



SHYFT
COLLECTIVE



PROPOSED SCOPE GENERAL



- INTERIOR RENOVATION & EXPANSION OF **EXISTING COMMERCIAL RETAIL USE BUILDING** LOCATED AT 41 DEPOT STREET.
- PROPOSED IMPROVEMENTS WILL SUPPORT **NOCTERRA BREWING COMPANY** BECOMING THE PRIMARY TENANT AND USING THE BUILDING FOR THEIR **BREWING OPERATIONS** AS WELL AS A **TAP ROOM**



PREVIOUS CONCERNS



1. HDAC REVIEW 11/16/2017

- SPECIFY **FENCE TYPE** AND LOCATION FOR OUTDOOR SEATING AREA
- SPECIFY AND SHOW PROPER **GARAGE DOOR AND WINDOW** ADDITIONS
- ENSURE THE **CUPOLA** IS THE PROPER SCALE AND DESIGN FOR BUILDING

2. NUMBER OF PROPOSED **SEATS, PARKING AND TOILET CALCULATIONS**

3. PROPOSED **SIGNAGE AND LIGHTING** DESIGN



EXISTING CONDITIONS

LOCATION





EXISTING CONDITIONS PHOTOGRAPHS



VIEW FROM NORTHWEST



SERVICE YARD FROM NORTH



VIEW FROM NORTHEAST



VIEW FROM SOUTHWEST



SERVICE YARD FROM SOUTH

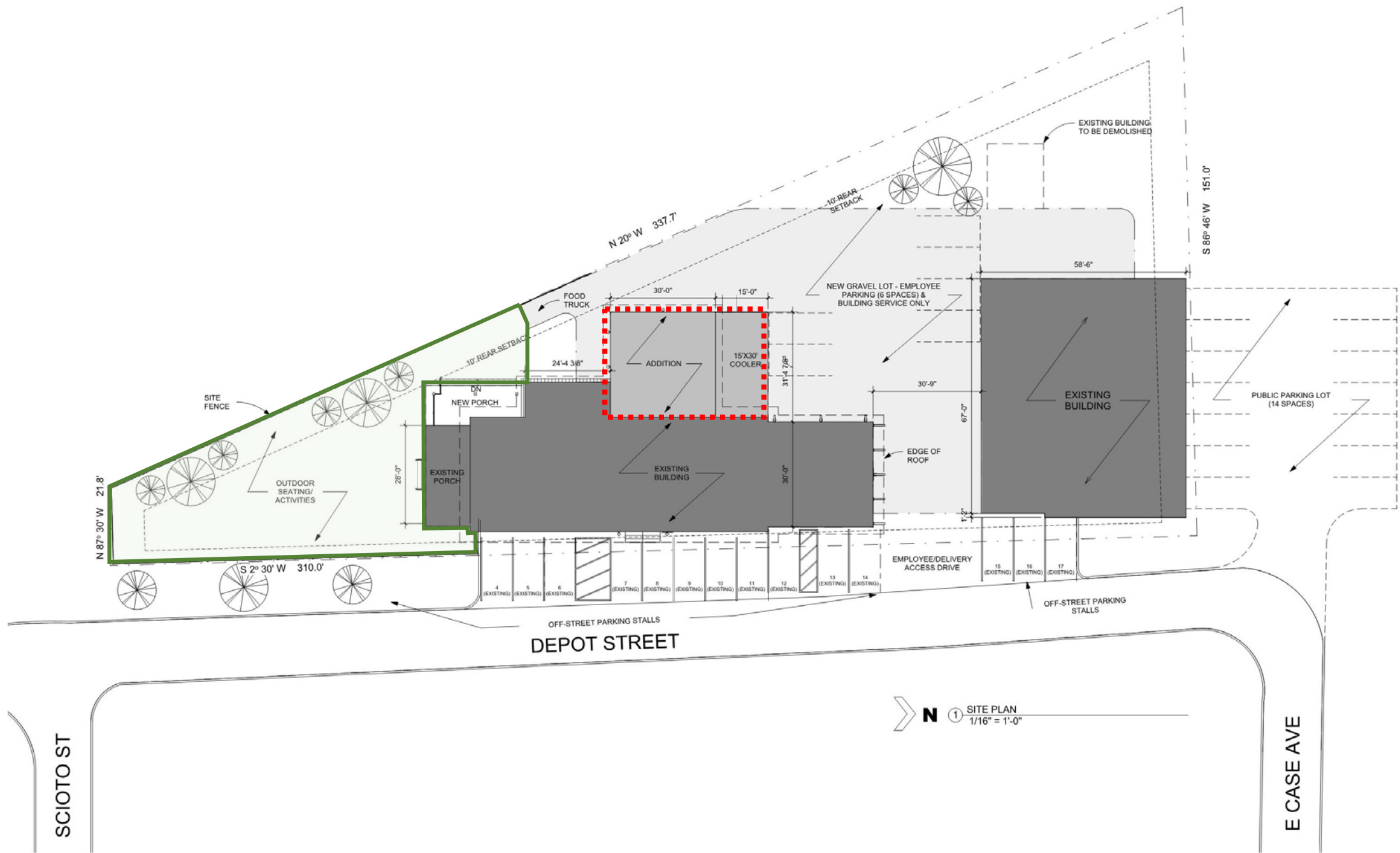


VIEW FROM SOUTHEAST



PROPOSED SCOPE

SITE PLAN



EXISTING BUILDING



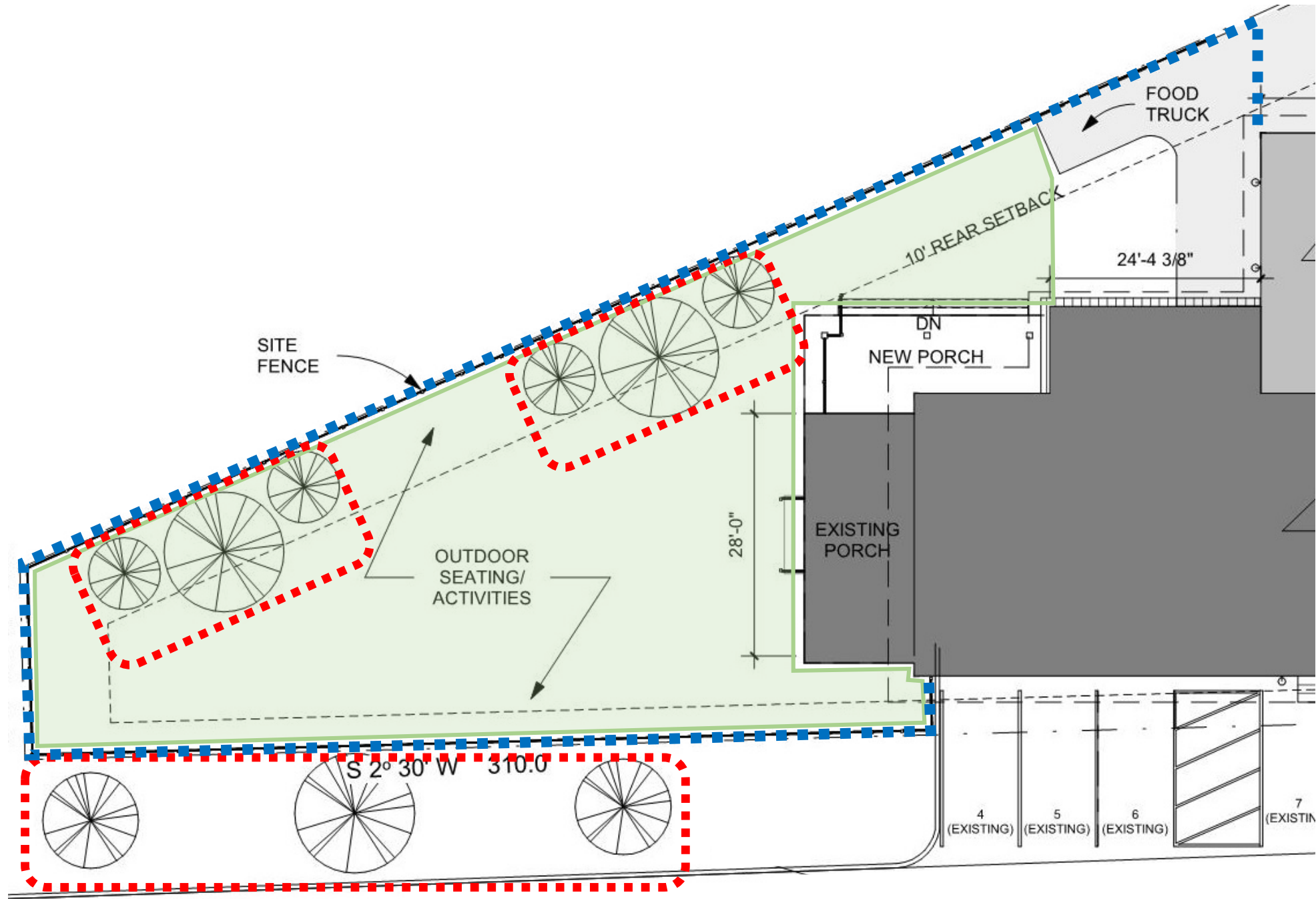
ADDITION (1,350 SF)



**OUTDOOR SEATING
& ACTIVITY SPACE**



OUTDOOR SEATING SITE PLAN



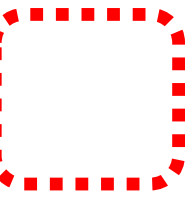
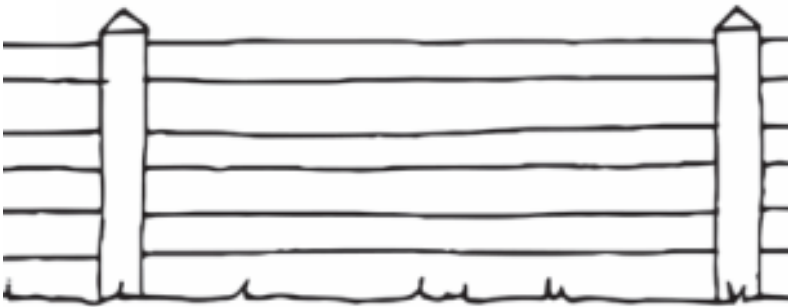
EXISTING BUILDING



**OUTDOOR SEATING
& ACTIVITY SPACE**



**EXTENTS OF WHITE
POST & BOARD FENCE**



**PINE & SPRUCE TREES
WITH ORNAMENTAL
GRASS INFILL**



PROPOSED SCOPE LANDSCAPE SPECIES



BLUE SPRUCE



WHITE PINE



INDIAN GRASS



LITTLE BLUESTEM



PROPOSED SCOPE BUILDING IMPROVEMENTS



Prefabricated cupola,
metal roof to match porch

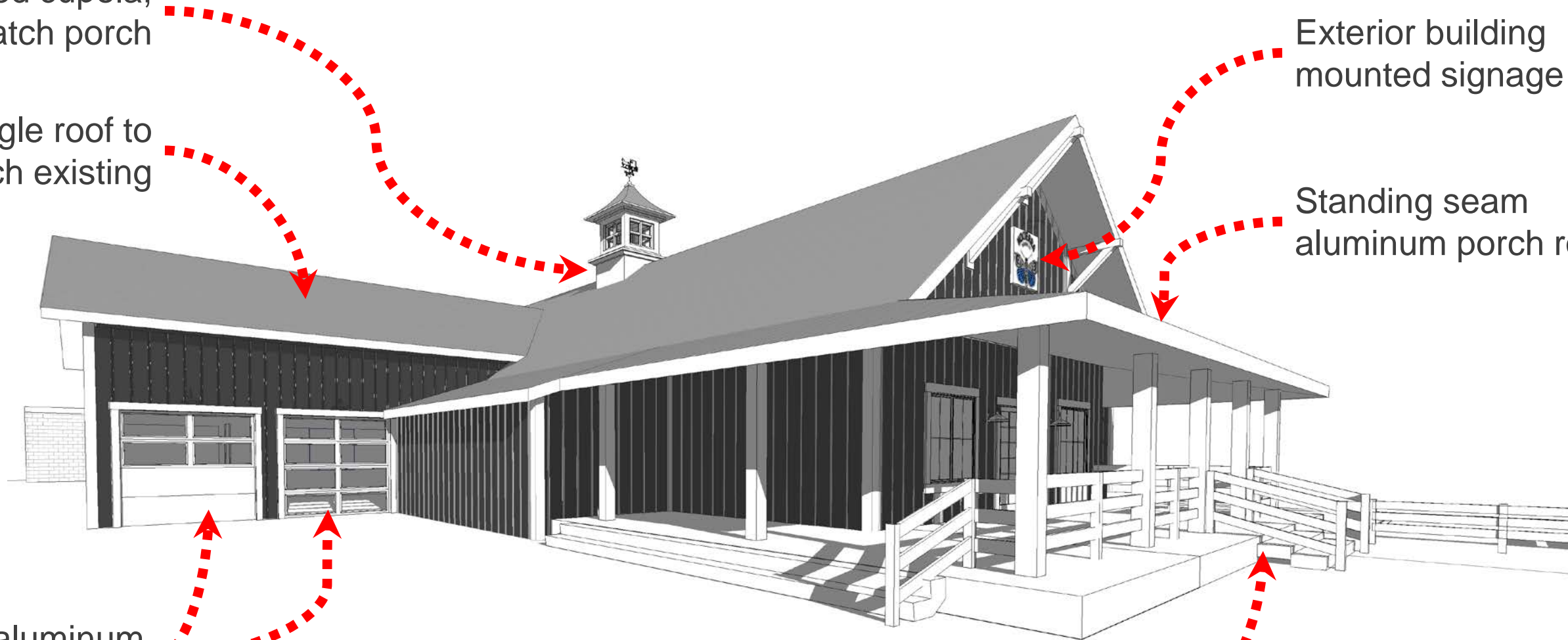
Asphalt shingle roof to
match existing

Exterior building
mounted signage

Standing seam
aluminum porch roof

Prefinished aluminum
and glass garage doors

Painted wood porch stairs & railing,
post & board style to match fence





PROPOSED SCOPE SIDING & TRIM COLORS



SW 6258
Tricorn Black
Interior / Exterior
Locator Number: 251-C1



Exterior Siding Color:
Sherwin Williams | Tricorn Black

SW 6995
Superwhite
Interior / Exterior



Exterior Trim Color:
Sherwin Williams | Super White

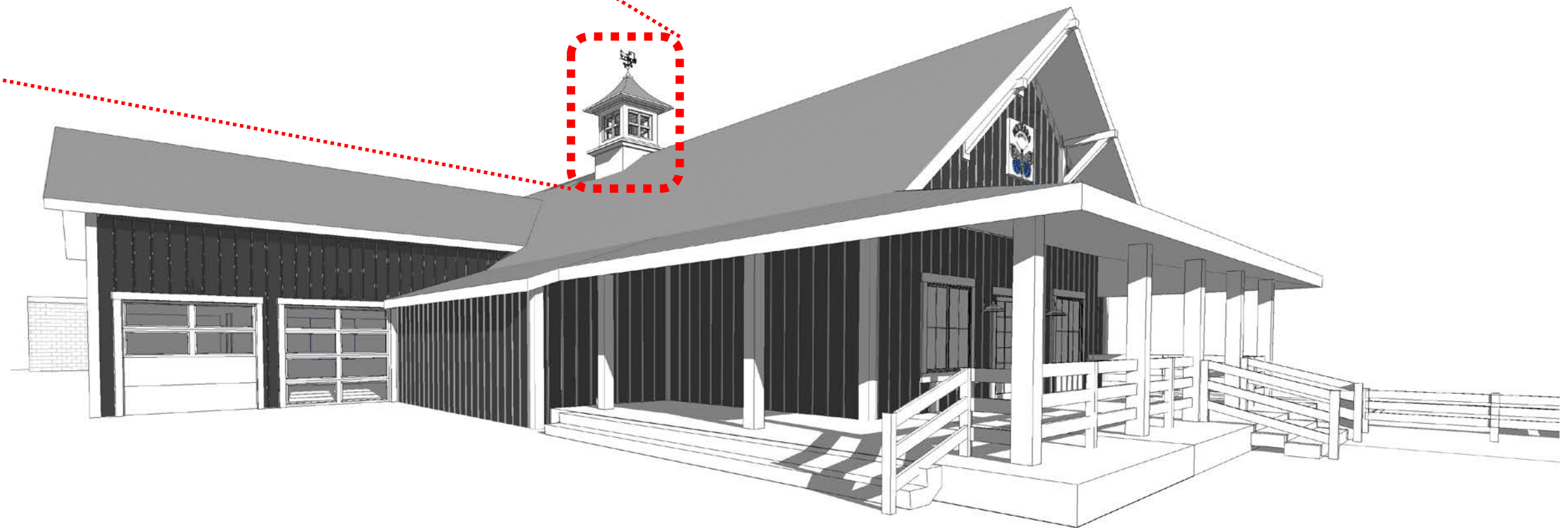


PROPOSED SCOPE

CUPOLA

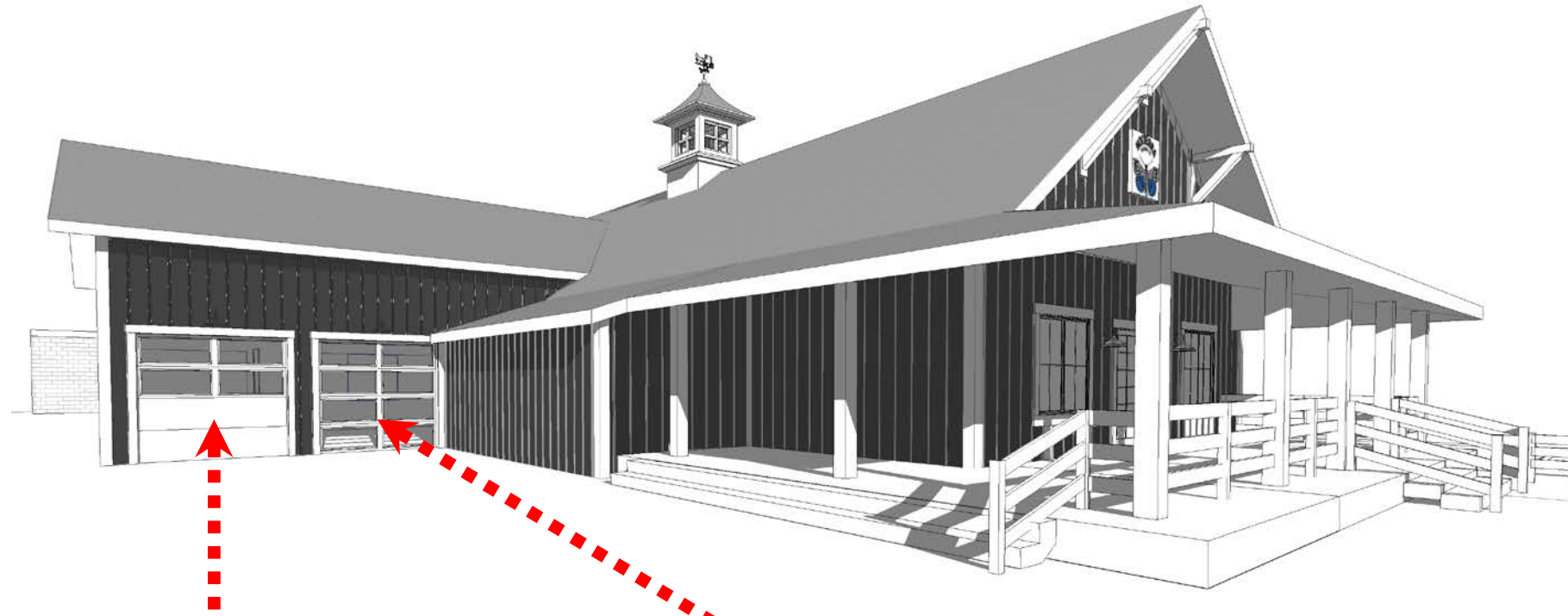


Prefabricated Cupola
Campbellsville Industries





PROPOSED SCOPE EXTERIOR GARAGE DOORS



Grainery OH Door
Half-Glass
Cloplay | Modern Steel



Brewery OH Door
All-Glass
Cloplay | Modern Steel

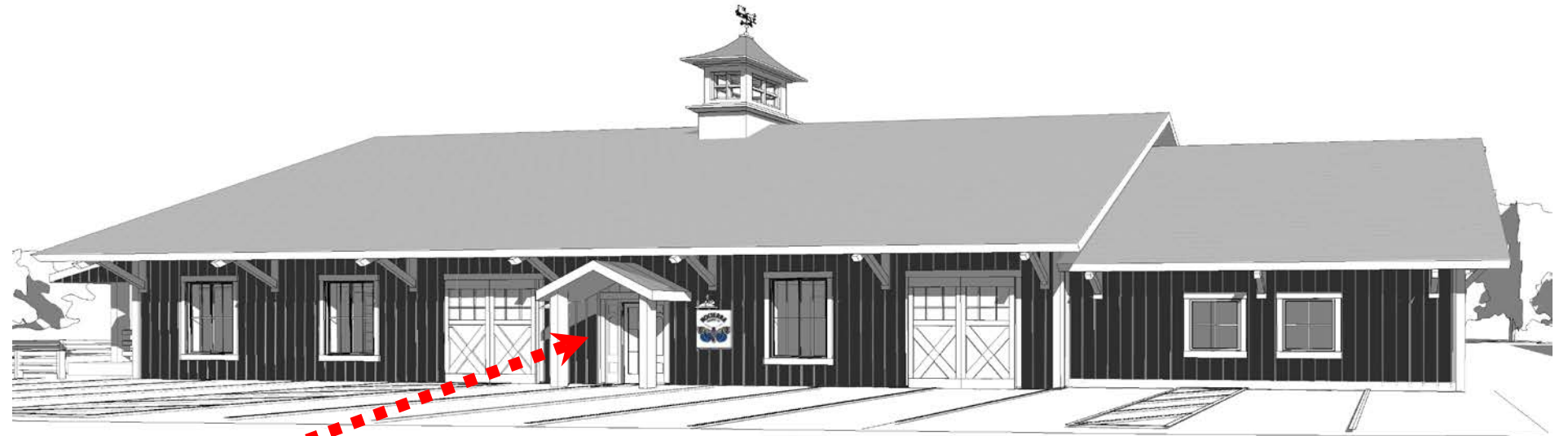




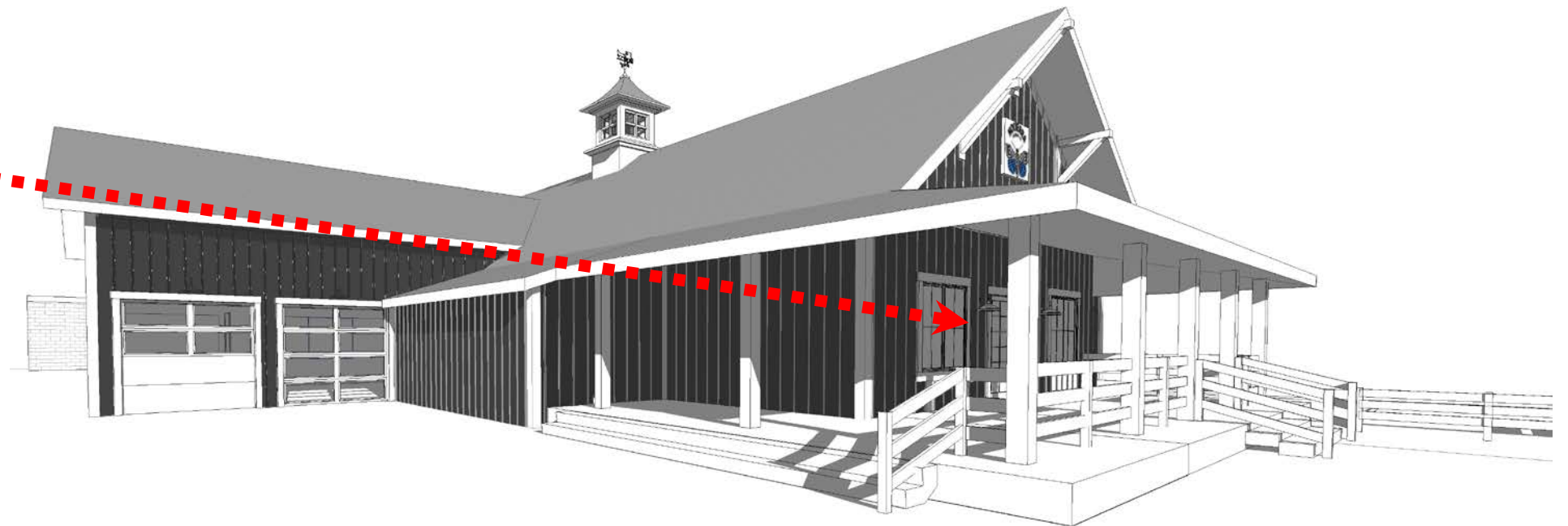
PROPOSED SCOPE EXTERIOR LIGHTING



Soffit Lighting Along Depot & Porch



**Exterior Accent Lighting
at Entries**





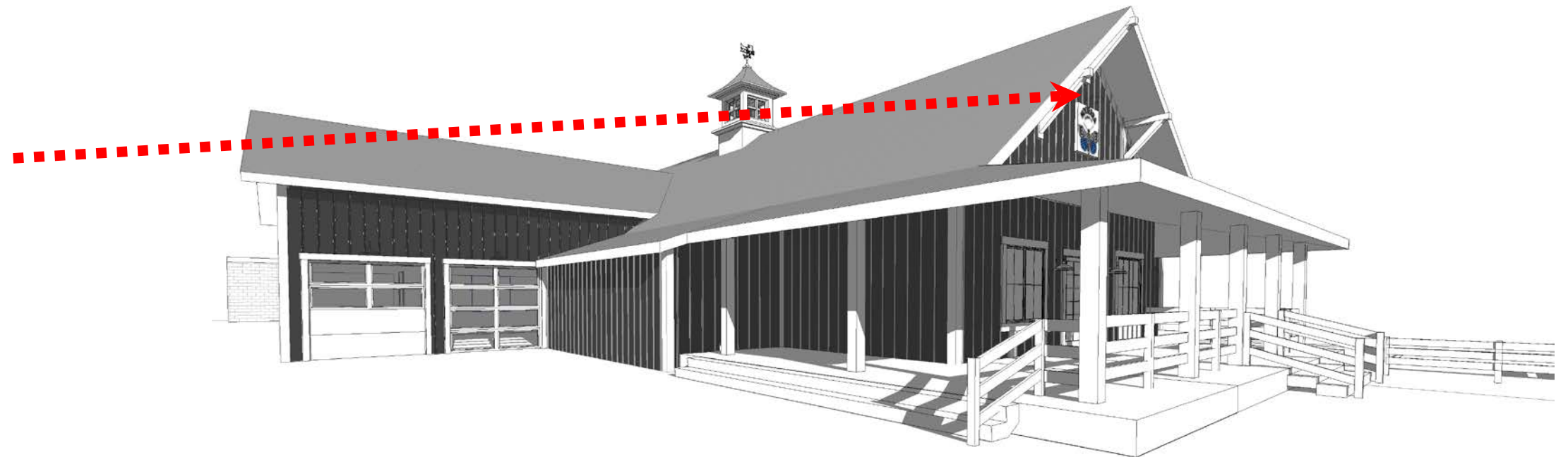
PROPOSED SCOPE EXTERIOR LIGHTING



Soffit Lighting Along Depot & Porch

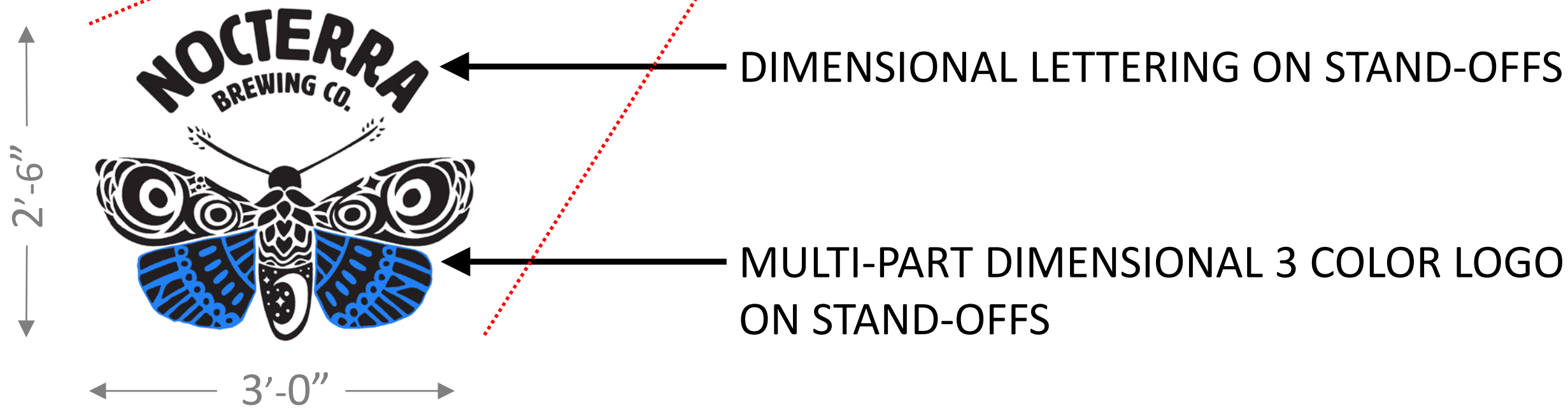
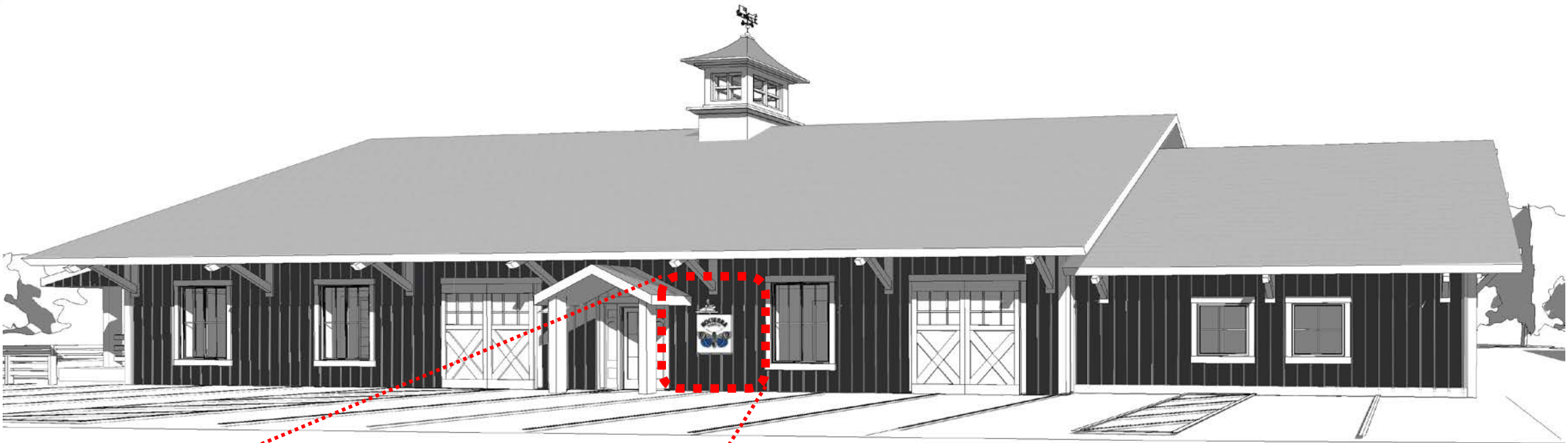


Exterior Lighting at
South-Facing Signage



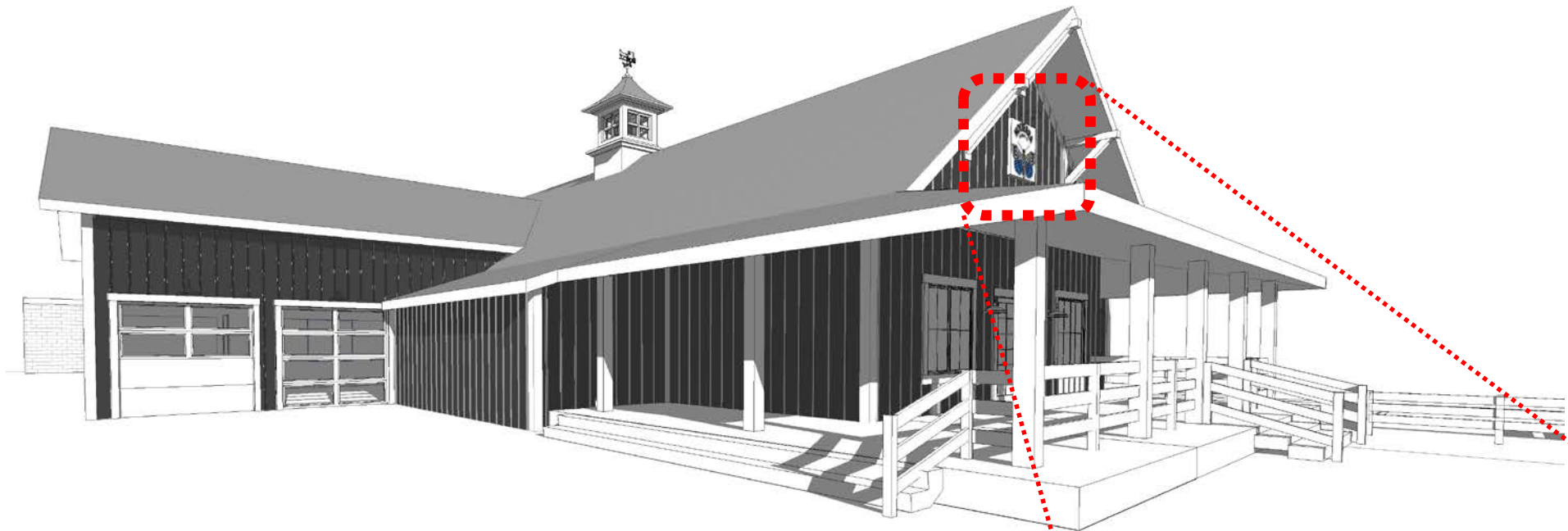


PROPOSED SCOPE SIGNAGE





PROPOSED SCOPE SIGNAGE



WOOD SIGN WITH 3 COLOR LOGO AND
COMPANY NAME



3'-0"

3'-6"

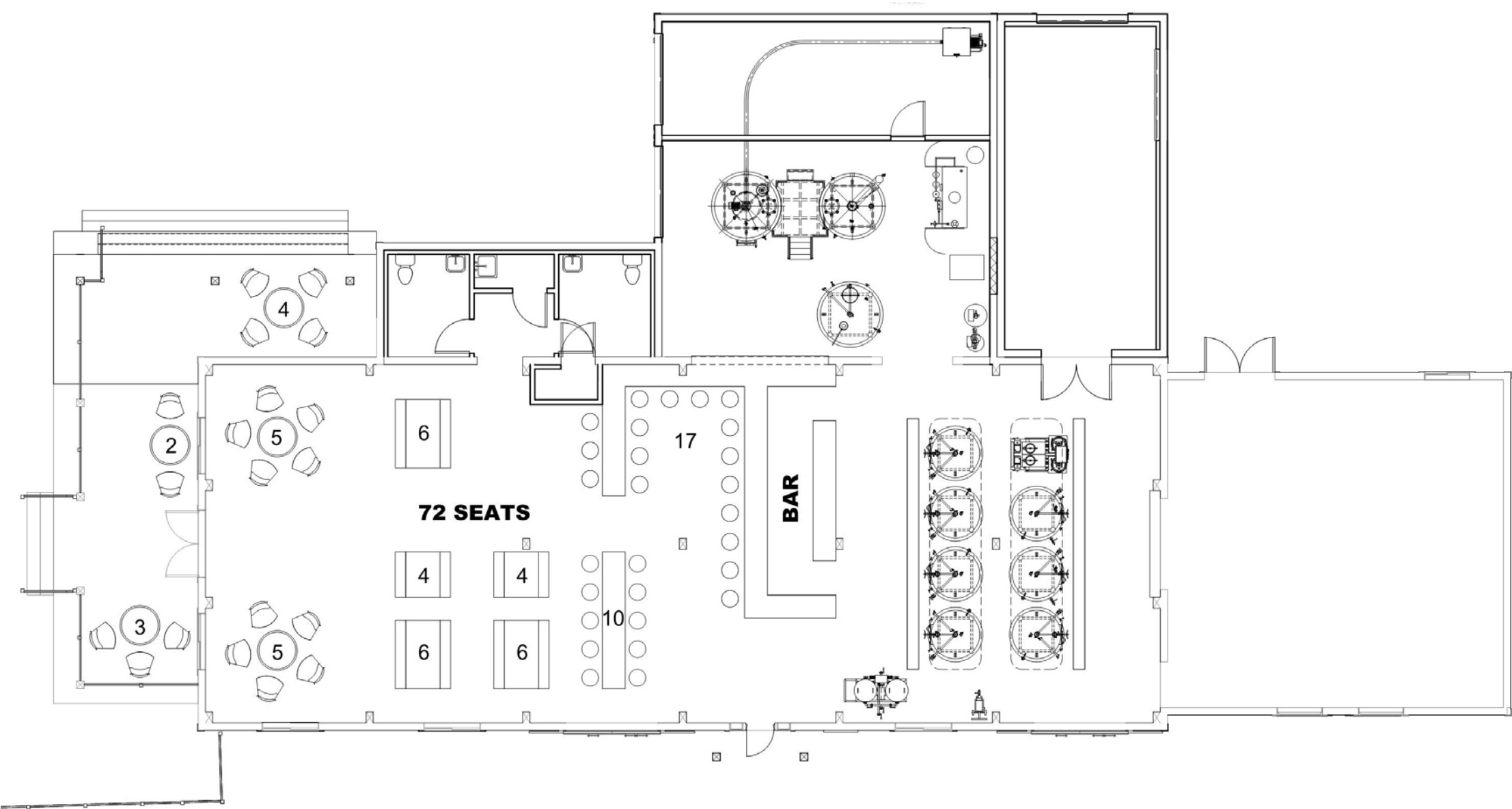


PROPOSED SCOPE

OCCUPANT CALCULATION



Patron Seating	72
Full-Time Employees	03
TOTAL OCCUPANTS	75





PROPOSED SCOPE PARKING & PLUMBING CALC'S



PLUMBING

Ohio Building Code Requirements

A-2 Occupancy (Bar/Tavern)

1 Water Closet per 40 Men/Women

1 Lavatory per 75 Men/Women

Total Occupants: 75

½ Men (38) & ½ Women (38)

Fixture Requirements

2 Water Closets Required

2 Lavatories Required

Fixtures Provided

2 Water Closets Provided

2 Lavatories Provided

PARKING

City of Powell Requirements

1 Parking Spot per 3 Occupants*

*Spots Reduced 50% in Historic District

Total Occupants: 75

[(75 / 3) / 2] = 13 Parking Spots Required

Parking Spots Provided

Existing Patron Parking Spots 14

New Employee Parking Spots 03

Total Parking Spots Provided: 17

Additional Parking Spot Opportunities

Existing 47 Depot St Lot: 14

Existing 94 W Olentangy St Lot: 04

Existing City Lot Along Tracks: 10

Expansion of 47 Depot St Lot: 12

Expansion of City Lot Along Tracks: 20





EXISTING CONDITIONS

ADDITIONAL PARKING LOCATIONS





PROPOSED SCOPE COMMUNITY OUTREACH



- REPRESENTATIVES FROM NOCTERRA BREWING COMPANY **CONDUCTED A DOOR-TO-DOOR FLYER DISTRIBUTION ON 08/13/2017**, NOTIFYING ADJACENT RESIDENTS OF THE PROPOSED PROJECT.
- REPRESENTATIVES FROM NOCTERRA BREWING COMPANY ALSO **HELD A PUBLIC MEETING ON 08/16/2017**, DISCUSSING POTENTIAL CONCERNS WITH ADJACENT RESIDENTS.