

# CITY OF POWELL

## PLANNING AND ZONING COMMISSION (P&Z)

### PRELIMINARY DEVELOPMENT PLAN APPLICATION



ALL ITEMS ON THIS APPLICATION MUST BE COMPLETED.

Application Fee: \$400.00 + \$60.00 per acre

**Applicant:** \_\_\_\_\_

Address/City/State/Zip: \_\_\_\_\_

Email Address: \_\_\_\_\_

Phone No: \_\_\_\_\_ Cell Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_

**Property Owner:** \_\_\_\_\_

Address/City/State/Zip: \_\_\_\_\_

Email Address: \_\_\_\_\_

Phone No: \_\_\_\_\_ Cell Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_

**Architect/Designer for Applicant:** \_\_\_\_\_

Address/City/State/Zip: \_\_\_\_\_

Email Address: \_\_\_\_\_

Phone No: \_\_\_\_\_ Cell Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_

**Property Address:** \_\_\_\_\_

Lot Number/Subdivision: \_\_\_\_\_ Existing Use: \_\_\_\_\_ Proposed Use: \_\_\_\_\_

Reason for Administrative Review (attach necessary documents): \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

#### Checklist:

- ☐ Preliminary Plan requirements set forth in Section [1143.11\(c\)](#).
- ☐ Provide any other information that maybe useful to the Planning and Zoning Commission or City Staff in the space below or attach additional pages.
- ☐ **5 copies** of all drawings, text, any other items, and application.
- ☐ **1 digital copy** (CD, USB, Email) of the complete application packet.
- ☐ Attach the required fee - \$400.00 + \$60.00 per acre.
- ☐ Post a public notice sign at least (10) days prior to a public hearing or public meeting, pursuant to ordinance 1107.035

I agree to grant the City Staff, the Commission, Board or Council considering this application access to the property that is the subject of this application for the purposes of reviewing this application and posting public notice for this application.

Signature of Applicant: \_\_\_\_\_ Date: \_\_\_\_\_

Office Use
Received

Office Use
AMT _____
TYPE/DATE _____
RECEIPT # _____
PAYOR _____
Payment

Preliminary Development Plan Application  
for:

**The Mews at Zion**  
**Condominium Development**

10331 Sawmill Road  
Powell, Ohio



39 East Main Street Suite 101 New Albany, Ohio 43054 (614) 245-8273  
[www.dpaarchitecture.com](http://www.dpaarchitecture.com)

February 9, 2018

## **The Mews at Zion:**

The Mews at Zion is a condominium development at the southeast corner of Old Sawmill and Zion road in Powell, Ohio. The development consists of four 2-unit buildings that will have its main frontage facing Zion Road with access coming off Old Sawmill Road. All the units will be two-story 3-bedroom units with a master bedroom on the first floor and a two car attached garage. Units shall range from 2,000 to 2,430 square feet.

The target market for these units shall be focused toward retirees and empty nesters. It is anticipated with that information that these units will have a minimal impact on schools. With these units also located on a street corner it also provides a more ideal use, as these unit are likely not to have children. The density of the development will also provide an ideal buffer to the existing southern condominium development. The development is intended to be structured as a Fee Simple Ownership.

The Building Design has been developed to fit the context of the area and while the structures are two stories, elements have been added to breakdown the scale of the buildings to fit well with single story structures in the area. Other design elements have been incorporated from the City of Powell Architectural Guidelines for the Downtown Historic District.

A sight line study has been performed comparing the existing structures with the new two-story units. The primary heights of the Mews at Zion have 60% of their roof lines at the same height or lower than Sawmill Commons, this was accomplished through the use of single story elements, porch roof lines, and variations in the roof to provide a sense of scale that is proportionate to that of the surrounding one-story buildings.

The Organization of the development shall allow the individual owner to provide a patio on the garage side of the structure and have the following limitations:

Patios and Decks shall comply with the following: Patio materials shall be of a natural color paver or stone material with a maximum square footage of 150 square feet. Decks shall be of a natural wood or composite decking material with railings not exceeding 42" in height and shall have a maximum square footage of 150 square feet. Each home owner shall be responsible for obtaining all permits necessary for the construction from the City of Powell.

Site circulation shall be from Old Sawmill Road and provide direct access to the 2 car garages while keeping the main front Zion Road elevations free of garage doors. Access has been provided from the garage side of the units to the front by access sidewalks between the units. Mail shall be provided by a mail kiosk located on site for those residents to access as directed per the local United States Post Office. Trash pickup shall be weekly with each home owner maintaining them off the streetscape until trash pickup day. There shall be direct access to the biking/walking path from the units by direct walkway connections. Landscaping on the site adheres to the density required by the City of Powell with emphasis placed with landscaping materials in areas to block headlights from the adjacent development.



the

condominium development



BUILDING-002

BUILDING-004

## DRAWING INDEX

COVER SHEET  
OVERALL CONTEXT PLAN  
COLOR FRONT ELEVATIONS  
COLOR SITE PLAN RENDERING  
ENLARGED COLOR ELEVATIONS-1  
ENLARGED COLOR ELEVATIONS-2

## AG.10 DETAILS & SPECIFICATIONS

## LINE OF SIGHT STUDIES

L-1	LANDSCAPE PLAN
I	SITE PLAN
I	BOUNDARY & TOPOGRAPHIC SURVEY

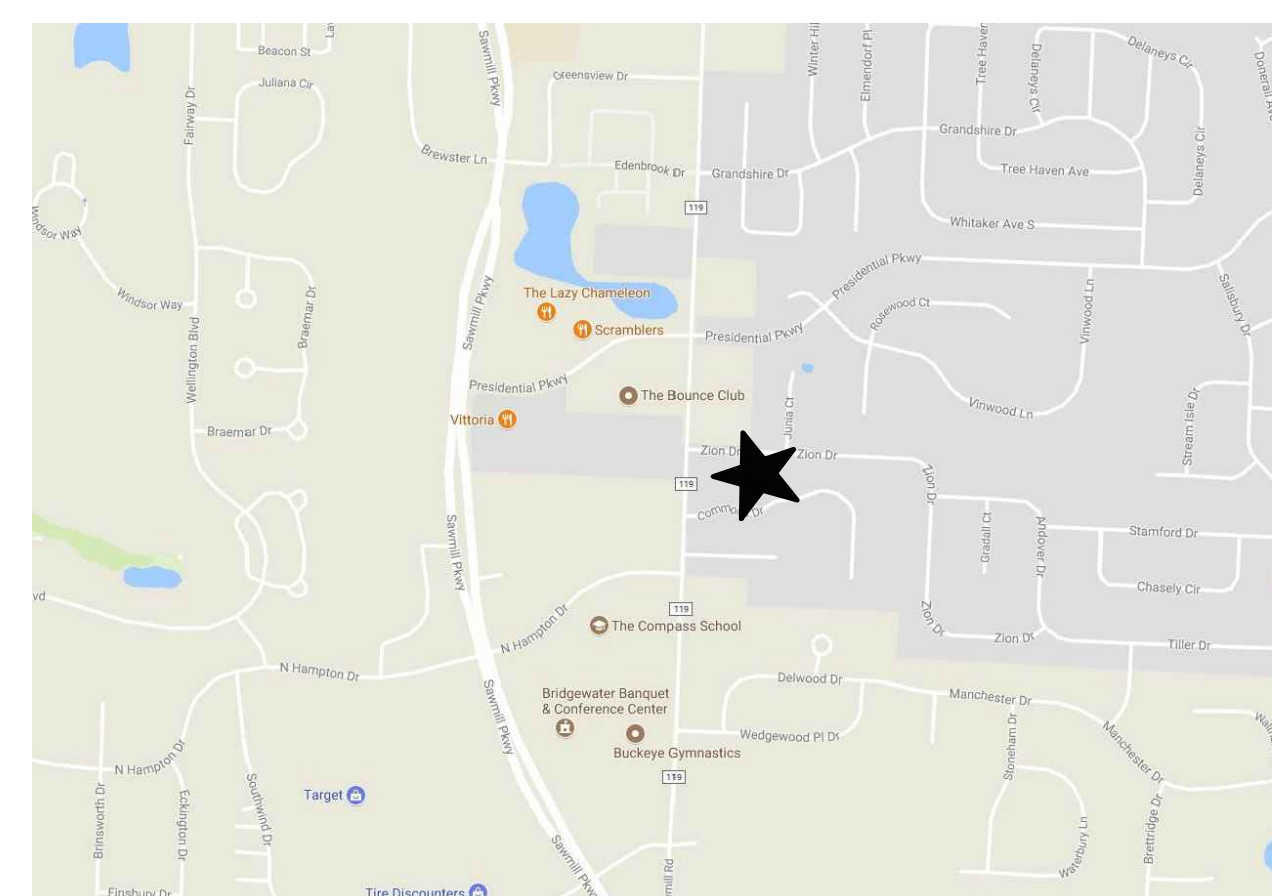
A1.1.1	BUILDING 001-FLOOR PLAN
A1.1.2	BUILDING 001-SECOND FLOOR PLAN
A1.2.1	BUILDING 002-FLOOR PLAN
A1.2.2	BUILDING 002-SECOND FLOOR PLAN
A1.3.1	BUILDING 003-FLOOR PLAN
A1.3.2	BUILDING 003-SECOND FLOOR PLAN
A1.4.1	BUILDING 004-FLOOR PLAN
A1.4.2	BUILDING 004-SECOND FLOOR PLAN

A2.1	BUILDING 001-ROOF PLAN
A2.2	BUILDING 002-ROOF PLAN
A2.3	BUILDING 003-ROOF PLAN
A2.4	BUILDING 004-ROOF PLAN

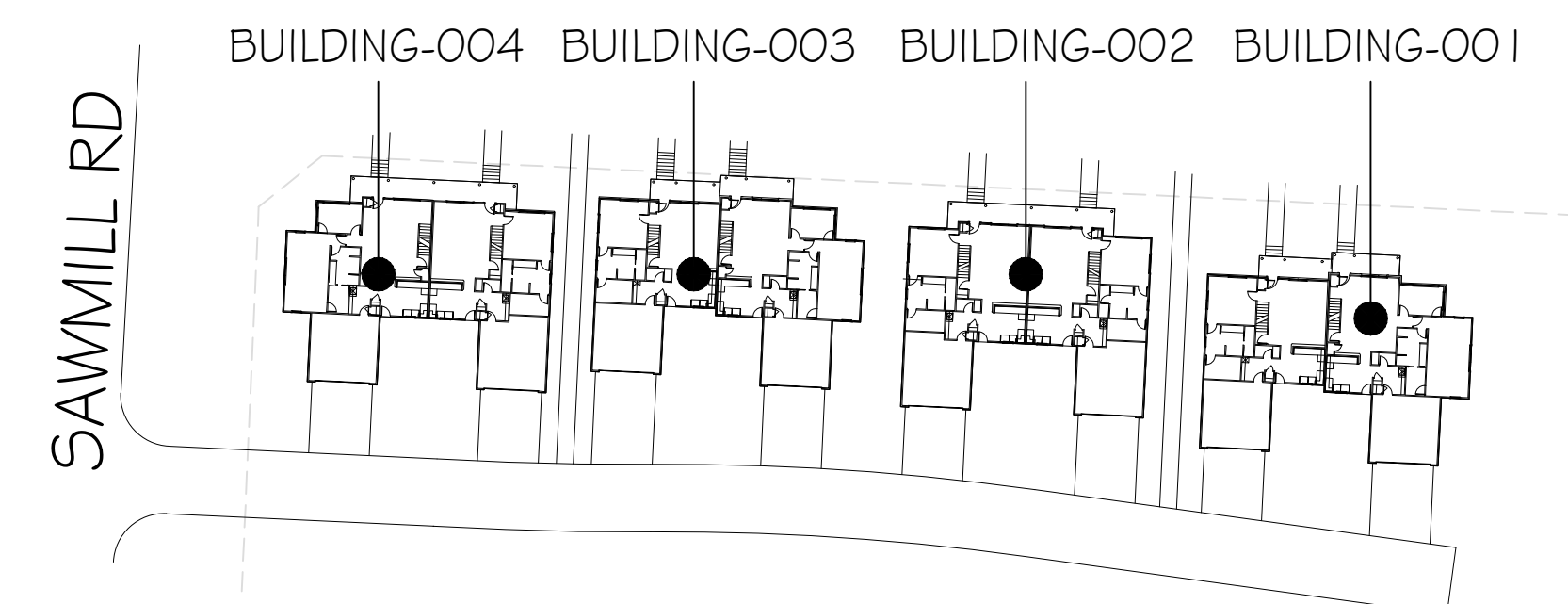
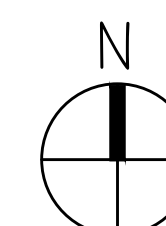
A3.1.1	BUILDING 001-ELEVATIONS
A3.1.2	BUILDING 001-ELEVATIONS
A3.2.1	BUILDING 002-ELEVATIONS
A3.2.2	BUILDING 002-ELEVATIONS
A3.3.1	BUILDING 003-ELEVATIONS
A3.3.2	BUILDING 003-ELEVATIONS
A3.4.1	BUILDING 004-ELEVATIONS
A3.4.2	BUILDING 004-ELEVATIONS

## OWNER

Elite Real Estate Holdings, LLC  
10331 Sawmill Road  
Powell, Ohio 43065  
614-286-4875



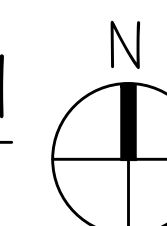
VICINITY MAP  
POWELL, OHIO



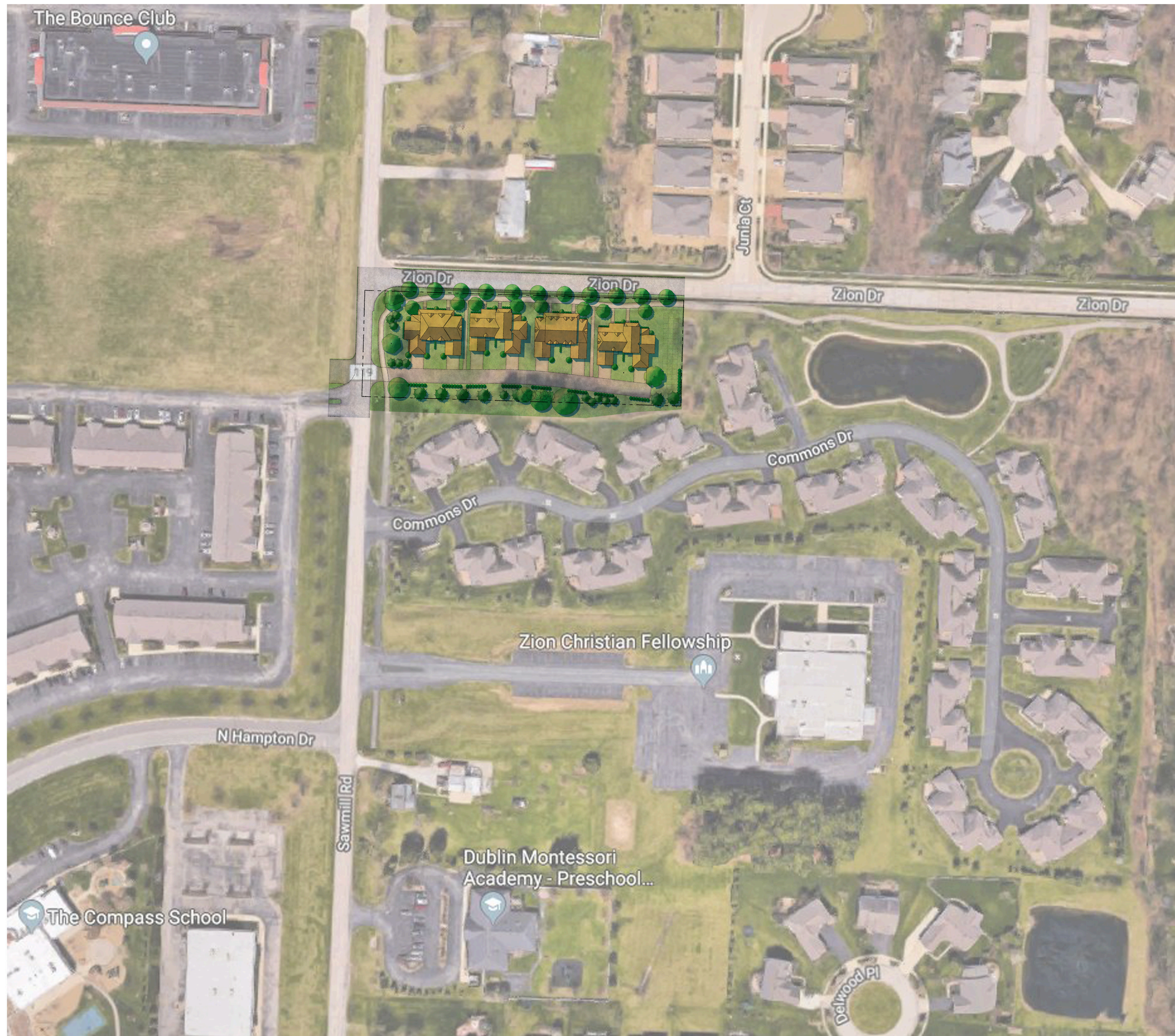
KEY PLAN

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NTS







## Overall Context Plan

SCALE: NTS

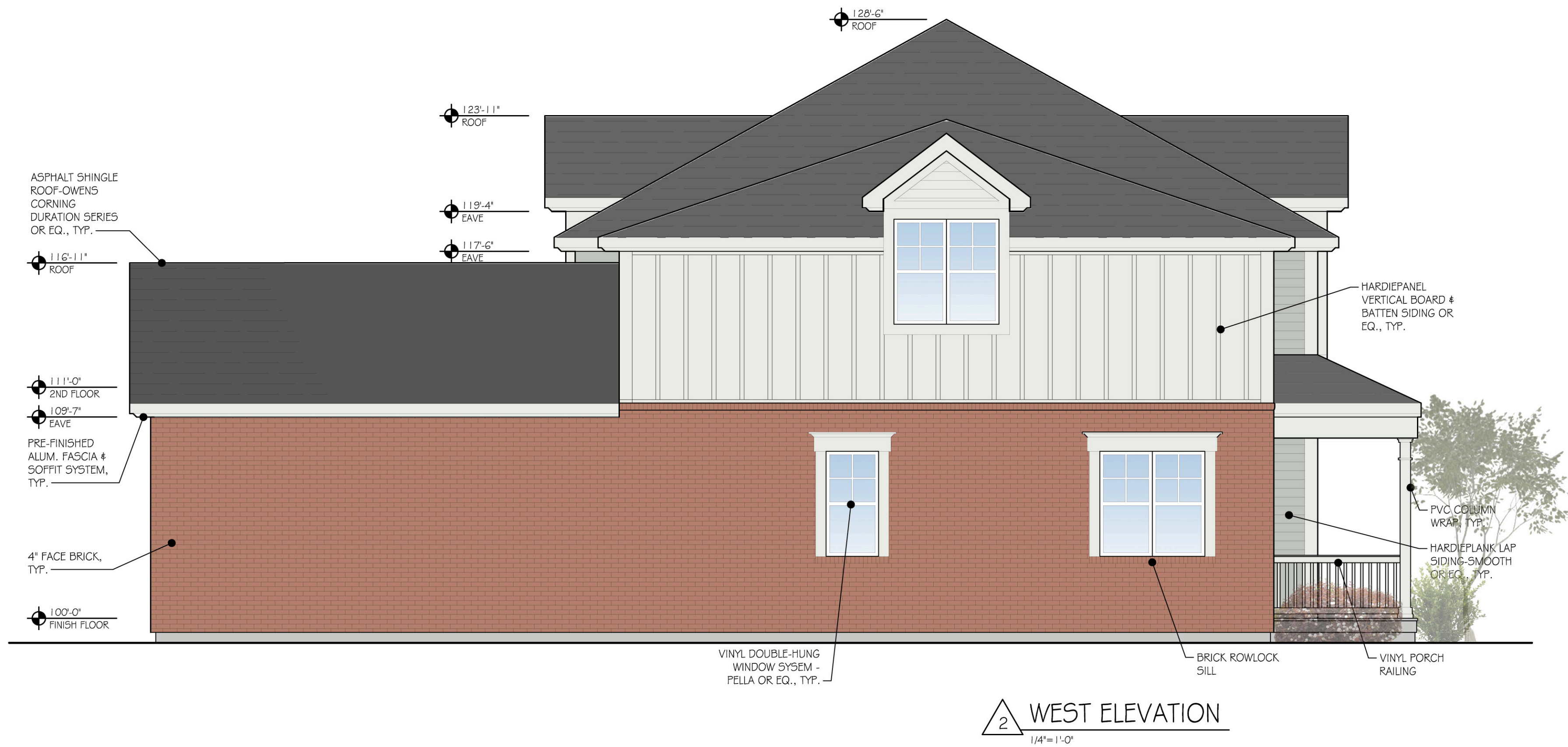




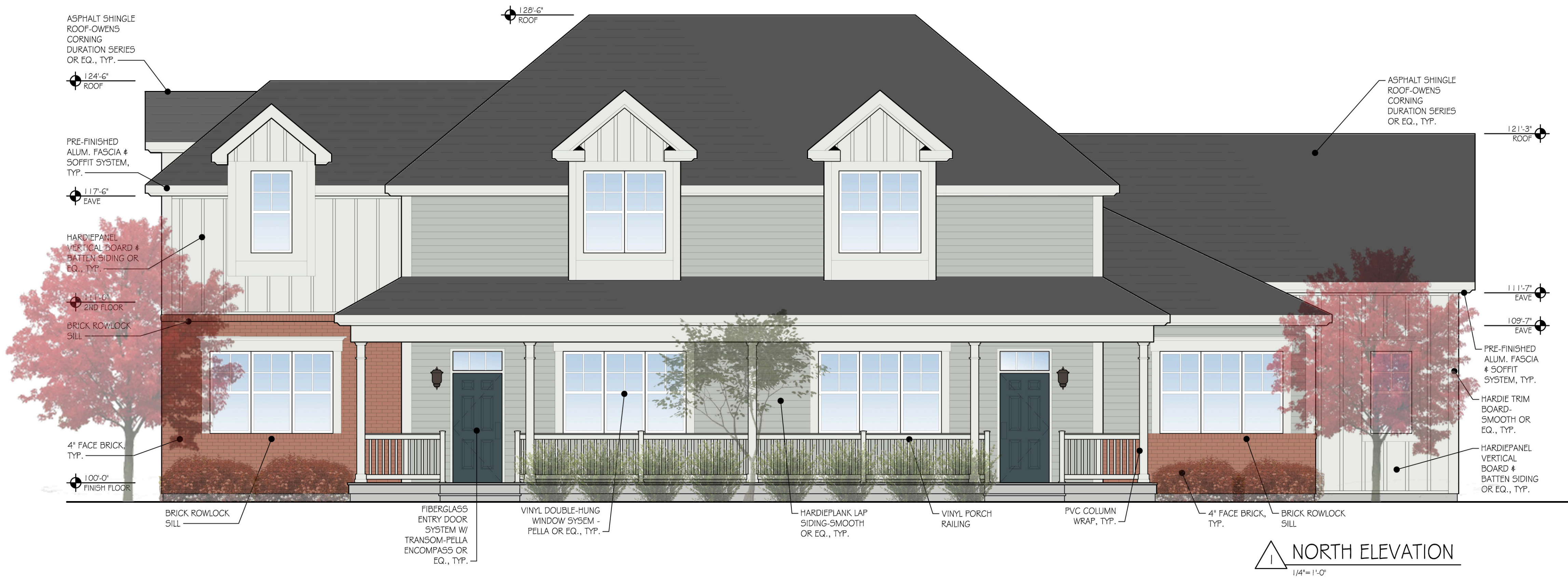








EXTERIOR FINISH SCHEDULE					
	MATERIAL	COLOR / FINISH	SIZE	MANUFACTURER	REMARKS
	20 YEAR ARCHITECTURAL FIBERGLASS SHINGLE SYSTEM	TO BE SELECTED BY OWNER	TO BE SELECTED BY OWNER	OWENS CORNING OR APPROVED EQ.	
	PRE-FINISHED METAL DOWNSPOUT SYSTEM AND PRECAST CONCRETE SPLASH BLOCK	TO BE SELECTED BY OWNER	2" x 3"	TO BE SELECTED BY OWNER	
	PRE-FINISHED METAL GUTTER SYSTEM	TO BE SELECTED BY OWNER	5"	TO BE SELECTED BY OWNER	
	RIDGE VENT	MATCH SHINGLES	MATCH SHINGLES	MATCH SHINGLES	
	FIBER CEMENT TRIM BOARD SYSTEM	COLOR TO MATCH ARCTIC WHITE	SEE DRAWINGS SMOOTH FINISH	JAMES HARDIE OR APPROVED EQ.	
	PRE-FINISHED ALUMINUM FASCIA AND SOFFIT SYSTEM	COLOR TO MATCH ARCTIC WHITE	SEE DRAWINGS	TO BE SELECTED BY OWNER	
	FIBER CEMENT SIDING SYSTEM	SEE DRAWINGS	6" EXPOSURE (LAP SIDING)	JAMES HARDIE OR APPROVED EQ.	LAP SIDING - SMOOTH SHINGLE STYLE - STAGGERED EDGE VERTICAL SIDING-BOARD AND BATTEN
	CULTURED STONE VENEER SIDING SYSTEM	TO BE SELECTED BY OWNER	TO BE SELECTED BY OWNER	PROVIA OR EQ.	
	4" FACE BRICK	HOMETOWN SERIES: ALBANY	MODULAR (3 ½ x 2 ¼ x 7 ½)	GLEN GARY	
	VINYL WINDOW SYSTEM	TO BE SELECTED BY OWNER	DOUBLE-HUNG, SEE DRAWINGS	PELLA OR EQ.	
	FIBERGLASS ENTRY DOOR SYSTEM	TO BE SELECTED BY OWNER	SEE DRAWINGS	PELLA ENCOMPASS	
	OVERHEAD GARAGE DOOR SYSTEM	TO BE SELECTED BY OWNER	8'-0" H X 16'-0" W	OVERHEAD DOOR CO. OR APPROVED EQ.	
	PORCH/STAIR RAILING	VINYL, WHITE	36" H RAILING	WEATHERABLES OR EQ.	
	CAST-IN-PLACE CONCRETE TERRACE	NATURAL	SEE DRAWINGS	-----	SEE SITE / CIVIL
	CAST-IN-PLACE CONCRETE FOUNDATION	-----	-----	-----	
	HOSE BIBB	TO BE SELECTED BY OWNER	SEE PLUMBING	TO BE SELECTED BY OWNER	SEE PLUMBING
<u>GENERAL NOTES:</u> 1. SUBMITTALS OF ALL COLOR SAMPLES AND MOCK-UPS TO DESIGN ARCHITECT FOR APPROVAL IS AT THE DISCRETION OF OWNER. 2. ALL DETAILS SHOWN BY DESIGN ARCHITECT ARE FOR DESIGN INTENT ONLY. 3. SCHEDULED PRODUCTS & FINISHES ARE BASIS OF DESIGN FOR THE WORK. ALTERNATE PRODUCTS THAT MEET PERFORMANCE AND AESTHETIC REQUIREMENTS OF SCHEDULED PRODUCTS ARE SUBJECT TO REVIEW & APPROVAL BY OWNER AND ARCHITECT.					



Building 004 Elevations

SCALE: 1/4" = 1'-0"

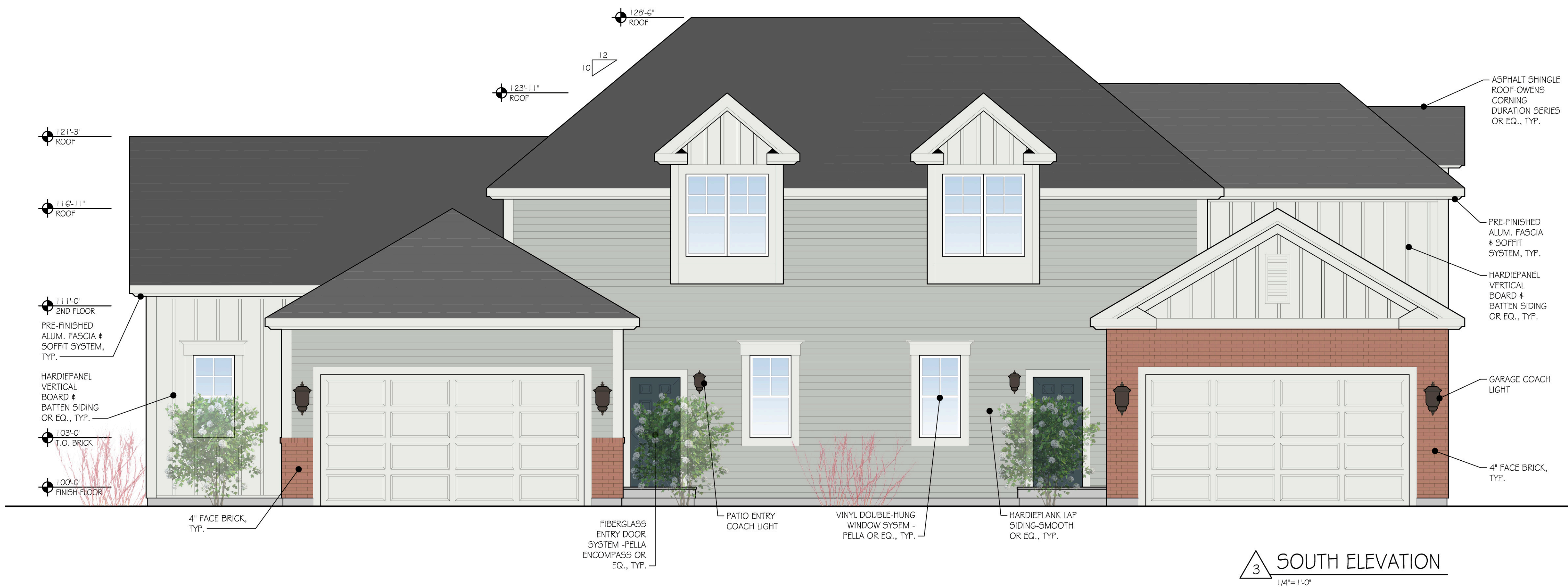




EXTERIOR FINISH SCHEDULE				
MATERIAL	COLOR / FINISH	SIZE	MANUFACTURER	REMARKS
20 YEAR ARCHITECTURAL FIBERGLASS SHINGLE SYSTEM	TO BE SELECTED BY OWNER	TO BE SELECTED BY OWNER	OWENS CORNING OR APPROVED EQ.	
PRE-FINISHED METAL DOWNSPOUT SYSTEM AND PRECAST CONCRETE SPLASH BLOCK	TO BE SELECTED BY OWNER	2" x 3"	TO BE SELECTED BY OWNER	
PRE-FINISHED METAL GUTTER SYSTEM	TO BE SELECTED BY OWNER	5"	TO BE SELECTED BY OWNER	
RIDGE VENT	MATCH SHINGLES	MATCH SHINGLES	MATCH SHINGLES	
FIBER CEMENT TRIM BOARD SYSTEM	COLOR TO MATCH ARCTIC WHITE	SEE DRAWINGS SMOOTH FINISH	JAMES HARDIE OR APPROVED EQ.	
PRE-FINISHED ALUMINUM FASCIA AND SOFFIT SYSTEM	COLOR TO MATCH ARCTIC WHITE	SEE DRAWINGS	TO BE SELECTED BY OWNER	
FIBER CEMENT SIDING SYSTEM	SEE DRAWINGS	6" EXPOSURE (LAP SIDING)	JAMES HARDIE OR APPROVED EQ.	LAP SIDING - SMOOTH SHINGLE STYLE - STAGGERED EDGE VERTICAL SIDING-BOARD AND BATTEN
CULTURED STONE VENEER SIDING SYSTEM	TO BE SELECTED BY OWNER	TO BE SELECTED BY OWNER	PROVIA OR EQ.	
4" FACE BRICK	HOMETOWN SERIES: ALBANY	MODULAR (3 1/2 x 2 1/4 x 7 1/2)	GLEN GARY	
VINYL WINDOW SYSTEM	TO BE SELECTED BY OWNER	DOUBLE-HUNG, SEE DRAWINGS	PELLA OR EQ.	
FIBERGLASS ENTRY DOOR SYSTEM	TO BE SELECTED BY OWNER	SEE DRAWINGS	PELLA ENCOMPASS	
OVERHEAD GARAGE DOOR SYSTEM	TO BE SELECTED BY OWNER	8'-0" H X 16'-0" W	OVERHEAD DOOR CO. OR APPROVED EQ.	
PORCH/STAIR RAILING	VINYL, WHITE	36" H RAILING	WEATHERABLES OR EQ.	
CAST-IN-PLACE CONCRETE TERRACE	NATURAL	SEE DRAWINGS	-----	SEE SITE / CIVIL
CAST-IN-PLACE CONCRETE FOUNDATION	-----	-----	-----	
HOSE BIBB	TO BE SELECTED BY OWNER	SEE PLUMBING	TO BE SELECTED BY OWNER	SEE PLUMBING

GENERAL NOTES:

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- ALL DETAILS SHOWN BY DESIGN ARCHITECT ARE FOR DESIGN INTENT ONLY.
- SCHEDULED PRODUCTS & FINISHES ARE BASIS OF DESIGN FOR THE WORK. ALTERNATE PRODUCTS THAT MEET PERFORMANCE AND AESTHETIC REQUIREMENTS OF SCHEDULED PRODUCTS ARE SUBJECT TO REVIEW & APPROVAL BY OWNER AND ARCHITECT.



## Building 004 Elevations

SCALE: 1/4" = 1'-0"











EXISTING TREES TO REMAIN			
LABEL	SPECIES	CALIPER	CONDITION
E-1	GREEN ASH	6"	GOOD
E-2	GREEN ASH	6"	GOOD
E-3	GREEN ASH	4"	GOOD
E-4	GREEN ASH	6"	GOOD
E-5	GREEN ASH	5"	GOOD
E-6	GREEN ASH	6"	GOOD
E-7	GREEN ASH	5"	GOOD
E-8	GREEN ASH	5"	GOOD
E-9	GREEN ASH	4"	GOOD
E-10	GREEN ASH	5"	GOOD
E-11	GREEN ASH	4"	GOOD
E-12	RED MAPLE	14"	MODERATE
E-13	WHITE PINE	24"	GOOD
E-14	WHITE PINE	18"	GOOD
E-15	PIN OAK	12"	MODERATE
E-16	WHITE PINE	10"	STRESSED
E-17	WHITE PINE	11"	GOOD
E-18	PIN OAK	24"	GOOD
E-19	WHITE PINE	10"	GOOD
E-20	WHITE PINE	12"	GOOD
E-21	SHAGBARK HICKORY	30"	GOOD
E-22	WHITE PINE	10"	GOOD

TREES TO BE REMOVED			
LABEL	SPECIES	CALIPER	CONDITION
D-1	SUGAR MAPLE	30"	DEAD
D-2	SUGAR MAPLE	28"	GOOD
D-3	CRABAPPLE	16"	MODERATE
D-4	WHITE PINE	24"	GOOD
D-5	COTTONWOOD	16"	GOOD

### REQUIRED TREES CALCULATION

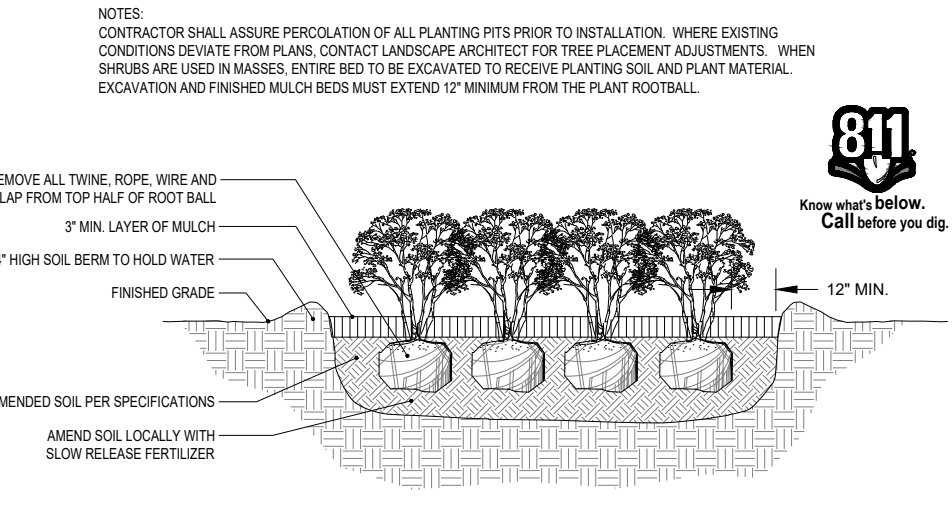
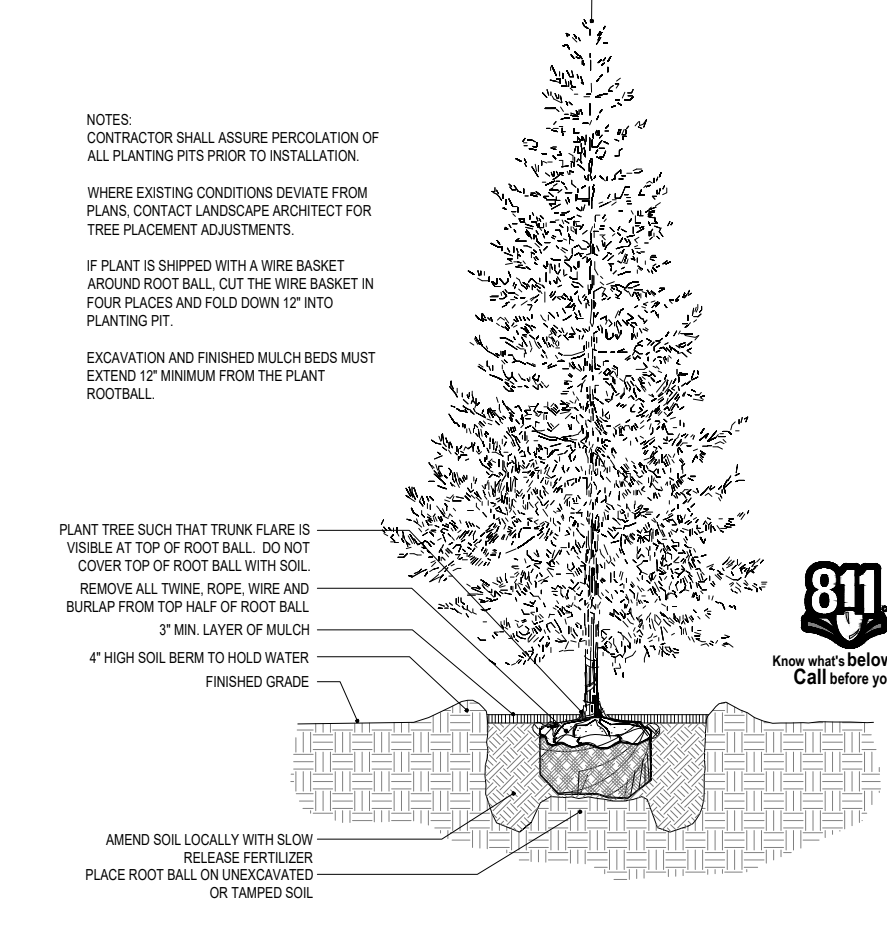
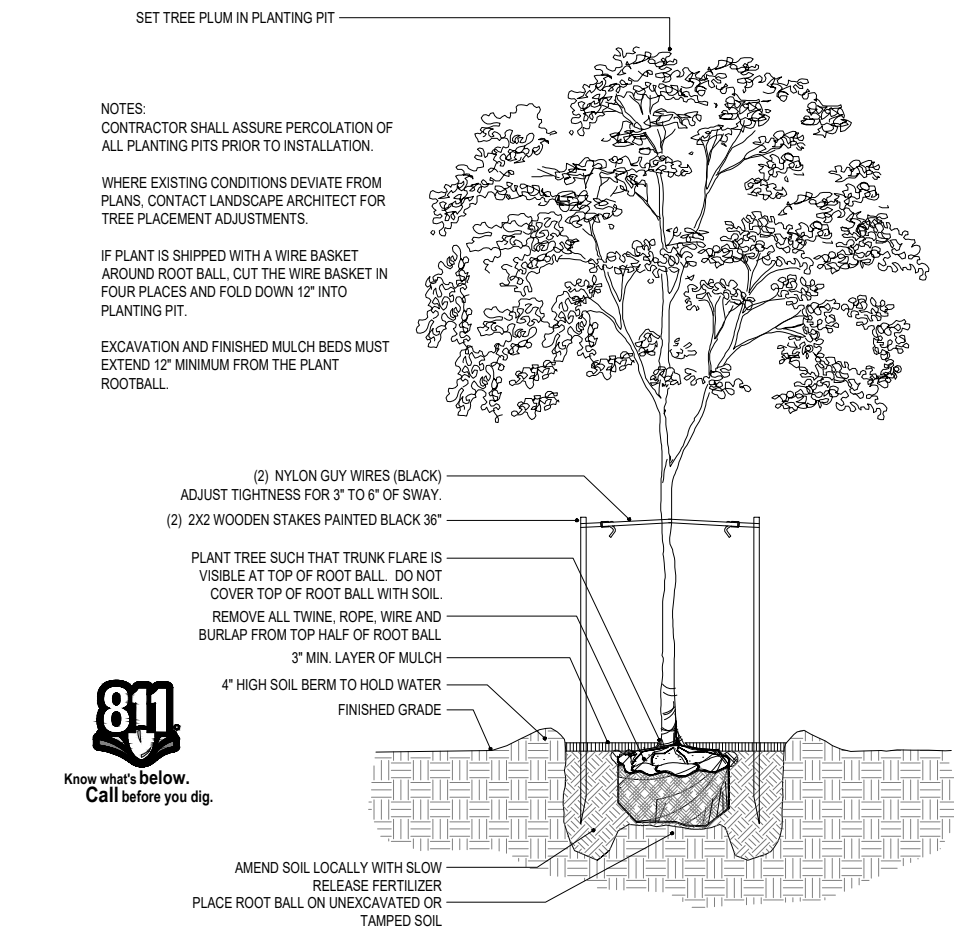
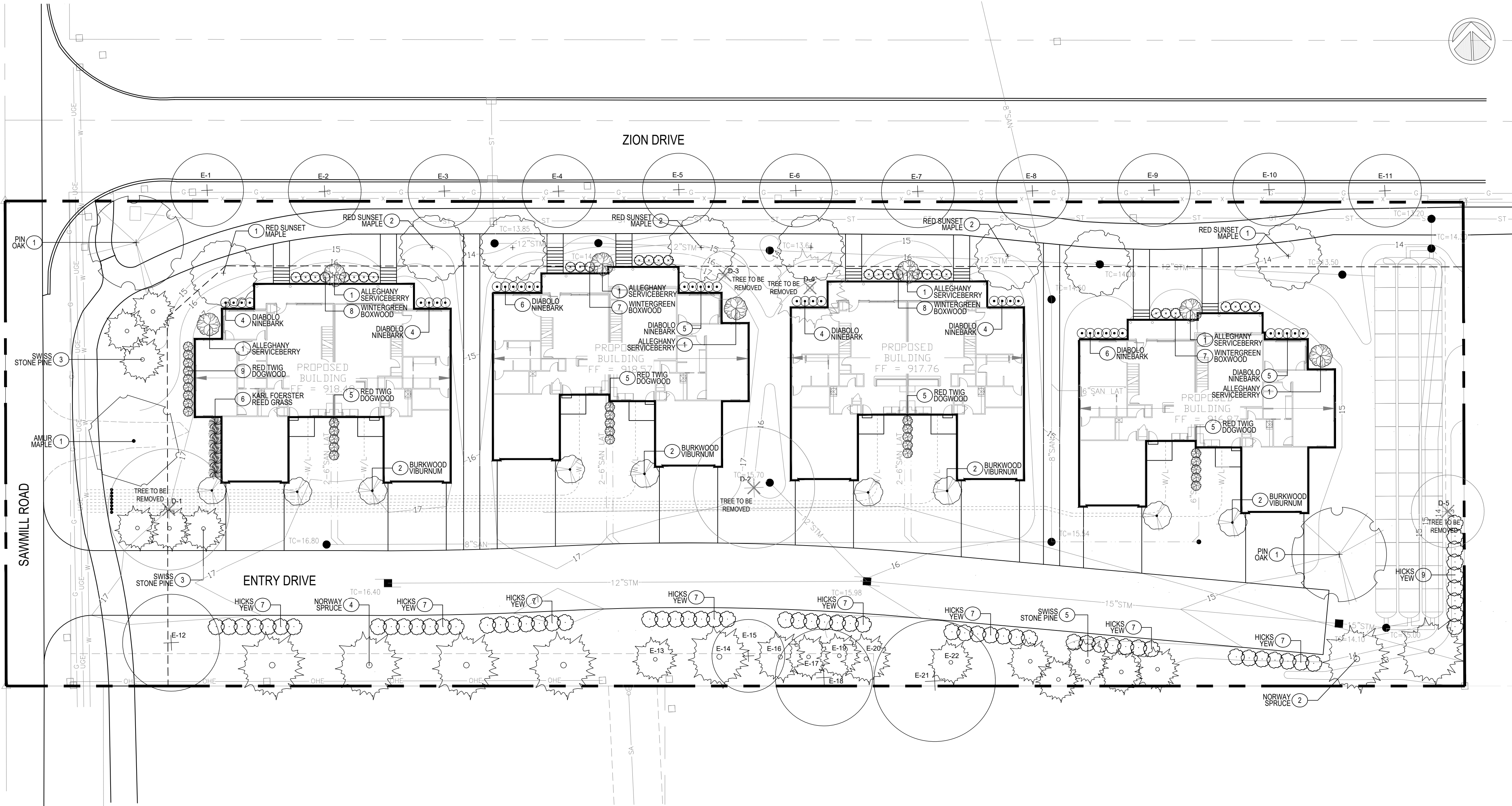
TOTAL CALIPER OF TREES TO BE REMOVED = 84" CALIPER  
(TREE D-1 IS DEAD AND THUS NOT COUNTED)

8 DWELLING UNITS PROPOSED = 52" CALIPER TOTAL  
REQUIRED (PER SECTION 1145.30 OF CITY OF POWELL CODE  
OF ORDINANCES: 6.5" CALIPER REQUIRED FOR EACH  
DWELLING UNIT 1,801 SF - 1,950 SF.)

TOTAL CALIPER OF TREES REQUIRED FOR DEVELOPMENT:  
84"+52"=136"

TOTAL CALIPER OF EXISTING TREES TO REMAIN ON SITE = 94"  
TOTAL CALIPER OF TREES PROPOSED = 47.5"  
(PROPOSED CONIFERS CALCULATED AT 1.5" PER TREE)

TOTAL CALIPER OF QUALIFIED TREES PROVIDED FOR THE  
DEVELOPMENT= 141.5"



### PLANT LIST

PLANT NAME	BOTANICAL NAME	SIZE	ROOT	QUANTITY	NOTES
Red Sunset Maple	Acer rubra 'Red Sunset'	2" Cal.	B&B	8	Matching
Amur Maple	Acer ginnala	2" Cal.	B&B	1	
Alleghany Serviceberry	Amelanchier laevis	6' Ht.	B&B	7	Multistem Clump Form
Norway Spruce	Picea abies	6' Ht.	B&B	6	
Swiss Stone Pine	Pinus cembra	6' Ht.	B&B	11	
Pin Oak	Quercus palustris	2" Cal.	B&B	2	

Wintergreen Boxwood	Buxus koreana 'Wintergreen'	24" ht.	#5 Cont	30	
Karl Foerster Reed Grass	Calamagrostis x ac. 'Karl Foerster'	Clump	#2 Cont	6	
Siberian Pearls Redtwig Dogwood	Cornus alba 'Siberian Pearls'	30" ht.	#5 Cont	29	
Diabolo Ninebark	Physocarpus opulifolius 'Diabolo'	24" ht.	#5 Cont	38	
Hick's Yew	Taxus x media 'Hicksii'	24" ht.	#5 Cont	65	
Burkwood Viburnum	Viburnum x burkwoodii	24" ht.	#5 Cont	9	

contractor

**builder  
scape**

7500 INDUSTRIAL PARKWAY  
PLAIN CITY, OHIO 43064  
614-889-2533

landscape architect

**STATE OF OHIO**

**BRIAN  
GRIFFITH**

1201280  
REGISTERED  
LANDSCAPE ARCHITECT

surveyor

architect of record

document record

Landscape Plan 11/27/2017  
Landscape Plan Revision 01/25/2018

LANDSCAPE PLANS FOR  
**MEWS AT ZION**  
SAWMILL ROAD & ZION DRIVE  
CITY OF POWELL, DELAWARE COUNTY, OHIO

sheet title

**LANDSCAPE  
PLANTING PLAN**

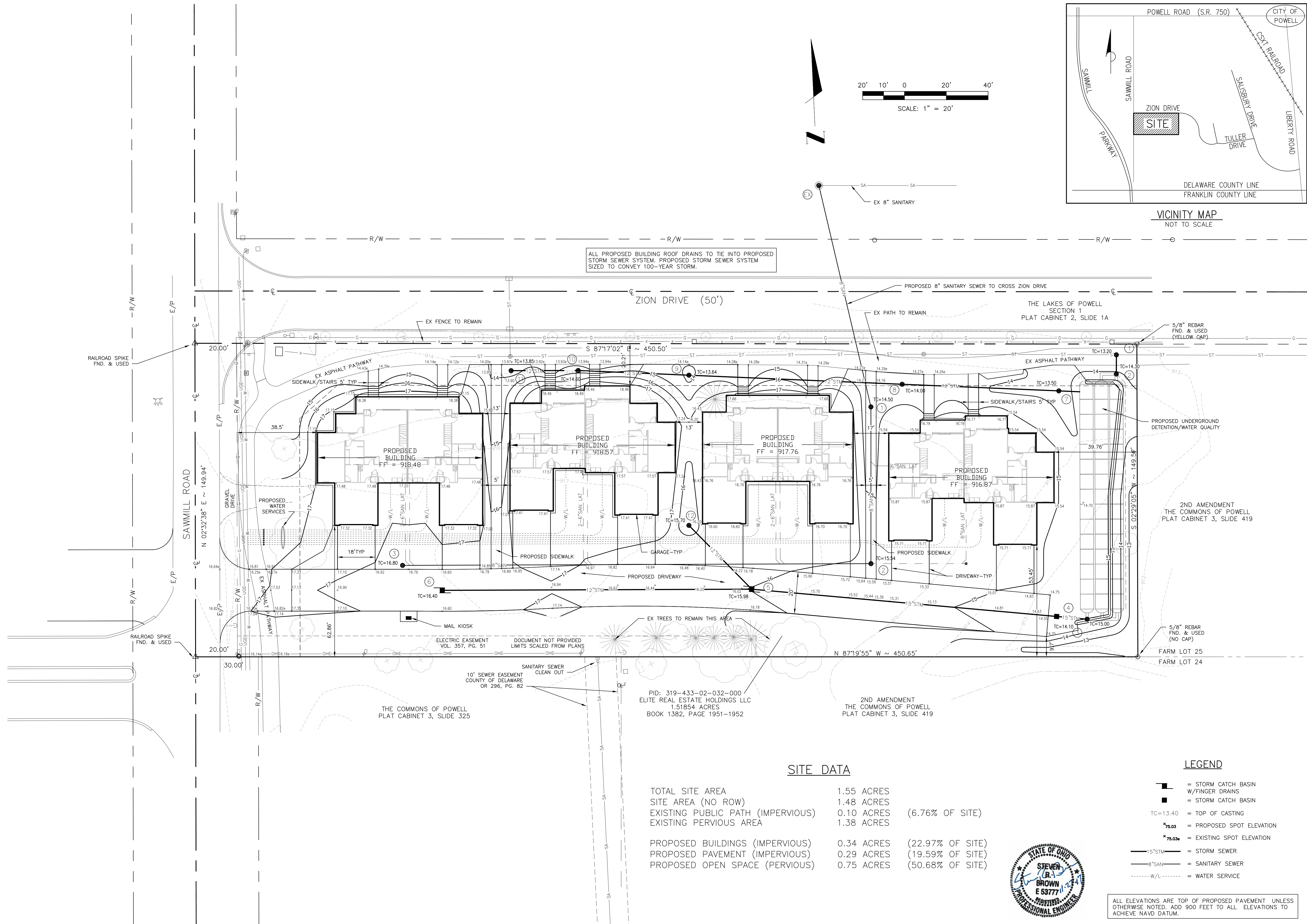
submittal date

**01 / 25 / 2018**

sheet number

**L-1**



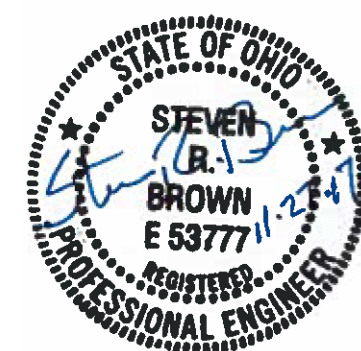


ALL PROPOSED BUILDING ROOF DRAINS TO TIE INTO PROPOSED STORM SEWER SYSTEM. PROPOSED STORM SEWER SYSTEM SIZED TO CONVEY 100-YEAR STORM.

PID: 319-433-02-032-000  
ELITE REAL ESTATE HOLDINGS LLC  
1.51854 ACRES  
BOOK 1382, PAGE 1951-1952

#### SITE DATA

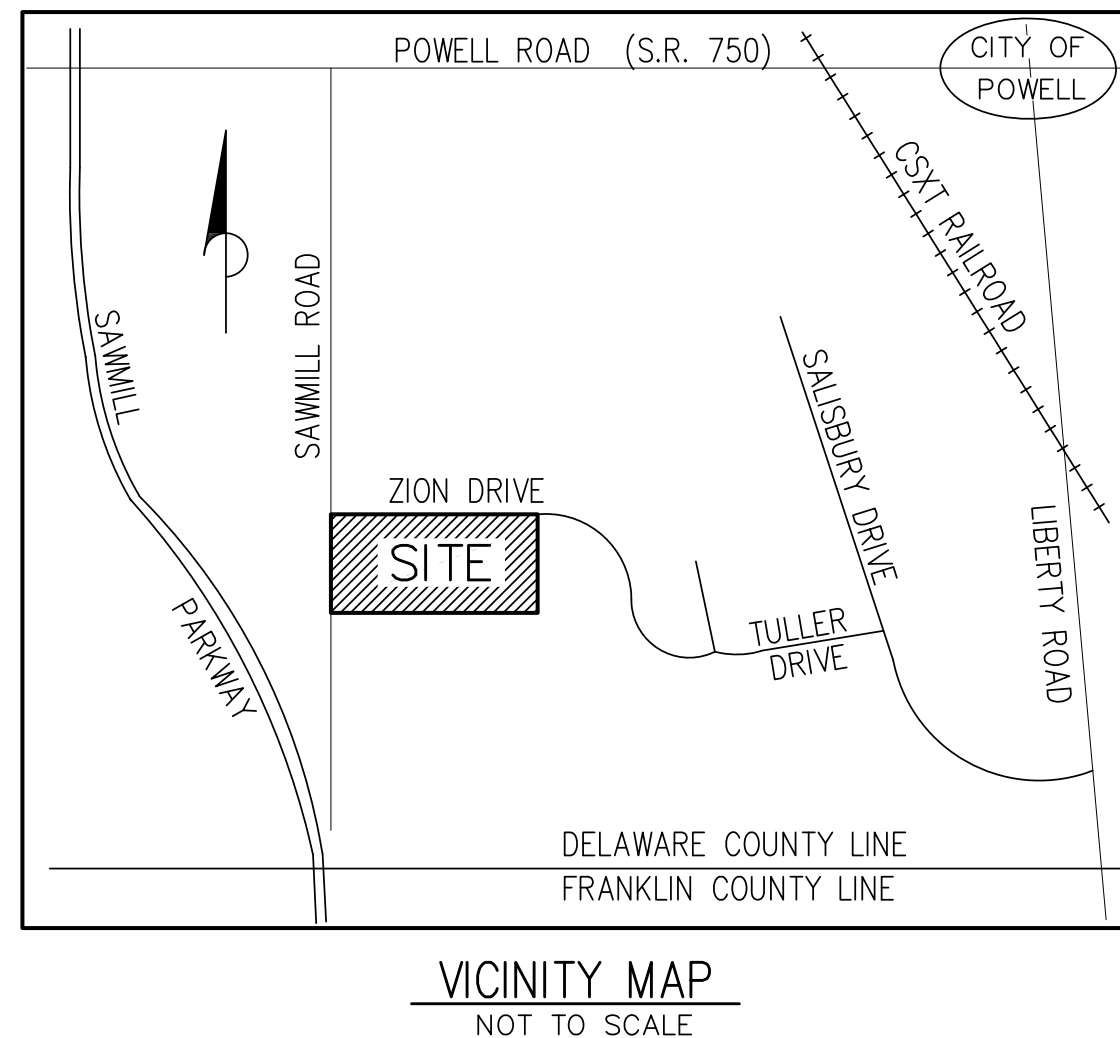
TOTAL SITE AREA	1.55 ACRES	
SITE AREA (NO ROW)	1.48 ACRES	
EXISTING PUBLIC PATH (IMPERVIOUS)	0.10 ACRES	(6.76% OF SITE)
EXISTING PERVIOUS AREA	1.38 ACRES	
PROPOSED BUILDINGS (IMPERVIOUS)	0.34 ACRES	(22.97% OF SITE)
PROPOSED PAVEMENT (IMPERVIOUS)	0.29 ACRES	(19.59% OF SITE)
PROPOSED OPEN SPACE (PERVIOUS)	0.75 ACRES	(50.68% OF SITE)



#### LEGEND

- = STORM CATCH BASIN W/FINGER DRAINS
- = STORM CATCH BASIN
- TC=13.40 = TOP OF CASTING
- \*75.03 = PROPOSED SPOT ELEVATION
- \*75.03a = EXISTING SPOT ELEVATION
- 15"STM = STORM SEWER
- 8"SAN = SANITARY SEWER
- W/L = WATER SERVICE

ALL ELEVATIONS ARE TOP OF PROPOSED PAVEMENT UNLESS OTHERWISE NOTED. ADD 900 FEET TO ALL ELEVATIONS TO ACHIEVE NAVD DATUM.



### SITE IMPROVEMENT PLANS FOR: MEWS AT ZION PRELIMINARY SITE PLAN THE CITY OF POWELL

DATE	2-1-18
REVISIONS	
1	ADD MAIL KIOSK
No.	
JOB NO.	40309
DRAWN BY	TH
DESIGNED BY	SRB
CHECKED BY	JRH
FIELD CREW	
FIELD BOOK	
DATE	11-27-17
SCALE	1" = 20'

SHEET

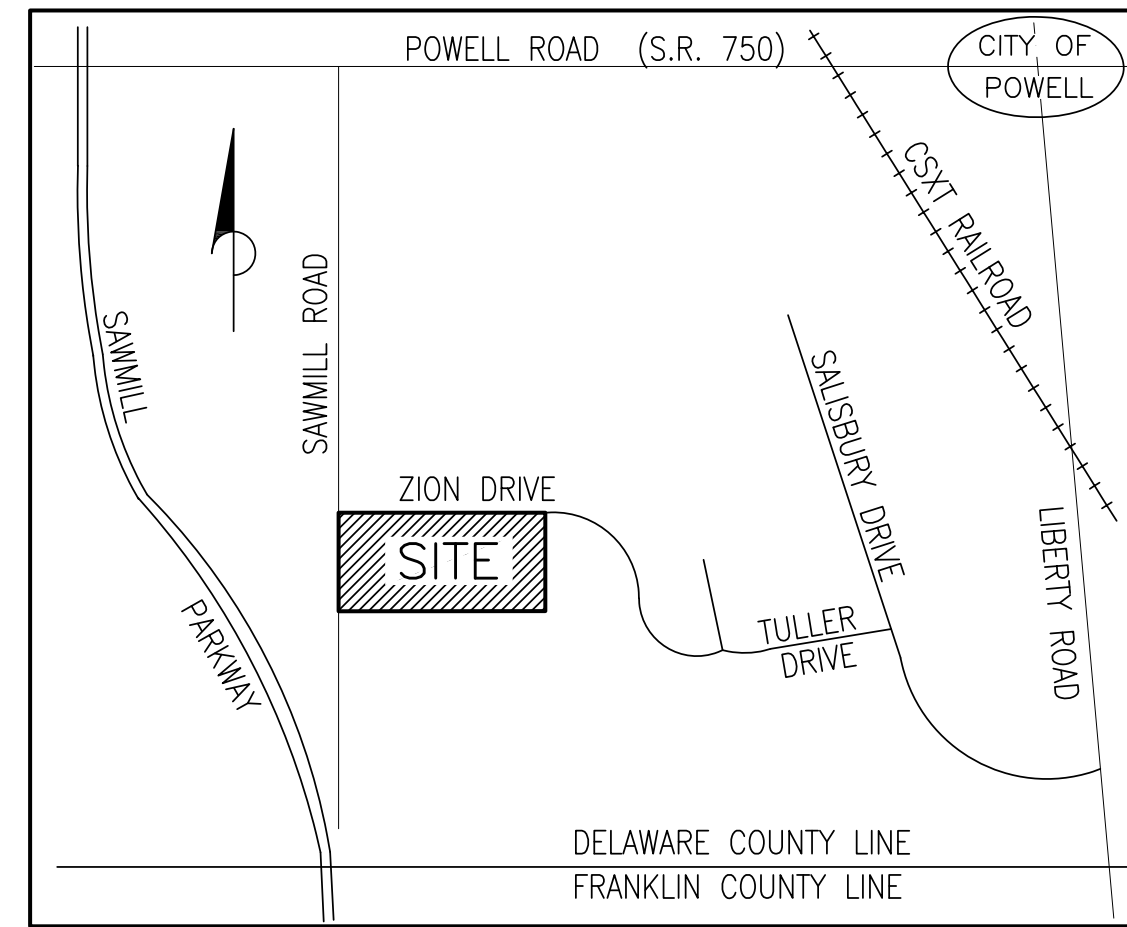
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OF 1

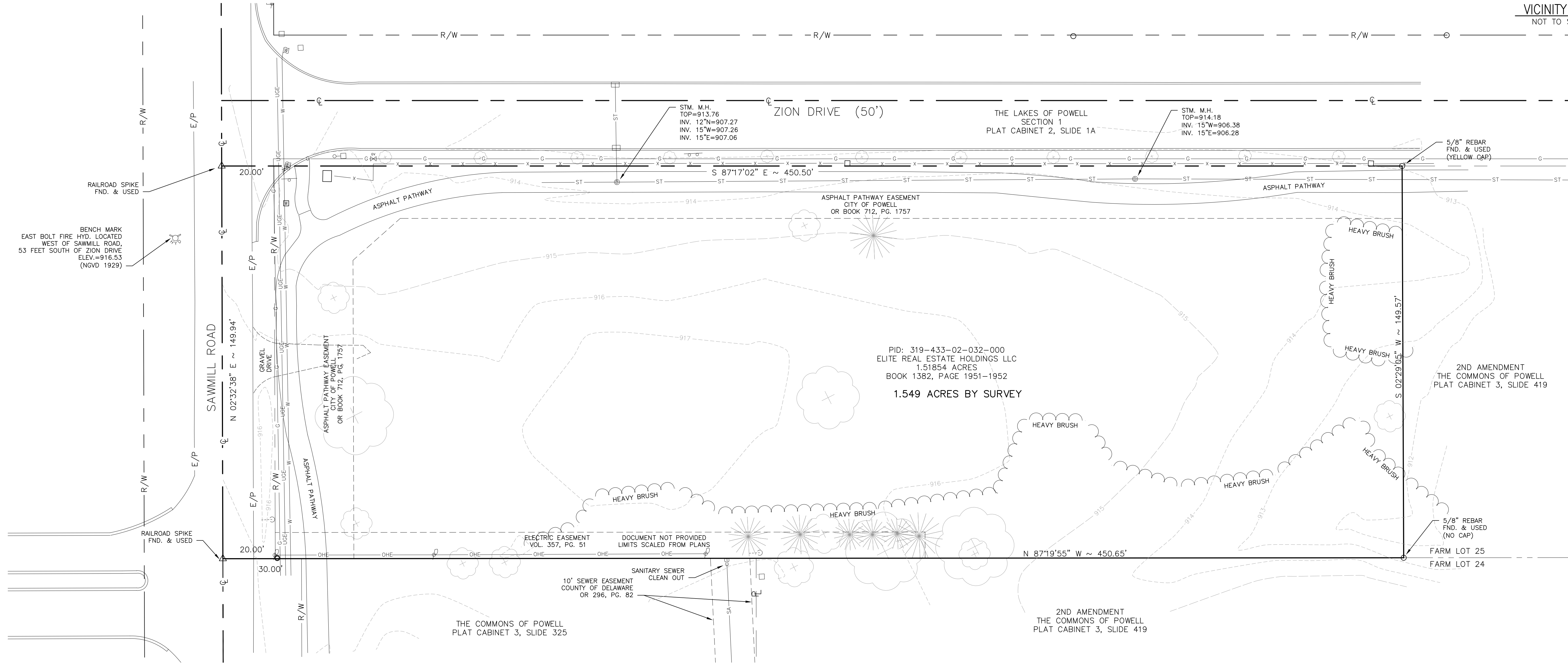
DATE									
REVISIONS									
No.									
JOB NO.								40309	
DRAWN BY								JLP	
DESIGNED BY									
CHECKED BY								JLP	
FIELD CREW								RDG	
FIELD BOOK									
DATE								03-22-2016	
SCALE								1" = 20'	

# BOUNDARY & TOPOGRAPHIC SURVEY

SITUATED IN THE STATE OF OHIO, COUNTY OF DELAWARE, CITY OF POWELL, FARM LOT 25, SECTION 4, TOWNSHIP 3, RANGE 19  
UNITED STATES MILITARY LANDS



VICINITY MAP  
NOT TO SCALE



## SYMBOLS

● 5/8"x30" REBAR SET W/ YELLOW I.D. CAP MARKED "BRH GROUP"	⊗ FIRE HYDRANT	□ TP TELEPHONE PEDESTAL
▲ RAILROAD SPIKE SET	⊗ W WATER VALVE	⊗ TELEPHONE POLE
■ MAG NAIL SET	⊗ WATER METER	⊗ TELEPHONE MARKER
○ FOUND, AS LABELED	⊗ CLEAN OUT	⊗ UTILITY POLE
△ RAILROAD SPIKE FOUND	⊗ GAS VALVE	⊗ GUY WIRE
⊗ MONUMENT FOUND	⊗ GAS METER	⊗ ELECTRIC TRANSFORMER
⊗ CENTERLINE	⊗ GAS MARKER	⊗ ELECTRICAL PULL BOX
⊗ PROPERTY LINE	⊗ CATCH BASIN	⊗ A/C UNIT
⊗ SIGN	⊗ CURB INLET	⊗ GUARD RAIL
⊗ BOLLARD	⊗ MANHOLE (TYPE NOTED ON PLAN)	⊗ SIGNAL POLE
⊗ MAIL BOX	⊗ R/W RIGHT-OF-WAY LINE	⊗ FLAG POLE
	⊗ LIGHT POLE	⊗ PID: PARCEL NUMBER

## FLOOD ZONE

BY GRAPHICAL PLOTTING ONLY, THE SUBJECT PREMISES IS LOCATED IN ZONE "X". (AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL FLOODPLAIN), AS DETERMINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, NATIONAL FLOOD INSURANCE PROGRAM, AND SHOWN ON THE FLOOD INSURANCE RATE MAP, 39041C0239K, EFFECTIVE DATE: APRIL 19, 2009.

## PROJECT ELEVATION DATUM

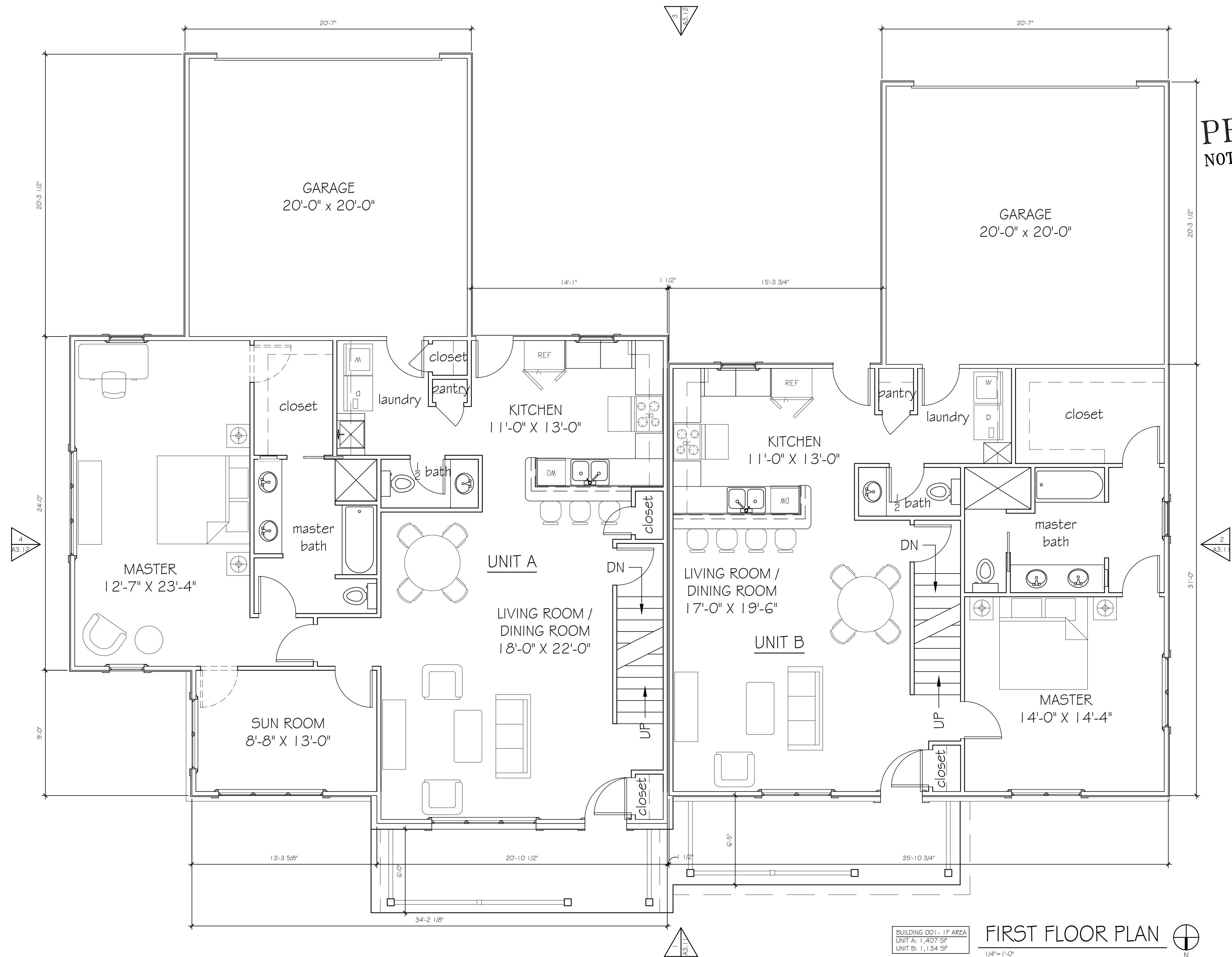
ELEVATIONS ARE BASED ON THE BENCH MARK FROM INFORMATION PROVIDED: EAST BOLT FIRE HYDRANT LOCATED 18 FEET WEST OF SAWMILL ROAD AND 53 FEET SOUTH OF ZION DRIVE. ELEVATION=916.53 (NGVD 1929)

## UTILITY STATEMENT

THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES AS SHOWN HEREON. THE UNDERGROUND UTILITIES SHOWN HEREON HAVE BEEN APPROXIMATELY PLOTTED BASED ON LOCATIONS FROM AN ACTUAL FIELD SURVEY, AND/OR INFORMATION OBTAINED FROM RECORD UTILITY PLANS AND ATLAS MAPS AS MAY BE AVAILABLE FROM LOCAL MUNICIPALITIES OR PUBLIC AND QUASI-PUBLIC UTILITY COMPANIES. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN HEREON COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN HEREON ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH HE DOES STATE THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE OHIO REVISED CODE, SECTIONS 3781.25 THROUGH 3781.32 REQUIRES THAT THE CONTRACTOR NOTIFY THE UTILITY PROTECTION SERVICE AND LOCAL UTILITY FACILITIES TWO WORKING DAYS PRIOR TO EXCAVATION.

— SA —	SANITARY
— ST —	STORM
— W —	WATERLINE
— UGE —	UNDERGROUND ELECTRIC
— UGT —	UNDERGROUND TELEPHONE
— OHE —	OVERHEAD ELECTRIC
— OHT —	OVERHEAD TELEPHONE





BUILDING 001 - 1F AREA  
UNIT A: 1,407 SF  
UNIT B: 1,134 SF

FIRST FLOOR PLAN

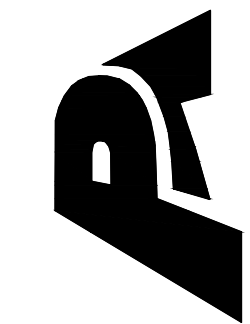
1/4"=1'-0"



PRELIMINARY  
NOT FOR CONSTRUCTION

DAVID PONTIA, #9310464  
EXPIRATION DATE 12/31/2019

**PONTIA**  
ARCHITECTURE  
39 E. Main Street, Suite 101  
New Albany, Ohio 43054  
614-245-6273



SHEET TITLE

FLOOR PLAN  
BUILDING-001

SHEET INFORMATION

PROJECT NUMBER 1618  
DRAWN BY RLA & SBT  
CHECKED BY DP  
SCALE AS NOTED  
ISSUE FOR PRELIMINARY REVIEW  
DATE 2-7-2018  
REVISIONS

SHEET NUMBER

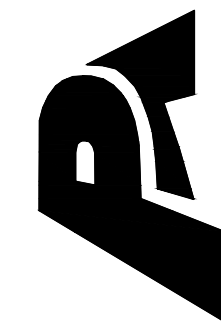
A1.11

MEWS AT ZION  
1033 I Sawmill Road  
Powell, OH

PRELIMINARY  
NOT FOR CONSTRUCTION

DAVID PONTIA, #9310464  
EXPIRATION DATE 12/31/2019

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New Albany, Ohio 43054  
614-245-6273



SHEET TITLE

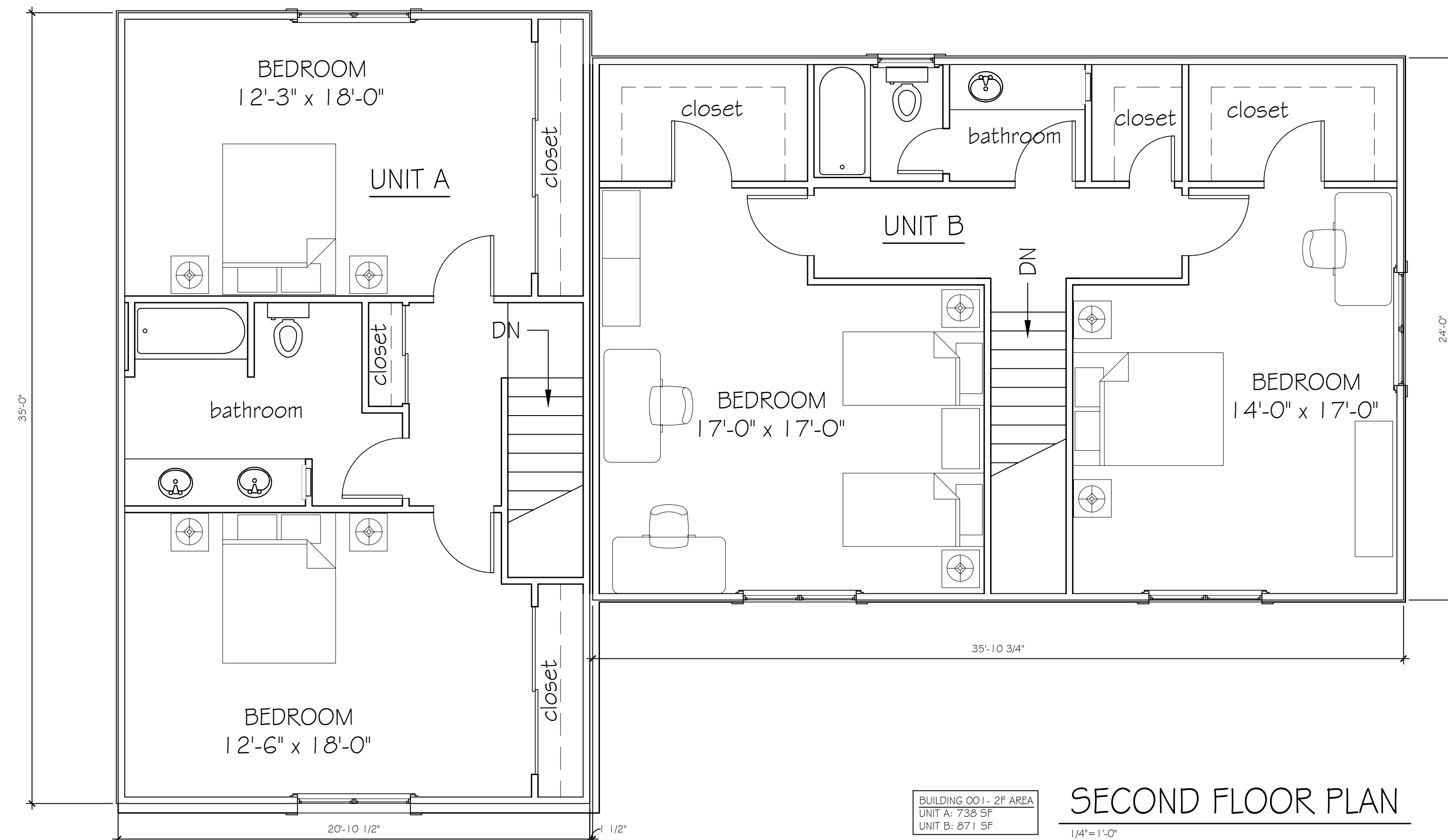
SECOND FLOOR  
BUILDING-001

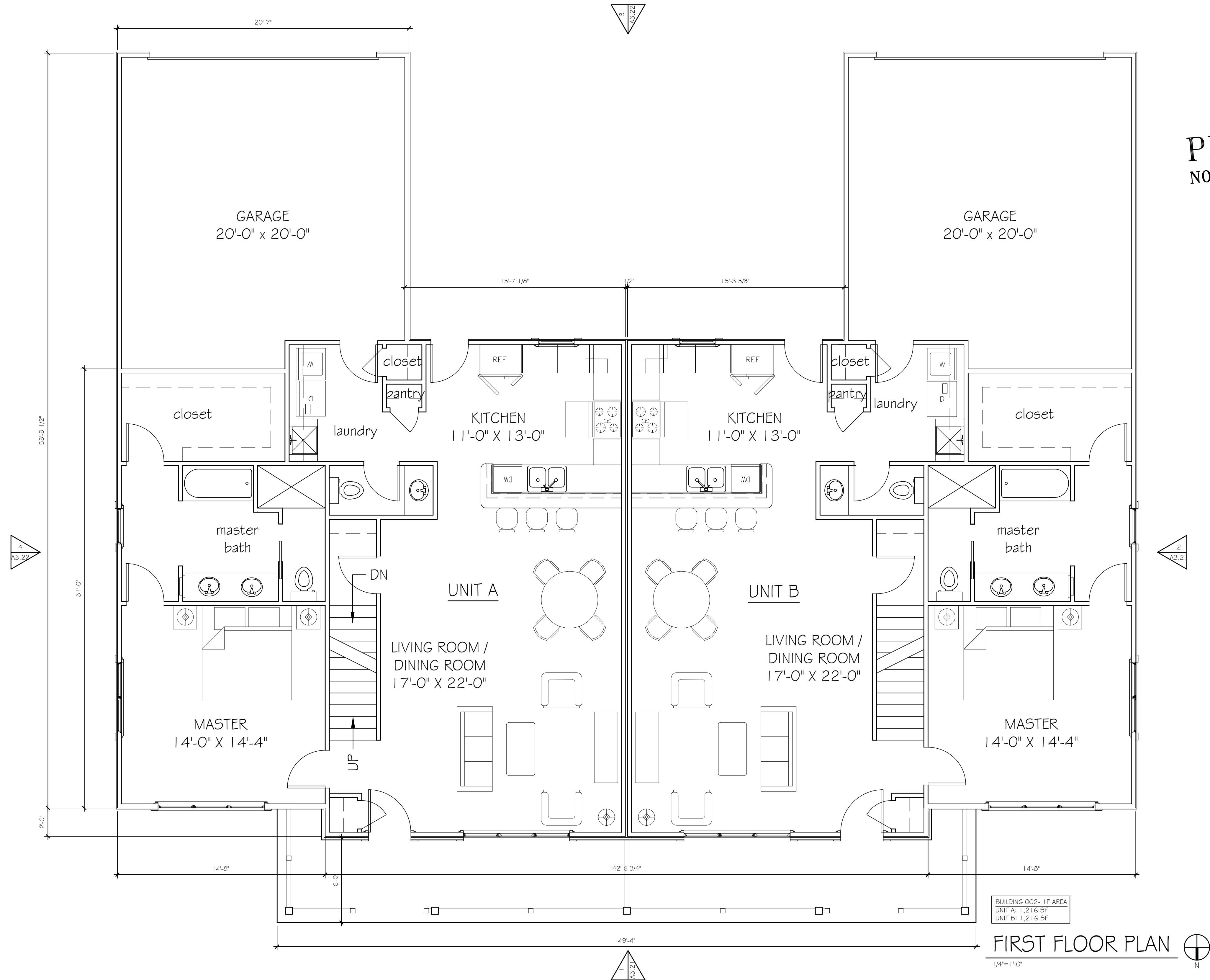
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REVISIONS

SHEET NUMBER

A1.12



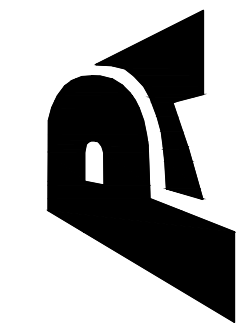


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MEWS AT ZION  
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Powell, OH

DAVID PONTIA, #9310464  
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SHEET TITLE

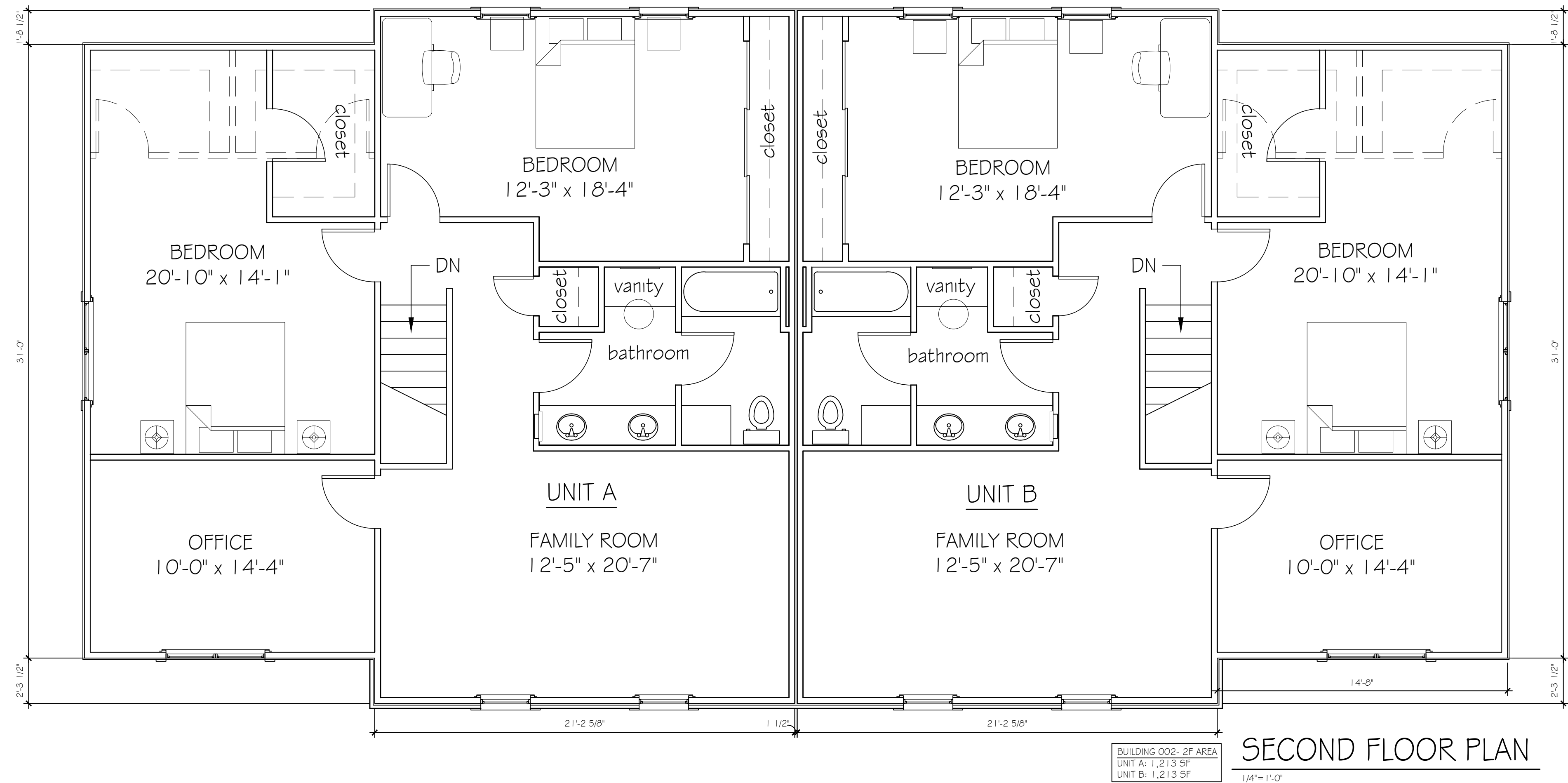
FLOOR PLAN  
BUILDING-002

SHEET INFORMATION

PROJECT NUMBER 1618  
DRAWN BY RLA & SBT  
CHECKED BY DP  
SCALE AS NOTED  
ISSUE FOR PRELIMINARY REVIEW  
DATE 2-7-2018  
REVISIONS

SHEET NUMBER

A1.21

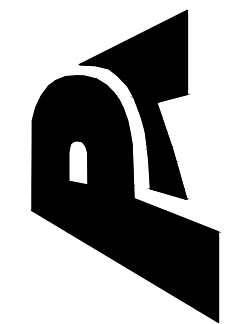


SECOND FLOOR PLAN  
1/4"=1'-0"

PRELIMINARY  
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DAVID PONTIA, #9310464  
EXPIRATION DATE 12/31/2019

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SHEET TITLE

SECOND FLOOR  
BUILDING-002

SHEET INFORMATION

PROJECT NUMBER 1618  
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REVISIONS

SHEET NUMBER

A1.22

10331 Sawmill Road  
Powell, OH

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DAVID PONTIA, #9310464  
EXPIRATION DATE 12/31/2019

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**ARCHITECTURE**  
39 E. Main Street, Suite 101  
New Albany, Ohio 43054  
614-245-8273



SHEET TITLE

FLOOR PLAN  
BUILDING-003

SHEET INFORMATION

PROJECT NUMBER 1619

DRAWN BY \_\_\_\_\_ RLA &amp; SBT

CHECKED BY \_\_\_\_\_ DP

SCALE \_\_\_\_\_ AS NOTED

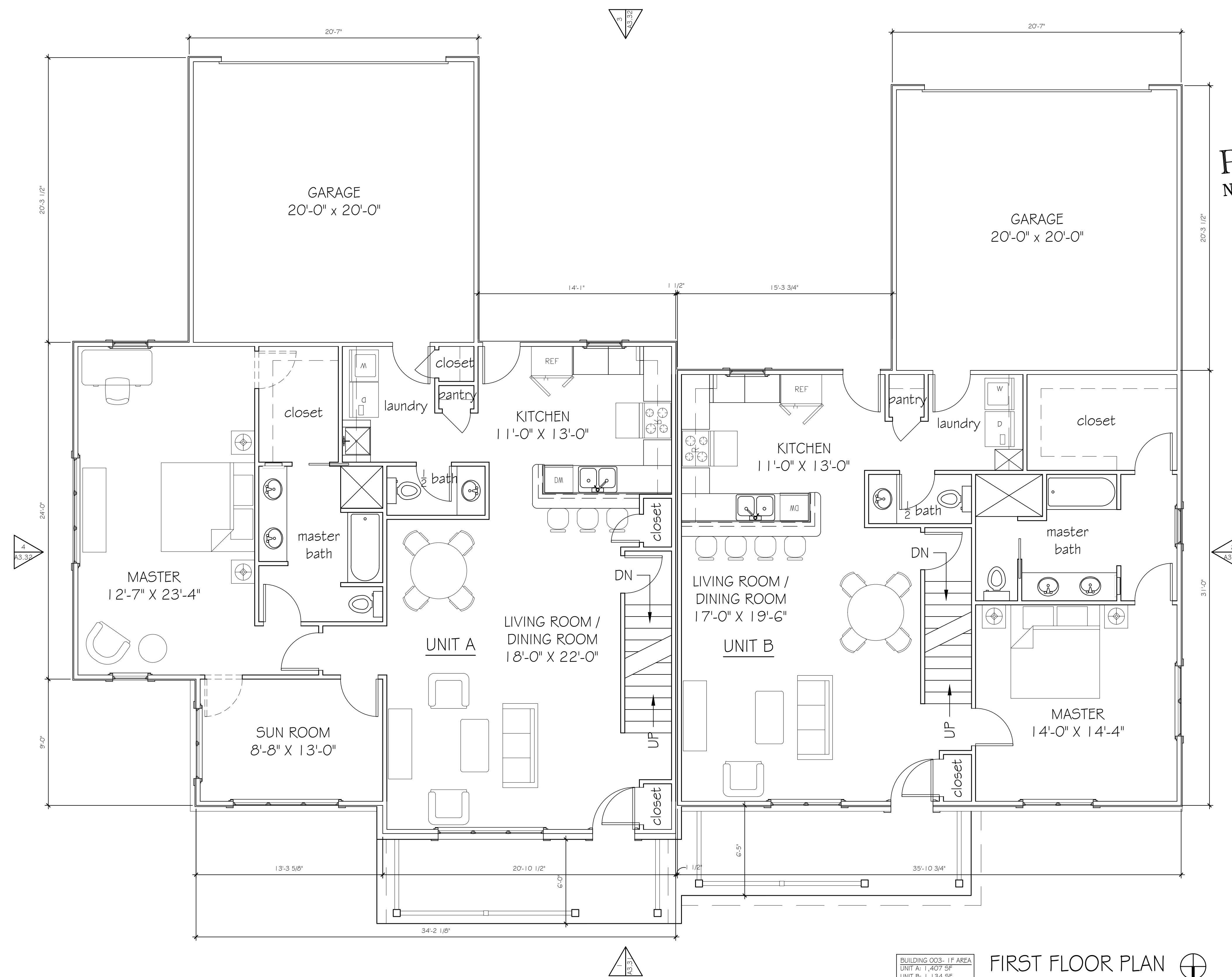
ISSUE FOR PRELIMINARY REVIEW

DATE 2-7-2018

REVISIONS \_\_\_\_\_

SHEET NUMBER

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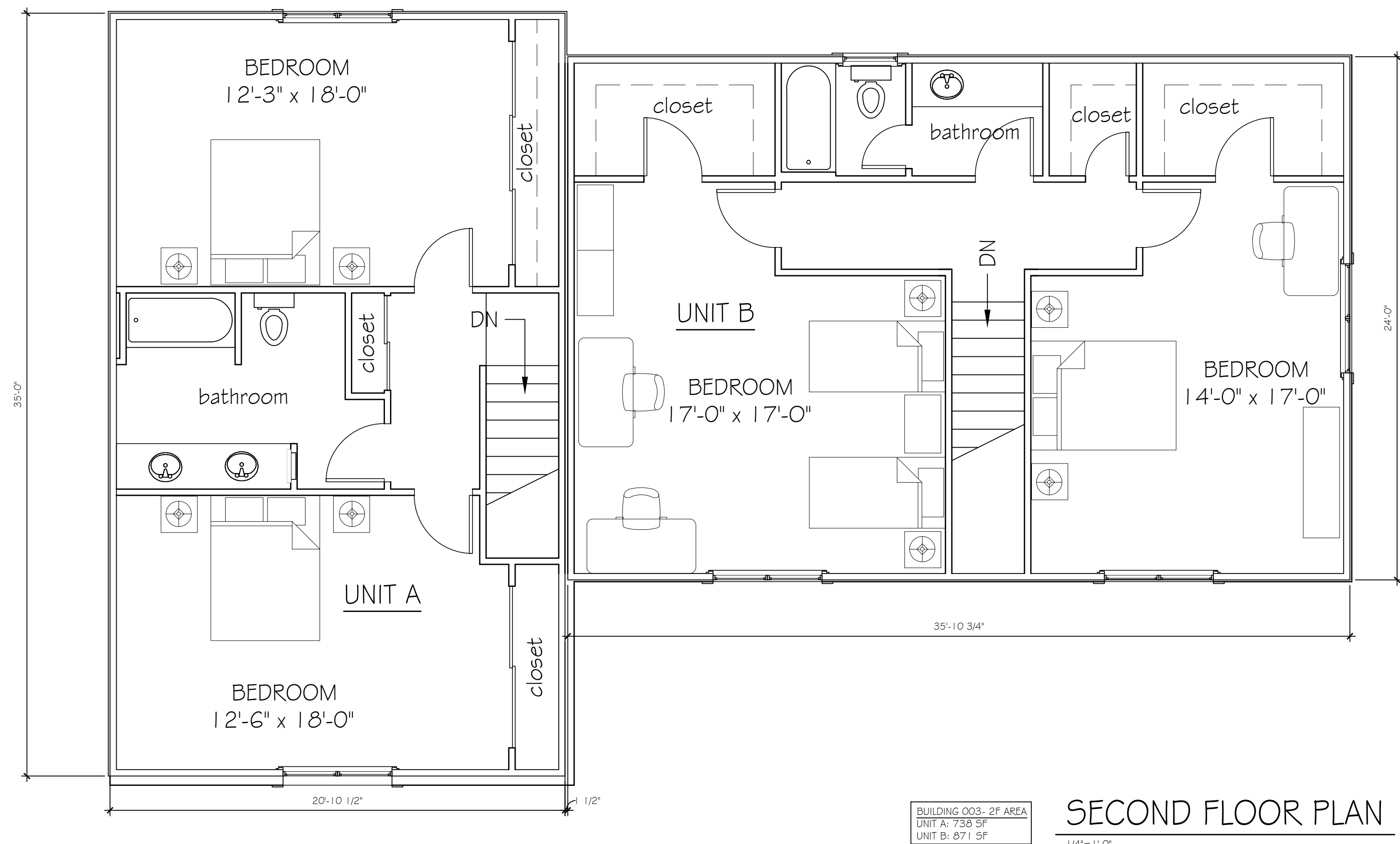


BUILDING 003- 1F AREA  
UNIT A: 1,407 SF  
UNIT B: 1,134 SF

FIRST FLOOR PLAN 







BUILDING 003- 2<sup>ND</sup> AREA  
UNIT A: 738 SF  
UNIT B: 871 SF

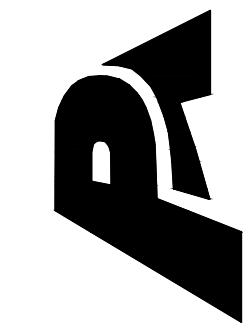
SECOND FLOOR PLAN

1/4"= 1'-0"

PRELIMINARY  
NOT FOR CONSTRUCTION

DAVID PONTIA, #9310464  
EXPIRATION DATE 12/31/2019

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SHEET TITLE

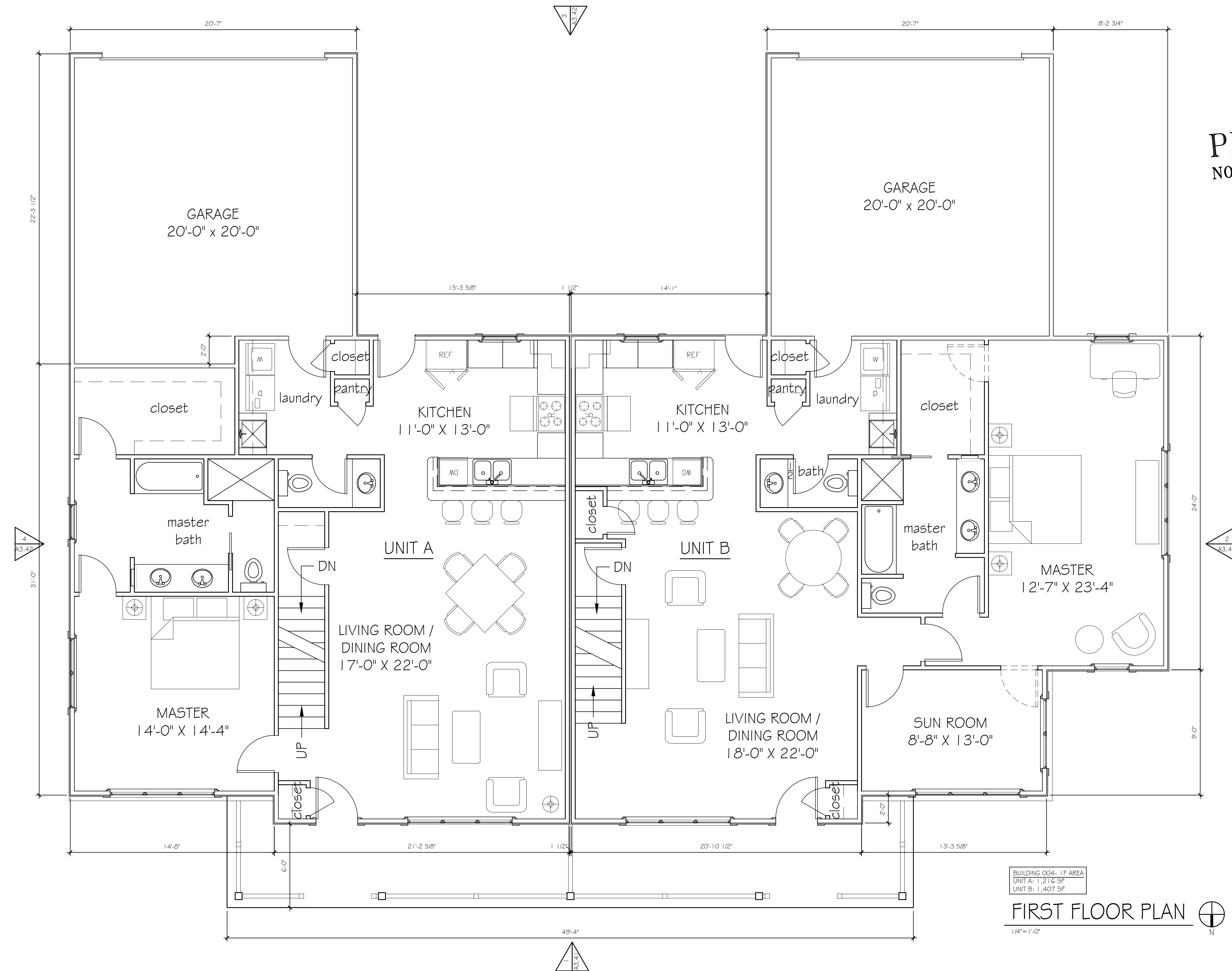
SECOND FLOOR  
BUILDING-003

SHEET INFORMATION

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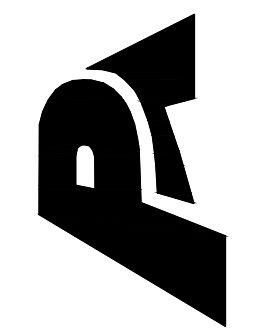
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SHEET TITLE

FLOOR PLAN  
BUILDING-004

SHEET INFORMATION

PROJECT NUMBER 1618  
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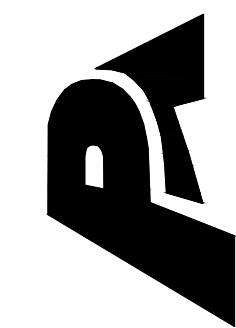
A1.41

MEWS AT ZION  
1033 I Sawmill Road  
Powell, OH

PRELIMINARY  
NOT FOR CONSTRUCTION

DAVID PONTIA, #9310464  
EXPIRATION DATE 12/31/2019

PONTIA  
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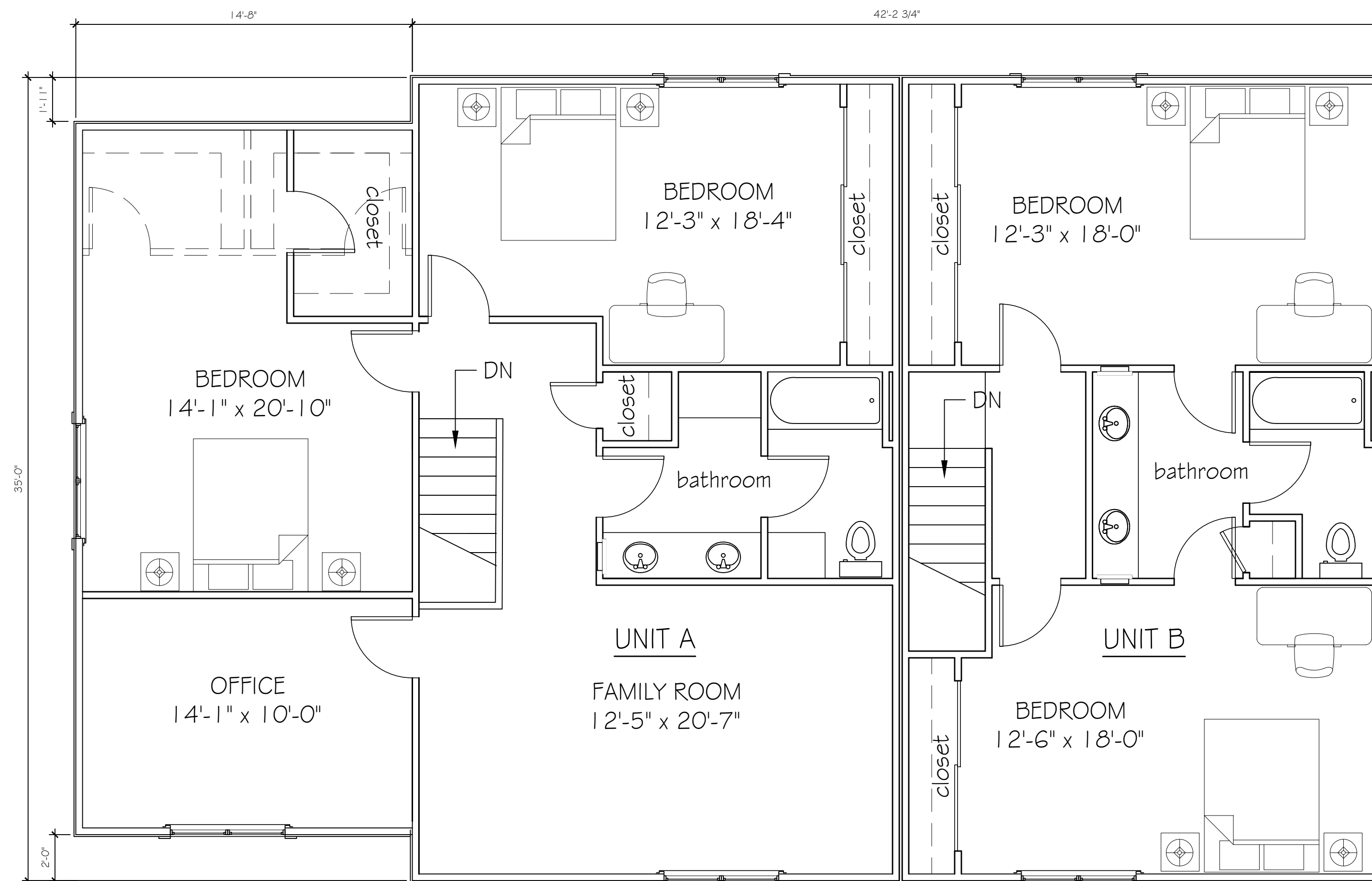
SHEET TITLE

SECOND FLOOR  
BUILDING-004

SHEET INFORMATION

PROJECT NUMBER 1618  
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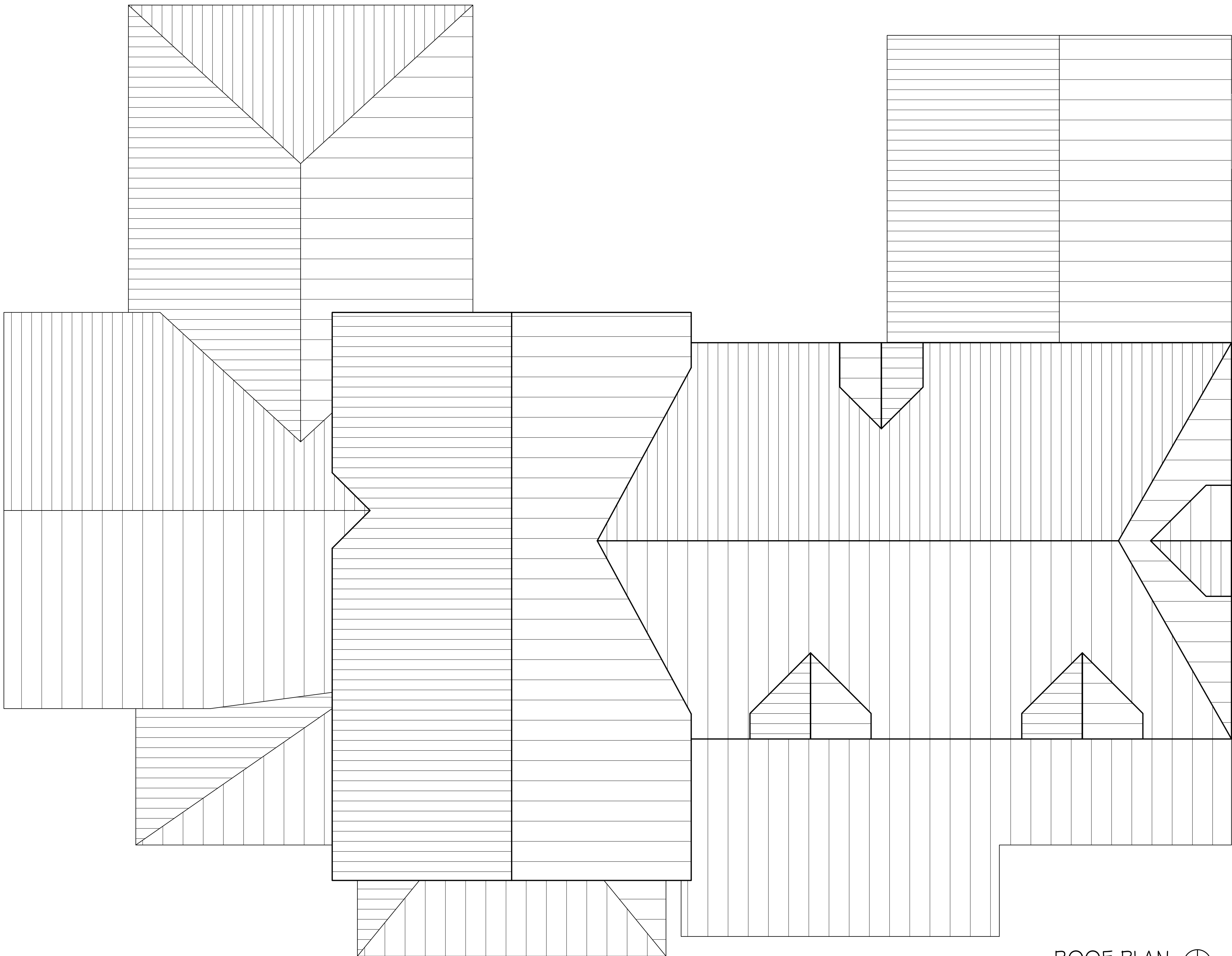


BUILDING 004- 2F AREA  
UNIT A: 1,213 SF  
UNIT B: 739 SF

SECOND FLOOR PLAN

1/4"= 1'-0"

A1.42



ROOF PLAN



1/4"= 1'-0"

PRELIMINARY  
NOT FOR CONSTRUCTION

MEWS AT ZION  
1033 I Sawmill Road  
Powell, OH

DAVID PONTIA, #9310464  
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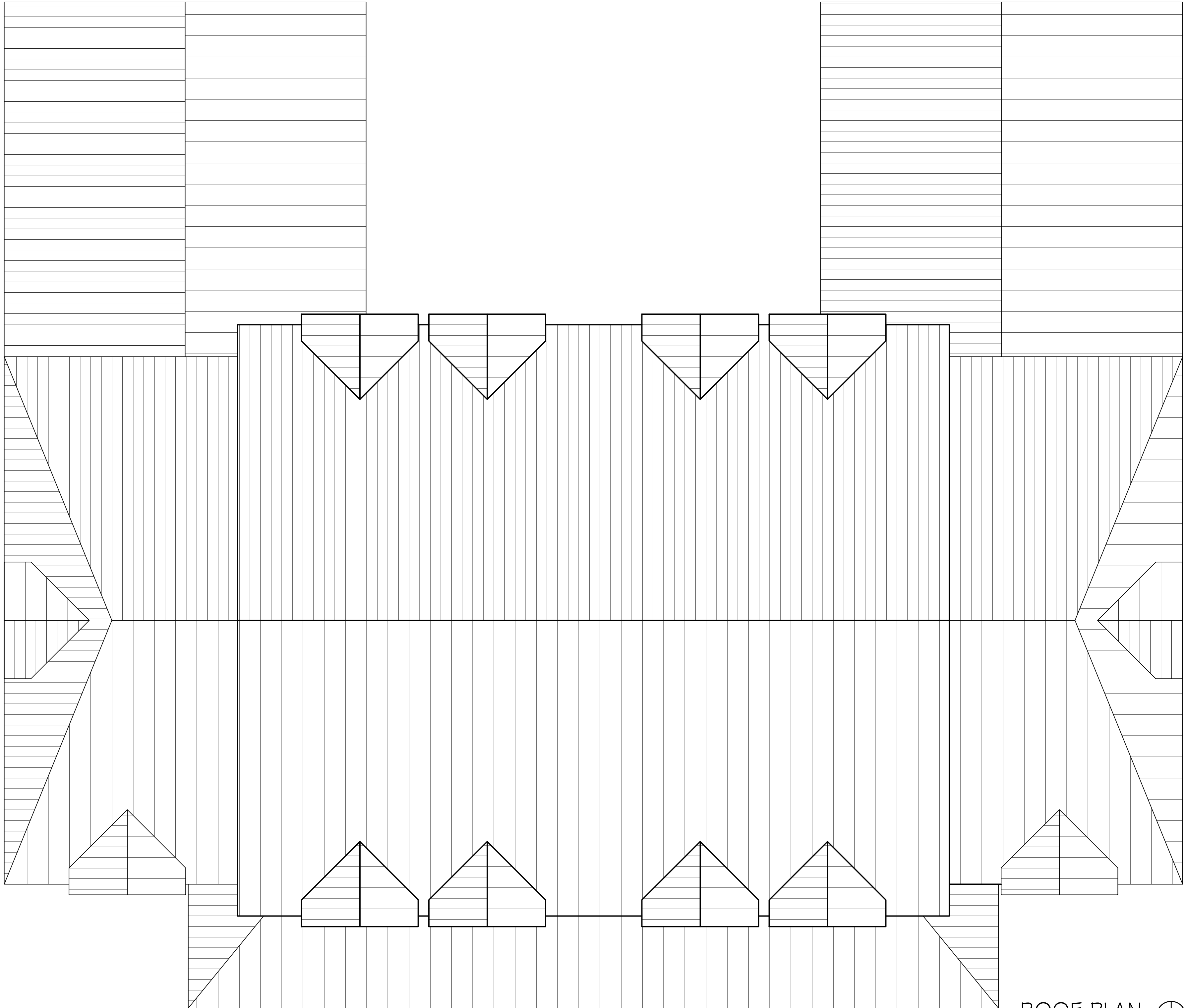
ROOF PLAN  
BUILDING-001

SHEET INFORMATION

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SHEET NUMBER

A2.11



ROOF PLAN

1/4" = 1'-0"

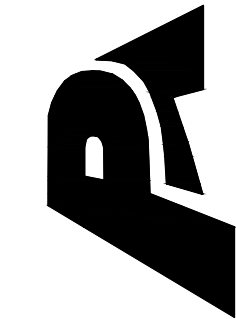
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PRELIMINARY  
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MEWS AT ZION  
10331 Sawmill Road  
Powell, OH

DAVID PONTIA, #9310464  
EXPIRATION DATE 12/31/2019

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39 E. Main Street, Suite 101  
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SHEET TITLE

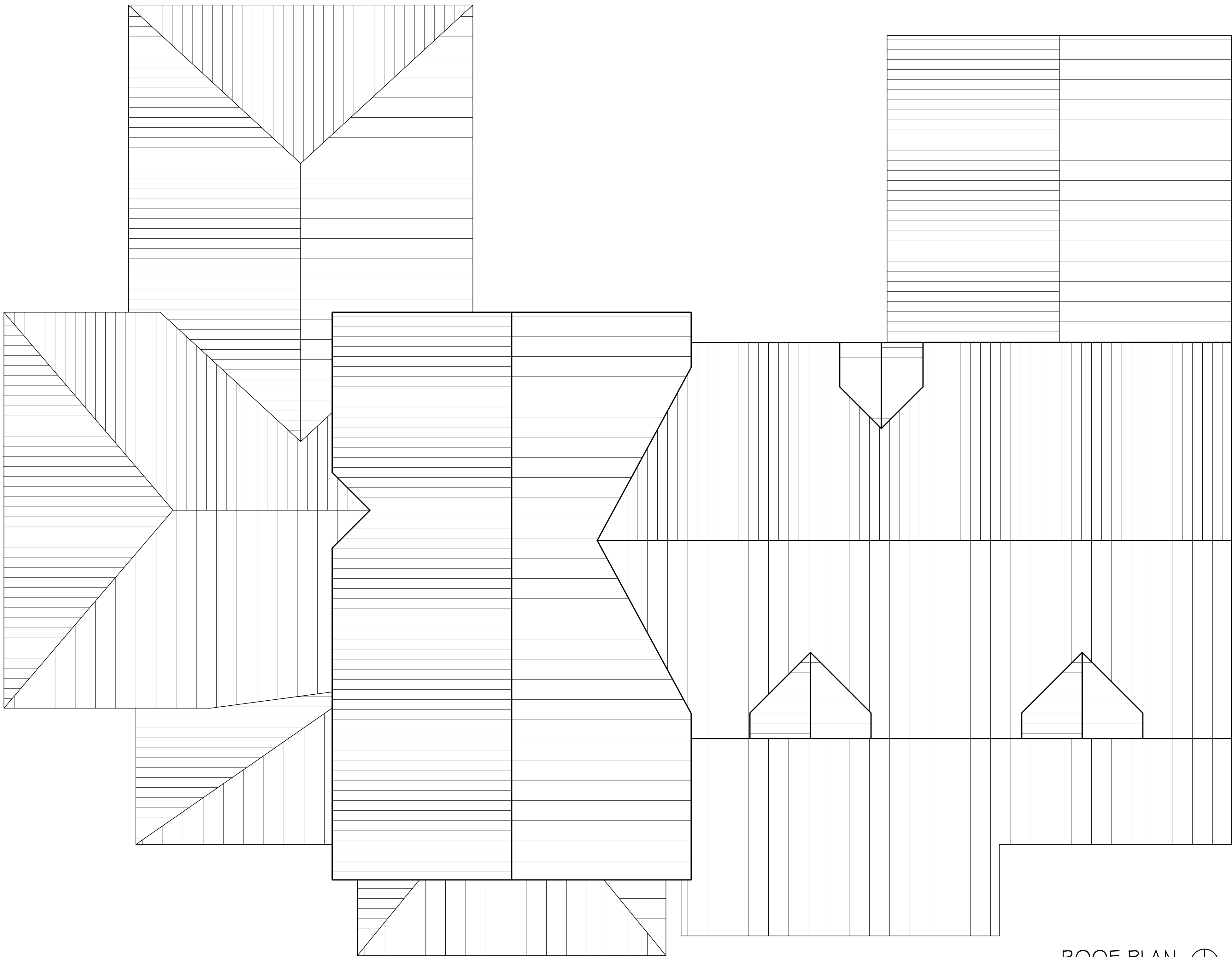
ROOF PLAN  
BUILDING-002

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SHEET NUMBER

A2.21



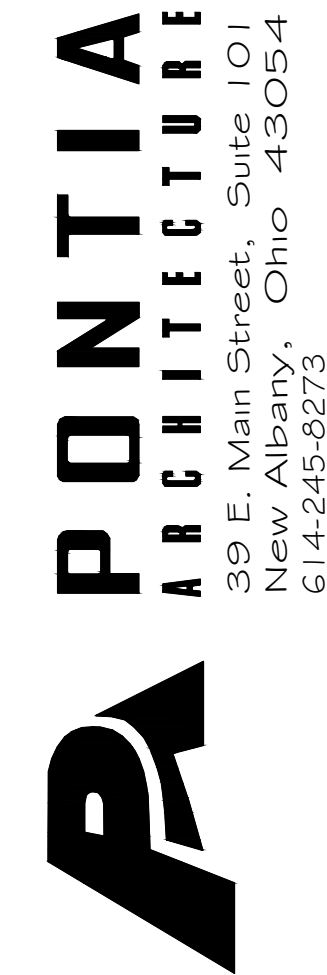
ROOF PLAN



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MEWS AT ZION  
1033 I Sawmill Road  
Powell, OH

DAVID PONTIA, #9310464  
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SHEET TITLE

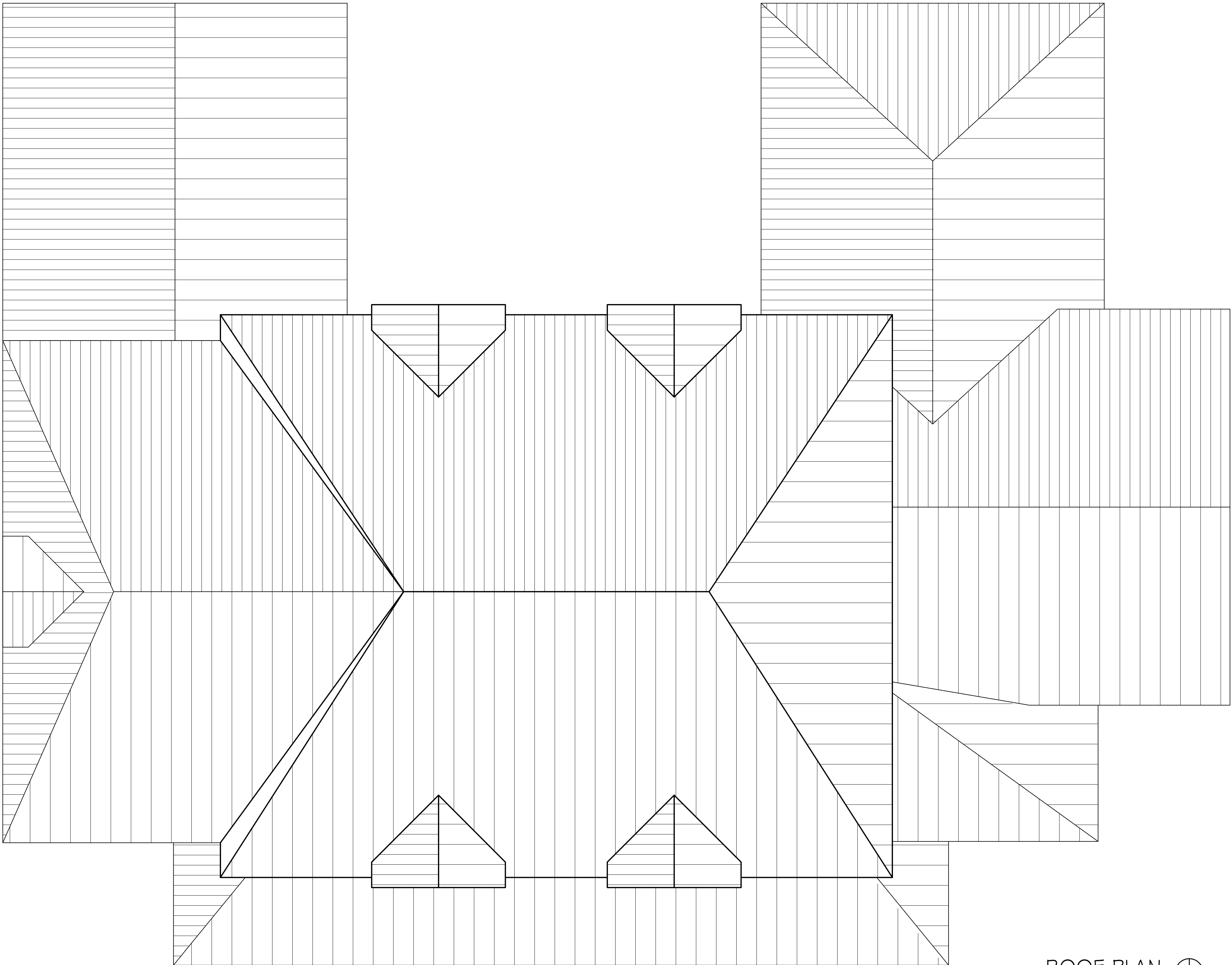
ROOF PLAN  
BUILDING-003

SHEET INFORMATION

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SHEET NUMBER

A2.31



ROOF PLAN

1/4"=1'-0"



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MEWS AT ZION  
10331 Sawmill Road  
Powell, OH

DAVID PONTIA, #9310464  
EXPIRATION DATE 12/31/2019



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614-245-6273

SHEET TITLE

ROOF PLAN  
BUILDING-004

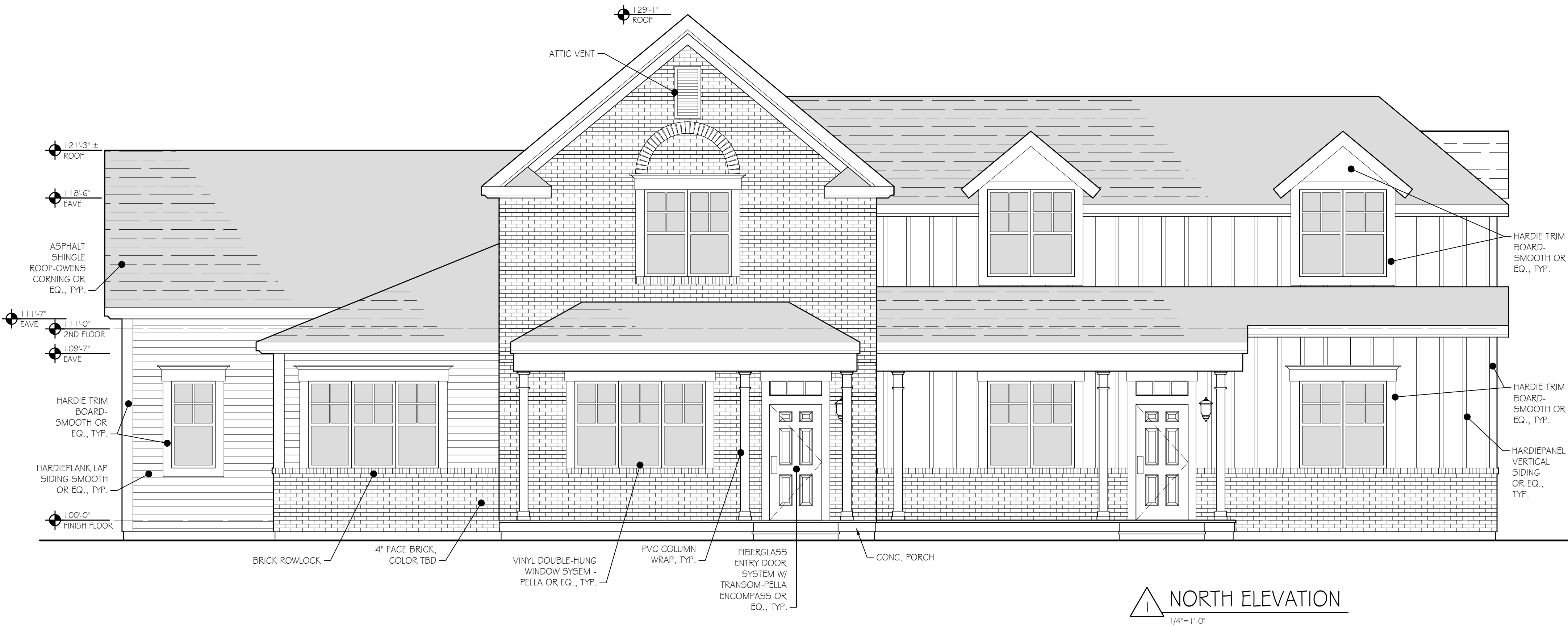
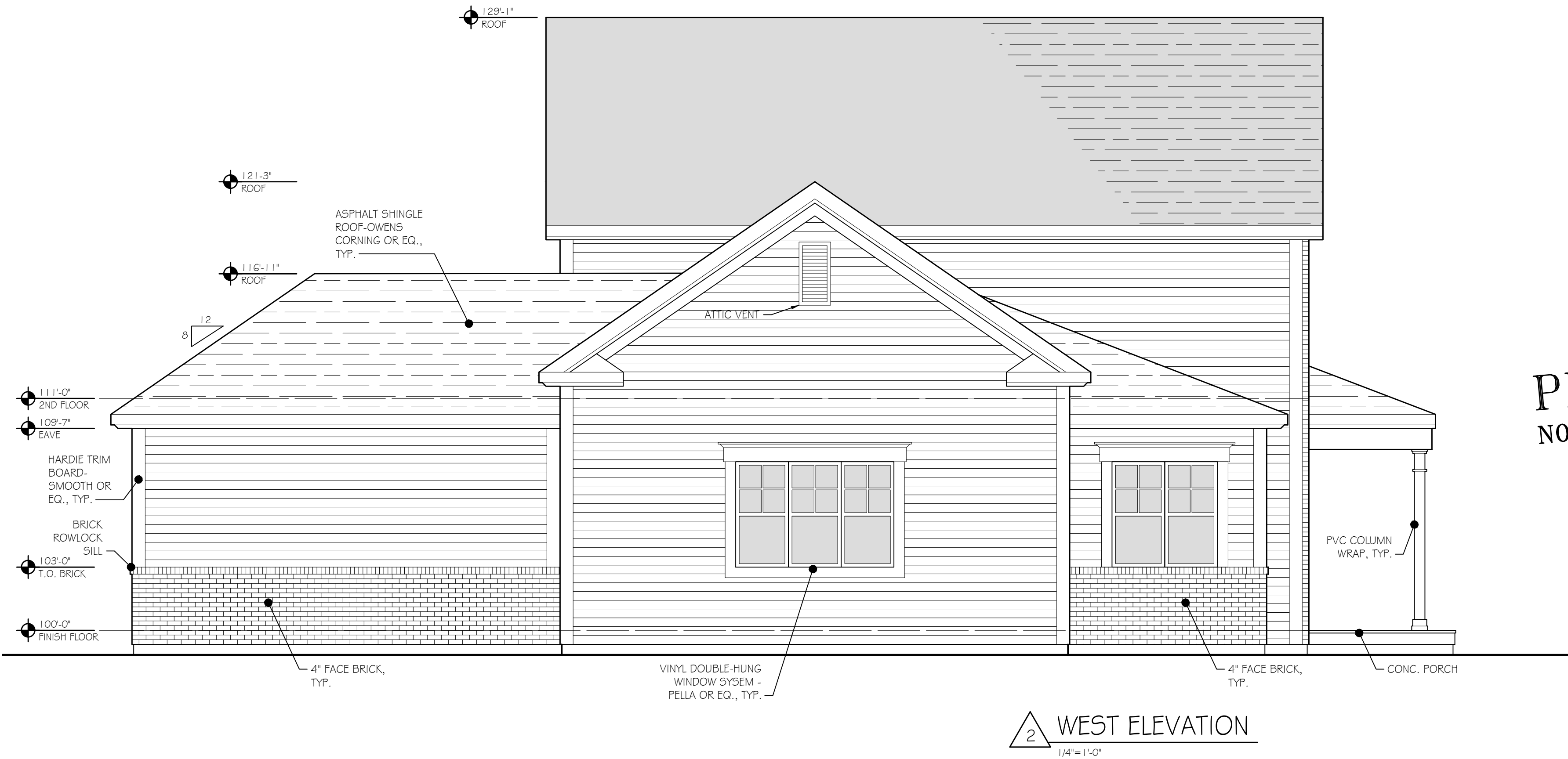
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SHEET NUMBER

A2.41

EXTERIOR FINISH SCHEDULE				
MATERIAL	COLOR / FINISH	SIZE	MANUFACTURER	REMARKS
20 YEAR ARCHITECTURAL FIBERGLASS SHINGLE SYSTEM	DURATION SERIES, ESTATE GREY	TO BE SELECTED BY OWNER	OWENS CORNING OR APPROVED EQ.	
PRE-FINISHED METAL DOWNSPOUT SYSTEM AND PRECAST CONCRETE SPLASH BLOCK	TO BE SELECTED BY OWNER	2" x 3"	TO BE SELECTED BY OWNER	
PRE-FINISHED METAL GUTTER SYSTEM	TO BE SELECTED BY OWNER	5"	TO BE SELECTED BY OWNER	
RIDGE VENT	MATCH SHINGLES	MATCH SHINGLES	MATCH SHINGLES	
FIBER CEMENT TRIM BOARD SYSTEM	COLOR TO MATCH ARCTIC WHITE	SEE DRAWINGS SMOOTH FINISH	JAMES HARDIE OR APPROVED EQ.	
PRE-FINISHED ALUMINUM FASCIA AND SOFFIT SYSTEM	COLOR TO MATCH ARCTIC WHITE	SEE DRAWINGS	TO BE SELECTED BY OWNER	
FIBER CEMENT SIDING SYSTEM	SEE DRAWINGS	6" EXPOSURE (LAP SIDING)	JAMES HARDIE OR APPROVED EQ.	LAP SIDING - SMOOTH SHINGLE STYLE - STAGGERED EDGE VERTICAL SIDING-BOARD AND BATTEN
CULTURED STONE VENEER SIDING SYSTEM	TO BE SELECTED BY OWNER	TO BE SELECTED BY OWNER	PROVIA OR EQ.	
4" FACE BRICK	HOMETOWN SERIES- ALBANY	MODULAR (3 1/2 x 2 1/4 x 7 1/2)	GLEN GARY	
VINYL WINDOW SYSTEM	TO BE SELECTED BY OWNER	DOUBLE-HUNG, SEE DRAWINGS	PELLA OR EQ.	
FIBERGLASS ENTRY DOOR SYSTEM	TO BE SELECTED BY OWNER	SEE DRAWINGS	PELLA ENCOMPASS	
OVERHEAD GARAGE DOOR SYSTEM	TO BE SELECTED BY OWNER	8'-0"H X 16'-0"W	OVERHEAD DOOR CO. OR APPROVED EQ.	
PORCH/STAIR RAILING	VINYL, WHITE	36"H RAILING	WEATHERABLES OR EQ.	
CAST-IN-PLACE CONCRETE TERRACE	NATURAL	SEE DRAWINGS	-----	SEE SITE / CIVIL
CAST-IN-PLACE CONCRETE FOUNDATION	-----	-----	-----	
HOSE BIBB	TO BE SELECTED BY OWNER	SEE PLUMBING	TO BE SELECTED BY OWNER	SEE PLUMBING
GENERAL NOTES: 1. SUBMITTALS OF ALL COLOR SAMPLES AND MOCK-UPS TO DESIGN ARCHITECT FOR APPROVAL IS AT THE DISCRETION OF OWNER. 2. ALL DETAILS SHOWN BY DESIGN ARCHITECT ARE FOR DESIGN INTENT ONLY. 3. SCHEDULED PRODUCTS & FINISHES ARE BASIS OF DESIGN FOR THE WORK. ALTERNATE PRODUCTS THAT MEET PERFORMANCE AND AESTHETIC REQUIREMENTS OF SCHEDULED PRODUCTS ARE SUBJECT TO REVIEW & APPROVAL BY OWNER AND ARCHITECT.				

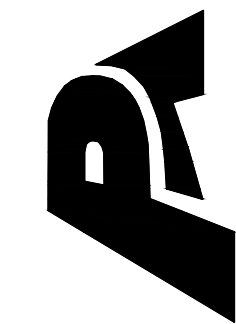


MEWS AT ZION  
1033 I Sawmill Road  
Powell, OH

PRELIMINARY  
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DAVID PONTIA, #9310464  
EXPIRATION DATE 12/31/2019

PONTIA  
ARCHITECTURE  
39 E. Main Street, Suite 101  
New Albany, Ohio 43054  
614-245-6273



SHEET TITLE  
BUILDING ELEVATIONS  
BUILDING-001

SHEET INFORMATION  
PROJECT NUMBER 1618  
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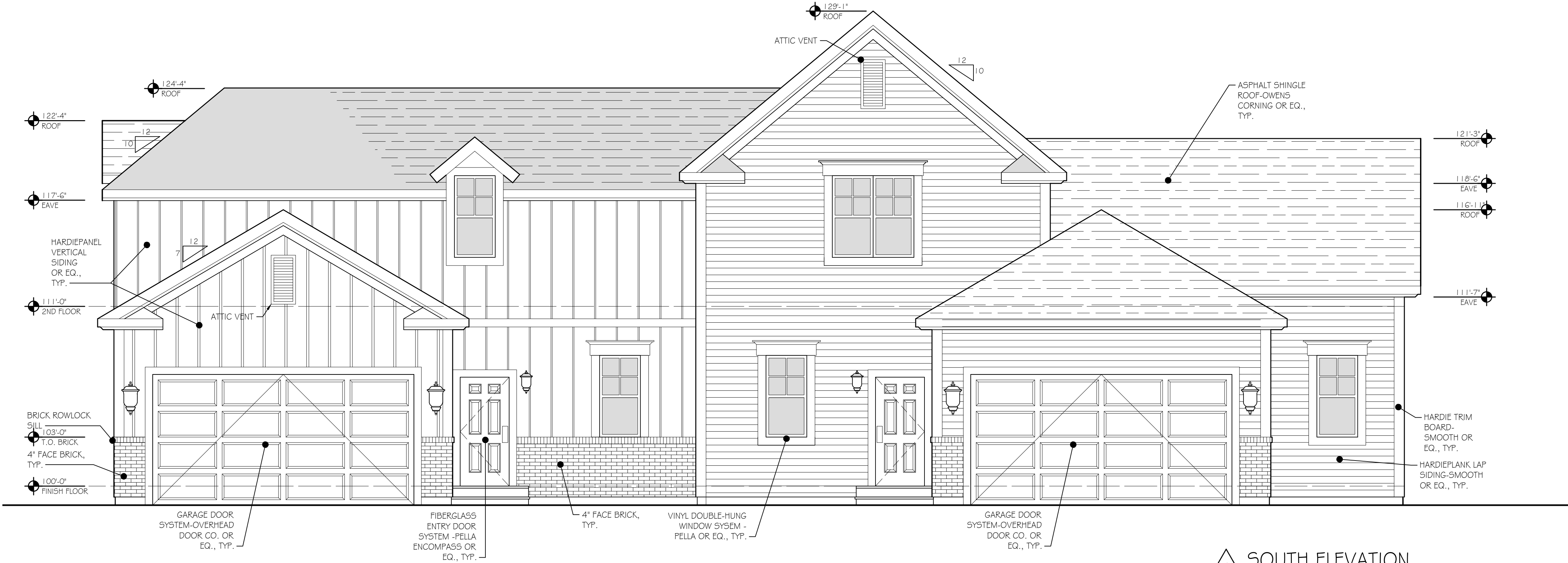
A3.11



EXTERIOR FINISH SCHEDULE				
MATERIAL	COLOR / FINISH	SIZE	MANUFACTURER	REMARKS
20 YEAR ARCHITECTURAL FIBERGLASS SHINGLE SYSTEM	DURATION SERIES, ESTATE GREY	TO BE SELECTED BY OWNER	OWENS CORNING OR APPROVED EQ.	
PRE-FINISHED METAL DOWNSPOUT SYSTEM AND PRECAST CONCRETE SPLASH BLOCK	TO BE SELECTED BY OWNER	2' x 3'	TO BE SELECTED BY OWNER	
PRE-FINISHED METAL GUTTER SYSTEM	TO BE SELECTED BY OWNER	5"	TO BE SELECTED BY OWNER	
RIDGE VENT	MATCH SHINGLES	MATCH SHINGLES	MATCH SHINGLES	
FIBER CEMENT TRIM BOARD SYSTEM	COLOR TO MATCH ARCTIC WHITE	SEE DRAWINGS SMOOTH FINISH	JAMES HARDIE OR APPROVED EQ.	
PRE-FINISHED ALUMINUM FASCIA AND SOFFIT SYSTEM	COLOR TO MATCH ARCTIC WHITE	SEE DRAWINGS	TO BE SELECTED BY OWNER	
FIBER CEMENT SIDING SYSTEM	SEE DRAWINGS	6" EXPOSURE (LAP SIDING)	JAMES HARDIE OR APPROVED EQ.	LAP SIDING - SMOOTH SHINGLE STYLE - STAGGERED EDGE VERTICAL SIDING-BOARD AND BATTEN
CULTURED STONE VENEER SIDING SYSTEM	TO BE SELECTED BY OWNER	TO BE SELECTED BY OWNER	PROVIA OR EQ.	
4" FACE BRICK	HOMETOWN SERIES- ALBANY	MODULAR (3 1/2 x 2 1/4 x 7 1/2)	GLEN GARY	
VINYL WINDOW SYSTEM	TO BE SELECTED BY OWNER	DOUBLE-HUNG; SEE DRAWINGS	PELLA OR EQ.	
FIBERGLASS ENTRY DOOR SYSTEM	TO BE SELECTED BY OWNER	SEE DRAWINGS	PELLA ENCOMPASS	
OVERHEAD GARAGE DOOR SYSTEM	TO BE SELECTED BY OWNER	8'-0"H X 16'-0"W	OVERHEAD DOOR CO. OR APPROVED EQ.	
PORCH/STAIR RAILING	VINYL, WHITE	36"H RAILING	WEATHERABLES OR EQ.	
CAST-IN-PLACE CONCRETE TERRACE	NATURAL	SEE DRAWINGS	-----	SEE SITE / CIVIL
CAST-IN-PLACE CONCRETE FOUNDATION	-----	-----	-----	
HOSE BIBB	TO BE SELECTED BY OWNER	SEE PLUMBING	TO BE SELECTED BY OWNER	SEE PLUMBING
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4 EAST ELEVATION  
1/4"= 1'-0"



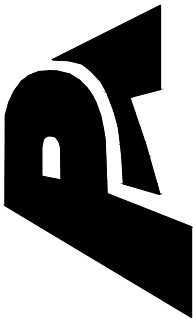
3 SOUTH ELEVATION  
1/4"= 1'-0"

MEWS AT ZION  
1033 I Sawmill Road  
Powell, OH

PRELIMINARY  
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DAVID PONTIA, #9310464  
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ARCHITECTURE  
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SHEET TITLE

BUILDING ELEVATIONS  
BUILDING-001

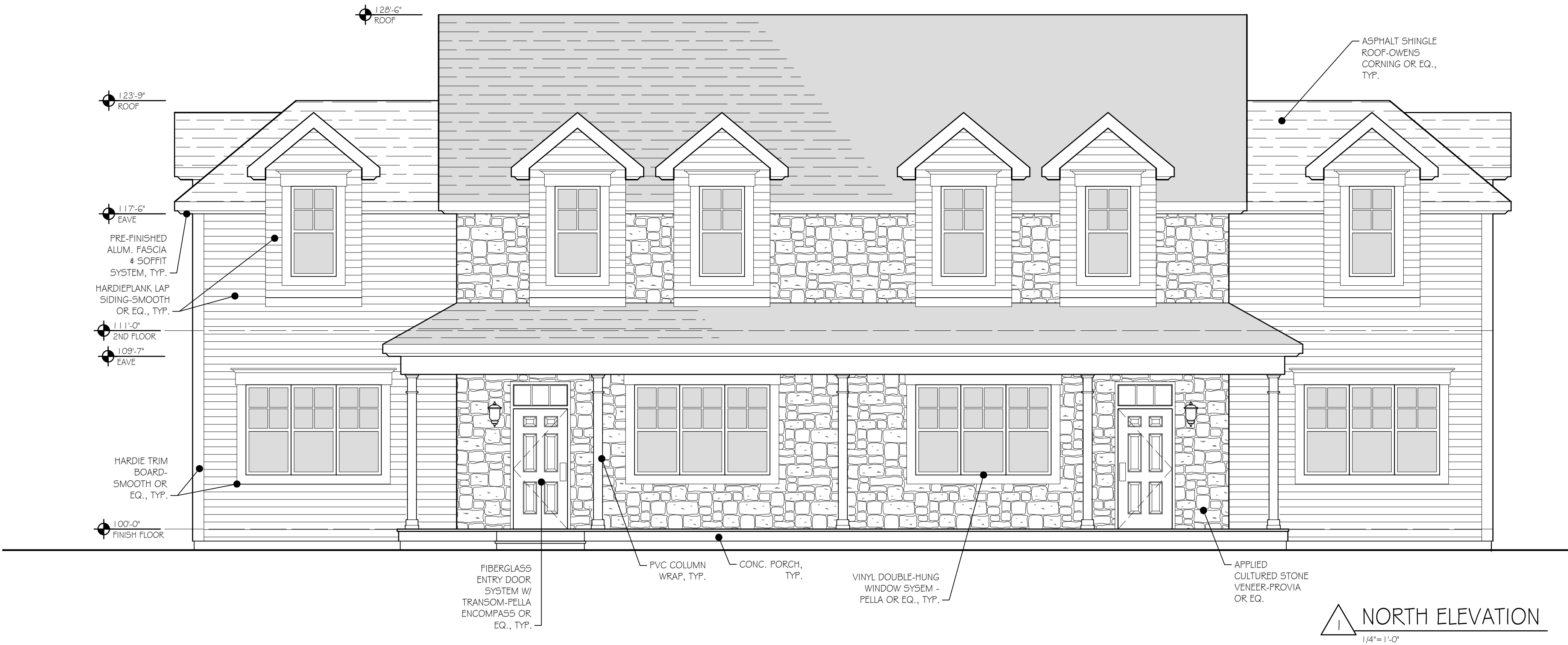
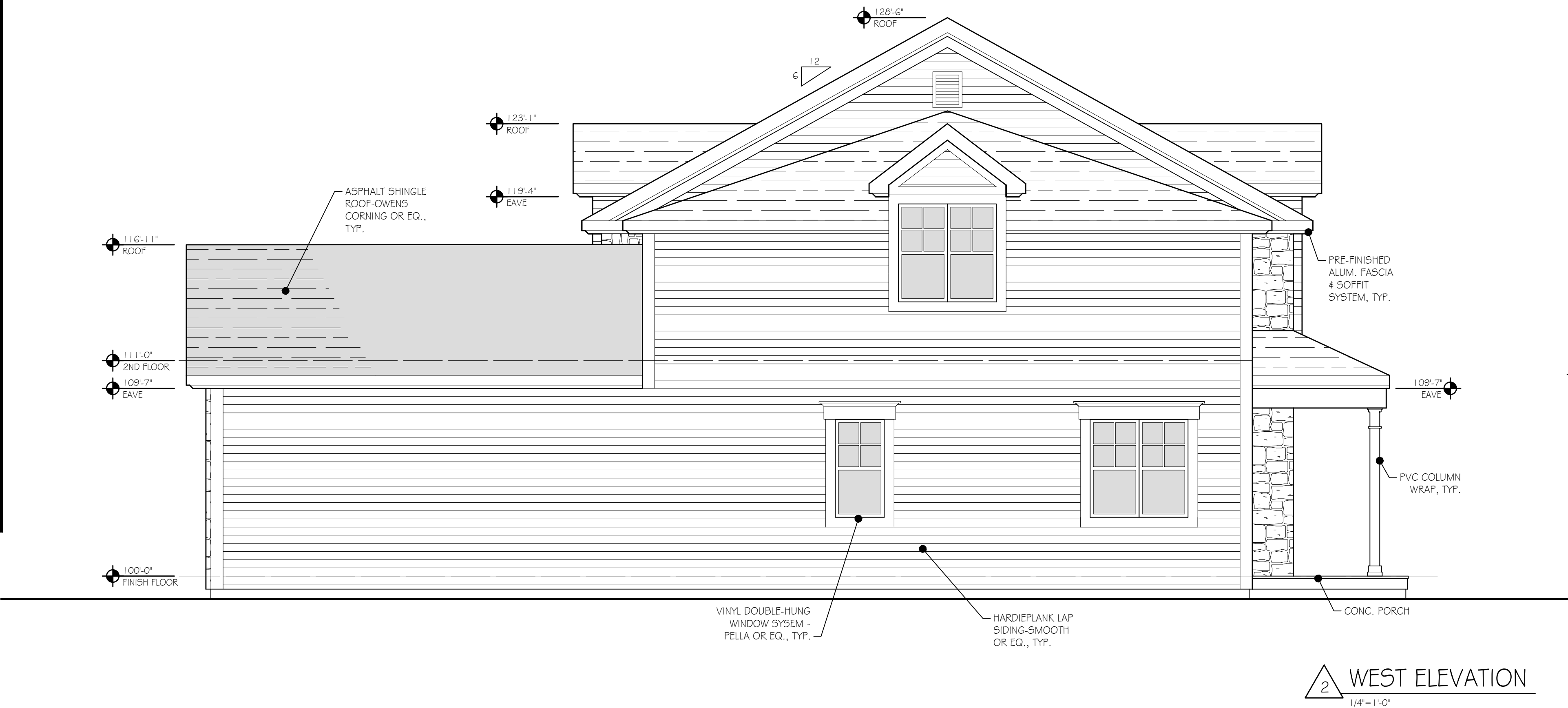
SHEET INFORMATION

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SHEET NUMBER

A3.12

EXTERIOR FINISH SCHEDULE					
	MATERIAL	COLOR / FINISH	SIZE	MANUFACTURER	REMARKS
	20 YEAR ARCHITECTURAL FIBERGLASS SHINGLE SYSTEM	DURATION SERIES, ESTATE GREY	TO BE SELECTED BY OWNER	OWENS CORNING OR APPROVED EQ.	
	PRE-FINISHED METAL DOWNSPOUT SYSTEM AND PRECAST CONCRETE SPLASH BLOCK	TO BE SELECTED BY OWNER	2" x 3"	TO BE SELECTED BY OWNER	
	PRE-FINISHED METAL GUTTER SYSTEM	TO BE SELECTED BY OWNER	5"	TO BE SELECTED BY OWNER	
	RIDGE VENT	MATCH SHINGLES	MATCH SHINGLES	MATCH SHINGLES	
	FIBER CEMENT TRIM BOARD SYSTEM	COLOR TO MATCH ARCTIC WHITE	SEE DRAWINGS SMOOTH FINISH	JAMES HARDIE OR APPROVED EQ.	
	PRE-FINISHED ALUMINUM FASCIA AND SOFFIT SYSTEM	COLOR TO MATCH ARCTIC WHITE	SEE DRAWINGS	TO BE SELECTED BY OWNER	
	FIBER CEMENT SIDING SYSTEM	SEE DRAWINGS	6" EXPOSURE (LAP SIDING)	JAMES HARDIE OR APPROVED EQ.	LAP SIDING - SMOOTH SHINGLE STYLE - STAGGERED EDGE VERTICAL SIDING-BOARD AND BATTEN
	CULTURED STONE VENEER SIDING SYSTEM	TO BE SELECTED BY OWNER	TO BE SELECTED BY OWNER	PROVIA OR EQ.	
	4" FACE BRICK	HOMETOWN SERIES- ALBANY	MODULAR (3 1/2 x 2 1/4 x 7 1/2)	GLEN GARY	
	VINYL WINDOW SYSTEM	TO BE SELECTED BY OWNER	DOUBLE-HUNG; SEE DRAWINGS	PELLA OR EQ.	
	FIBERGLASS ENTRY DOOR SYSTEM	TO BE SELECTED BY OWNER	SEE DRAWINGS	PELLA ENCOMPASS	
	OVERHEAD GARAGE DOOR SYSTEM	TO BE SELECTED BY OWNER	8'-0"H X 16'-0"W	OVERHEAD DOOR CO. OR APPROVED EQ.	
	PORCH/STAIR RAILING	VINYL, WHITE	36"R RAILING	WEATHERABLES OR EQ.	
	CAST-IN-PLACE CONCRETE TERRACE	NATURAL	SEE DRAWINGS	-----	SEE SITE / CIVIL
	CAST-IN-PLACE CONCRETE FOUNDATION	-----	-----	-----	
	HOSE BIBB	TO BE SELECTED BY OWNER	SEE PLUMBING	TO BE SELECTED BY OWNER	SEE PLUMBING
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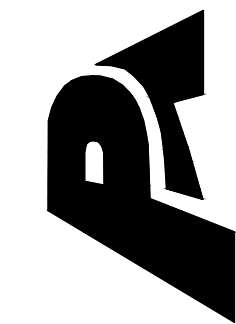


MEWS AT ZION  
1033 I Sawmill Road  
Powell, OH

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DAVID PONTIA, #9310464  
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ARCHITECTURE  
39 E. Main Street, Suite 101  
New Albany, Ohio 43054  
614-245-6273



SHEET TITLE

BUILDING ELEVATIONS  
BUILDING-002

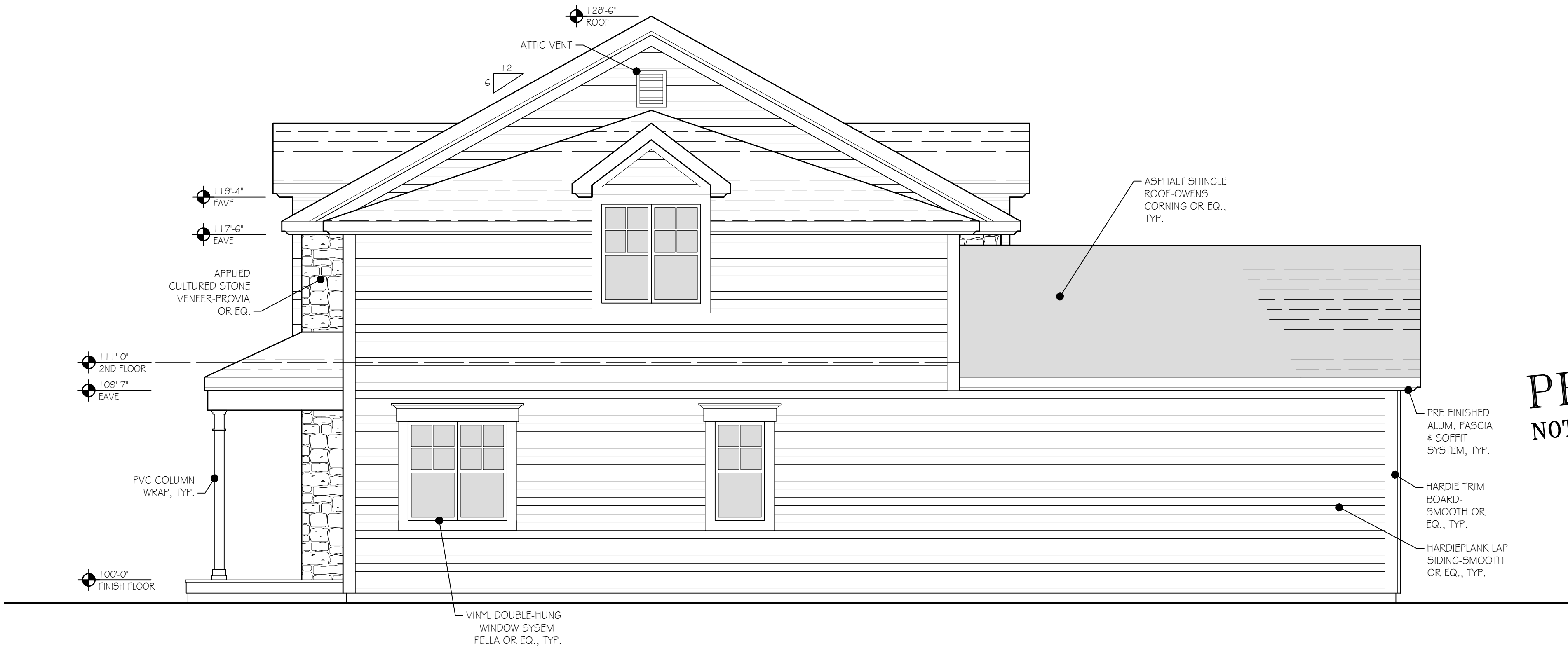
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REVISIONS

SHEET NUMBER

A3.21

EXTERIOR FINISH SCHEDULE					
	MATERIAL	COLOR / FINISH	SIZE	MANUFACTURER	REMARKS
	20 YEAR ARCHITECTURAL FIBERGLASS SHINGLE SYSTEM	DURATION SERIES, ESTATE GREY	TO BE SELECTED BY OWNER	OWENS CORNING OR APPROVED EQ.	
	PRE-FINISHED METAL DOWNSPOUT SYSTEM AND PRECAST CONCRETE SPLASH BLOCK	TO BE SELECTED BY OWNER	2' x 3'	TO BE SELECTED BY OWNER	
	PRE-FINISHED METAL GUTTER SYSTEM	TO BE SELECTED BY OWNER	5"	TO BE SELECTED BY OWNER	
	RIDGE VENT	MATCH SHINGLES	MATCH SHINGLES	MATCH SHINGLES	
	FIBER CEMENT TRIM BOARD SYSTEM	COLOR TO MATCH ARCTIC WHITE	SEE DRAWINGS SMOOTH FINISH	JAMES HARDIE OR APPROVED EQ.	
	PRE-FINISHED ALUMINUM FASCIA AND SOFFIT SYSTEM	COLOR TO MATCH ARCTIC WHITE	SEE DRAWINGS	TO BE SELECTED BY OWNER	
	FIBER CEMENT SIDING SYSTEM	SEE DRAWINGS	6" EXPOSURE (LAP SIDING)	JAMES HARDIE OR APPROVED EQ.	LAP SIDING - SMOOTH SHINGLE STYLE - STAGGERED EDGE VERTICAL SIDING-BOARD AND BATTEN
	CULTURED STONE VENEER SIDING SYSTEM	TO BE SELECTED BY OWNER	TO BE SELECTED BY OWNER	PROVIA OR EQ.	
	4" FACE BRICK	HOMETOWN SERIES- ALBANY	MODULAR (3 1/2 x 2 1/4 x 7 1/2)	GLEN GARY	
	VINYL WINDOW SYSTEM	TO BE SELECTED BY OWNER	DOUBLE-HUNG; SEE DRAWINGS	PELLA OR EQ.	
	FIBERGLASS ENTRY DOOR SYSTEM	TO BE SELECTED BY OWNER	SEE DRAWINGS	PELLA ENCOMPASS	
	OVERHEAD GARAGE DOOR SYSTEM	TO BE SELECTED BY OWNER	8'-0"H X 16'-0"W	OVERHEAD DOOR CO. OR APPROVED EQ.	
	PORCH/STAIR RAILING	VINYL, WHITE	36"R RAILING	WEATHERABLES OR EQ.	
	CAST-IN-PLACE CONCRETE TERRACE	NATURAL	SEE DRAWINGS	-----	SEE SITE / CIVIL
	CAST-IN-PLACE CONCRETE FOUNDATION	-----	-----	-----	
	HOSE BIBB	TO BE SELECTED BY OWNER	SEE PLUMBING	TO BE SELECTED BY OWNER	SEE PLUMBING
GENERAL NOTES: 1. SUBMITTALS OF ALL COLOR SAMPLES AND MOCK-UPS TO DESIGN ARCHITECT FOR APPROVAL IS AT THE DISCRETION OF OWNER. 2. ALL DETAILS SHOWN BY DESIGN ARCHITECT ARE FOR DESIGN INTENT ONLY. 3. SCHEDULED PRODUCTS & FINISHES ARE BASIS OF DESIGN FOR THE WORK. ALTERNATE PRODUCTS THAT MEET PERFORMANCE AND AESTHETIC REQUIREMENTS OF SCHEDULED PRODUCTS ARE SUBJECT TO REVIEW & APPROVAL BY OWNER AND ARCHITECT.					



4 EAST ELEVATION  
1/4"= 1'-0"



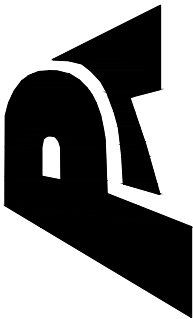
3 SOUTH ELEVATION  
1/4"= 1'-0"

MEWS AT ZION  
1033 I Sawmill Road  
Powell, OH

PRELIMINARY  
NOT FOR CONSTRUCTION

DAVID PONTIA, #9310464  
EXPIRATION DATE 12/31/2019

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SHEET TITLE

BUILDING ELEVATIONS  
BUILDING-002

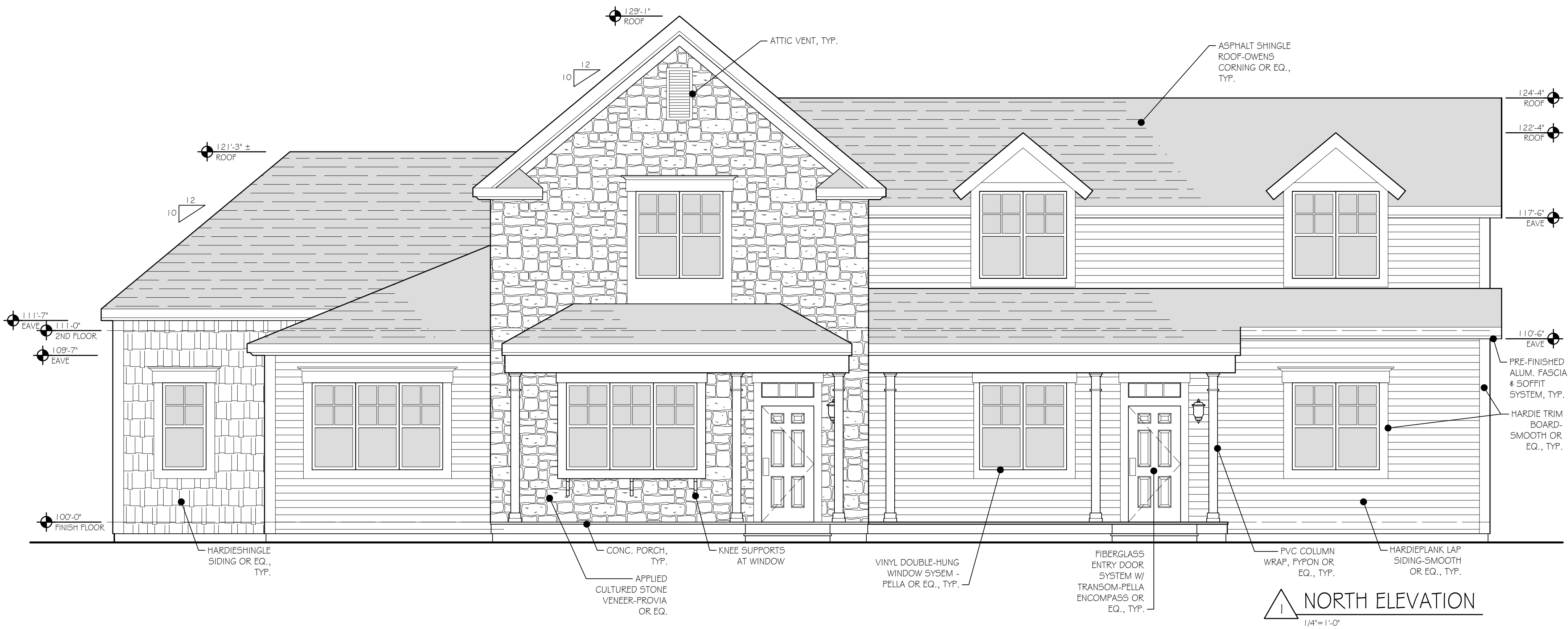
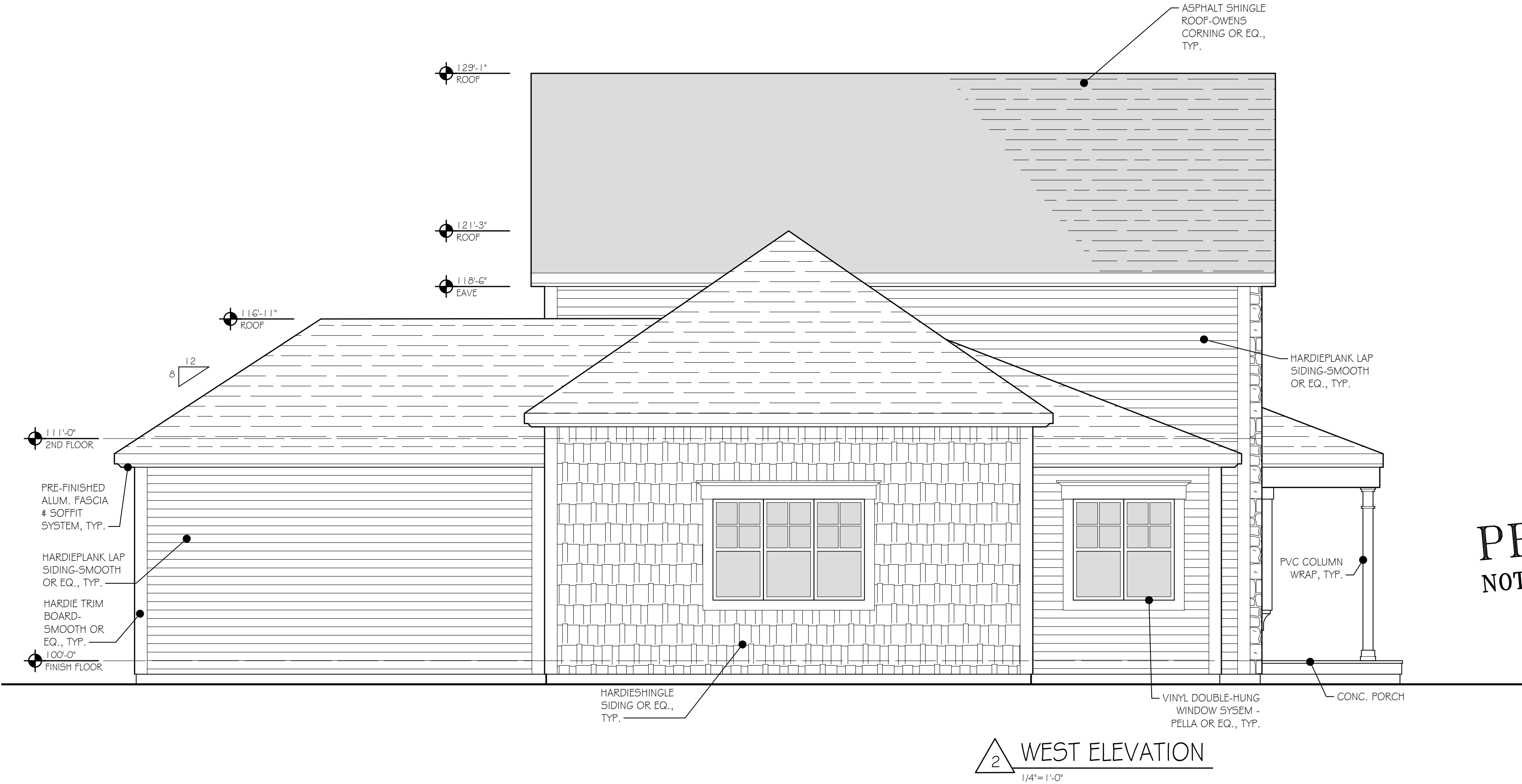
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SHEET NUMBER

A3.22

EXTERIOR FINISH SCHEDULE					
	MATERIAL	COLOR / FINISH	SIZE	MANUFACTURER	REMARKS
	20 YEAR ARCHITECTURAL FIBERGLASS SHINGLE SYSTEM	DURATION SERIES, ESTATE GREY	TO BE SELECTED BY OWNER	OWENS CORNING OR APPROVED EQ.	
	PRE-FINISHED METAL DOWNSPOUT SYSTEM AND PRECAST CONCRETE SPLASH BLOCK	TO BE SELECTED BY OWNER	2" x 3"	TO BE SELECTED BY OWNER	
	PRE-FINISHED METAL GUTTER SYSTEM	TO BE SELECTED BY OWNER	5"	TO BE SELECTED BY OWNER	
	RIDGE VENT	MATCH SHINGLES	MATCH SHINGLES	MATCH SHINGLES	
	FIBER CEMENT TRIM BOARD SYSTEM	COLOR TO MATCH ARCTIC WHITE	SEE DRAWINGS SMOOTH FINISH	JAMES HARDIE OR APPROVED EQ.	
	PRE-FINISHED ALUMINUM FASCIA AND SOFFIT SYSTEM	COLOR TO MATCH ARCTIC WHITE	SEE DRAWINGS	TO BE SELECTED BY OWNER	
	FIBER CEMENT SIDING SYSTEM	SEE DRAWINGS	6" EXPOSURE (LAP SIDING)	JAMES HARDIE OR APPROVED EQ.	LAP SIDING - SMOOTH SHINGLE STYLE - STAGGERED EDGE VERTICAL SIDING-BOARD AND BATTEN
	CULTURED STONE VENEER SIDING SYSTEM	TO BE SELECTED BY OWNER	TO BE SELECTED BY OWNER	PROVIA OR EQ.	
	4" FACE BRICK	HOMETOWN SERIES- ALBANY	MODULAR (3 1/2 x 2 1/4 x 7 1/2)	GLEN GARY	
	VINYL WINDOW SYSTEM	TO BE SELECTED BY OWNER	DOUBLE-HUNG; SEE DRAWINGS	PELLA OR EQ.	
	FIBERGLASS ENTRY DOOR SYSTEM	TO BE SELECTED BY OWNER	SEE DRAWINGS	PELLA ENCOMPASS	
	OVERHEAD GARAGE DOOR SYSTEM	TO BE SELECTED BY OWNER	8'-0"H X 16'-0"W	OVERHEAD DOOR CO. OR APPROVED EQ.	
	PORCH/STAIR RAILING	VINYL, WHITE	36" H RAILING	WEATHERABLES OR EQ.	
	CAST-IN-PLACE CONCRETE TERRACE	NATURAL	SEE DRAWINGS	-----	SEE SITE / CIVIL
	CAST-IN-PLACE CONCRETE FOUNDATION	-----	-----	-----	
	HOSE BIBB	TO BE SELECTED BY OWNER	SEE PLUMBING	TO BE SELECTED BY OWNER	SEE PLUMBING
GENERAL NOTES: 1. SUBMITTALS OF ALL COLOR SAMPLES AND MOCK-UPS TO DESIGN ARCHITECT FOR APPROVAL IS AT THE DISCRETION OF OWNER. 2. ALL DETAILS SHOWN BY DESIGN ARCHITECT ARE FOR DESIGN INTENT ONLY. 3. SCHEDULED PRODUCTS & FINISHES ARE BASIS OF DESIGN FOR THE WORK. ALTERNATE PRODUCTS THAT MEET PERFORMANCE AND AESTHETIC REQUIREMENTS OF SCHEDULED PRODUCTS ARE SUBJECT TO REVIEW & APPROVAL BY OWNER AND ARCHITECT.					

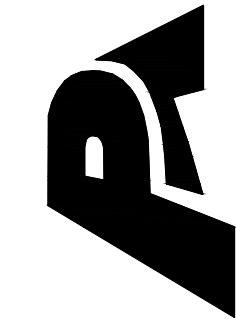


MEWS AT ZION  
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Powell, OH

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SHEET TITLE  
BUILDING ELEVATIONS  
BUILDING-003

SHEET INFORMATION  
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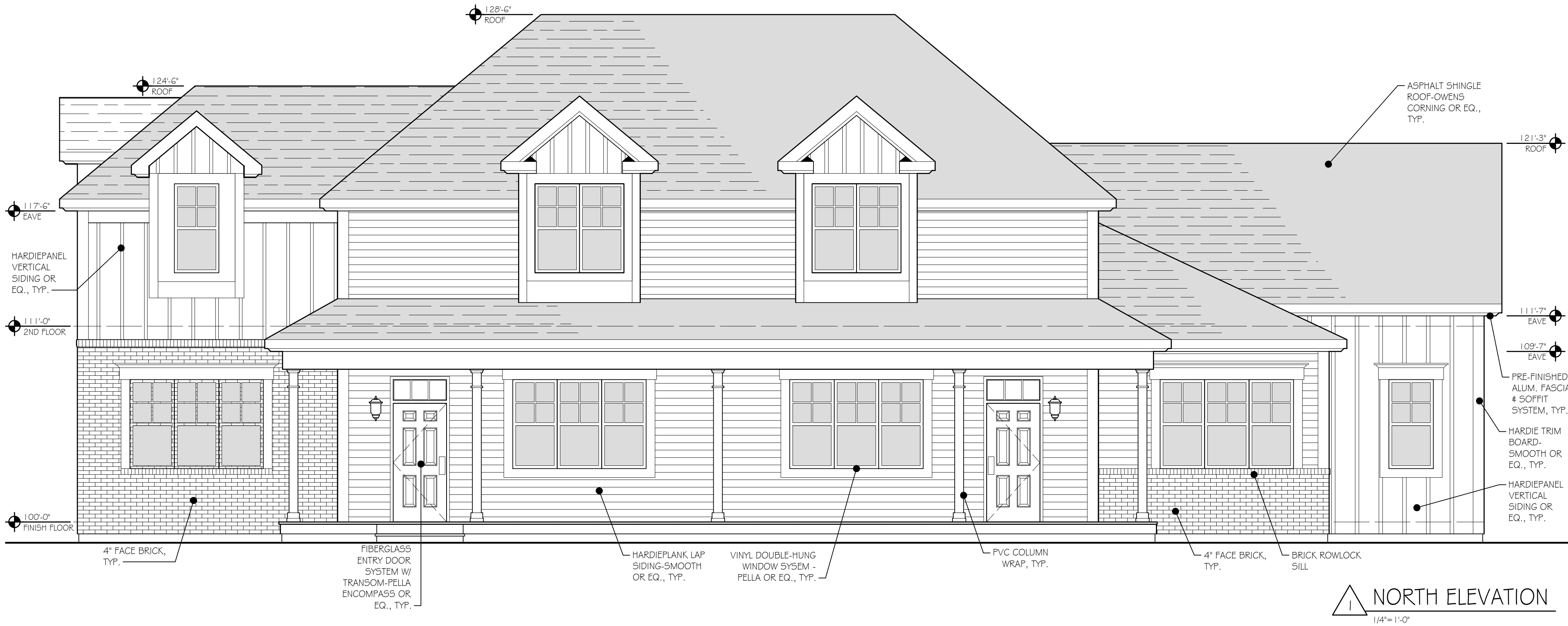
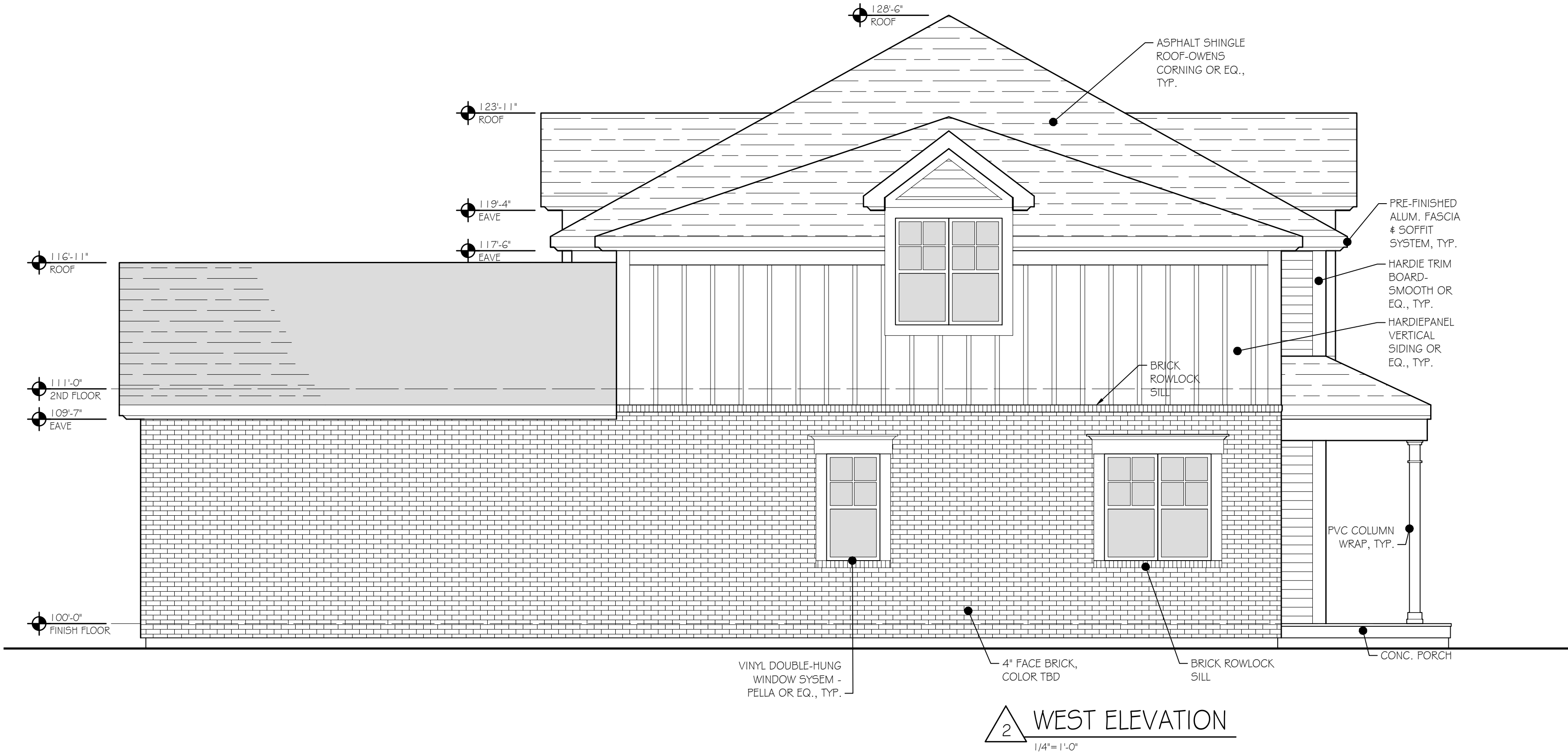
SHEET NUMBER

A3.31





EXTERIOR FINISH SCHEDULE					
	MATERIAL	COLOR / FINISH	SIZE	MANUFACTURER	REMARKS
	20 YEAR ARCHITECTURAL FIBERGLASS SHINGLE SYSTEM	DURATION SERIES, ESTATE GREY	TO BE SELECTED BY OWNER	OWENS CORNING OR APPROVED EQ.	
	PRE-FINISHED METAL DOWNSPOUT SYSTEM AND PRECAST CONCRETE SPLASH BLOCK	TO BE SELECTED BY OWNER	2' x 3'	TO BE SELECTED BY OWNER	
	PRE-FINISHED METAL GUTTER SYSTEM	TO BE SELECTED BY OWNER	5"	TO BE SELECTED BY OWNER	
	RIDGE VENT	MATCH SHINGLES	MATCH SHINGLES	MATCH SHINGLES	
	FIBER CEMENT TRIM BOARD SYSTEM	COLOR TO MATCH ARCTIC WHITE	SEE DRAWINGS SMOOTH FINISH	JAMES HARDIE OR APPROVED EQ.	
	PRE-FINISHED ALUMINUM FASCIA AND SOFFIT SYSTEM	COLOR TO MATCH ARCTIC WHITE	SEE DRAWINGS	TO BE SELECTED BY OWNER	
	FIBER CEMENT SIDING SYSTEM	SEE DRAWINGS	6" EXPOSURE (LAP SIDING)	JAMES HARDIE OR APPROVED EQ.	LAP SIDING - SMOOTH SHINGLE STYLE - STAGGERED EDGE VERTICAL SIDING-BOARD AND BATTEN
	CULTURED STONE VENEER SIDING SYSTEM	TO BE SELECTED BY OWNER	TO BE SELECTED BY OWNER	PROVIA OR EQ.	
	4" FACE BRICK	HOMETOWN SERIES- ALBANY	MODULAR (3 1/2 x 2 1/4 x 7 1/2)	GLEN GARY	
	VINYL WINDOW SYSTEM	TO BE SELECTED BY OWNER	DOUBLE-HUNG; SEE DRAWINGS	PELLA OR EQ.	
	FIBERGLASS ENTRY DOOR SYSTEM	TO BE SELECTED BY OWNER	SEE DRAWINGS	PELLA ENCOMPASS	
	OVERHEAD GARAGE DOOR SYSTEM	TO BE SELECTED BY OWNER	8'-0"H X 11'-6"W	OVERHEAD DOOR CO. OR APPROVED EQ.	
	PORCH/STAIR RAILING	VINYL, WHITE	36"TH RAILING	WEATHERABLES OR EQ.	
	CAST-IN-PLACE CONCRETE TERRACE	NATURAL	SEE DRAWINGS	-----	SEE SITE / CIVIL
	CAST-IN-PLACE CONCRETE FOUNDATION	-----	-----	-----	
	HOSE BIBB	TO BE SELECTED BY OWNER	SEE PLUMBING	TO BE SELECTED BY OWNER	SEE PLUMBING
GENERAL NOTES: 1. SUBMITTALS OF ALL COLOR SAMPLES AND MOCK-UPS TO DESIGN ARCHITECT FOR APPROVAL IS AT THE DISCRETION OF OWNER. 2. ALL DETAILS SHOWN BY DESIGN ARCHITECT ARE FOR DESIGN INTENT ONLY. 3. SCHEDULED PRODUCTS & FINISHES ARE BASIS OF DESIGN FOR THE WORK. ALTERNATE PRODUCTS THAT MEET PERFORMANCE AND AESTHETIC REQUIREMENTS OF SCHEDULED PRODUCTS ARE SUBJECT TO REVIEW & APPROVAL BY OWNER AND ARCHITECT.					

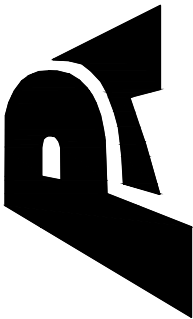


MEWS AT ZION  
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SHEET TITLE

BUILDING ELEVATIONS  
BUILDING-004

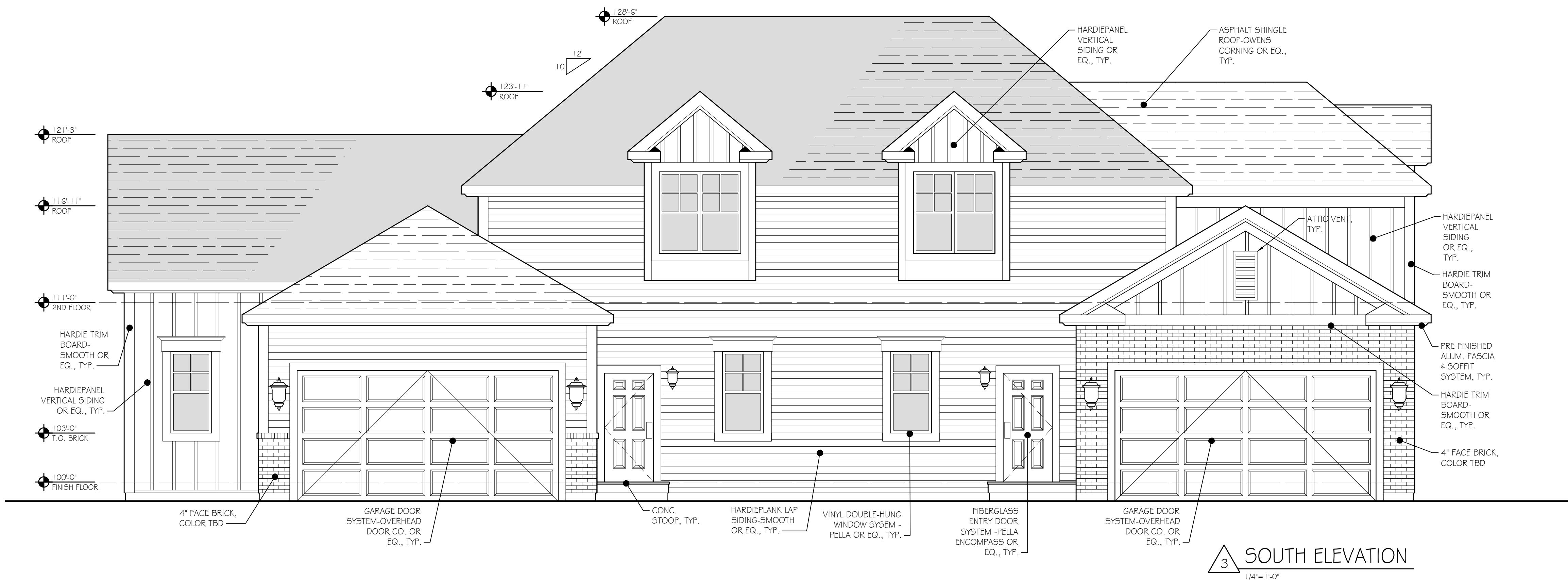
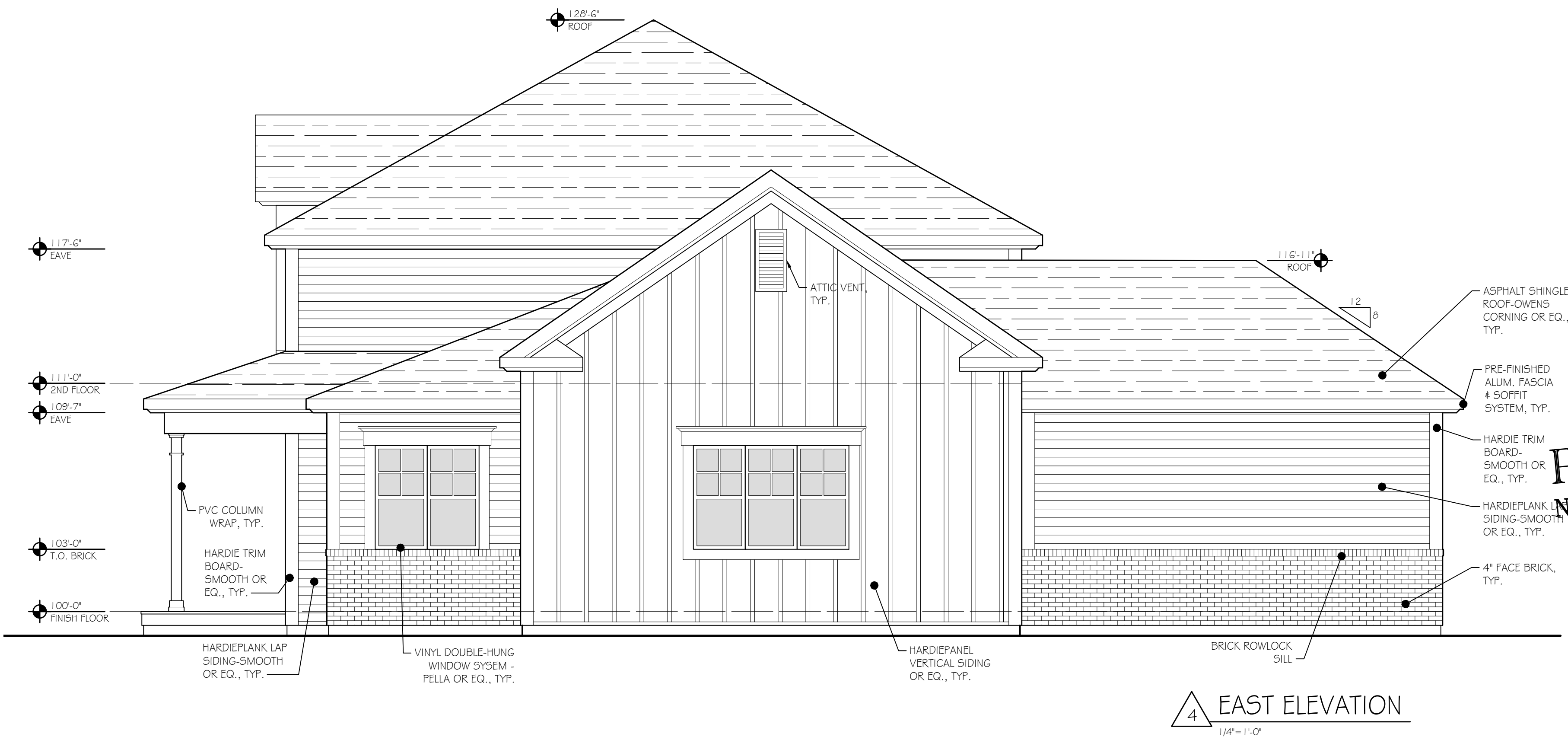
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SHEET NUMBER

A3.41

EXTERIOR FINISH SCHEDULE				
MATERIAL	COLOR / FINISH	SIZE	MANUFACTURER	REMARKS
20 YEAR ARCHITECTURAL FIBERGLASS SHINGLE SYSTEM	DURATION SERIES, ESTATE GREY	TO BE SELECTED BY OWNER	OWENS CORNING OR APPROVED EQ.	
PRE-FINISHED METAL DOWNSPOUT SYSTEM AND PRECAST CONCRETE SPLASH BLOCK	TO BE SELECTED BY OWNER	2" x 3"	TO BE SELECTED BY OWNER	
PRE-FINISHED METAL GUTTER SYSTEM	TO BE SELECTED BY OWNER	5"	TO BE SELECTED BY OWNER	
RIDGE VENT	MATCH SHINGLES	MATCH SHINGLES	MATCH SHINGLES	
FIBER CEMENT TRIM BOARD SYSTEM	COLOR TO MATCH ARCTIC WHITE	SEE DRAWINGS SMOOTH FINISH	JAMES HARDIE OR APPROVED EQ.	
PRE-FINISHED ALUMINUM FASCIA AND SOFFIT SYSTEM	COLOR TO MATCH ARCTIC WHITE	SEE DRAWINGS	TO BE SELECTED BY OWNER	
FIBER CEMENT SIDING SYSTEM	SEE DRAWINGS	6" EXPOSURE (LAP SIDING)	JAMES HARDIE OR APPROVED EQ.	LAP SIDING - SMOOTH SHINGLE STYLE - STAGGERED EDGE VERTICAL SIDING-BOARD AND BATTEN
CULTURED STONE VENEER SIDING SYSTEM	TO BE SELECTED BY OWNER	TO BE SELECTED BY OWNER	PROVIA OR EQ.	
4" FACE BRICK	HOMETOWN SERIES: ALBANY	MODULAR (3 1/2 x 2 1/4 x 7 1/2)	GLEN GARY	
VINYL WINDOW SYSTEM	TO BE SELECTED BY OWNER	DOUBLE-HUNG; SEE DRAWINGS	PELLA OR EQ.	
FIBERGLASS ENTRY DOOR SYSTEM	TO BE SELECTED BY OWNER	SEE DRAWINGS	PELLA ENCOMPASS	
OVERHEAD GARAGE DOOR SYSTEM	TO BE SELECTED BY OWNER	8'-0"H X 16'-0"W	OVERHEAD DOOR CO. OR APPROVED EQ.	
PORCH/STAIR RAILING	VINYL, WHITE	36"TH RAILING	WEATHERABLES OR EQ.	
CAST-IN-PLACE CONCRETE TERRACE	NATURAL	SEE DRAWINGS	-----	SEE SITE / CIVIL
CAST-IN-PLACE CONCRETE FOUNDATION	-----	-----	-----	
HOSE BIBB	TO BE SELECTED BY OWNER	SEE PLUMBING	TO BE SELECTED BY OWNER	SEE PLUMBING
GENERAL NOTES: 1. SUBMITTALS OF ALL COLOR SAMPLES AND MOCK-UPS TO DESIGN ARCHITECT FOR APPROVAL IS AT THE DISCRETION OF OWNER. 2. ALL DETAILS SHOWN BY DESIGN ARCHITECT ARE FOR DESIGN INTENT ONLY. 3. SCHEDULED PRODUCTS & FINISHES ARE BASIS OF DESIGN FOR THE WORK. ALTERNATE PRODUCTS THAT MEET PERFORMANCE AND AESTHETIC REQUIREMENTS OF SCHEDULED PRODUCTS ARE SUBJECT TO REVIEW & APPROVAL BY OWNER AND ARCHITECT.				

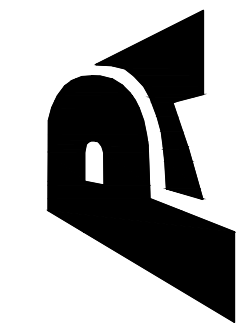


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SHEET TITLE  
BUILDING ELEVATIONS  
BUILDING-004

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