTEM	DURATION SERIES, ESTATE GREY	TO BE SELECTED BY OWNER	OWENS CORNING OR APPROVED EQ.		
PRE-FINISHED METAL DOWNSPOUT SYSTEM AND PRECAST CONCRETE SPLASH BLOCK	TO BE SELECTED BY OWNER	2" x 3"	TO BE SELECTED BY OWNER		
PRE-FINISHED METAL GUTTER SYSTEM	TO BE SELECTED BY OWNER	5"	TO BE SELECTED BY OWNER		
RIDGE VENT	MATCH SHINGLES	MATCH SHINGLES	MATCH SHINGLES		
FIBER CEMENT TRIM BOARD SYSTEM	COLOR TO MATCH ARCTIC WHITE	SEE DRAWINGS SMOOTH FINISH	JAMES HARDIE OR APPROVED EQ.		
PRE-FINISHED ALUMINUM FASCIA AND SOFFIT SYSTEM	COLOR TO MATCH ARCTIC WHITE	SEE DRAWINGS	TO BE SELECTED BY OWNER		
FIBER CEMENT SIDING SYSTEM	SEE DRAWINGS	6" EXPOSURE (LAP SIDING)	JAMES HARDIE OR APPROVED EQ.	LAP SIDING - SMOOTH SHINGLE STYLE - STAGGERED EDGE VERTICAL SIDING-BOARD AND BATTEN	
CULTURED STONE VENEER SIDING SYSTEM	TO BE SELECTED BY OWNER	TO BE SELECTED BY OWNER	PROVIA OR EQ.		
4" FACE BRICK	HOMETOWN SERIES: ALBANY	MODULAR $(3\frac{1}{2} \times 2\frac{1}{4} \times 7\frac{1}{2})$	GLEN GARY		
VINYL WINDOW SYSTEM	TO BE SELECTED BY OWNER	DOUBLE-HUNG, SEE DRAWINGS	PELLA OR EQ.		
FIBERGLASS ENTRY DOOR SYSTEM	TO BE SELECTED BY OWNER	SEE DRAWINGS	PELLA ENCOMPASS		
OVERHEAD GARAGE DOOR SYSTEM	TO BE SELECTED BY OWNER	8'-0"H X 16'-0"W	OVERHEAD DOOR CO. OR APPROVED EQ.		
PORCH/STAIR RAILING	VINYL, WHITE	36"H RAILING	WEATHERABLES OR EQ.		
CAST-IN-PLACE CONCRETE TERRACE	NATURAL	SEE DRAWINGS		SEE SITE / CIVIL	
CAST-IN-PLACE CONCRETE FOUNDATION					
HOSE BIBB	TO BE SELECTED BY OWNER	SEE PLUMBING	TO BE SELECTED BY OWNER	SEE PLUMBING	

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MEWS AT ZION 10331 Sawmill Road

PRELIMINARY NOT FOR CONSTRUCTION

DAVID PONTIA, #9310464 EXPIRATION DATE 12/31/2019





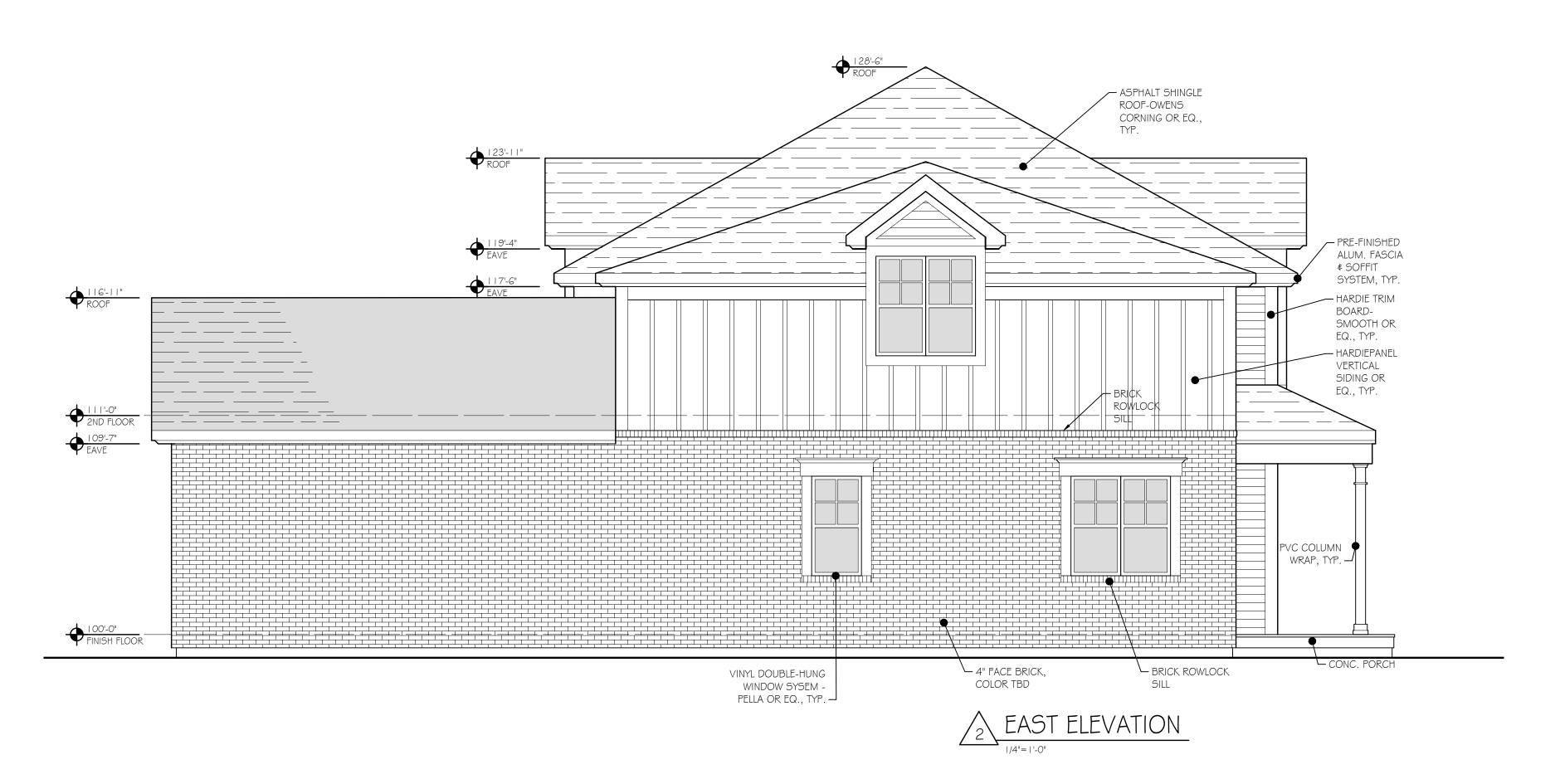
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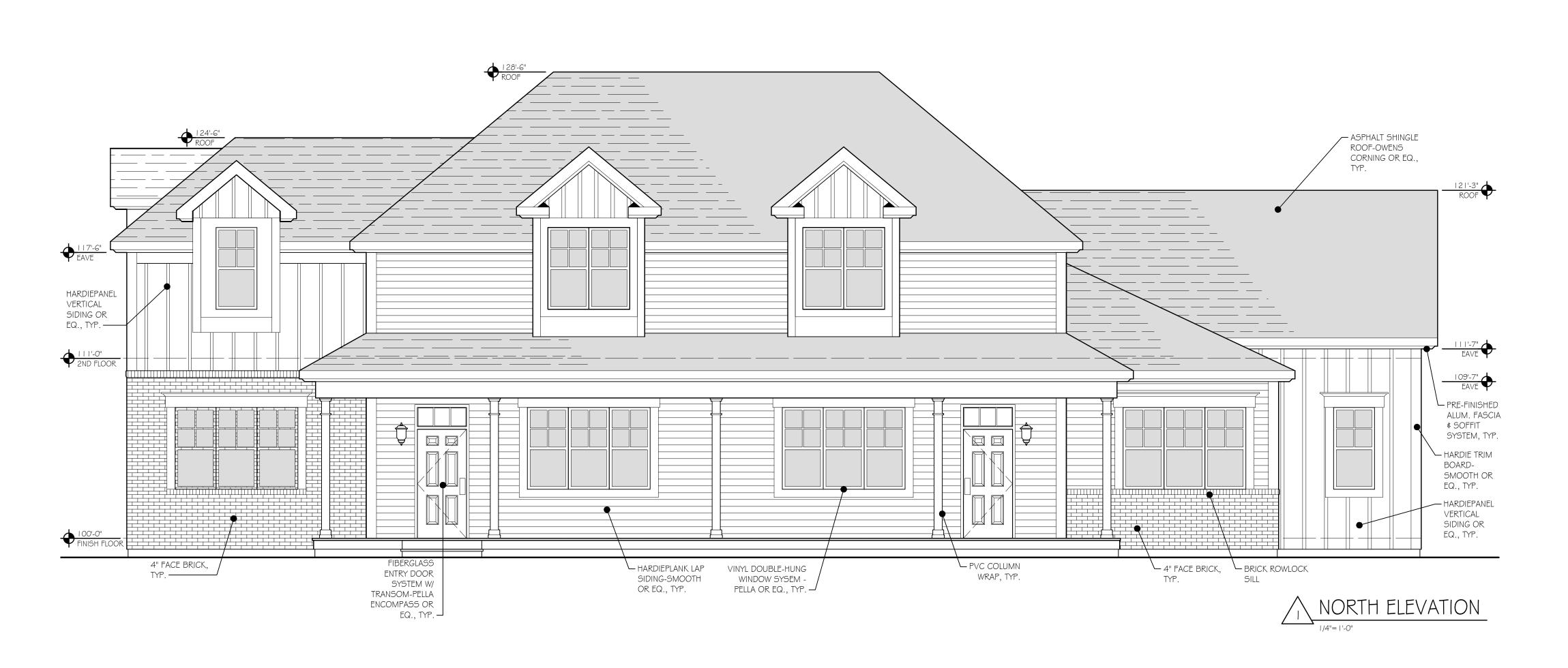
BUILDING ELEVATIONS BUILDING-003

PROJECT NUMBER	1618
DRAWN BY	RLA \$ SBT
CHECKED BY	DF
SCALE	AS NOTED
	DEVELOPMENT N APPLICATION
DATE	5-7-2018
REVISIONS	

EXTERIOR FINISH SCHEDULE					
MATERIAL	COLOR / FINISH	SIZE	MANUFACTURER	REMARKS	
20 YEAR ARCHITECTURAL FIBERGLASS SHINGLE SYSTEM	DURATION SERIES, ESTATE GREY	TO BE SELECTED BY OWNER	OWENS CORNING OR APPROVED EQ.		
PRE-FINISHED METAL DOWNSPOUT SYSTEM AND PRECAST CONCRETE SPLASH BLOCK	TO BE SELECTED BY OWNER	2" x 3"	TO BE SELECTED BY OWNER		
PRE-FINISHED METAL GUTTER SYSTEM	TO BE SELECTED BY OWNER	5"	TO BE SELECTED BY OWNER		
RIDGE VENT	MATCH SHINGLES	MATCH SHINGLES	MATCH SHINGLES		
FIBER CEMENT TRIM BOARD SYSTEM	COLOR TO MATCH ARCTIC WHITE	SEE DRAWINGS SMOOTH FINISH	JAMES HARDIE OR APPROVED EQ.		
PRE-FINISHED ALUMINUM FASCIA AND SOFFIT SYSTEM	COLOR TO MATCH ARCTIC WHITE	SEE DRAWINGS	TO BE SELECTED BY OWNER		
FIBER CEMENT SIDING SYSTEM	SEE DRAWINGS	6" EXPOSURE (LAP SIDING)	JAMES HARDIE OR APPROVED EQ.	LAP SIDING - SMOOTH SHINGLE STYLE - STAGGERED EDGE VERTICAL SIDING-BOARD AND BATTEN	
CULTURED STONE VENEER SIDING SYSTEM	TO BE SELECTED BY OWNER	TO BE SELECTED BY OWNER	PROVIA OR EQ.		
4" FACE BRICK	HOMETOWN SERIES: ALBANY	MODULAR $(3\frac{1}{2} \times 2\frac{1}{4} \times 7\frac{1}{2})$	GLEN GARY		
VINYL WINDOW SYSTEM	TO BE SELECTED BY OWNER	DOUBLE-HUNG, SEE DRAWINGS	PELLA OR EQ.		
FIBERGLASS ENTRY DOOR SYSTEM	TO BE SELECTED BY OWNER	SEE DRAWINGS	PELLA ENCOMPASS		
OVERHEAD GARAGE DOOR SYSTEM	TO BE SELECTED BY OWNER	8'-0"H X 16'-0"W	OVERHEAD DOOR CO. OR APPROVED EQ.		
PORCH/STAIR RAILING	VINYL, WHITE	36"H RAILING	WEATHERABLES OR EQ.		
CAST-IN-PLACE CONCRETE TERRACE	NATURAL	SEE DRAWINGS		SEE SITE / CIVIL	
CAST-IN-PLACE CONCRETE FOUNDATION					
HOSE BIBB	TO BE SELECTED BY OWNER	SEE PLUMBING	TO BE SELECTED BY OWNER	SEE PLUMBING	

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MEWS AT ZION 10331 Sawmill Road

PRELIMINARY NOT FOR CONSTRUCTION

DAVID PONTIA, #9310464 EXPIRATION DATE 12/31/2019





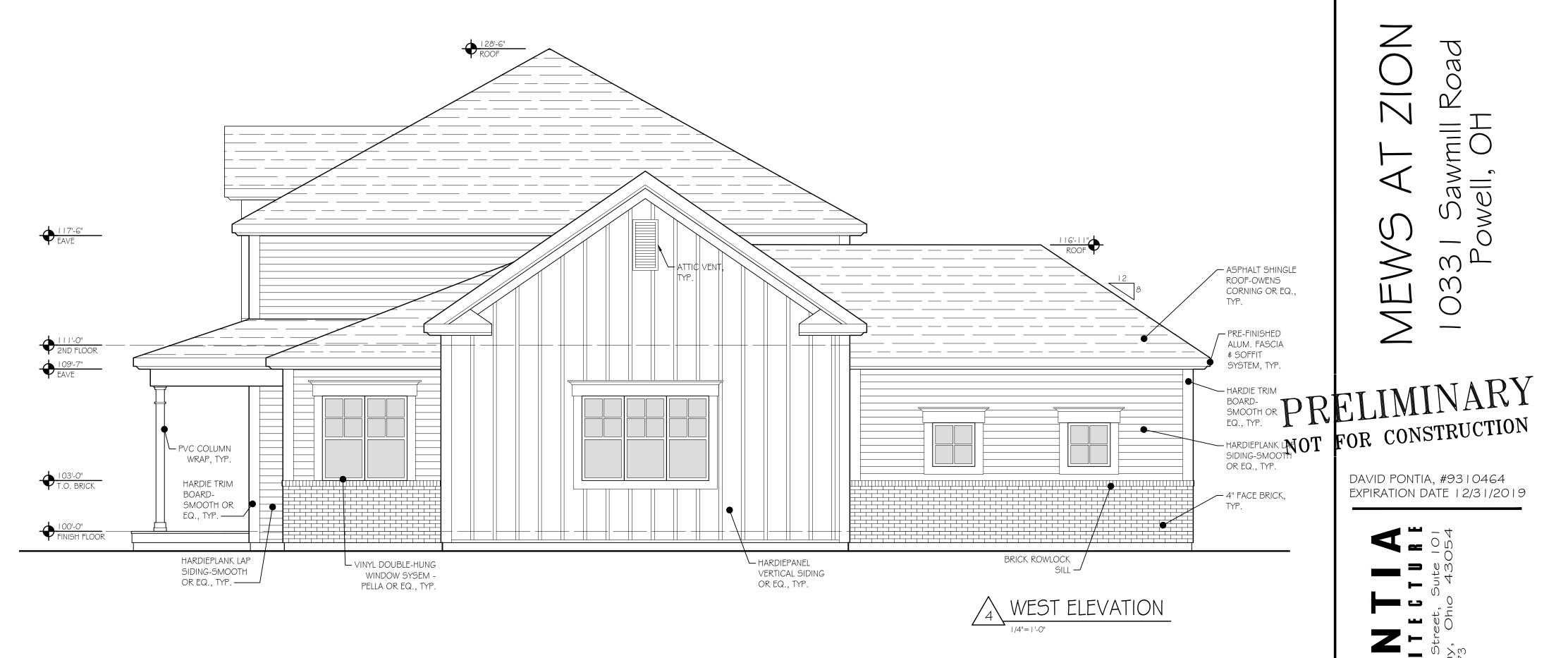
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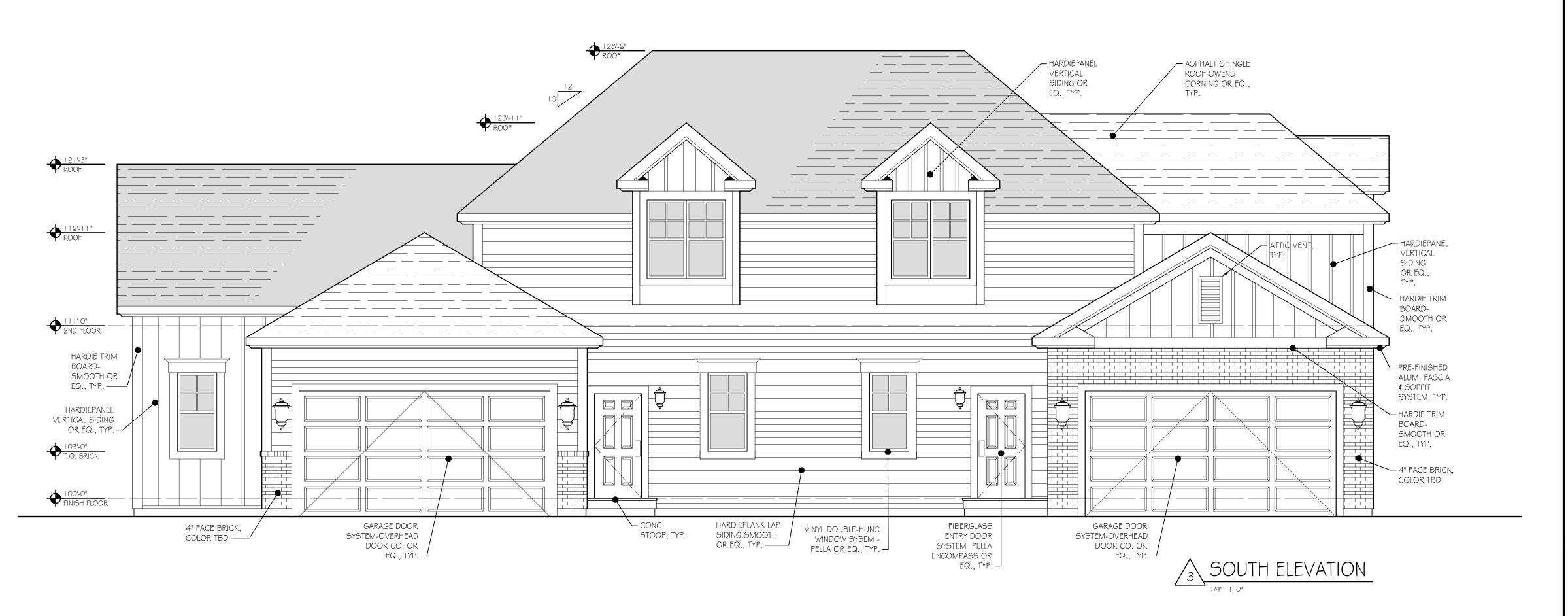
BUILDING ELEVATIONS BUILDING-004

SHEET INFORMAT	
PROJECT NUMBER	1619
DRAWN BY	RLA \$ SBT
CHECKED BY	DF
SCALE	AS NOTED
	AL DEVELOPMENT PLAN APPLICATION
DATE	5-7-2018
REVISIONS	
	

EXTERIOR FINISH SCHEDULE						
MATERIAL	COLOR / FINISH	SIZE	MANUFACTURER	REMARKS		
20 YEAR ARCHITECTURAL FIBERGLASS SHINGLE SYSTEM	DURATION SERIES, ESTATE GREY	TO BE SELECTED BY OWNER	OWENS CORNING OR APPROVED EQ.			
PRE-FINISHED METAL DOWNSPOUT SYSTEM AND PRECAST CONCRETE SPLASH BLOCK	TO BE SELECTED BY OWNER	2" x 3"	TO BE SELECTED BY OWNER			
PRE-FINISHED METAL GUTTER SYSTEM	TO BE SELECTED BY OWNER	5"	TO BE SELECTED BY OWNER			
RIDGE VENT	MATCH SHINGLES	MATCH SHINGLES	MATCH SHINGLES			
FIBER CEMENT TRIM BOARD SYSTEM	COLOR TO MATCH ARCTIC WHITE	SEE DRAWINGS SMOOTH FINISH	JAMES HARDIE OR APPROVED EQ.			
PRE-FINISHED ALUMINUM FASCIA AND SOFFIT SYSTEM	COLOR TO MATCH ARCTIC WHITE	SEE DRAWINGS	TO BE SELECTED BY OWNER			
FIBER CEMENT SIDING SYSTEM	SEE DRAWINGS	6" EXPOSURE (LAP SIDING)	JAMES HARDIE OR APPROVED EQ.	LAP SIDING - SMOOTH SHINGLE STYLE - STAGGERED EDGE VERTICAL SIDING-BOARD AND BATTEN		
CULTURED STONE VENEER SIDING SYSTEM	TO BE SELECTED BY OWNER	TO BE SELECTED BY OWNER	PROVIA OR EQ.			
4" FACE BRICK	HOMETOWN SERIES: ALBANY	MODULAR $(3\frac{1}{2} \times 2\frac{1}{4} \times 7\frac{1}{2})$	GLEN GARY			
VINYL WINDOW SYSTEM	TO BE SELECTED BY OWNER	DOUBLE-HUNG, SEE DRAWINGS	PELLA OR EQ.			
FIBERGLASS ENTRY DOOR SYSTEM	TO BE SELECTED BY OWNER	SEE DRAWINGS	PELLA ENCOMPASS			
OVERHEAD GARAGE DOOR SYSTEM	TO BE SELECTED BY OWNER	8'-0"H X 16'-0"W	OVERHEAD DOOR CO. OR APPROVED EQ.			
PORCH/STAIR RAILING	VINYL, WHITE	36"H RAILING	WEATHERABLES OR EQ.			
CAST-IN-PLACE CONCRETE TERRACE	NATURAL	SEE DRAWINGS		SEE SITE / CIVIL		
CAST-IN-PLACE CONCRETE FOUNDATION						
HOSE BIBB	TO BE SELECTED BY OWNER	SEE PLUMBING	TO BE SELECTED BY OWNER	SEE PLUMBING		

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DAVID PONTIA, #9310464 EXPIRATION DATE 12/31/2019



SHEET TITLE

BUILDING ELEVATIONS BUILDING-004

PROJECT NUME	BER1619
DRAWN BY	RLA \$ SB1
CHECKED BY .	DF
SCALE	AS NOTED
ISSUE FOR	FINAL DEVELOPMENT PLAN APPLICATION
DATE	5-7-2018
REVISIONS	

SANITARY SEWER IMPROVEMENT FOR: MEWS AT ZION

10331 ZION DRIVE THE CITY OF POWELL

DELAWARE COUNTY REGIONAL SEWER DISTRICT (DCRSD)

STANDARD SANITARY NOTES

REVISED APRII 2017

THE GENERAL NOTES PROVIDED BELOW ARE CONSIDERED GUIDANCE FOR MEETING THE MINIMUM REQUIREMENTS OF THE DCRSD. THE DESIGN ENGINEER SHALL BE RESPONSIBLE FOR REVIEWING ALL NOTES AND PROVIDING ADDITIONAL NOTES SPECIFIC TO THEIR SITE WHERE WARRANTED.

GENERAL NOTES

- 1. THE CURRENT COUNTY OF DELAWARE REQUIREMENTS, TOGETHER WITH THE SPECIFICATIONS OF THE STATE OF OHIO, DEPARTMENT OF TRANSPORTATION, INCLUDING ALL SUPPLEMENTS THERETO, AND THE DCRSD CONSTRUCTION AND MATERIAL SPECIFICATIONS (CMS) AND STANDARD DRAWINGS SHALL GOVERN ALL MATERIALS, METHODS OF CONSTRUCTION AND WORKMANSHIP INVOLVED IN THE IMPROVEMENTS THAT ARE A PART OF THIS PLAN.
- APPROVAL OF THESE PLANS IS CONTINGENT UPON ALL REQUIRED SANITARY SEWER EASEMENTS BEING APPROVED BY THE DCRSD AND RECORDED WITH THE PROJECT FINAL PLAT OR AS DIRECTED BY THE SANITARY ENGINEER PRIOR TO CONSTRUCTION.
 THE CONTRACTOR SHALL NOTIFY THE SANITARY ENGINEER'S OFFICE FORTY-EIGHT (48) HOURS PRIOR TO CONSTRUCTION.
 ANY MODIFICATIONS TO THE WORK AS SHOWN ON THESE DRAWINGS SHALL HAVE PRIOR WRITTEN APPROVAL BY THE SANITARY
- 5. THE CONTRACTOR IS RESPONSIBLE FOR THE INVESTIGATION, LOCATION, SUPPORT, PROTECTION, AND RESTORATION OF ALL EXISTING UTILITIES AND APPURTENANCES WHETHER SHOWN ON THESE PLANS OR NOT. THE CONTRACTOR SHALL EXPOSE ALL UTILITIES OR STRUCTURES PRIOR TO CONSTRUCTION TO VERIFY THE VERTICAL AND HORIZONTAL EFFECT ON PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL CALL, TOLL FREE, THE OHIO UTILITIES PROTECTION SERVICE (1-800-362-2764) FORTY-EIGHT (48) HOURS PRIOR TO CONSTRUCTION AND SHALL NOTIFY ALL UTILITY COMPANIES AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO WORK IN THE VICINITY OF THEIR UNDERGROUND LINES. THE IDENTITY AND LOCATION OF THE EXISTING UNDERGROUND UTILITY FACILITIES KNOWN TO BE LOCATED IN THE CONSTRUCTION AREA HAVE BEEN SHOWN ON THE PLANS AS ACCURATELY AS PROVIDED BY THE OWNER OF THE UNDERGROUND UTILITY. THE COUNTY OF DELAWARE AND THE SANITARY ENGINEER ASSUME NO RESPONSIBILITY AS
- TO THE ACCURACY OF THE UNDERGROUND FACILITIES SHOWN ON THE PLANS.

 6. THE FOLLOWING UTILITIES AND/OR OWNERS ARE LOCATED WITHIN THE WORK LIMITS OF THIS PROJECT AND DO NOT SUBSCRIBE TO A REGISTERED UNDERGROUND UTILITY PROTECTION SERVICE. (UTILITY OWNER-PROVIDE NAMES AND PHONE NUMBERS: TELEPHONE, WATER, STORM SEWERS, SANITARY SEWERS, ETC.).
- 7. THE CONTRACTOR SHALL CONFINE HIS ACTIVITIES TO THE PROJECT SITE UNDER DEVELOPMENT, EXISTING RIGHTS-OF-WAY, CONSTRUCTION EASEMENTS AND PERMANENT EASEMENTS, AND SHALL NOT TRESPASS UPON OTHER PRIVATE PROPERTY WITHOUT THE WRITTEN CONSENT OF THE PROPERTY OWNER.
- 8. COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, AS AMENDED, AND APPLICABLE OSHA REGULATIONS IS REQUIRED OF ALL CONTRACTORS ON THE PROJECT. EACH CONTRACTOR AND SUBCONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING, MAINTAINING, AND SUPERVISING ALL SAFETY REQUIREMENTS, PRECAUTIONS, AND PROGRAMS IN CONNECTION WITH THE WORK.

 9. THE TRACKING OF MUD, DIRT, AND DEBRIS UPON ANY PUBLIC ROADWAY IS PROHIBITED AND ANY SUCH OCCURRENCE SHALL BE CLEANED UP IMMEDIATELY BY THE CONTRACTOR. THE CONTRACTOR SHALL CLEAN UP ALL DEBRIS AND MATERIALS RESULTING FROM CONSTRUCTION OPERATIONS AND RESTORE ALL SURFACES, STRUCTURES, DITCHES, AND PROPERTY TO ITS ORIGINAL CONDITION AND TO THE SATISFACTION OF THE SANITARY ENGINEER.
- 10. ANY TREES OR LANDSCAPING IN EXISTING EASEMENTS OR PUBLIC RIGHT-OF-WAY SHALL BE PROTECTED AND NOT IMPACTED BY CONSTRUCTION ACTIVITIES UNLESS PRIOR APPROVAL IS OBTAINED BY THE SANITARY ENGINEER. ANY TREES OR LANDSCAPING THAT ARE APPROVED TO BE REMOVED ARE REQUIRED TO BE REPLACED TO THE SATISFACTION OF THE SANITARY ENGINEER.

 11. THE CONTRACTOR SHALL OBTAIN ANY AND ALL NECESSARY PERMITS PRIOR TO BEGINNING CONSTRUCTION. ALL WORK SHALL BE
- PERFORMED IN ACCORDANCE WITH THE APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS AND REQUIREMENTS.

 12. WHERE IT IS ANTICIPATED THAT THE UTILITY WORK WILL CLOSE A STREET, THE CONTRACTOR SHALL INFORM RESIDENTS TO BE AFFECTED, THE COUNTY SHERIFF'S OFFICE OR LOCAL POLICE DEPARTMENT, THE FIRE DEPARTMENT, THE SANITARY ENGINEER, THE COUNTY ENGINEER, THE APPLICABLE SCHOOL DISTRICT, AND OTHER APPLICABLE ENTITIES AS TO THE EXTENT, NATURE, AND TIME OF THE ANTICIPATED WORK.
- 13. PROHIBITED CONSTRUCTION ACTIVITIES: THE FOLLOWING CONSTRUCTION ACTIVITIES ARE PROHIBITED ON THE PROJECT

 •USING ANY SUBSTANCE OTHER THAN WATER TO CONTROL DUST.
- USING ANY SUBSTANCE OTHER THAN WATER TO CONTROL DUST.
 TRACKING OF MUD, DIRT AND DEBRIS ONTO ANY PUBLIC ROADWAY.
- OPEN BURNING OF PROJECT DEBRIS WITHOUT A PERMIT. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE PERMIT OR DISPOSING OF TREES AND STUMPS.
 PUMPING OF SEDIMENT-LADEN WATER FROM TRENCHES OR OTHER EXCAVATIONS INTO ANY SURFACE WATERS, ANY STREAM
- CORRIDORS, ANY WETLANDS, OR STORM SEWERS.

 DISCHARGING POLLUTANTS, SUCH AS CHEMICALS, FUELS, LUBRICANTS, BITUMINOUS MATERIALS, RAW SEWAGE, AND OTHER
- HARMFUL WASTE INTO OR ALONGSIDE RIVERS, STREAMS, IMPOUNDMENTS, OR INTO NATURAL OR MAN-MADE CHANNELS LEADING THERETO.

 STORING CONSTRUCTION EQUIPMENT AND VEHICLES AND/OR STOCKPILING CONSTRUCTION MATERIALS ON PROPERTY, PUBLIC
- OR PRIVATE, NOT PREVIOUSLY SPECIFIED FOR SAID PURPOSES.

 DISPOSING OF EXCESS OR UNSUITABLE EXCAVATED MATERIAL IN WETLANDS OR FLOODPLAINS, EVEN WITH THE PERMISSION OF
- THE PROPERTY OWNER.
- INDISCRIMINATE, ARBITRARY, OR CAPRICIOUS OPERATION OF EQUIPMENT IN ANY STREAM CORRIDORS, WETLANDS, SURFACE WATERS, OR OUTSIDE THE EASEMENT AREA.
- PERMANENT OR UNSPECIFIED ALTERATION OF THE FLOW LINE OF A STREAM.
 REMOVAL OF TREES AND SHRUBS, OR DAMAGING VEGETATION OUTSIDE THE LIMITS OF THE CONSTRUCTION AREA.
- DISPOSAL OF TREES, BRUSH AND OTHER DEBRIS IN STREAM CORRIDORS, WETLANDS, SURFACE WATERS, OR AT UNSPECIFIED
- 14. SEDIMENT AND EROSION CONTROL. THE CONTRACTOR SHALL SUBMIT A COPY OF THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) TO THE SANITARY ENGINEER THAT HAS BEEN APPROVED BY THE GOVERNING STORM WATER AUTHORITY (I.E., DELAWARE COUNTY ENGINEER'S OFFICE, CITY OF POWELL, VILLAGE OF SUNBURY, ETC.) PRIOR TO THE PRE-CONSTRUCTION MEETING FOR THE SANITARY SEWER. ADDITIONAL EROSION AND SEDIMENTATION CONTROLS MAY BE REQUIRED AT THE DISCRETION OF THE SANITARY ENGINEER BEFORE AND/OR DURING CONSTRUCTION ACTIVITIES.

SANITARY SEWER NOTE

- 1. ALL SANITARY SEWERS SHALL BE SEPARATED A MINIMUM OF 10 FEET HORIZONTALLY AND 1.5 FEET VERTICALLY FROM ALL WATER
- 2. WHEREVER A SANITARY SEWER MUST CROSS AN EXISTING WATER MAIN, THE ELEVATION OF THE CROWN OF THE SEWER SHALL BE AT LEAST 1.5 FEET MINIMUM, MEASURED BETWEEN THE OUTSIDE PIPE WALLS, BELOW THE BOTTOM OF THE WATER MAIN.

 3. ALL GRAVITY SANITARY MAINS (8 INCHES THROUGH 15 INCHES) AND SERVICES (6 INCH) SHALL BE PVC PIPE MEETING THE REQUIREMENTS OF ASTM D-3034, SDR 35, CELL CLASS 12454, UNLESS OTHERWISE NOTED. PVC SEWER JOINTS SHALL MEET ASTM 3212 SPECIFICATIONS. FOR PIPE SIZES 18 INCHES AND LARGER, PVC PIPE SHALL CONFORM TO ASTM F 679, WITH A CELL CLASSIFICATION OF 12454. PIPE AND FITTINGS SHALL BE SDR 26 OR PS 115 FOR DEPTHS GREATER THAN 20 FEET. FOR PIPES WITH DEPTHS GREATER THAN
- 28 FEET, PLEASE SEE THE DISTRICT CMS.
 4. THERE SHALL BE NO STORM OR CLEAN WATER CONNECTIONS TO THE SANITARY SEWER (ROOF DRAINS, FOOTER DRAINS, ETC.)
- 5. ALL SANITARY SEWER WYE FITTINGS SHALL HAVE A 10-FOOT MINIMUM SERVICE EXTENSION INSTALLED PRIOR TO THE SERVICE BEING CAPPED AND BACKFILL BEING PLACED OVER THE MAINLINE AND LATERAL SEWER.
 6. TRENCH DAMS ARE REQUIRED FOR ALL SANITARY SERVICES AND SHALL BE CONSTRUCTED OF NATIVE CLAY OR IMPERVIOUS SOIL ACROSS AND ALONG THE TRENCH UPSTREAM OF THE MAIN LINE SEWER TO RETARD AND RESIST THE MOVEMENT OF GROUNDWATER THROUGH THE TRENCH BEDDING OR BACKFILL MATERIAL. COMPACT THE TRENCH DAMS TO 6 FEET IN LENGTH, AS MEASURED ALONG
- THE SERVICE CENTERLINE TO A LIMIT OF 36 INCHES ABOVE THE TOP OF PIPE.

 7. SEWER TRENCHES SHALL BE DE-WATERED TO 2 INCHES BELOW THE BELL OF PIPE PRIOR TO INSTALLATION OF PIPE.

 8. THE CONTRACTOR SHALL PROVIDE AND INSTALL WYE POLES AT ALL WYE LOCATIONS AS CONSTRUCTED. WYE POLES SHALL
- EXTEND ABOVE THE EXISTING OR PROPOSED GRADE, WHICHEVER IS HIGHER, A MINIMUM OF 2 FEET.

 9. ANY FIELD TILE DISTURBED DURING CONSTRUCTION SHALL BE REPLACED AS DIRECTED BY THE SANITARY ENGINEER WITH PVC
 PIPE SPANNING THE TRENCH. THE TRENCH SHALL BE FILLED WITH COMPACTED GRANULAR BACKFILL.
- PIPE SPANNING THE TRENCH. THE TRENCH SHALL BE FILLED WITH COMPACTED GRANULAR BACKFILL.

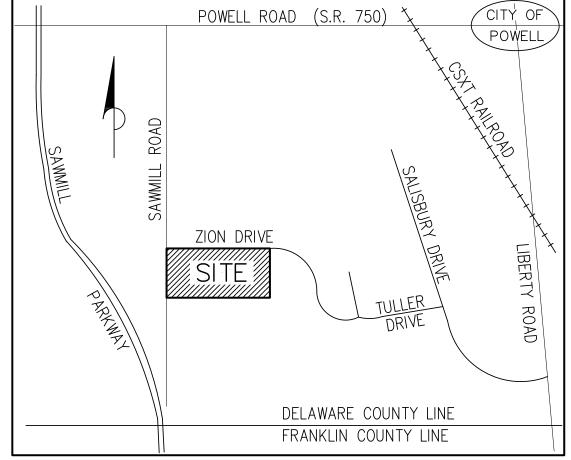
 10. FINISH GRADE AT ALL SANITARY MANHOLES SHALL BE AT LEAST 6 INCHES BELOW TOP OF CASTING TO AVOID UNNECESSARY
 INFILTRATION INTO THE SANITARY SEWER SYSTEM.
- 11. ALL SANITARY SERVICES SHALL BE INSTALLED WITH A MINIMUM 2.08% SLOPE UNLESS OTHERWISE NOTED ON PLANS.
 12. BACKFILL SHALL BE INSTALLED PER TYPICAL TRENCH DETAIL SA.S-2.
- 13. SERVICE RISERS SHALL BE INSTALLED WHERE DEPTHS FROM THE WYE TO THE EXISTING OR PROPOSED ELEVATION EXCEEDS 12 FEET. THE TOPS OF RISERS SHALL BE NO MORE THAN 10 FEET BELOW EXISTING OR PROPOSED SURFACE ELEVATION, WHICHEVER IS HIGHER, UNLESS OTHERWISE NOTED.

 14. CONTRACTOR SHALL INSTALL PLUGS IN THE UPSTREAM AND DOWNSTREAM INVERTS OF THE CONNECTION MANHOLE. THE PLUGS
- SHALL BE INSPECTED BY THE CONTRACTOR ON A WEEKLY BASIS AND AFTER RAINFALL EVENTS.

 15. SANITARY SEWERS SHALL BE TESTED BY AIR TESTING METHOD. AIR TESTING SHALL BE MADE IN ACCORDANCE WITH ASTM

 F1417-92. ALLOWARI F LEAKAGE SHALL NOT EXCEED THE LIMITS AS SHOWN IN CMS ITEM 409 01. CONTRACTOR SHALL COOPERATE WITH
- F1417-92. ALLOWABLE LEAKAGE SHALL NOT EXCEED THE LIMITS AS SHOWN IN CMS ITEM 409.01. CONTRACTOR SHALL COOPERATE WITH THE SANITARY ENGINEER AND PROVIDE ALL NECESSARY EQUIPMENT TO PERFORM THE TESTING.

 16. SANITARY MANHOLES SHALL BE TESTED USING VACUUM TEST METHODS PER CMS ITEM 409.02.
- 17. WHEN PVC PIPE IS USED A DEFLECTION TEST SHALL BE PERFORMED. PIPE DEFLECTION SHALL NOT EXCEED 5 PERCENT IF TESTED AFTER 30 DAYS, OR 7.5 PERCENT IF TESTED AFTER 90 DAYS FROM THE TRENCH BEING BACKFILLED TO FINISH GRADE. THE METHOD OF TESTING SHALL BE SUBJECT TO THE APPROVAL OF THE SANITARY ENGINEER. IF RIGID BALLS OR MANDRELS ARE USED TO TEST THE PIPE DEFLECTION, NO MECHANICAL PULLING DEVICES SHALL BE USED. ANY LINES WHICH FAIL THE TEST MUST BE REPAIRED AND RETESTED BY THE CONTRACTOR AT NO COST TO THE DCRSD.
- 18. ALL SANITARY MANHOLES SHALL BE STAMPED "DELAWARE COUNTY REGIONAL SEWER DISTRICT". ALL WATERTIGHT MANHOLES SHALL HAVE A T-GASKET AND CONCEALED PICK HOLES. ALL SANITARY MANHOLES SHALL BE NEENAH R-1760A WITH "DELAWARE COUNTY REGIONAL SEWER DISTRICT" CAST IN THE MANHOLE.
- 19. THE FOLLOWING SET OF TOOLS AND SPARE PARTS SHALL BE DELIVERED TO THE SANITARY ENGINEER'S OFFICE PRIOR TO FINAL ACCEPTANCE OF THE PROJECT: FIVE (5) CONCRETE GRADE RINGS; ONE (1) MANHOLE LIFTING HOOK; AND ONE (1) COMPLETE MANHOLE CASTING (FRAME AND LID). AN ADDITIONAL SET OF SPARE PARTS SHALL BE PROVIDED FOR EVERY TEN (10) MANHOLES.



VICINITY MAP
<u> </u>
NOT TO SCALE

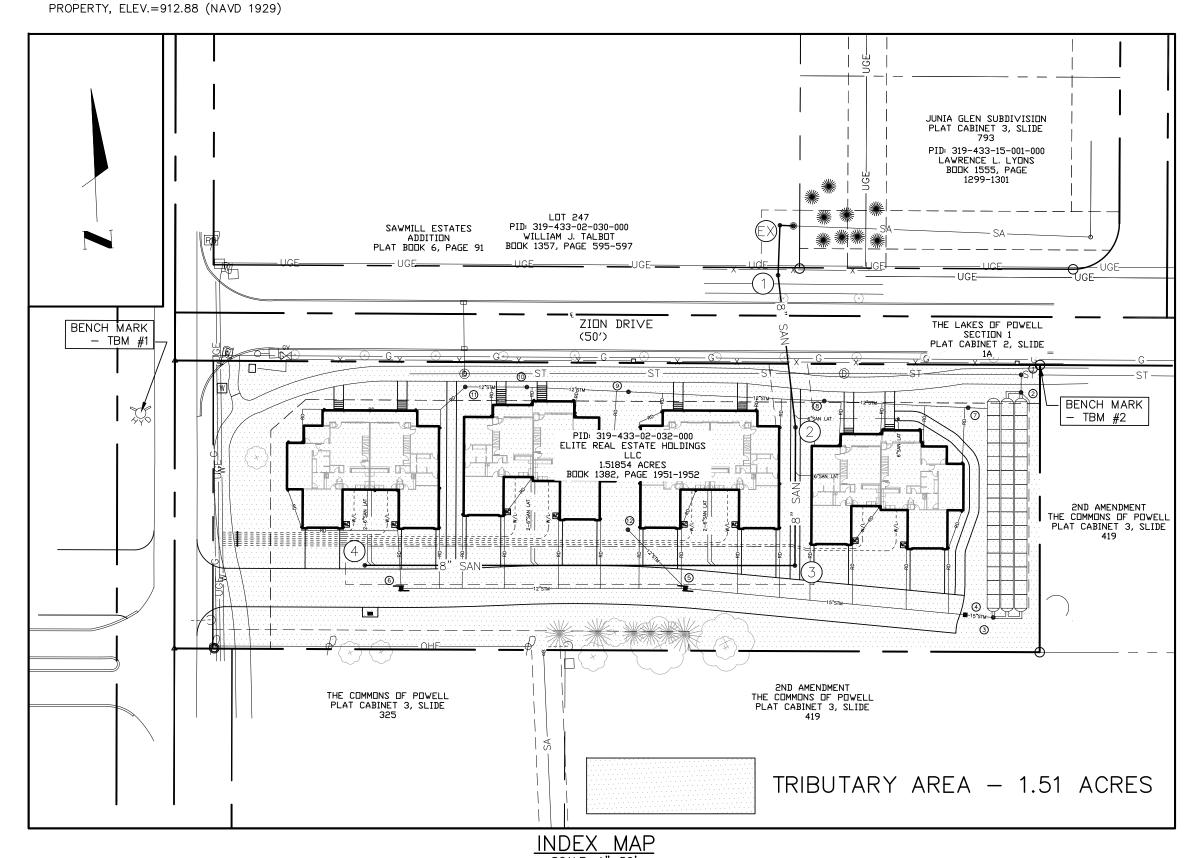
ESTIMATE OF QUANTITIES SANITARY SEWER ITEM UNIT QUAN⁻ DESCRIPTION 604 1055 48" SANITARY MANHOLE, TYPE A 604 STANDARD CLEANOUT EA. 901 L.F. 8" SANITARY SEWER PIPE (SDR-35 PVC), W/TYPE I BEDDING 901 8" SANITARY SEWER PIPE (C-900), W/TYPE I BEDDING L.F. 901 8"X6" WYES W/PLUGS & POLES EA. 918 L.F. 6" SANITARY LATERALS (PVC) SPEC EA. RELOCATE EXISTING SANITARY MANHOLE SPEC CONNECT TO EXISTING SANITARY SPEC L.S BORE AND JACK UNDER EXISTING ROADWAY

ESTIMATED QUANTITIES ARE SHOWN AS REFERENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR QUANTITIES REQUIRED TO CONSTRUCT ITEMS OF WORK AS SHOWN ON THESE PLANS.

BENCHMARKS

TBM #1 — EAST BOLT FIRE HYD. LOCATED WEST OF SAWMILL ROAD, 53 FEET SOUTH OF ZION DRIVE, ELEV.=916.53 (NGVD 1929)

TBM #2 - IRON PROPERTY PIN W/CAP, NORTHEAST CORNER OF



UNDERGROUND UTILITIES

2 WORKING DAYS

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OUIO LITUITIES DEOTEOTION SERVICE

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OHIO UTILITIES PROTECTION SERVICE

NON-MEMBERS

MUST BE CALLED DIRECTLY

STANDARD DRAWINGS

THE DELAWARE COUNTY STANDARD CONSTRUCTION DRAWINGS LISTED BELOW SHALL BE CONSIDERED A PART OF THESE PLANS.

Sa. S-1 Sa. S-5 Sa. S-16 Sa. S-2 Sa. S-7 Sa. S-17 Sa. S-3 Sa. S-11

INDEX OF SHEETS

1 – TITLE SHEET 2 – SANITARY PLAN & PROFILE

Signatures on this plan signify only concurrence with the general purposes and general location of project. All technical details remain the responsibility of the engineer preparing the plan.

CITY OF POWELL:

Ry	
CITY ENGINEER, CITY OF POWELL	Date
By	Date
By	
ByMAYOR, CITY OF POWELL	Date
DELAWARE COUNTY SANITARY ENGINEER:	
By	Date
DELAWARE COUNTY COMMISSIONERS:	
By	 Date
	2410
D	
By	Date

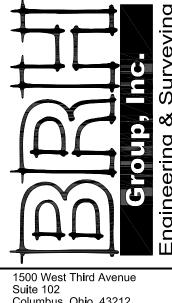
PLAN PREPARED BY:



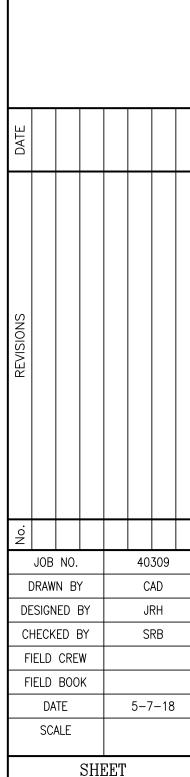
1500 West Third Avenue Suite 102 Columbus, Ohio 43212 Phone: (614) 220-9122 Email: info@brhgroup.com

y_____ Registered Engineer

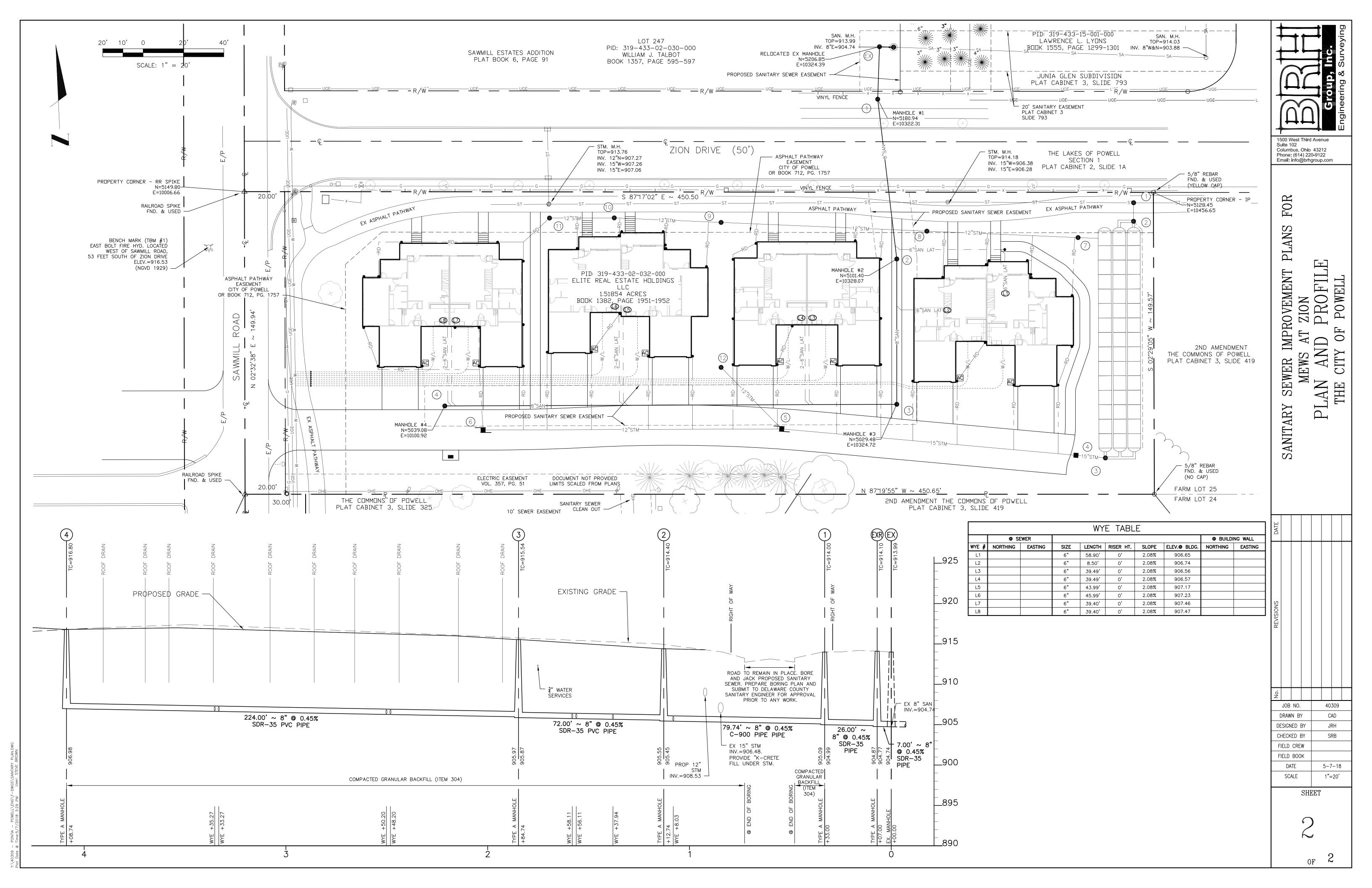
Date



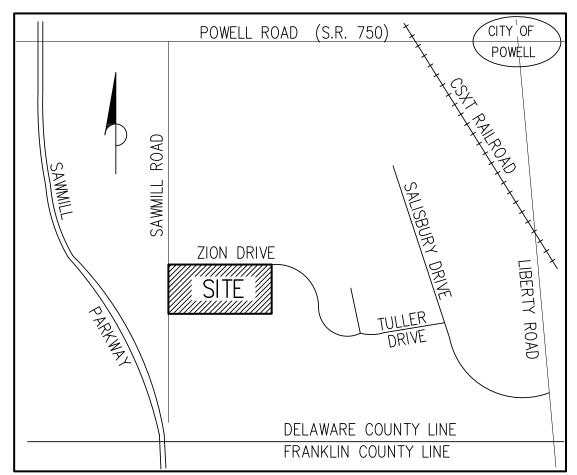
1500 West Third Avenue Suite 102 Columbus, Ohio 43212 Phone: (614) 220-9122 Email: info@brhgroup.com



of 2



SITE IMPROVEMENT PLANS FOR: MEWS AT ZION 10331 ZION DRIVE THE CITY OF POWELL



VICINITY MAP NOT TO SCALE

ESTIMATED QUANTITIES ARE SHOWN AS REFERENCE ONLY. CONTRACTOR IS RESPONSIBLE

ITEM

207

207

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UNIT

EA.

EA.

EA.

EA.

IQUAN'

1055

SPEC

FOR QUANTITIES REQUIRED TO CONSTRUCT ITEMS OF WORK AS SHOWN ON THESE PLANS.

SILT FENCE

DANDY BAG

ESTIMATE OF QUANTITIES STORM SEWER

CONSTRUCTION ENTRANCE

CATCH BASIN AA-S133A

12" CONDUIT W/TYPE 1 BEDDING

15" CONDUIT W/TYPE 1 BEDDING

ADS MC-3500 ARCH SYSTEM

CONCRETE WASHOUT

MANHOLE AA-S103

DESCRIPTION

UNDERGROUND UTILITIES

2 WORKING DAYS BEFORE YOU DIG

CALL TOLL FREE 1-800-362-2764 OHIO UTILITIES PROTECTION SERVICE

NON-MEMBERS

MUST BE CALLED DIRECTLY

Suite 102

Columbus, Ohio 43212 Phone: (614) 220-9122 Email: info@brhgroup.com

STANDARD DRAWINGS

THE CITY OF COLUMBUS STANDARD CONSTRUCTION DRAWINGS LISTED BELOW SHALL BE CONSIDERED A PART OF THESE PLANS.

> AA-S106 AA-S117 AA-S139 AA-S108 AA-S119 AA-S141 AA-S112 AA-S133A AA-S145

INDEX OF SHEETS

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- 2 GENERAL NOTES
- 3 TOPOGRAPHIC SURVEY & DEMOLITION PLAN 4 - STORM SEWER DRAINAGE PLAN
- 5 STORM SEWER PROFILE
- 6 SEDIMENTATION & EROSION CONTROL PLAN 7 - MISCELLANEOUS UTILITY PLAN
- 8 PAVEMENT & STRIPING PLAN
- 9 STAKING PLAN 10 - DETAILS

Signatures on this plan signify only concurrence with the general purposes and general location of project. All technical details remain the responsibility of the engineer preparing the plan.

CITY OF POWELL:

CITY ENGINEER, CITY OF POWELL Date

DIRECTOR OF DEVELOPMENT, CITY OF POWELL Date

MAYOR. CITY OF POWELL Date

LIBERTY TOWNSHIP FIRE DEPARTMENT:

CHIEF, LIBERTY TOWNSHIP FIRE DEPARTMENT Date

PLAN PREPARED BY:



1500 West Third Avenue Columbus, Ohio 43212 Phone: (614) 220-9122 Email: info@brhgroup.com

GENERAL NOTES

- THE REQUIREMENTS OF THE CITY OF POWELL, OHIO, TOGETHER WITH THE CONSTRUCTION AND MATERIAL SPECIFICATIONS AND THE STANDARD CONSTRUCTION DRAWINGS OF THE CITY OF COLUMBUS. DEPARTMENT OF TRANSPORTATION. MATERIAL SPECIFICATIONS INCLUDING ALL SUPPLEMENTS THERETO, AND AQUA OHIO SPECIFICATIONS. IN FORCE ON THE DATE OF CONTRACT, SHALL GOVERN ALL MATERIAL AND WORKMANSHIP INVOLVED IN THE IMPROVEMENTS SHOWN ON THESE PLANS, EXCEPT AS SUCH SPECIFICATIONS ARE MODIFIED BY THE CONSTRUCTION DETAILS SET FORTH ON THE PLANS OR IN THE NOTES.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL FEDERAL STATE AND LOCAL SAFETY REQUIREMENTS, TOGETHER WITH EXERCISING PRECAUTIONS AT ALL TIMES FOR THE PROTECTION OF PERSONS (INCLUDING EMPLOYEES) AND PROPERTY. IT IS ALSO THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO INITIATE, MAINTAIN AND SUPERVISE ALL SAFÈTY REQUIREMENTS, PRÉCAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. THE IDENTITY AND LOCATION OF THE EXISTING UNDERGROUND UTILITY FACILITIES KNOWN TO BE LOCATED IN THE CONSTRUCTION AREA HAVE BEEN
- SHOWN ON THE PLANS AS ACCURATELY AS PROVIDED BY THE OWNER OF THE UNDERGROUND UTILITY. THE CITY OF POWELL AND/OR THE ENGINEER ASSUME NO RESPONSIBILITY AS TO THE ACCURACY OR THE DEPTHS OF THE UNDERGROUND FACILITIES WHETHER OR NOT SHOWN ON THE PLANS. • THE CONTRACTOR SHALL CAUSE NOTICE TO BE GIVEN TO THE OHIO UTILITY PROTECTION SERVICE (TELEPHONE 1-800-362-2764- TOLL FREE) AND
- THE OWNER'S OF THE UNDERGROUND UTILITIES SHOWN ON THE PLANS WHO ARE NOT MEMBERS OF A REGISTERED UNDERGROUND PROTECTION SERVICE IN ACCORDANCE WITH SECTION 153.64 OF THE REVISED CODE.
- SUPPORT, PROTECTION AND RESTORATION OF ALL EXISTING UTILITIES AND APPURTENANCES, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE COST OF THIS WORK SHALL BE INCLUDED IN THE PRICE BID FOR THE VARIOUS ITEMS. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS.
- ALL FIELD TILE BROKEN DURING EXCAVATION SHALL BE REPLACED TO ORIGINAL CONDITION OR CONNECTED EITHER TO CURB OR SUBDRAIN OR THE STORM SEWER SYSTEM AS DIRECTED BY THE ENGINEER. ALL TRAFFIC CONTROL DEVICES SHALL BE FURNISHED, ERECTED, MAINTAINED AND REMOVED BY THE CONTRACTOR IN ACCORDANCE WITH THE OHIO MANUAL OF TRAFFIC CONTROL DEVICES FOR CONSTRUCTION AND MAINTENANCE OPERATIONS, COPIES OF WHICH ARE AVAILABLE FROM THE OHIO
- DEPARTMENT OF TRANSPORTATION, BUREAU OF TRAFFIC, 1980 WEST BROAD STREET, COLUMBUS, OHIO 43223. • STEADY-BURNING, TYPE "C" LIGHTS SHALL BE REQUIRED ON ALL BARRICADES, DRUMS AND SIMILAR TRAFFIC CONTROL DEVICES IN USE AT NIGHT. • ALL TRENCHES UNDER EXISTING OR PROPOSED PAVED AREAS OR DRIVES SHALL BE BACKFILLED WITH COMPACTED GRANULAR BACKFILL, FROM THE TOP OF THE BEDDING MATERIAL TO THE PAVEMENT SUBGRADE OR TO A PLANE SIX (6) INCHES BELOW THE TOP OF THE GROUND, BETWEEN THE LIMITS OF FIVE (5) FEET BEYOND THE EDGE OF PAVEMENT, PAVED SHOULDER, OR THE BACK OF CURB. UNLESS OTHERWISE SHOWN, TRENCHES NOT UNDER EXISTING OR PROPOSED PAVED AREAS BUT WITHIN EXISTING OR PROPOSED RIGHT OF WAY OR LAWN AREAS SHALL BE BACKFILLED WITH
- THE DEVELOPER/OWNER/CONTRACTOR SHALL, PRIOR TO ANY CONSTRUCTION OPERATION, DEPOSIT WITH THE CITY OF POWELL THE TOTAL ESTIMATED
- COSTS FOR INSPECTION. ANY MODIFICATION TO THE WORK AS SHOWN ON THESE DRAWINGS MUST HAVE PRIOR WRITTEN APPROVAL BY THE CITY OF POWELL.
- ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWERS ARE PROHIBITED.
- THE DEVELOPER/OWNER/CONTRACTOR SHALL PROVIDE 48 HOURS NOTICE TO THE CITY OF POWELL PRIOR TO BEGINNING CONSTRUCTION. IN THE EVENT CONSTRUCTION ACTIVITIES CEASE FOR MORE THAN 72 HOURS, CONTRACTOR IS REQUIRED TO PROVIDE 48 HOURS NOTICE PRIOR TO RESUMING CONSTRUCTION ACTIVITIES.

• AS-BUILT PLANS: PRIOR TO CONSIDERATION OF CONDITIONAL CERTIFICATE OF OCCUPANCY, THE DEVELOPER/OWNER SHALL PROVIDE THE CITY WITH

AN "AS-BUILT" SURVEY OF THE IMPROVEMENTS INCLUDING THE STORM WATER MANAGEMENT SYSTEM (INCLUDING RETENTION/DETENTION AREAS AND APPURTENANCES) AND ALL CRITICAL GRADE ELEVATIONS DEPICTING THAT THE OVERALL MAJOR STORM ROUTINGS FUNCTION PER THE APPROVED PLAN AND AS INTENDED. THE SURVEY SHALL BE COMPLETED BY A PROFESSIONAL REGISTERED SURVEYOR. • PRE-CONSTRUCTION CONFERENCE: A PRE-CONSTRUCTION CONFERENCE SHALL BE HELD AT THE CITY ENGINEERS OFFICE AT LEAST 15 CALENDAR DAYS BEFORE ANY WORK HAS BEGUN. REPRESENTATIVES OF THE OWNER, DESIGN ENGINEER AND CONTRACTOR SHALL BE IN ATTENDANCE. A

SCHEDULE OF SEQUENCE OF EVENTS, DURING CONSTRUCTION, MUST BE SUBMITTED FOR REVIEW AT LEAST 7 DAYS PRIOR TO THIS MEETING.

 ALL SEWERS OUTSIDE OF EASEMENTS AS SHOWN ON THIS DRAWING ARE TO BE CONSTRUCTED AS A PRIVATE STORM SYSTEM, THEREFORE THE CITY WILL NOT ASSUME MAINTENANCE THEREOF AFTER COMPLETION. STANDBY INSPECTION IS MANDATORY DURING CONSTRUCTION. THE FOLLOWING UTILITIES ARE LOCATED WITHIN THE WORK LIMITS OF THIS PROJECT, AND THE OWNERS DO NOT SUBSCRIBE TO A REGISTERED

UTILITY	OWNER	TELEPHONE NO.
STORM SEWER	CITY OF POWELL	614-885-5380
SANITARY SEWER DELAWARE	COUNTY SANITARY ENGINEER	740-833-2240

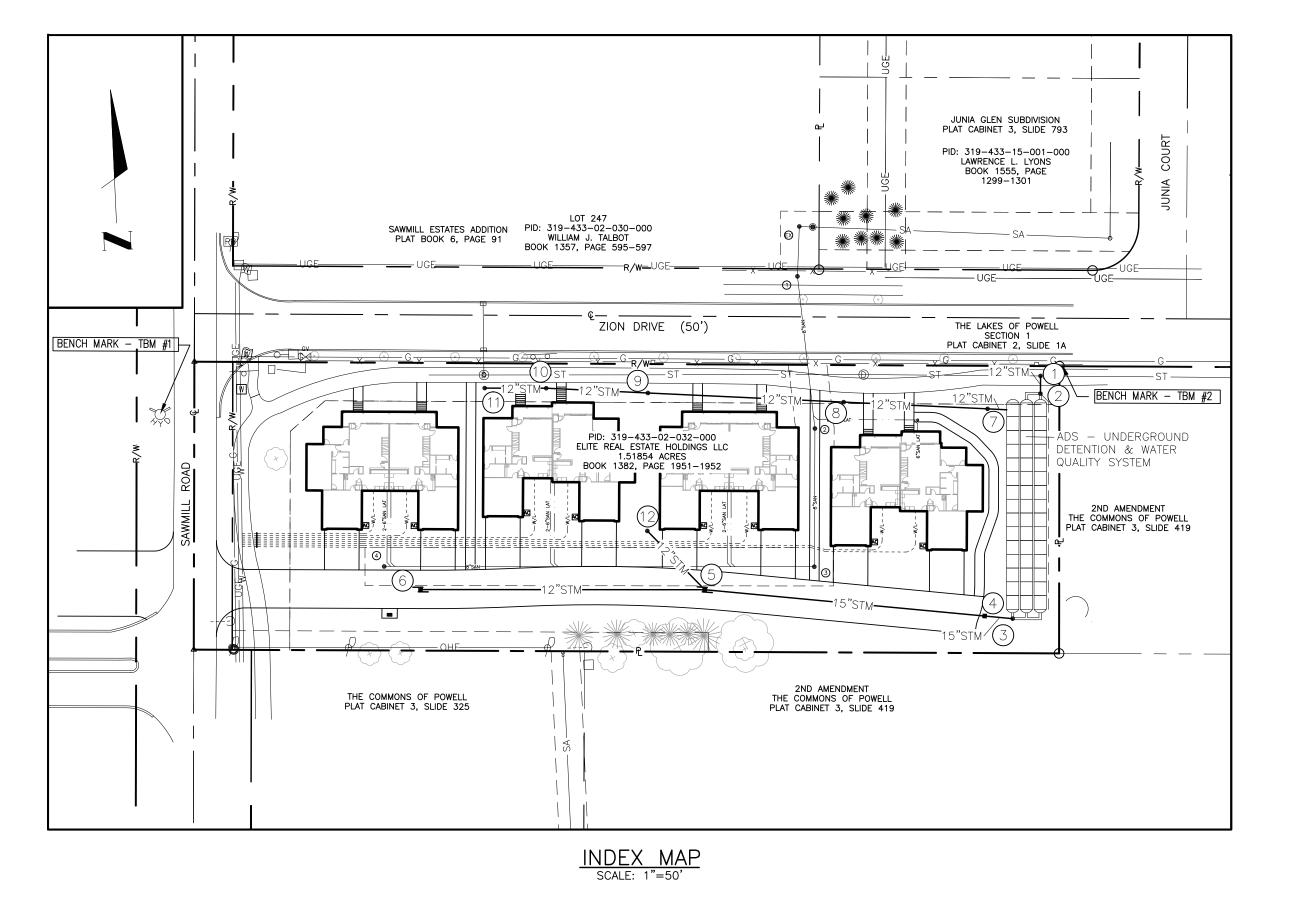
DELCO WATER

UNDERGROUND UTILITY SERVICE.

WATER FACILITIES

- THE FLOW IN ALL SEWERS, DRAINS AND WATERCOURSES ENCOUNTERED SHALL BE MAINTAINED BY THE CONTRACTOR AT HIS OWN EXPENSE AND WHENEVER SUCH WATERCOURSES AND DRAINS ARE DISTURBED OR DESTROYED DURING THE PROSECUTION OF HIS WORK THEY SHALL BE RESTORED
- BY THE CONTRACTOR AT HIS OWN COST AND EXPENSE TO A CONDITION SATISFACTORY TO THE GM/GC AND ENGINEER. • ALL PVC SEWER LINES SHALL BE DEFLECTION TESTED AFTER INSTALLATION, IN CONFORMANCE WITH THE APPLICABLE ASTM OR AASHTO
- CONTRACTOR SHALL PROVIDE PROPER EROSION CONTROL MEASURES AS MAY BE NECESSARY. AS DETERMINED BY THE CITY OF POWELL.

TBM #1 - EAST BOLT FIRE HYD. LOCATED WEST OF SAWMILL ROAD, 53 FEET SOUTH OF ZION DRIVE, ELEV.=916.53 (NGVD 1929) TBM #2 - IRON PROPERTY PIN W/CAP, NORTHEAST CORNER OF PROPERTY, ELEV.=912.88 (NAVD 1929)



Registered Engineer Date

JOB NO.

DRAWN BY

DESIGNED BY

CHECKED BY

FIELD CREW FIELD BOOK

DATE

SCALE

40309

CAD

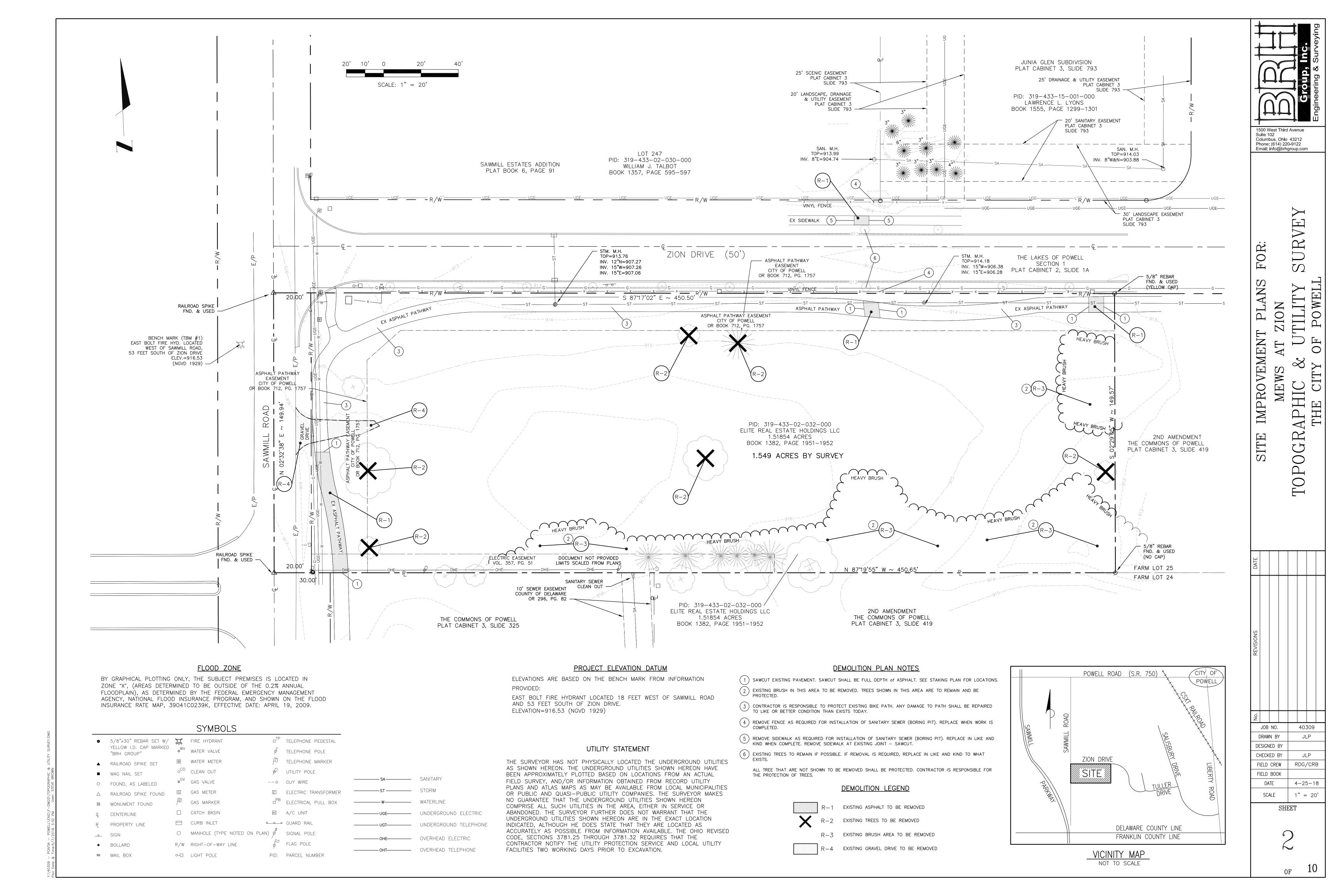
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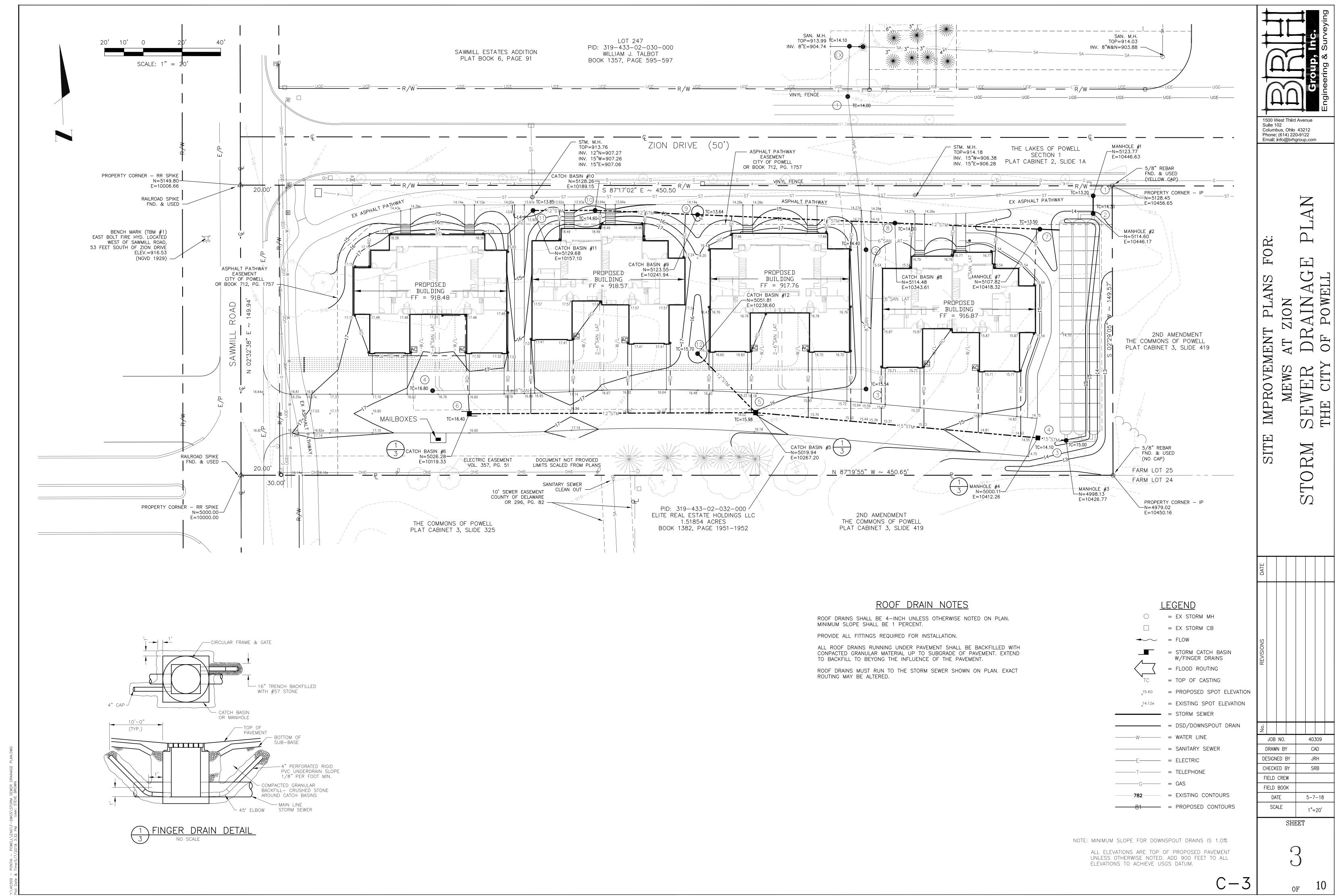
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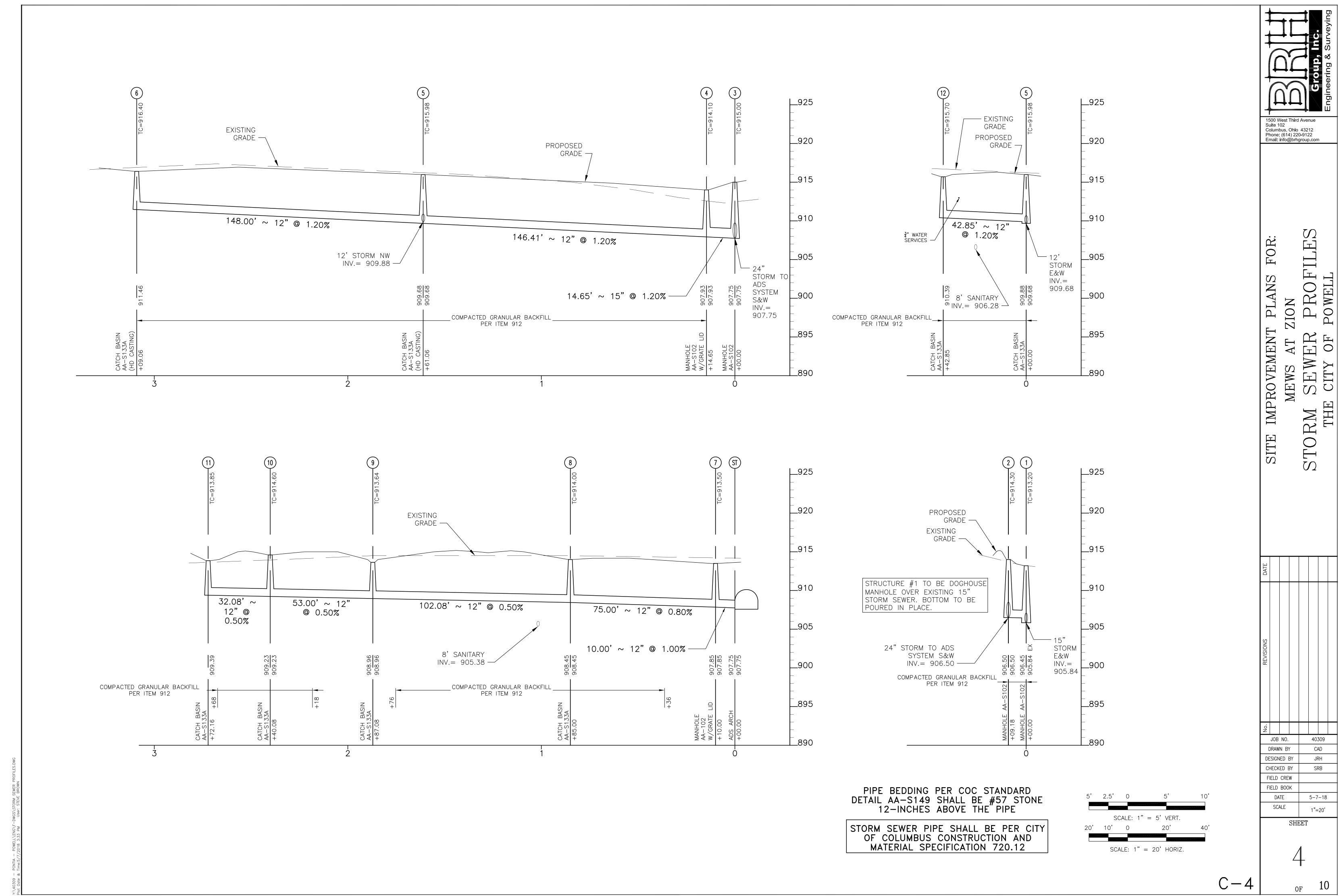
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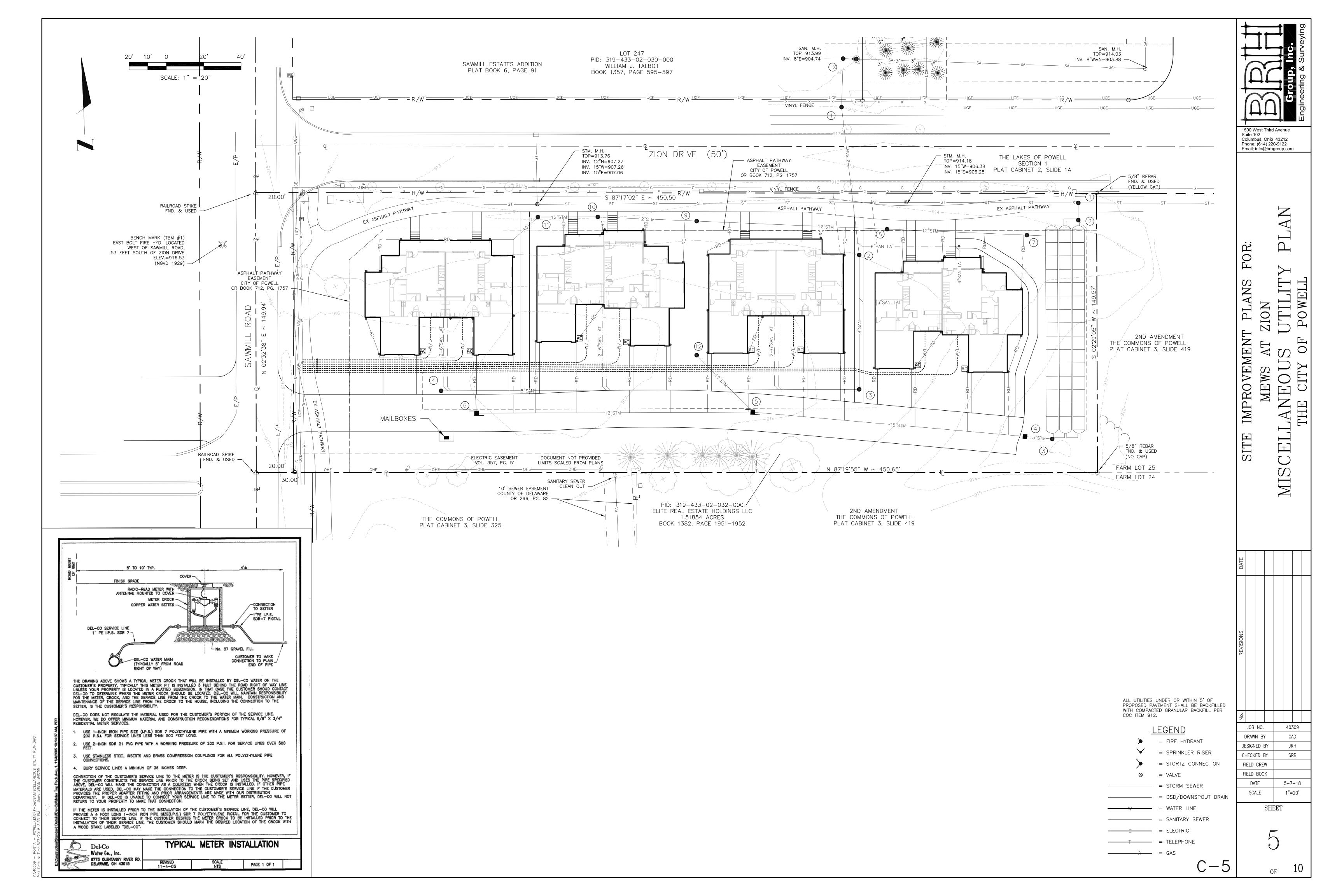
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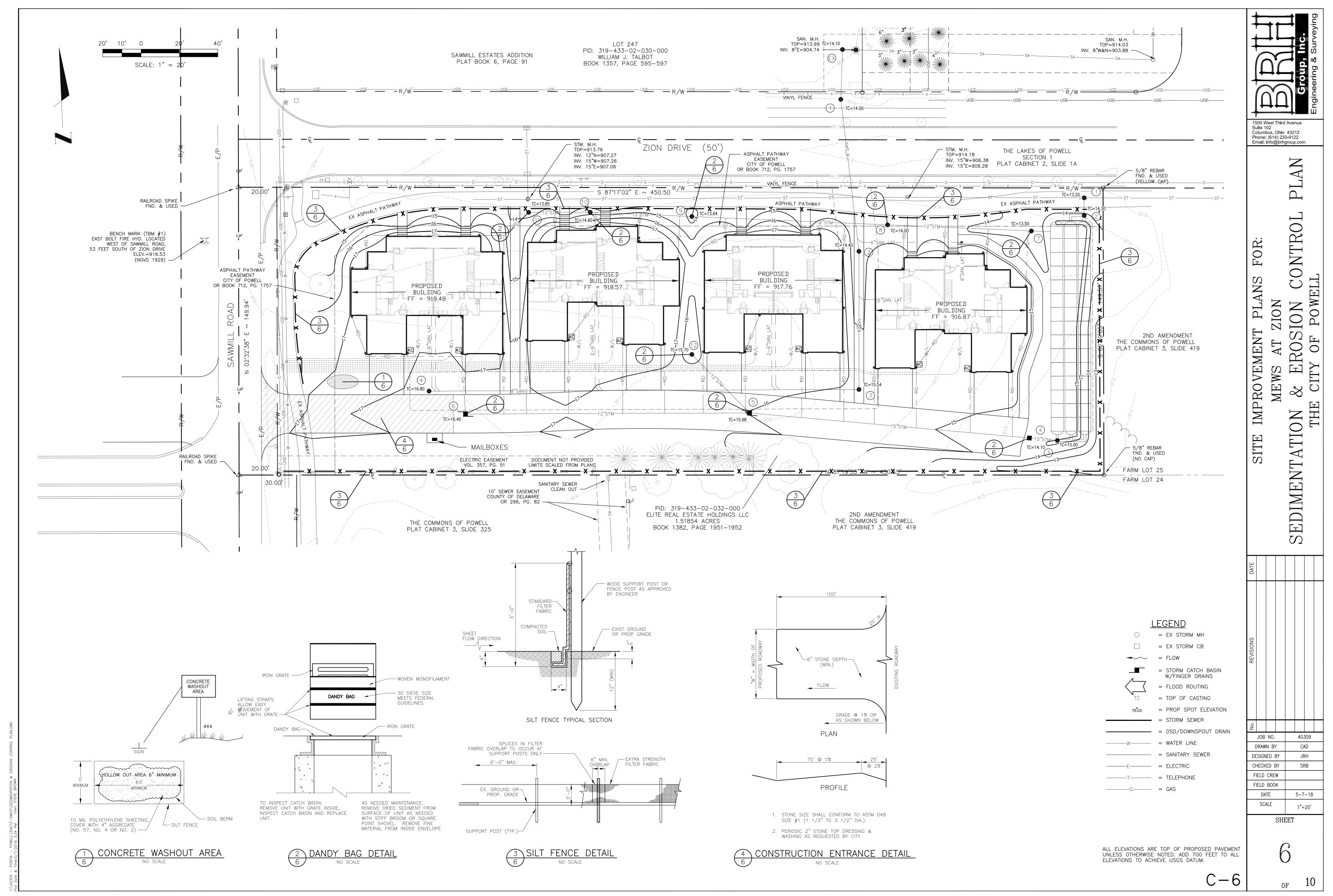
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SEDIMENTATION & EROSION CONTROL NOTES

1. EROSION AND SEDIMENTATION CONTROL PRACTICES SHALL BE INSTALLED AS A FIRST STEP IN THE CONSTRUCTION SEQUENCE AND SHALL BE FUNCTIONAL THROUGHOUT EARTH DISTURBING ACTIVITIES OF THE DEVELOPMENT PHASE.

2. ALL TRENCH DEWATERING EFFLUENT SHALL BE DISCHARGED THROUGH A SEDIMENTATION BASIN OR OTHER SETTLING DEVICE.

3. SHEET FLOW RUNOFF TO DENUDED AREAS SHALL BE DIVERTED TO AN APPROVED SETTLING STRUCTURE. 4. NO-BUILD ZONES AND TREE PRESERVATION AREAS SHALL BE CLEARLY IDENTIFIED BY HIGH VISIBILITY ORANGE PERIMETER FENCING.

5. PERSONNEL FROM THE CITY OF GROVE CITY SHALL MAKE ROUTINE INSPECTIONS TO ENSURE THE EROSION AND SEDIMENTATION PLAN COMPLIANCE.

6. ADDITIONAL OR ALTERNATE EROSION AND SEDIMENTATION CONTROL PRACTICES, NOT INDICATED ON THIS PLAN, MAY BE REQUIRED DUE TO UNFORESEEN ENVIRONMENTAL AND/OR CHANGES IN DRAINAGE PATTERNS CAUSED BY EARTH MOVING ACTIVITIES.

7. RIGHT OF WAYS, CRITICAL AREAS AND DENUDED AREAS TO REMAIN DORMANT 14 DAYS OR AT FINAL GRADE SHALL BE SEEDED PRIOR TO BEING CONSIDERED FOR SUBSTANTIAL COMPLETION.

8. THE SUB-CONTRACTOR SHALL PLACE A DANDY BAG EROSION FILTER, OR APPROVED EQUAL, AROUND CATCH BASINS IMMEDIATELY AFTER THEIR CONSTRUCTION AND AT SUCH OTHER LOCATIONS AS MAY BE NECESSARY TO CONTROL EROSION AND TO PREVENT SEDIMENT FROM BEING CARRIED INTO STREAMS, ONTO ADJOINING PROPERTY, OR INTO THE STORM SEWER SYSTEM.

9. IT MAY BE NECESSARY TO REMOVE PORTIONS OF THE BARRIERS DURING CONSTRUCTION TO FACILITATE THE GRADING OPERATIONS, HOWEVER, THE BARRIERS SHALL BE IN PLACE IN THE EVENING AND DURING ANY

PERMANENT STABILIZATION

AREA REQUIRING PERMANENT STABILIZATION	TIME FRAME TO APPLY EROSION CONTROLS
ANY AREAS THAT WILL LIE DORMANT FOR ONE YEAR OR MORE	WITHIN SEVEN DAYS OF THE MOST RECENT DISTURBANCE
ANY AREAS WITHIN 50 FEET OF A SURFACE WATER OF THE STATE AND AT FINAL GRADE	WITHIN TWO DAYS OF REACHING FINAL GRADE
ANY OTHER AREAS AT FINAL GRADE	WITHIN SEVEN DAYS OF REACHING FINAL GRADE WITHIN THAT AREA
TEMPORARY	STABILIZATION

AREA REQUIRING TEMPORARY STABILIZATION	TIME FRAME TO APPLY EROSION CONTROLS
ANY DISTURBED AREAS WITHIN 50 FEET OF A SURFACE WATER OF THE STATE AN NOT AT FINAL GRADE	WITHIN TWO DAYS OF THE MOST RECENT DISTURBANCE IF THE AREA WILL REMAIN IDLE FOR MORE THAN 14 DAYS
FOR ALL CONSTRUCTION ACTIVITIES, ANY DISTURBED AREAS THAT WILL BE DORMANT FOR MORE THAN 14 DAYS BUT LESS THAN ONE YEAR, AND NOT WITHIN 50 FEET OF A SURFACE WATER OF THE STATE	WITHIN SEVEN DAYS OF THE MOST RECENT DISTURBANCE WITHIN THE AREA FOR RESIDENTIAL SUBDIVISIONS, DISTURBED AREAS MUST BE STABILIZED AT LEAST SEVEN DAYS PRIOR TO TRANSFER OF PERMIT COVERAGE FOR THE INDIVIDUALS LOT(S).
DISTURBED AREAS THAT WILL BE IDLE OVER	PRIOR TO THE ONSET OF WINTER WEATHER

SEEDING MIXTURES

WINTER

PERMANENT SEED	MIX			
VNS CREEPING FESCUE VNS KY. BLUEGRASS GULF ANNUAL RYEGRASS VNS PERENNIAL RYE OTHER CROP SEED INERT MATTER WEED SEED	29.42% 25.58% 19.80% 19.68% 00.05% 05.46% 00.01%			
TEMPORARY SEED MIX				
GULF ANNUAL RYEGRASS OTHER CROP SEED INERT MATTER WEED SEED	99.08% 00.59% 00.24% 00.09%			

EROSION AND SEDIMENT CONTROL NARRATIVE

PERMIT NUMBER: N/A

A — SITE DESCRIPTION: THIS PROJECT IS FOR CONSTRUCTION OF NEW HOMES AT XX ZION DRIVE IN THE CITY OF POWELL, OHIO. ACTIVITIES INCLUDE, BUILDING CONSTRUCTION, SITE GRADING, UTILITY INSTALLATION, PAVING AND SEEDING.

B - SITE AREA INFORMATION: THIS SITE CONSISTS OF 1.50 ACRES OF LAND. 1.1 +/- ACRES IS BEING DISTURBED BY THIS PROJECT.

C - RUNOFF COEFFICIENTS: THE EXISTING SITE HAS A RUNOFF CURVE NUMBER OF 80. AFTER DEVELOPMENT THE RUNOFF CURVE NUMBER WILL BE 91.

<u>D - DEVELOPED SITE PERCENTAGES:</u> SITE = 1.50 ACRES. BUILDING & PAVEMENT = 0.72 ACRES (48%). GREEN SPACE = 0.78 ACRES (52%).

E - SOILS: THE SOIL BORINGS REVEALED A GENERALIZED SOIL PROFILE OF TOPSOIL OVERLAYING A THIN CLAY-SILT CAP UNDERLAIN BY NATURAL PRECONSOLIDATED GLACIAL TILL DEPOSITS. TOPSOIL THICKNESS RANGED FROM APPROXIMATELY 0.5 TO 1.0 FEET.

F - SITE USES: THE SITE IS CURRENTLY UNDEVELOPED LAND.

G - PRIOR CHANNELIZATION: N/A

H — EROSION CONTROL CONSTRUCTION SEQUENCE: CONSTRUCTION ENTRANCE SHALL BE INSTALLED PRIOR TO THE INSTALLATION OF ALL OTHER EROSION CONTROL DEVICES. EROSION CONTROL DEVICES LOCATED AT THE PERIMETER OF THE SITE WILL BE INSTALLED PRIOR TO COMMENCING CLEARING AND GRADING. THE SITE WILL THEN BE CLEARED AND BROUGHT TO PROPOSED GRADE. STORM SEWER WILL BE INSTALLED AS EARLY AS POSSIBLE IN THE CONSTRUCTION PROCESS WITH INLET PROTECTION PROVIDED AT ALL STRUCTURES. ONLY AFTER AREAS HAVE BEEN PAVED AND SEEDED/SODDED MAY THE EROSION CONTROL DEVICES BE REMOVED AND STORM SEWER PIPE AND INLETS CLEANED OF ALL SEDIMENT INCURRED DURING CONSTRUCTION.

I - RECEIVING STREAM: THIS SITE DRAINS INTO A DETENTION AND WATER QUALITY SYSTEM OWNED AND MAINTAINED BY THE DEVELOPER. THIS SYSTEM ULTIMATELY DRAINS TO REPUBLICAN RUN.

<u>J - SUBDIVIDED DEVELOPMENT EROSION CONTROL:</u> N/A

<u>K – PAVING PLANT DISCHARGES:</u> N/A

L - OEPA PERMIT: SINCE THE DISTURBANCE ON THIS SITE IS LESS THAN ONE ACRE THE OEPA GENERAL CONSTRUCTION PERMIT IS NOT REQUIRED.

M- SITE CONTACTS: PLAN DESIGNER:

BRH GROUP, INC. 1500 WEST THIRD AVENUE OWNER: XX COLUMBUS, OHIO 43212 XX, OHIO 43123 PHONE: 614-220-9122 PHONE: 614-XX FAX: NONE FAX: NONE

M - CONSTRUCTION SCHEDULE: ESTIMATED XX 2018 TO XX 2019.

N - MAINTENANCE: ALL EROSION CONTROL DEVICES ARE TO BE INSPECTED BY THE CONSTRUCTION SUPERINTENDENT DAILY AND WITHIN 24 HOURS OF ANY STORM EVENT GREATER THAN 1/2-INCH OF RAINFALL. INSPECTION LOGS SHALL BE MAINTAINED AS REQUIRED BY OEPA CONSTRUCTION GENERAL PERMIT. INSPECTION LOGS SHALL BE PROVIDED TO THE CITY OF POWELL UPON REQUEST. ANY DAMAGED FACILITIES ARE TO BE REPLACED/REPAIRED IMMEDIATELY.

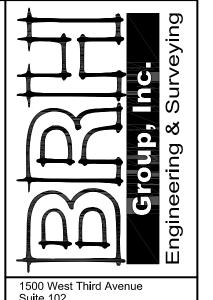
NOTE: ALL EROSION AND SEDIMENT CONTROL PRACTICES ARE SUBJECT TO FIELD MODIFICATION AT THE DISCRETION OF THE CITY OF GROVE CITY OR OEPA.

FUEL STORAGE/CONCRETE WASH OUT: FUEL STORAGE IS NOT ANTICIPATED FOR THIS PROJECT. A CONCRETE WASH OUT AREA IS SHOWN ON THE PLAN.

GARBAGE/TOXIC MATERIAL DISPOSAL: ALL GARBAGE WILL BE COLLECTED AND REMOVED OFFSITE. NO TOXIC MATERIALS ARE ANTICIPATED HOWEVER, CONTRACTOR SHALL DISPOSE OF ANY TOXIC MATERIALS IN ACCORDANCE WITH STATE AND FEDERAL REGULATIONS.

CRITICAL AREAS: THE ARE NO CRITICAL AREAS.

STABILIZATION: THE SITE SHALL BE STABILIZED IN ACCORDANCE WITH OEPA REQUIREMENTS. PERMANENT/TEMPORARY STABILIZATION REQUIREMENTS AND SEED MIXTURES ARE SHOWN ON THIS PAGE. STEEP SLOPES SHALL BE STABILIZED QUICKLY WITH STRAW BLANKETS, JUTE MATTING, OR SIMILAR GEOTEXTILE.



Suite 102 Columbus, Ohio 43212 Phone: (614) 220-9122 Email: info@brhgroup.com

OIZ \bigcirc

ME RO

= DSD/DOWNSPOUT DRAIN JOB NO. 40309

DRAWN BY

DESIGNED BY CHECKED BY

FIELD CREW

FIELD BOOK

DATE SCALE CAD

SRB

5-7-18

1"=20'

ALL ELEVATIONS ARE TOP OF PROPOSED PAVEMENT UNLESS OTHERWISE NOTED. ADD 700 FEET TO ALL ELEVATIONS TO ACHIEVE USGS DATUM.

<u>LEGEND</u>

 \bigcirc = EX STORM MH

 \square = EX STORM CB

= STORM CATCH BASIN

W/FINGER DRAINS

= FLOOD ROUTING

= TOP OF CASTING

 $_{75.03}^{\times}$ = PROP SPOT ELEVATION

= STORM SEWER

─ = FLOW

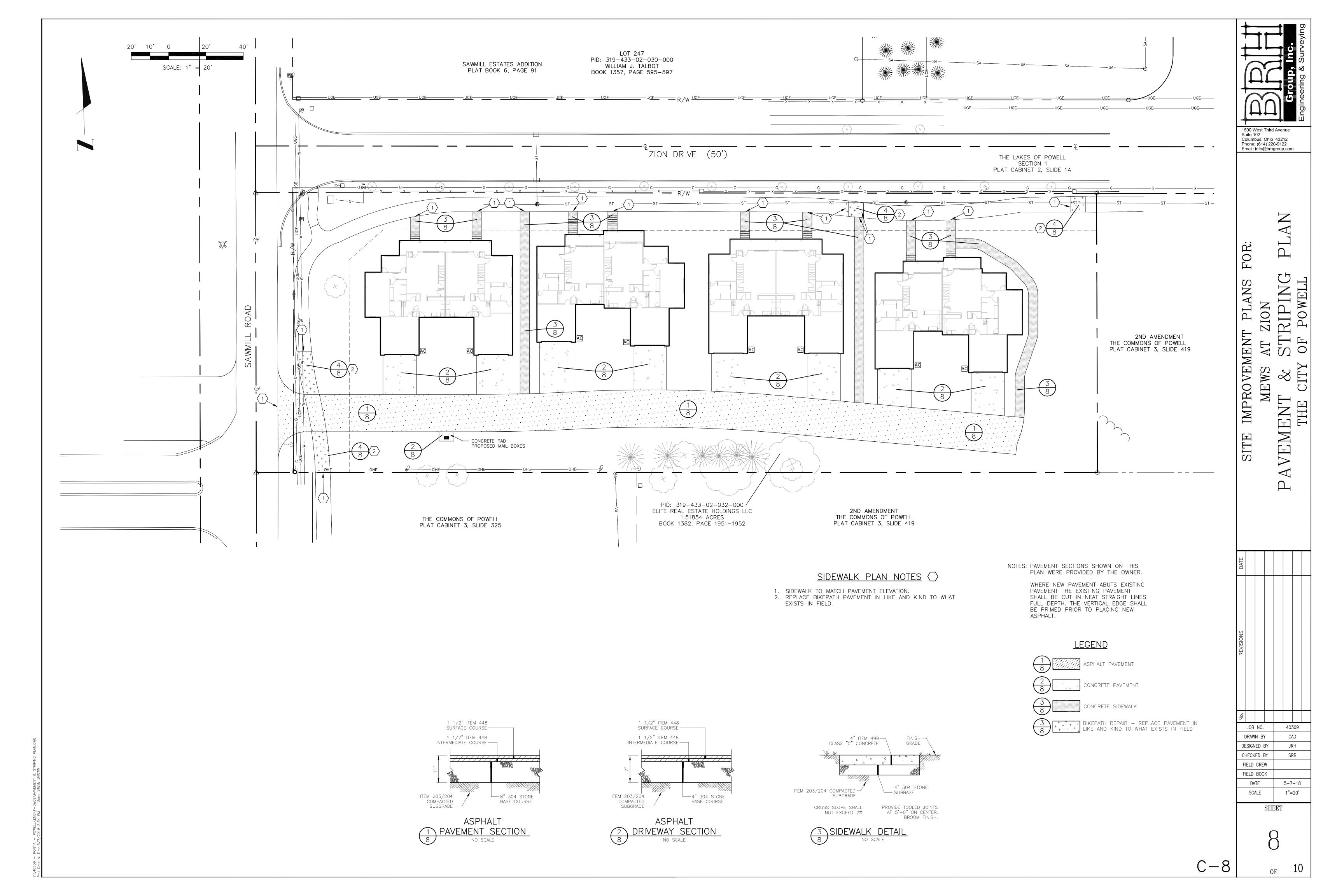
——————— = WATER LINE

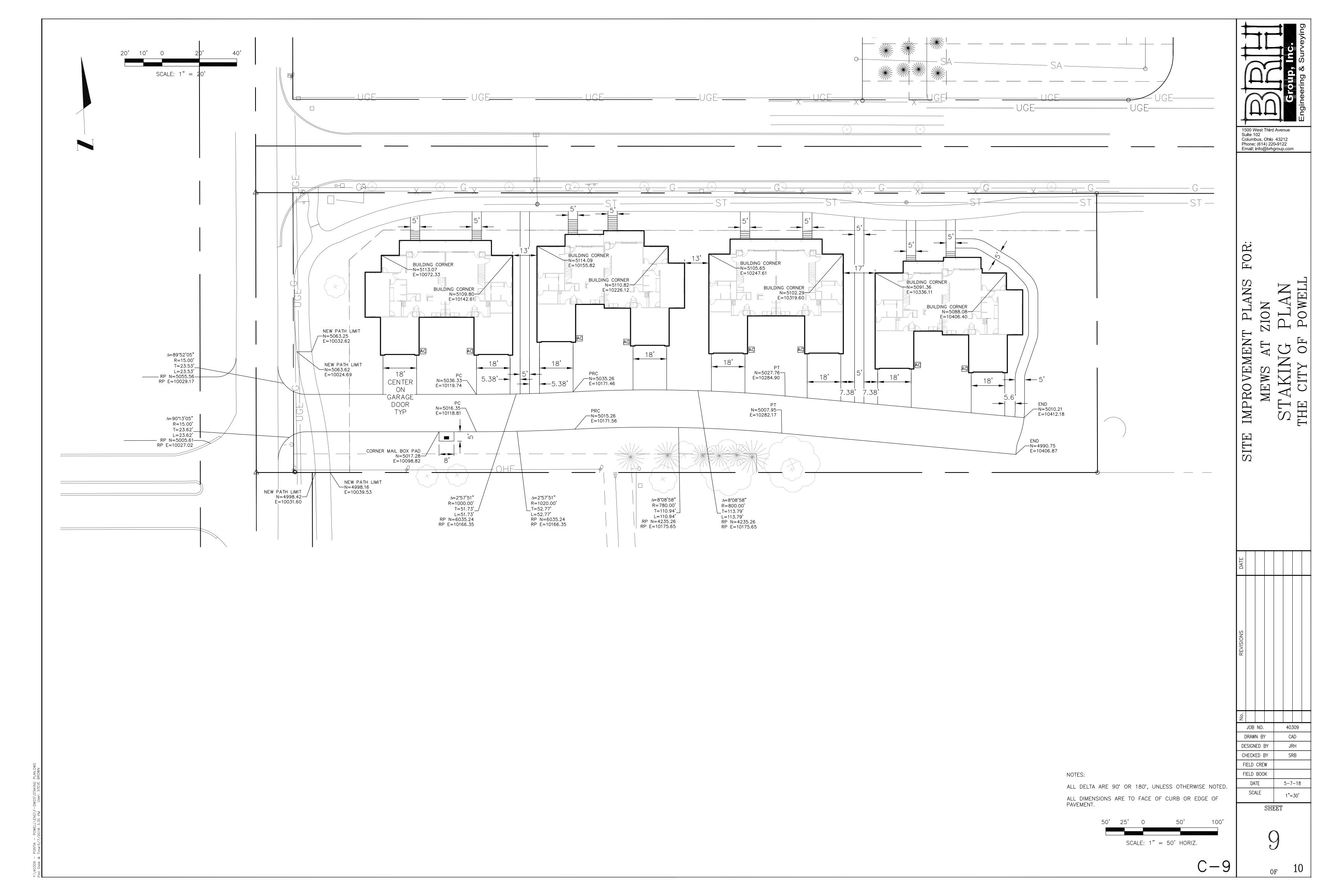
_____E___ = ELECTRIC

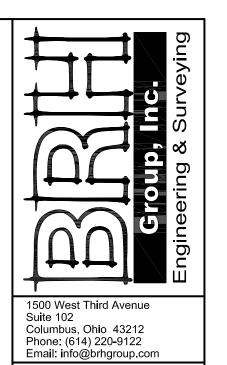
_____T___ = TELEPHONE

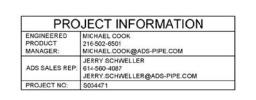
----- = SANITARY SEWER

SHEET













THE COMMONS OF POWELL POWELL, OH

STORMTECH CHAMBER SPECIFICATIONS

- CHAMBERS SHALL BE STORMTECH MC-3500.
- 2. CHAMBERS SHALL BE MADE FROM VIRGIN, IMPACT-MODIFIED POLYPROPYLENE COPCLYMERS.
- CHAMBER ROWS SHALL PROVIDE CONTINUOUS, UNOBSTRUCTED INTERNAL SPACE WITH NO INTERNAL SUPPORT PANELS THAT WOULD IMPEDE FLOW OR LIMIT ACCESS FOR INSPECTION.
- THE STRUCTURAL DESIGN OF THE CHAMBERS, THE STRUCTURAL BACKFILL, AND THE INSTALLATION REQUIREMENTS SHALL ENSURE THAT THE LOAD FACTORS SPECIFIED IN THE ASSHTO LIFFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12, ARE MET FOR: 1) LONG-DURATION DEAD LOADS AND 2) SHORT-DURATION LIVE LOADS, BASED ON THE AASHTO DESIGN TRUCK WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCES.
- CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418-16, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- CHAMBERS SHALL BE DESIGNED AND ALLOWABLE LOADS DETERMINED IN ACCORDANCE WITH ASTM F2787, "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- ONLY CHAMBERS THAT ARE APPROVED BY THE SITE DESIGN ENGINEER WILL BE ALLOWED. THE CHAMBER MANUFACTURER SHALL SUBMIT THE FOLLOWING UPON REQUEST TO THE SITE DESIGN ENGINEER FOR APPROVAL BEFORE DELIVERING CHAMBERS TO THE PROJECT SITE:
- a. A STRUCTURAL EVALUATION SEALED BY A REGISTERED PROFESSIONAL ENGINEER THAT DEMONSTRATES THAT THE SAFETY FACTORS ARE GREATER THAN OR EQUAL TO 1.95 FOR DEAD LOAD AND 1.75 FOR LIVE LOAD, THE MINIMUM REQUIRED BY ASTM F2787 AND 3Y AASHTO FOR THERMOPLASTIC PIPE.
- b. A STRUCTURAL EVALUATION SEALED BY A REGISTERED PROFESSIONAL ENGINEER THAT DEMONSTRATES THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12, ARE MET. THE 50 YEAR CREEP MODULUS DATA SPECIFIED IN ASTM F2418 MUST BE USED AS PART OF THE AASHTO STRUCTURAL EVALUATION TO VERIFY LONG-TERM PERFORMANCE.
- c. STRUCTURAL CROSS SECTION DETAIL ON WHICH THE STRUCTURAL EVALUATION IS BASED. CHAMBERS AND END CAPS SHALL BE PRODUCED AT AN ISO 9001 CERTIFIED MANUFACTURING FACILITY.

- IMPORTANT NOTES FOR THE BIDDING AND INSTALLATION OF MC-3500 CHAMBER SYSTEM STORMTECH MC-3500 CHAMBERS SHALL NOT BE INSTALLED UNTIL THE MANUFACTURER'S REPRESENTATIVE HAS COMPLETED A
 PRE-CONSTRUCTION MEETING WITH THE INSTALLERS.
- 2. STORMTECH MC-3500 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH MC-3500/MC-4500 CONSTRUCTION GUIDE".
- 3. CHAMBERS ARE NOT TO BE BACKFILLED WITH A DOZER OR AN EXCAVATOR SITUATED OVER THE CHAMBERS. STORMTECH RECOMMENDS 3 BACKFILL METHODS:

 STONESHOOTER LOCATED OFF THE CHAMBER BED.

 BACKFILL AS ROW'S ARE BUILT USING AN EXCAVATOR ON THE FOUNDATION STONE OR SUBGRADE.

 BACKFILL FROM OUTSIDE THE EXCAVATION USING A LONG BOOM HOE OR EXCAVATOR.
- 4. THE FOUNDATION STONE SHALL BE LEVELED AND COMPACTED PRIOR TO PLACING CHAMBERS. 5. JOINTS BETWEEN CHAMBERS SHALL BE PROPERLY SEATED PRIOR TO PLACING STONE.
- 6. MAINTAIN MINIMUM 9" (230 mm) SPACING BETWEEN THE CHAMBER ROWS.
- 7. INLET AND OUTLET MANIFOLDS MUST BE INSERTED A MINIMUM OF 12" (300 mm) INTO CHAMBER END CAPS.
- EMBEDMENT STONE SURROUNDING CHAMBERS MUST BE A CLEAN, CRUSHED, ANGULAR STONE 3/4-2" (20-50 mm) MEETING THE AASHTO M43 DESIGNATION OF #3 OR #4.
- 9. STONE MUST BE PLACED ON THE TOP CENTER OF THE CHAMBER TO ANCHOR THE CHAMBERS IN PLACE AND PRESERVE ROW SPACING.
- THE CONTRACTOR MUST REPORT ANY DISCREPANCIES WITH CHAMBER FOUNDATION MATERIALS BEARING CAPACITIES TO THE SITE DESIGN ENGINEER. ADS RECOMMENDS THE USE OF "FLEXSTORM CATCH IT" INSERTS DURING CONSTRUCTION FOR ALL INLETS TO PROTECT THE SUBSURFACE STORMWATER MANAGEMENT SYSTEM FROM CONSTRUCTION SITE RUNOFF.
- NOTES FOR CONSTRUCTION EQUIPMENT 1. STORMTECH MC-3500 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH MC-3500/MC-4500 CONSTRUCTION GUIDE".
- 2. THE USE OF EQUIPMENT OVER MC-3500 CHAMBERS IS LIMITED:

 NO EQUIPMENT IS ALLOWED ON BARE CHAMBERS.

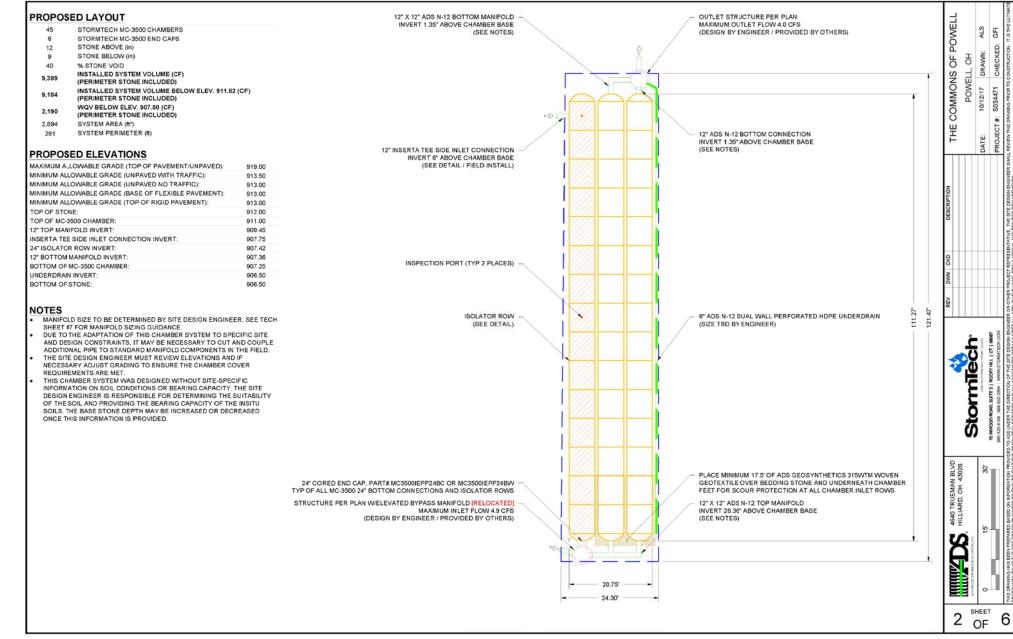
 NO RUBBER TIRED LOADER, DUMP TRUCK, OR EXCAVATORS ARE ALLOWED UNTIL PROPER FILL DEPTHS ARE REACHED IN ACCORDANCE WITH THE "STORMITED MC-3500MC-4500 CONSTRUCTION GUIDE".

 WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT CAN BE FOUND IN THE "STORMITECH MC-3500/MC-4500 CONSTRUCTION GUIDE".

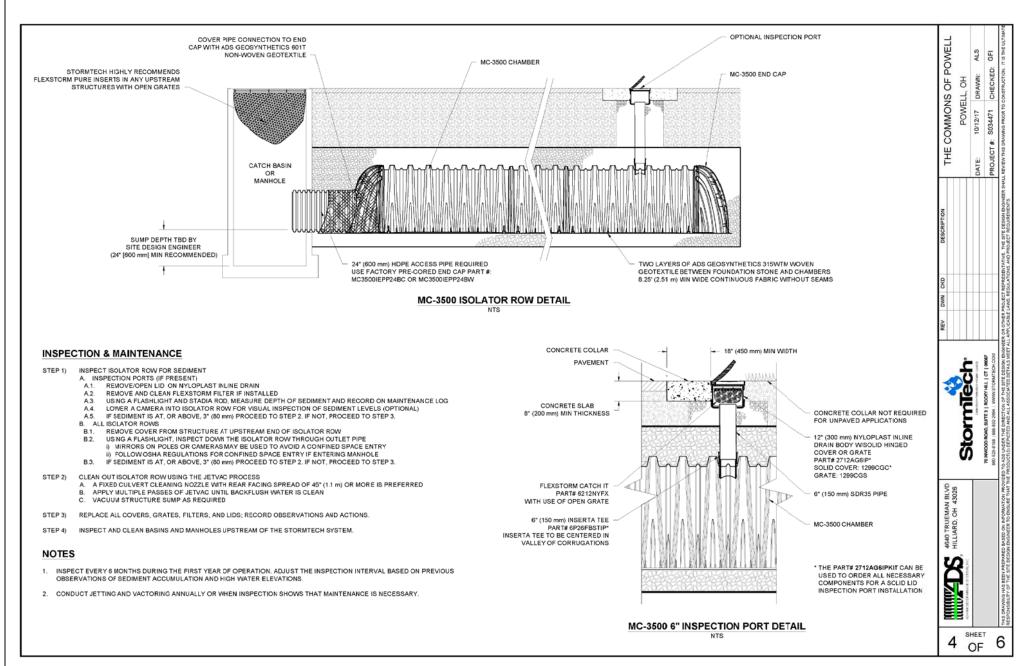
3. FULL 36" (900 mm) OF STABILIZED COVER MATERIALS OVER THE CHAMBERS IS RECUIRED FOR DUMP TRUCK TRAVEL OR DUMPING.

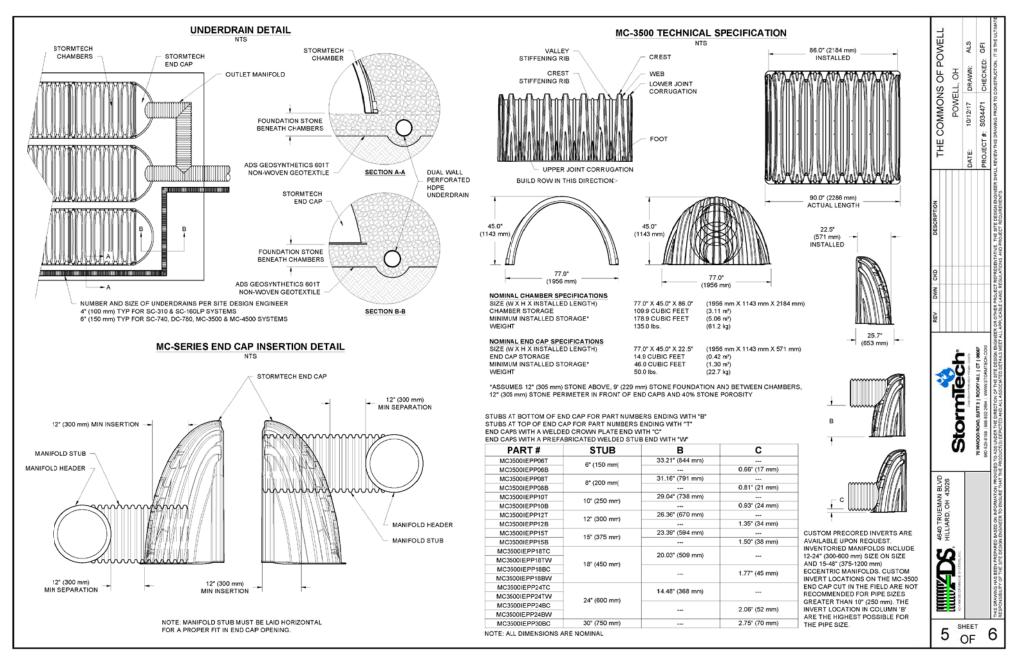
USE OF A DOZER TO PUSH EMBEDMENT STONE BETWEEN THE ROWS OF CHAMBERS MAY CAUSE DAMAGE TO CHAMBERS AND IS NOT AN ACCEPTABLE BACKFILL METHOD. ANY CHAMBERS DAMAGED BY USING THE "DUMP AND PUSH" METHOD ARE NOT COVERED UNDER THE STORMTECH STANDARD WARRANTY.

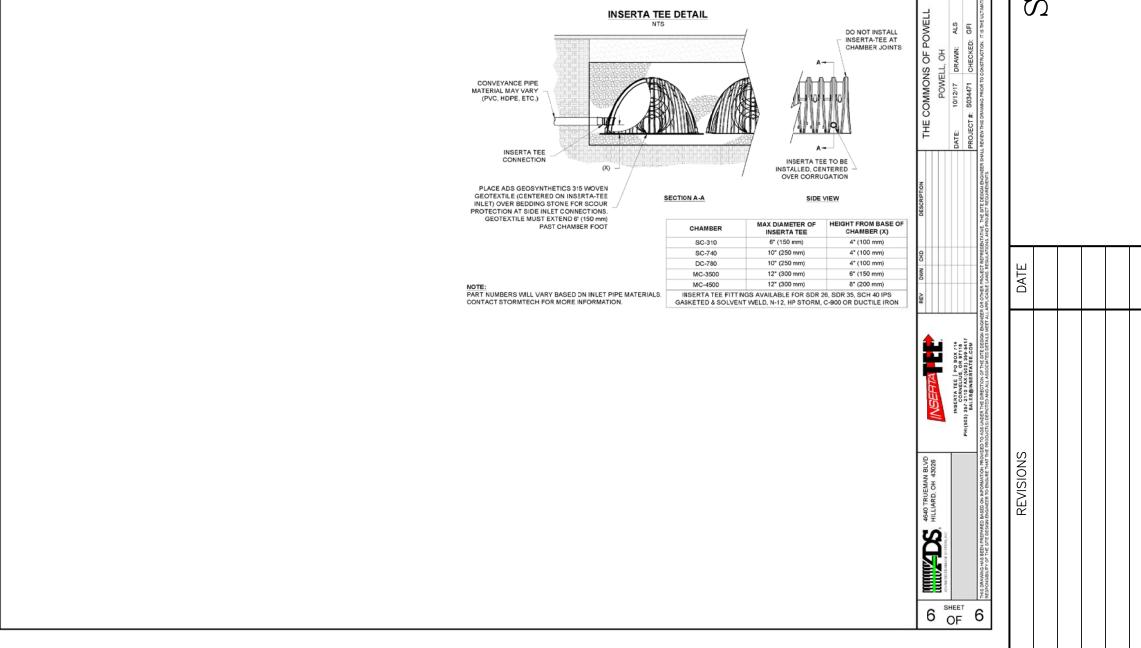
CONTACT STORMTECH AT 1-888-892-2694 WITH ANY QUESTIONS ON INSTALLATION REQUIREMENTS OR WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT.



		MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT	F POWELL	OH AWN: ALS	CHECKED: GFI
	D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER	ANY SOIL/ROCK MATERIALS, NATIVE SOILS, OR PER ENGINEER'S PLANS. CHECK PLANS FOR PAVEMENT SUBGRADE REQUIREMENTS.	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.		10/12/17 DRAWN:	
	С	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 24" (600 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	GRANULAR WELL-GRADED SOIL/AGGREGATE MIXTURES, <35% FINES OR PROCESSED AGGREGATE. MOST PAVEMENT SUBBASE MATERIALS CAN BE USED IN LIEU OF THIS LAYER.	AASHTO M145 ¹ A-1, A-2-4, A-3 OR AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57, 6, 87, 68, 7, 78, 8, 89, 9, 10	BEGIN COMPACTIONS AFTER 24* (600 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 12* (300 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCE	THE COM	DATE: 10/	PROJECT#: S03
	В	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	CLEAN, CRUSHED, ANGULAR STONE	AASHTO M43° 3, 4	NO COMPACTION REQUIRED.	NO		
	Α	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	CLEAN, CRUSHED, ANGULAR STONE	AASHTO M43 ¹ 3, 4	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. 23	DESCRIPT		
	2. STC 3. WHI	SULAR NO. 4 (AASHTO M43) STONE". PRMTECH COMPACTION REQUIREMENTS ARE MET FO	IN-WOVEN GEOTEXTILE ALL	9" (230 mm) (MAX) LIFTS USING TWO FULL C	COVERAGES WITH A VIBRATORY COMPACTOR. INKING OR DRAGGING WITHOUT COMPACTION VER (DESIGNED	REV DWW CKD		
(CAN BE SLC	(SE	6" (150 mm) MIN	D C	TO BOTTAN OF FEDURE PAYMENT FOR LIST MAN NETTALAN ONLY WHEN PAYMENT ALLS MAN	24" (2.4 m) (600 mm) MIN (2.4 m) MAX 12" (300 mm) MIN (2.4 m) MAX 45" (1140 mm) DEPTH OF STONE TO BE DETERMINED BY SITE DESIGN ENGINEER 9" (230 mm) MIN	**	Stormlech	70 IMMOOD ROMD, SUITE 3 ROCKY HILL CT 00087 860-520-3188 886-802-2804 WWW.STORMTECH.COM
OTES:	ALL BE D	EN FORM TO THE REQUIREMENTS OF ASTM F2418 "STAN ESIGNED IN ACCORDANCE WITH ASTM F2787 "STAND		CORRUGATED WALL STORMWATER COLLE OR FOUNDATION, EMBEDMENT, AND FILL M	CTION CHAMBERS". IATERIALS.	MACO TRUEMAN BLVD HILIARD, OH 49028	NAMES (PSTRON, NC	







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C - 10

SHEET

JOB NO.

DRAWN BY

DESIGNED BY

CHECKED BY

FIELD CREW FIELD BOOK DATE

SCALE

40309

CAD

JRH

SRB

5-7-18

1"=20'