
Sun Restaurant Inc

22 S. Liberty St
Powell, Ohio 43065
614-772-6064

26 W. Olentangy

OVERVIEW

Seeking Planning and Zoning approval for retail to restaurant conversion.

Proposed Parking with nearby properties

Deb and Steve Helmrich - Serendip Gallery

Proposed share parking with 30 W Olentangy St. since beginning of January. Revised multiple site plans and drafted easement and lease agreement. No decision was made. Still a possible option.

Randy Savage - Randy's Barber Shop

Shared site plan and concept drawings with Randy. Proposed meeting and possible share parking option. Also attempted to contact owner (Carol Rice). No response from neither Randy nor Carol.

David O'Brian

Spoke with David on Feb 1. Also emailed parking lease for his property to use after hours. No response.

Gene Pirko - New Carryout owner

Met with Gene and showed interest in leasing his parking space. They are not sure on the direction of their property so can not commit to long term parking agreement yet. He will keep me updated once they establish their plans.

Additional Options

Revised floor plan with reduced seating to better support parking spaces. Employees will utilize public parking area at all times

Possible use of parking at 22 S Liberty for employees after hours

renovation for:

restaurant/bar

26 olentangy street

powell ohio

GENERAL NOTES

1. THE USE OF THESE DOCUMENTS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED. REUSE OR REPRODUCTION OF THE DOCUMENTS, (WHOLE OR IN PART) FOR ANY OTHER PURPOSE IS PROHIBITED. MATTHEW R. ALTHOUSE RETAINS ALL RIGHTS OF OWNERSHIP.
2. THE CONTRACTOR AND SUB-CONTRACTORS SHALL BE SOLELY RESPONSIBLE FOR COMPLYING WITH ALL FEDERAL, STATE, AND LOCAL SAFETY REQUIREMENTS TOGETHER WITH EXERCISING PRECAUTIONS AT ALL TIMES FOR THE PROTECTION OF PERSONS INCLUDING EMPLOYEES AND PROPERTY. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND SUB-CONTRACTORS TO INITIATE, MAINTAIN, AND SUPERVISE ALL SAFETY REQUIREMENTS, PRECAUTIONS, AND PROGRAMS IN CONNECTION WITH THE WORK.
3. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE ALL WORK AND FOR THE MEANS, METHODS, PROCEDURES, TECHNIQUES, AND SEQUENCE OF CONSTRUCTION.
4. THE GENERAL CONTRACTOR IS TO GUARANTEE ALL WORK INCLUDING WORK DONE BY SUB-CONTRACTORS FOR A PERIOD OF A MINIMUM ONE (1) YEAR COMMENCING WITH THE DATE OF SUBSTANTIAL COMPLETION OF THE WORK, OR AS STATED IN CONTRACT WITH OWNER. WHICHEVER IS GREATER.
5. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SCHEDULING AND MONITORING OF ON-SITE TESTING AND INSPECTION SERVICES AS LISTED IN GENERAL CONDITIONS A201.
6. THE GENERAL CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND EXISTING FIELD CONDITIONS WITH THE DRAWINGS. IN PARTICULAR: SOIL CONDITIONS, INCOMING UTILITIES, ETC. GENERAL CONTRACTOR IS TO REPORT IMMEDIATELY TO THE ARCHITECT ANY VARIANCES OR FIELD CONDITIONS THAT MAY CAUSE CONSTRUCTION PROBLEMS PRIOR TO COMMENCING WORK.
7. ALL DIMENSIONS SHOWN ARE TO FACE OF FRAMING UNLESS SPECIFICALLY NOTED OTHERWISE.
8. ALL DIMENSIONS SHOWN ARE NOMINAL DIMENSIONS UNLESS SPECIFICALLY NOTED OTHERWISE.
9. ALL DOOR HANDLES SHALL BE OF THE LEVER TYPE. HARDWARE SHALL BE MOUNTED NO HIGHER THAN 48" ABOVE FINISH FLOOR.
10. ALL SAW CUTTING AND CORING LOCATIONS SHALL BE REVIEWED IN FIELD BY THE GENERAL CONTRACTOR PRIOR TO CUTTING/CORING.
11. THE CONTRACTORS SHALL FURNISH ALL MATERIAL, LABOR AND EQUIPMENT TO COMPLETE ALL OF THE WORK.
12. THE GENERAL CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND FIELD CONDITIONS WITH THE DRAWINGS. NOTIFY THE OWNER OF ANY VARIANCES PRIOR TO COMMENCING WORK.
13. THE CONTRACTORS SHALL CAREFULLY STUDY AND COMPARE ALL CONTRACT DOCUMENTS WITH EACH OTHER AND SHALL IMMEDIATELY REPORT TO THE ARCHITECT, ANY ERRORS, INCONSISTENCIES OR OMISSIONS DISCOVERED. IF THE CONTRACTOR PERFORMS ANY CONSTRUCTION ACTIVITY KNOWING IT INVOLVES A RECOGNIZED ERROR, INCONSISTENCY OR OMISSION IN THE CONTRACT DOCUMENTS WITHOUT NOTICE TO THE CONTRACT MANAGERS, THE CONTRACTOR SHALL ASSUME APPROPRIATE RESPONSIBILITY FOR SUCH PERFORMANCE AND SHALL BEAR AN APPROPRIATE AMOUNT OF THE ATTRIBUTABLE COST FOR CORRECTION.
14. ANY MATERIAL OR LABOR, WHICH MAY NOT BE SHOWN ON THE DRAWINGS OR NOT SPECIFIED, BUT WHICH IS OBVIOUSLY NECESSARY TO COMPLETE THE WORK SHALL BE FURNISHED WITHOUT ADDITIONAL COST.
15. THE GENERAL CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS AND INSPECTIONS REQUIRED AND SHALL ALSO PAY FEES REQUIRED FOR THE GENERAL CONSTRUCTION, PLUMBING, ELECTRICAL, HVAC AND SPRINKLER CONTRACTORS SHALL PAY FOR THEIR PERMITS.
16. ANY CHANGES, INCLUDING TIME DELAYS, RESULTING FROM THE USE OF APPROVED EQUALS SHALL BE BORN BY THE CONTRACTOR. ANY EFFECTS ON OTHER PORTIONS OF THE WORK CREATED BY SUCH CHANGES SHALL BE COORDINATED BY ALL CONTRACTORS.
17. VERIFY UNDERGROUND UTILITIES AND CONDITIONS WITH THE OWNER AND PROPER AUTHORITY PRIOR TO START OF WORK. CALL TWO DAYS BEFORE DIGGING.
18. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS SHALL CONTROL AT ALL LOCATIONS.
19. CONTRACTOR SHALL KEEP THE JOB SITE NEAT AND ORDERLY, REMOVING SCRAP MATERIAL DAILY AND SHALL CLEAN THE SITE AND THE WORK THOROUGHLY UPON COMPLETION.
20. IT IS THE OWNER'S RESPONSIBILITY TO HAVE THESE DOCUMENTS REVIEWED BY THEIR RESPECTIVE INSURANCE COMPANIES FOR COMPLIANCE WITH SPECIFIC REQUIREMENTS OF THOSE INSURANCE COMPANIES.
21. VERIFY ALL ROUGH OPENINGS BEFORE FRAMING.

PROJECT INFORMATION

PROJECT ADDRESS: 26 OLENTANGY STREET
POWELL, OHIO 43065

PROJECT OWNER: SUN PROPERTIES
26 OLENTANGY STREET
POWELL, OHIO 43065

PROJECT ARCHITECT: MATTHEW R. ALTHOUSE
1165 ELM PARK CIRCLE
GALLOWAY, OHIO 43119
937.578.8770

MEP ENGINEER:

CIVIL ENGINEER: CRAIG STEVENSON
HARRAL AND STEVENSON
120 EAST MAIN STREET, SUITE A
CIRCLEVILLE, OHIO 43113
740.497.4432

GENERAL CONTRACTOR:

PROJECT DESCRIPTION: COMMERCIAL REMODEL PROJECT. EXTERIOR AND INTERIOR RENOVATIONS. NEW KITCHEN AND RESTROOMS.

CHANGE OF USE FROM RETAIL TO RESTAURANT.

ZONING CLEARANCE PLAN HAS BEEN SUBMITTED CONCURRENTLY.

BUILDING CODES:

BUILDING CODE	2011 OHIO BUILDING CODE
STRUCTURAL CODE	2011 OHIO BUILDING CODE
PLUMBING CODE	2011 OHIO PLUMBING CODE
MECHANICAL CODE	2011 OHIO MECHANICAL CODE
ELECTRICAL CODE	2014 OHIO BUILDING CODE - NFPA 70
LIFE SAFETY CODE	2011 OHIO FIRE CODE
ENERGY CODE	ASHRAE 90.1 - 2007
GAS CODE	2011 OHIO FUEL GAS CODE
ACCESSIBILITY CODE	ANSI A117.1-2009 AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG) 2010

CONSTRUCTION TYPE: V-B, UNPROTECTED

USE GROUP: A-2

ALLOWABLE AREA: 6,000

ACTUAL AREA: 1,971 SQ. FT.

FIRE PROTECTION: NONE REQUIRED, NONE PROVIDED

FIRE ALARM: NONE REQUIRED, NONE PROVIDED

SEPARATION: NONE REQUIRED, NONE PROVIDED

OCCUPANCY:

USE	AREA	SF/OCC	OCC. LOAD
DINING	982	15	66 (60 SEATS)
QUEUING	42	5	9
KITCHEN	443	200	3
RR/CIRC.	340	100	4
TOTAL			82 (76 ACTUAL)

EGRESS: MAX. REQUIRED: 99' * 2 = 19.8"
PROVIDED: 68"

TRAVEL DISTANCE: COMMON PATH: 75'-0"
EXIT ACCESS: 200'-0"

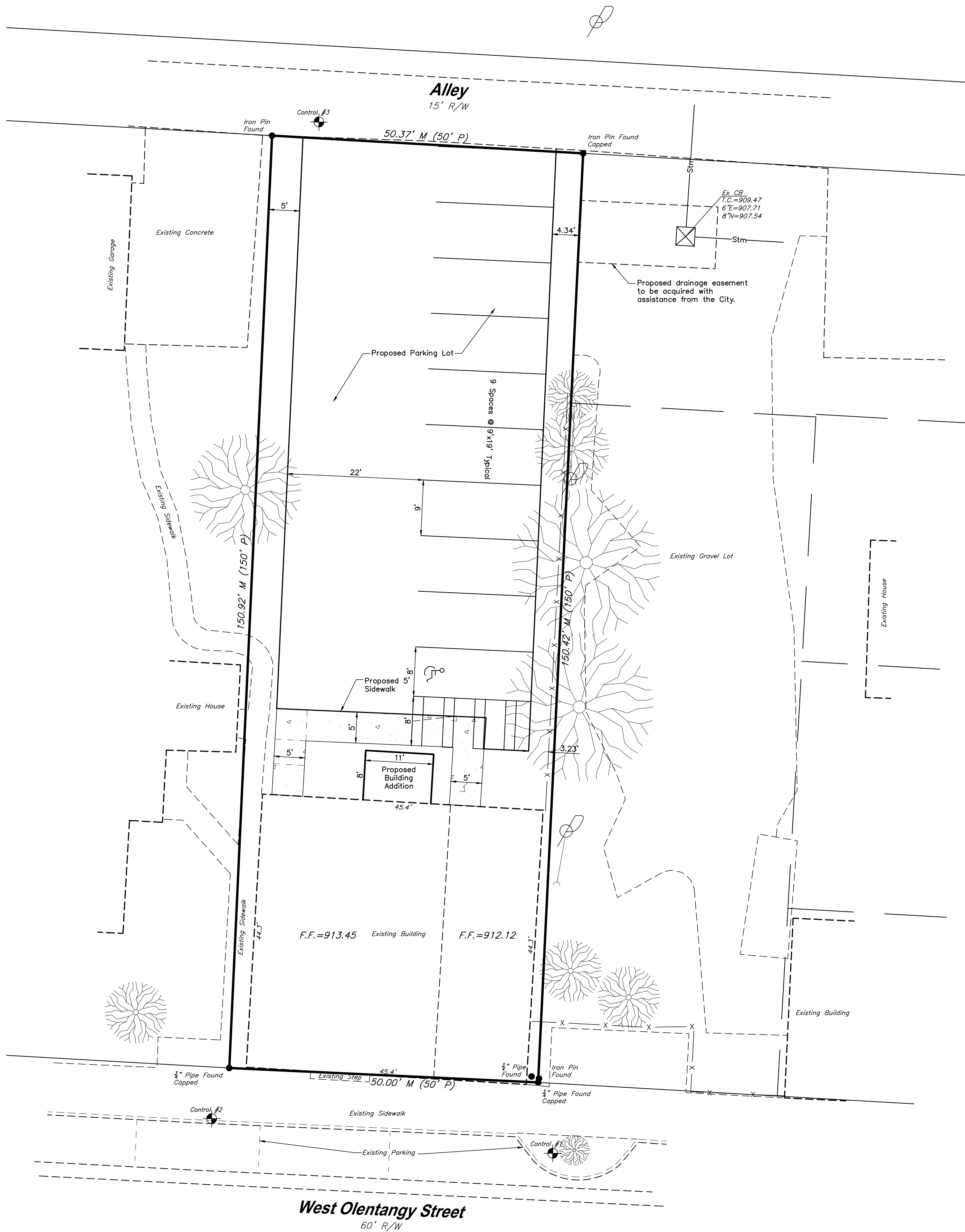
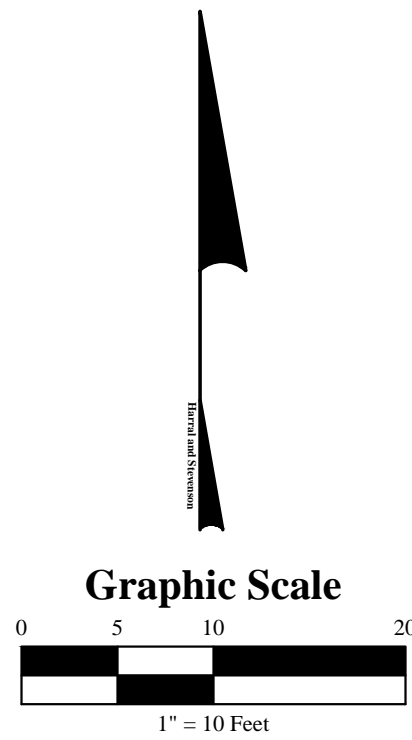
PLUMBING FIXTURES:


SHEET INDEX

ISSUE	SHEET NO.	SHEET NAME
01.04.2017 HISTORICAL		
11.28.2016 ZONING		
	GENERAL	
	G0.0	COVER SHEET
	G0.1	LIFE SAFETY PLAN
	G0.2	ADA REQUIREMENTS
	G0.3	ADA REQUIREMENTS
	CIVIL	
		ZONING CLEARANCE PLAN
	ARCHITECTURAL	
	AS1.1	ARCHITECTURAL SITE PLAN
	AD1.1	DEMOLITION FLOOR PLAN
	A1.0	GENERAL NOTES AND DETAILS
	A1.1	ARCHITECTURAL FLOOR PLAN
	A1.2	EQUIPMENT PLAN
	A1.3	REFLECTED CEILING PLAN
	A1.4	ROOF PLAN
	A1.5	ENLARGED FLOOR PLAN
	A2.1	EXTERIOR ELEVATIONS
	A2.2	EXTERIOR ELEVATIONS
	A2.3	BUILDING SECTIONS
	A4.1	WALL SECTIONS
	A4.2	WALL SECTIONS
	A4.3	WALL SECTIONS
	A4.4	SECTION DETAILS
	A5.1	FINISH PLAN
	A5.2	FINISH DETAILS
	A6.1	DINING ROOM ELEVATIONS
	A6.2	KITCHEN/BAR ELEVATIONS
	A6.3	MILLWORK DETAILS
	A8.1	DOORS AND HARDWARE SCHEDULE
	A8.2	DOOR AND WINDOW DETAILS



VICINITY MAP
N.T.S.

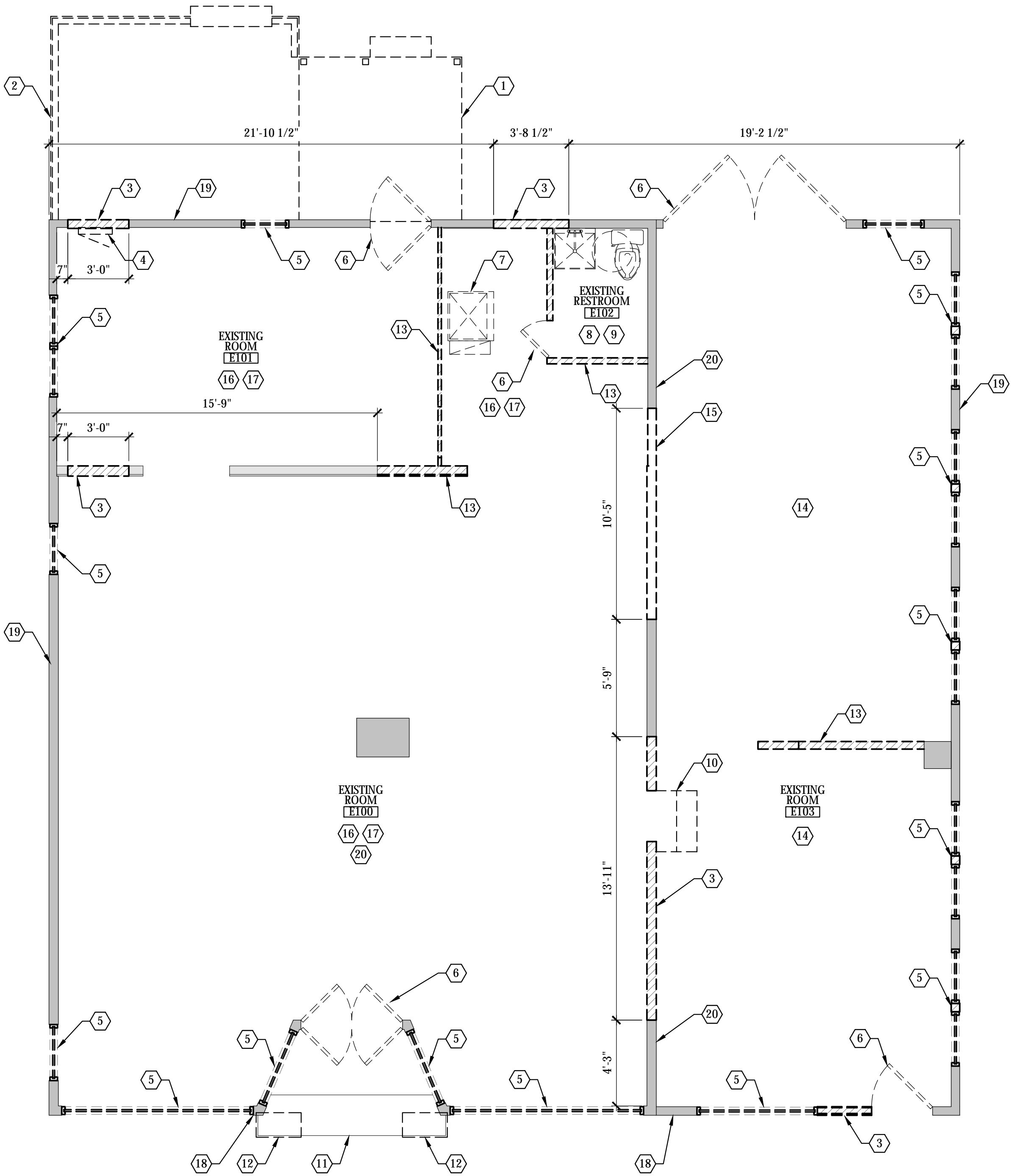


Project: E161039	Date: Nov. 8, 2016	 Harral and Stevenson Engineering - Surveying - Planning 120 E. Main Street, Suite A Columbus, Ohio 43211 Ph: 614.971.4432 www.harralstevenson.com	CITY OF POWELL, DELAWARE COUNTY, OHIO	
			26 WEST OLENTANGY STREET	
Sheet: 1/1	Scale: 1" = 10'		ZONING CLEARANCE PLAN	
			Mark	Revisions Description



DEMOLITION FLOOR PLAN

1/4" = 1'-0"



WALL LEGEND

---	EXISTING WALL/PARTITION TO BE DEMOLISHED
---	EXISTING WALL/PARTITION TO REMAIN

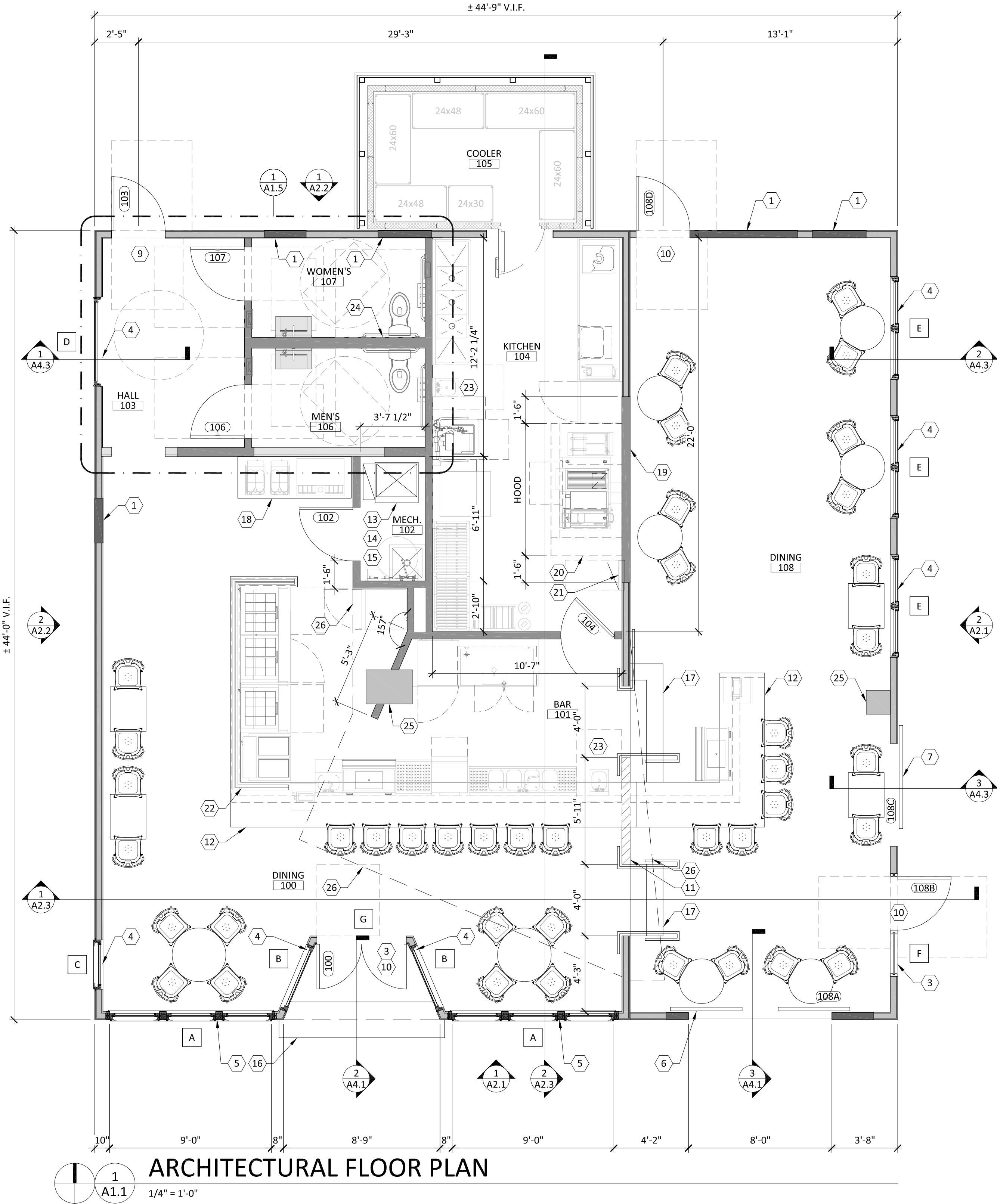
GENERAL DEMOLITION NOTES

- A. FIELD VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORK.
- B. FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK.
- C. EACH CONTRACTOR SHALL VISIT THE PROJECT SITE TO REVIEW THE EXISTING CONDITIONS PRIOR TO THE START OF DEMOLITION.
- D. ALL SUB-CONTRACTOR'S ARE TO CONSULT WITH THE GENERAL CONTRACTOR AND REPORT IN WRITING ANY DISCREPANCIES BETWEEN THE EXISTING CONDITIONS AND THE CONTRACT DOCUMENTS.
- E. SEE PLUMBING, MECHANICAL, AND ELECTRICAL SHEETS FOR ADDITIONAL DEMOLITION INFORMATION.
- F. NOTIFY OWNER'S REPRESENTATIVE OF ANY HAZARDOUS MATERIALS (ASBESTOS, FREON, ETC.) REQUIRED TO BE REMOVED PRIOR TO COMMENCEMENT OF DEMOLITION.
- G. OWNER RESERVES THE RIGHT OF FIRST REFUSAL ON ALL MATERIAL, EQUIPMENT, AND FIXTURES TO BE REMOVED. CONTRACTOR TO COORDINATE THE REMOVAL AND/OR STORAGE OF ITEMS WITH THE OWNER'S REPRESENTATIVE.
- H. DEMOLITION CONTRACTOR IS TO PROVIDE PROPER VENTILATION OF ALL VAPOR, EXHAUST, AND FUMES THAT ARE CREATED AS A RESULT OF DEMOLITION.
- I. LOCATE ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF DEMOLITION. RELOCATE AS REQUIRED. SEE PLUMBING, MECHANICAL, AND ELECTRICAL SHEETS.
- J. MAINTAIN EXISTING UTILITY SERVICES. PROTECT DURING DEMOLITION AND CONSTRUCTION. PROVIDE TEMPORARY SERVICES IF INTERRUPTION OF SERVICES IS REQUIRED. PROVIDE TEMPORARY SERVICES IN COMPLIANCE WITH GOVERNING AUTHORITY.
- K. PROVIDE TEMPORARY LIGHTING THROUGHOUT THE FLOOR AS REQUIRED. MAINTAIN EXISTING UTILITY SERVICES AND PROTECT DURING DEMOLITION/CONSTRUCTION. PROVIDE TEMPORARY SERVICES IF INTERRUPTION OF SERVICES ARE REQUIRED. PROVIDE TEMPORARY SERVICES IN COMPLIANCE WITH GOVERNING AUTHORITY.
- L. GENERAL CONTRACTOR TO PROVIDE UTILITY BY-PASS CONNECTIONS AS REQUIRED TO MAINTAIN CONTINUITY OF SERVICES TO OCCUPIED AREAS DURING CONSTRUCTION.
- M. COORDINATE UTILITY SERVICE ITEMS TO BE CUT BACK, CAPPED, OR TURNED OFF WITH GENERAL CONTRACTOR AS REQUIRED FOR NEW CONSTRUCTION.
- N. REMOVE ABANDONED PLUMBING, HVAC, AND ELECTRIC BACK TO SOURCE AND CAP OR TERMINATE AS REQUIRED TO MAINTAIN SERVICE.
- O. CONDUCT DEMOLITION OPERATIONS AND REMOVAL OF DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH ROADWAYS, SIDEWALKS, AND SITE OPERATIONS.
- P. GENERAL CONTRACTOR IS TO PROVIDE TEMPORARY BARRICADES AND/OR OTHER FORMS OF SEPARATION AS REQUIRED TO PROTECT THE GENERAL PUBLIC FROM INJURY AS REQUIRED BY LOCAL GOVERNING AUTHORITY.
- Q. GENERAL CONTRACTOR IS TO PROVIDE REQUIRED PROTECTION TO PROTECT THE INTERIOR FROM WEATHER.
- R. COORDINATE DEMOLITION AND CONSTRUCTION PHASING AND SEQUENCING WITH THE OWNER.
- S. COORDINATE ITEMS TO BE REMOVED FOR CLEANING, TEMPORARY STORAGE, AND REINSTALLATION WITH GENERAL CONTRACTOR AS DIRECTED BY OWNER'S REPRESENTATIVE.
- T. PATCH AND REPAIR FLOOR AT AREAS OF DEMOLITION AS REQUIRED TO ACHIEVE A CONSISTENT FLOOR LEVEL TO RECEIVE NEW TENANT FLOOR FINISH.
- U. PATCH AND REPAIR EXISTING CONSTRUCTION ITEMS TO REMAIN THAT HAVE BEEN DAMAGED AS A RESULT OF DEMOLITION OPERATIONS.
- V. REMOVE EXISTING ATTIC INSULATION COMPLETELY. NEW INSULATION TO BE INSTALLED DURING NEW WORK.

CODED NOTES

- 1. REMOVE EXISTING CONCRETE STOOP AND ROOF ABOVE.
- 2. REMOVE EXISTING WOOD DECK.
- 3. REMOVE PORTION OF WALL FOR NEW OPENING.
- 4. REMOVE EXISTING ELECTRICAL PANEL BACK TO SERVICE DISCONNECT. PREPARE METER FOR NEW ELECTRICAL SERVICE. REFER TO ELECTRICAL DRAWINGS.
- 5. REMOVE EXISTING WINDOW. PREPARE OPENING FOR NEW WORK.
- 6. REMOVE EXISTING DOOR AND FRAME. PREPARE OPENING FOR NEW WORK.
- 7. EXISTING FURNACE TO BE RELOCATED. REFER TO HVAC DRAWINGS.
- 8. REMOVE EXISTING RESTROOM FIXTURES COMPLETELY.
- 9. REMOVE EXISTING WATER HEATER COMPLETELY.
- 10. REMOVE EXISTING STAIR TO COMPLETELY.
- 11. EXISTING STAIR TO REMAIN.
- 12. SAW CUT EXISTING SIDEWALK/STAIR FOR NEW FOUNDATIONS.
- 13. REMOVE EXISTING WALL COMPLETELY.
- 14. REFER TO WALL SECTION FOR TRUSS RE-WORK.
- 15. REMOVE PORTION OF WALL FOR NON-COMBUSTIBLE CONSTRUCTION BEHIND NEW HOOD.
- 16. REMOVE EXISTING FLOOR FINISH AND ADHESIVE THROUGHOUT PREMISES. PREPARE SUB-FLOOR FOR NEW WORK.
- 17. REMOVE EXISTING WALL FINISH AS REQUIRED FOR NEW WORK.
- 18. REMOVE EXISTING EXTERIOR WALL FINISH COMPLETELY. INSPECT EXISTING SHEATHING AND REPLACE AS REQUIRED TO MEET NEW FINISH SPECIFICATIONS.
- 19. EXISTING EXTERIOR WALL FINISH TO REMAIN. PATCH, REPAIR AND PREPARE TO BE PAINTED.
- 20. EXISTING WOOD WALL FINISH TO REMAIN. PREPARE SURFACE TO BE PAINTED.





CODED NOTES

1. INFILL EXISTING OPENING WITH SIMILAR CONSTRUCTION AND THICKNESS.
2. NOT USED.
3. NEW DOOR IN EXISTING OPENING.
4. NEW WINDOW IN EXISTING OPENING.
5. NEW WINDOW IN NEWLY FRAMED OPENINGS.
6. NEW SLIDING BARN DOOR IN NEW OPENING.
7. NEW SLIDING BARN DOOR IN EXISTING OPENING.
8. NEW COLUMN AND FOUNDATION.
9. ACCESSIBLE ENTRANCE.
10. PROVIDE SIGN AT NON-ACCESSIBLE ENTRANCE DIRECTING PATRON TO ACCESSIBLE ENTRANCE.
11. PARTIAL HEIGHT WALL. REFER TO ____.
12. CONCRETE COUNTERTOP
13. RELOCATED FURNACE.
14. MOP SINK.
15. WATER HEATER.
16. EXISTING STAIR TO REMAIN.
17. NEW CONCRETE STAIR. REFER TO ____.
18. BEVERAGE BAR.
19. NEW NON-COMBUSTIBLE WALL BEHIND NEW HOOD. PROVIDE STAINLESS STEEL SHEET OVER 1/2" CEMENT BOARD ON METAL STUD FRAMING BEHIND HOOD. EXTEND MIN. 18" BEYOND EDGE OF HOOD IN BOTH DIRECTIONS, FROM SLAB TO T.O. WALL.
20. NEW HOOD ABOVE. REFER TO MECHANICAL PLANS.
21. ELECTRIC PANEL, REFER TO ELECTRICAL PLANS.
22. GLASS SNEEZE GUARD.
23. HAND SINK.
24. 2x6 WOOD STUD WALL.
25. EXISTING CHIMNEY TO REMAIN.
26. LINE OF SOFFIT ABOVE.
27. LINE OF PORCH ROOF ABOVE.

GENERAL FLOOR PLAN NOTES

- A. ALL NEW WALLS TO BE 2x4 WOOD STUD WALLS @ 16" O.C. WITH 5/8" GYP. BOARD ON BOTH SIDES, U.N.O.
- B. ALL WET WALLS (KITCHEN, BAR, RESTROOMS) TO RECEIVE 5/8" GLASS MAT BOARD.
- C. IN AREAS OF INFILL, MATCH EXISTING THICKNESS OF ADJACENT WALL. TRANSITION BETWEEN NEW AND EXISTING WALLS IS TO BE FLUSH.
- D. PROVIDE 5/8" GYP. BOARD ON ALL EXISTING WALLS TO REMAIN THAT DO NOT HAVE EXISTING INTERIOR WALL SHEATHING.
- E. PROVIDE 3/4" T&G PLYWOOD FLOOR DECK IN BACK OF HOUSE AREA WHERE NONE IS PRESENT.
- F. REFER TO SHEET A1.2 FOR EQUIPMENT AND FURNITURE LOCATIONS AND SPECIFICATIONS.
- G. REMOVE TO SHEET A1.3 FOR CEILING INFORMATION, LIGHTING FIXTURE AND HVAC DEVICE LOCATION AND SCHEDULE.
- H. VERIFY ALL UNMARKED WALLS WITH ARCHITECT.
- I. GENERAL CONTRACTOR TO PROVIDE ALL WALLS INDICATED ON FLOOR PLAN.
- J. PROVIDE 2x6 FIRE RETARDANT TREATED WOOD BLOCKING IN PARTITIONS TO SUPPORT ALL CASEWORK, DOOR WALL STOPS, ELECTRICAL AND MECHANICAL DEVICES, AND FIRE EXTINGUISHERS.
- K. ELECTRICAL CONTRACTOR TO COORDINATE LOCATIONS WITH MECHANICAL EQUIPMENT AND FIRE PROTECTION PRIOR TO STARTING WORK.
- L. GENERAL CONTRACTOR TO PATCH ALL ROOF PENETRATIONS MADE BY THIS PROJECT WITH ROOFING CONTRACTOR.
- M. GENERAL CONTRACTOR TO PROVIDE ALL ROOF PATCHING AROUND MECHANICAL EQUIPMENT. VERIFY ROOF WARRANTY REQUIREMENTS WITH OWNER.
- N. SEE SECTION A4.x FOR WALL SECTIONS AND DETAILS.
- O. SEE SHEET A8.1 FOR DOOR SCHEDULE.
- P. SEE SHEET A8.1 FOR WINDOW SCHEDULE.
- Q. VERIFY ALL OWNER SUPPLIED EQUIPMENT BEFORE ROUGH-INS ARE COMPLETED & GYP. BOARD IS INSTALLED.
- R. ELECTRICAL CONTRACTOR TO COORDINATE LIGHT FIXTURE LOCATIONS WITH MECHANICAL EQUIPMENT PRIOR TO INSTALLATION.
- S. FRAMING CONTRACTOR TO COORDINATE FRAMING AROUND HVAC DUCTS, PIPES, CONDUITS AND OTHER ITEMS LOCATED ABOVE THE CEILING.
- T. THERMAL AND ACOUSTICAL INSULATION IN FLOORS, WALLS AND CEILING TO COMPLY WITH STATE AND LOCAL CODE REQUIREMENTS FOR FLAME SPREAD AND SMOKE DEVELOPMENT RATINGS.
- U. ALL SHEATHING THAT IS TO RECEIVE FULLY ADHERED ROOF MEMBRANE IS TO BE ATTACHED TO FRAMING BY THE USE OF NON-REVERSING SCREWS. NO NAIL FASTENERS ARE PERMITTED.
- V. EC TO PROVIDE CONDUIT & PULL STRINGS FOR OWNER SUPPLIED COMMUNICATION.
- W. PROVIDE TACTILE EXIT SIGNAGE AT EACH DOOR TO AN EGRESS STAIRWAY, AN EXIT PASSAGEWAY AND ALL EXIT DISCHARGE POINTS.
- X. ALL MATERIALS SPECIFIED ARE TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS. CONTRACTOR IS TO CONSTRUCT THE PROJECT ACCORDING TO THE CONTRACT DOCUMENTS. ANY DEVIATION FROM THE INTENT OF THE CONTRACT DOCUMENTS WITHOUT ARCHITECT OR OWNER APPROVAL ARE AT THE CONTRACTOR'S OWN RISK.
- Y. VERIFY LOCATION OF ALL EQUIPMENT AND VERIFY SIZES, WALL OPENINGS, AND SUPPORT REQUIREMENTS WITH MANUFACTURE. PROVIDE REINFORCEMENT AS REQUIRED BY MANUFACTURER.
- Z. ALL DOORS TO BE LOCATED 4" FROM ADJACENT WALL OR COUNTER, OR CENTERED IN WALL UNLESS OTHERWISE NOTED.
- AA. THE GENERAL CONTRACTOR IS TO VERIFY SIZE, QUANTITY AND LOCATION W/ LOCAL FIRE MARSHAL PRIOR TO INSTALLATION AND CONFIRM WITH OWNER WHO IS TO PROVIDE THEM.
- AB. 2x FRT BLOCKING TO BE PROVIDED AT ALL SINKS, GRAB BARS, MIRRORS, DISPENSERS, ETC. PER MFR. SPECIFICATIONS.
- AC. PROVIDE IN-WALL BLOCKING AS REQUIRED FOR ALL CASEWORK AND DOOR WALL STOPS.
- AD. ALL EXISTING WALLS TO BE PATCHED & REPAIRED AND MADE READY TO RECEIVE SPECIFIED FINISH.
- AE. DO NOT SCALE OF PLANS. CALL THE ARCHITECT FOR ADDITIONAL DIMENSIONAL INFORMATION IF REQUIRED.
- AF. WRITTEN DIMENSIONS HAVE PRECEDENT OVER SCALED DIMENSIONS IN ALL CASES. G.C. SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS AT THE JOB SITE AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO STARTING WORK.

WALL LEGEND

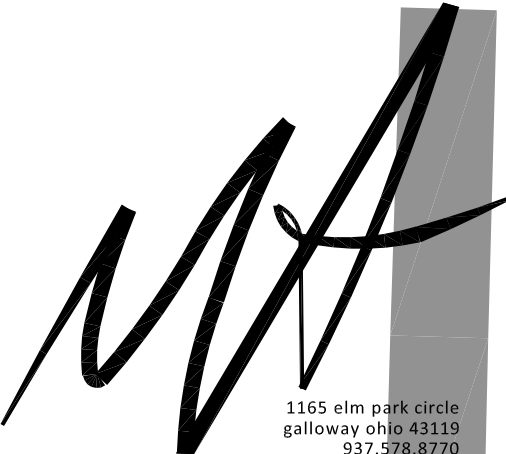
	EXISTING WALL/PARTITION TO REMAIN
	NEW WALL/PARTITION
	NEW PARTIAL HEIGHT WALL

SYMBOL LEGEND

#	FLOOR PLAN CODED NOTE (SEE SCHEDULE ON THIS SHEET)
100	DOOR TAG (SEE SCHEDULE ON SHEET A8.1)
A1*	WALL TYPE TAG (SEE SCHEDULE ON SHEET A1.0)
X	WINDOW SYSTEM TAG (SEE ELEVATIONS ON SHEET A8.1)





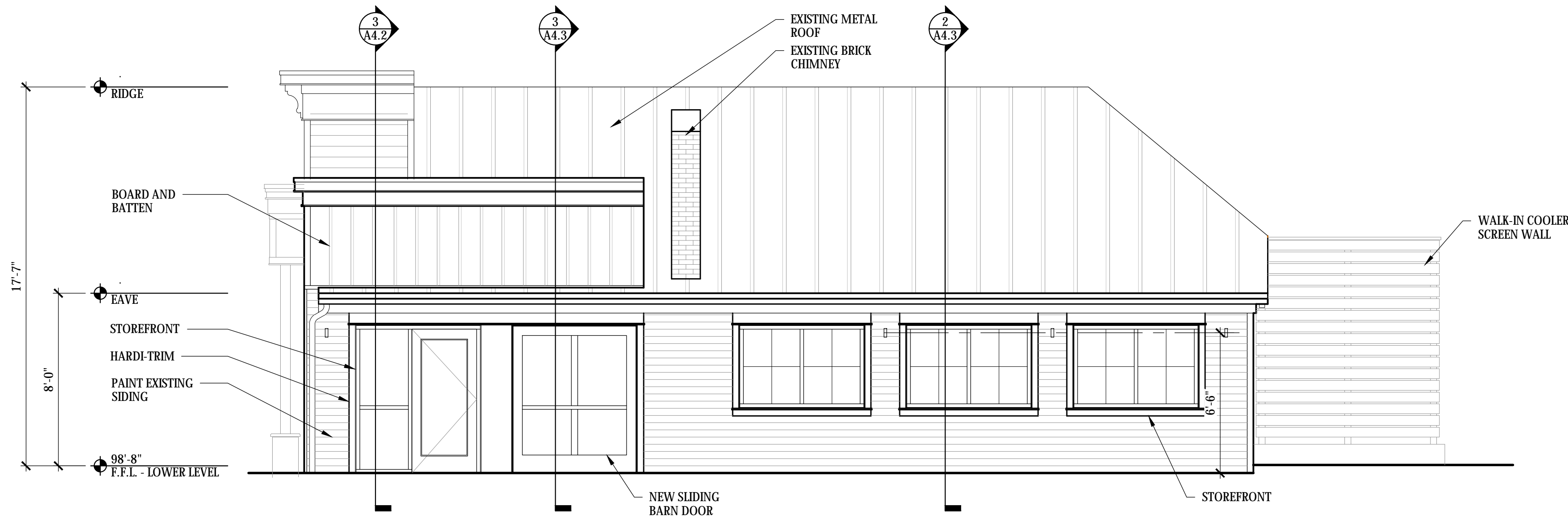

 1165 elm park circle
 galloway ohio 43119
 937.258.8770
 matthew althouse
 lic. #1115419
 exp. 12/31/2017



exterior renderings restaurant/bar
 historical review 26 olenangy street
 january 4, 2017 powell ohio

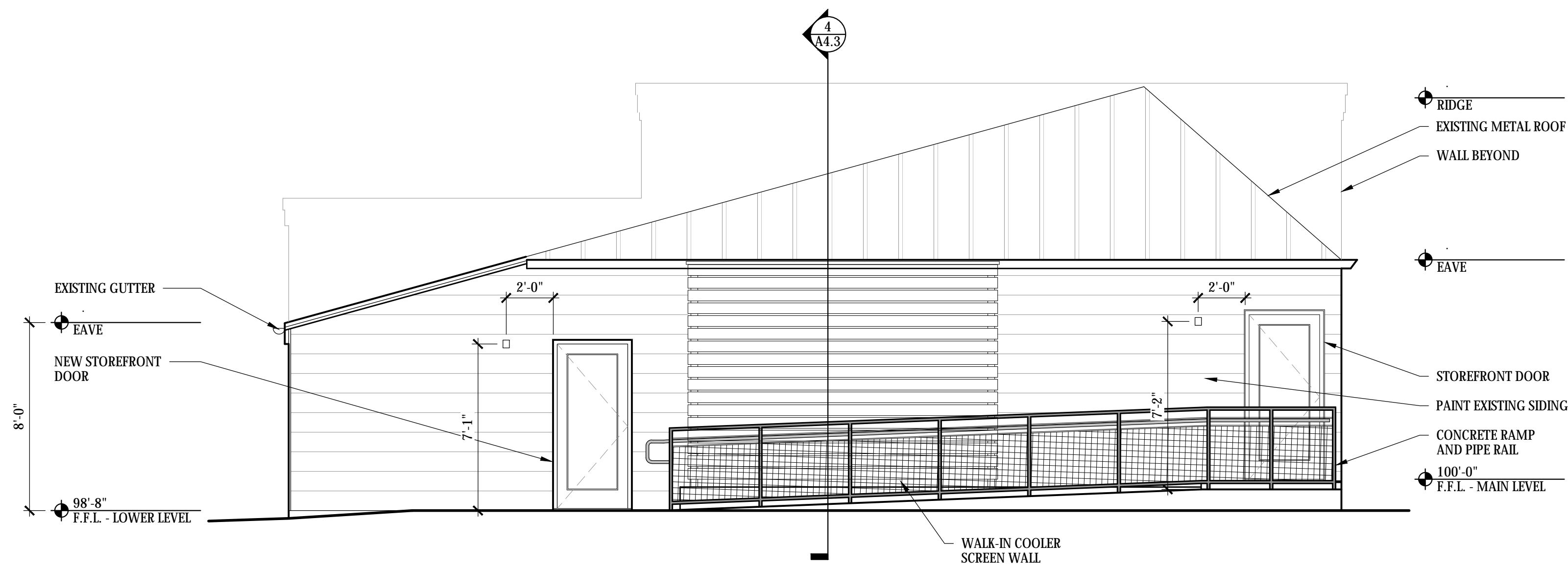


1
A2.1
EXTERIOR ELEVATION - SOUTH
1/4" = 1'-0"

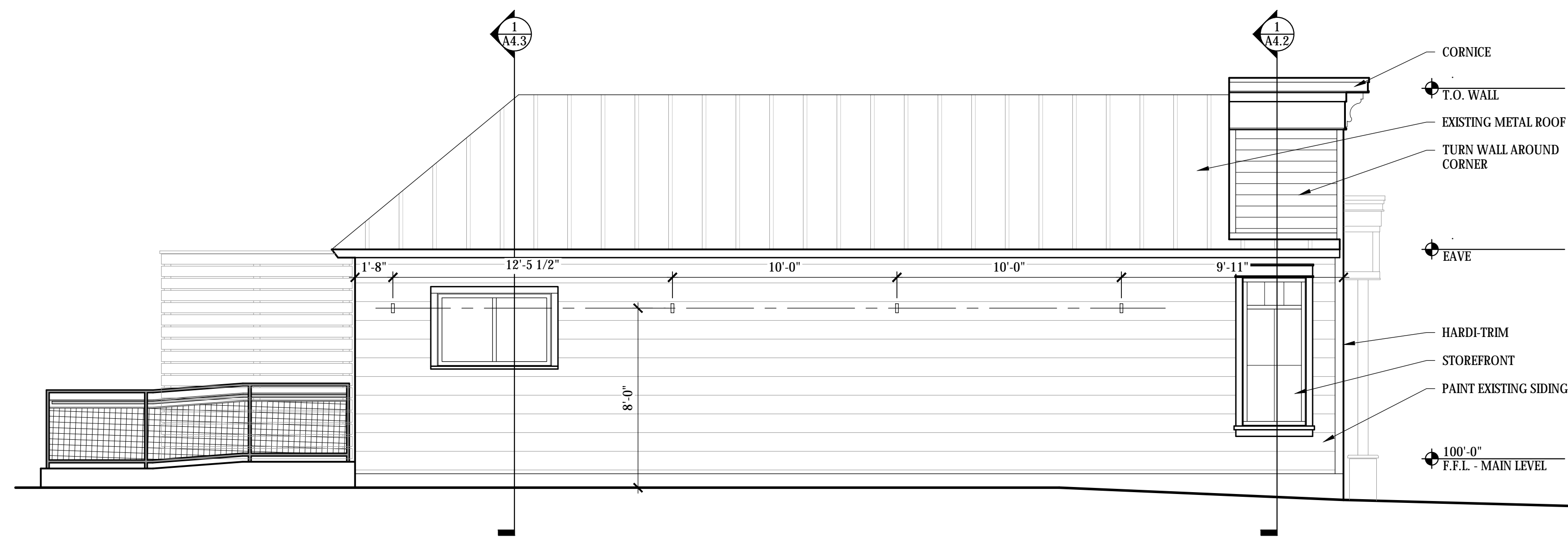


2
A2.1
EXTERIOR ELEVATION - EAST
1/4" = 1'-0"

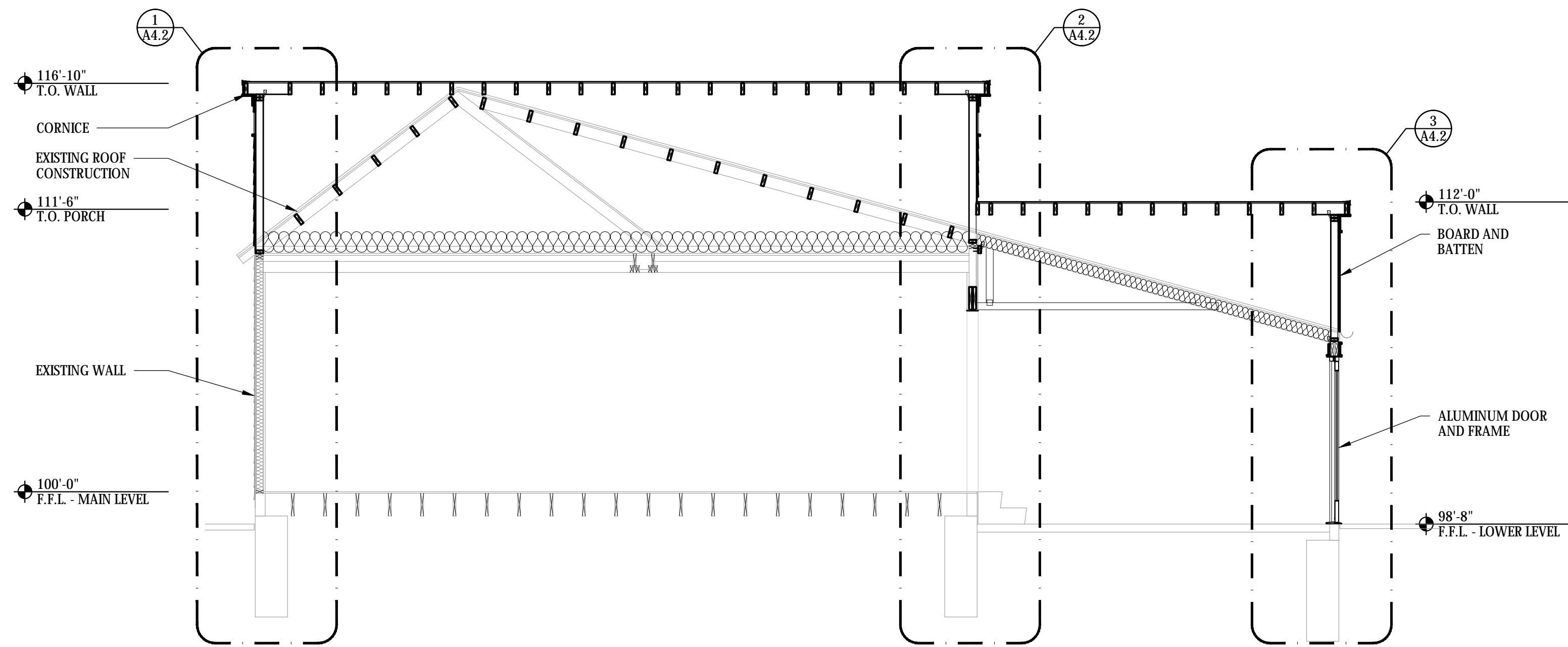
FINISH SCHEDULE		
DESCRIPTION	MANUFACTURER	MODEL/COLOR
HORIZONTAL HARDI-PLANK SIDING	JAMES HARDIE	HARDIEPLANK, SELECT CEDARMILL, MOUNTAIN SAGE 7 1/4" WIDTH, 6" EXPOSURE
HARDI-TRIM	JAMES HARDIE	HARDIETRIM BOARDS, 4/4 SMOOTH, MOUNTAIN SAGE, WIDTH VARIES. PREPARE SURFACE TO BE PAINTED
PANELING (BELOW WINDOWS AND BOARD AND BATTEN	JAMES HARDIE	HARDIEPANEL VERTICAL SIDING, SMOOTH, MOUNTAIN SAGE. PREPARE SURFACE TO BE PAINTED.
SOFFT PANEL AT ENTRY	JAMES HARDIE	HARDIESOFFIT PANEL, NON-VENTED SMOOTH, MOUNTAIN SAGE
WINDOW/BUILDING TRIM	SHERWIN WILLIAMS	SW 2847 ROYCROFT BOTTLE GREEN
FOUNDATION WALL PAINT	SHERWIN WILLIAMS	SW 2847 ROYCROFT BOTTLE GREEN
PORCH PAINT	SHERWIN WILLIAMS	SW 7505 MANOR HOUSE
GREEN ACCENT PAINT	SHERWIN WILLIAMS	SW 2846 ROYCROFT BRONZE GREEN
RED ACCENT PAINT	SHERWIN WILLIAMS	SW 2839 ROYCROFT COPPER RED
BRACKETS	GC TO SOURCE OR FABRICATE	SW 2846 ROYCROFT BRONZE GREEN
WINDOWS	KAWNEER	DARK BRONZE
STANDING SEAM METAL ROOF	EXISTING TO REMAIN	PATCH AND REPAIR AS REQUIRED
GUTTERS	GC TO SOURCE OR FABRICATE	GALVANIZED METAL
DOWNSPOUTS	GC TO SOURCE OR FABRICATE	GALVANIZED METAL
<ol style="list-style-type: none">1. PAINT ALL EXPOSED METERS, SERVICE ENTRANCES, GAS PIPE, ROOF ACCESS LADDER, ETC. TO MATCH ADJACENT EXTERIOR WALL SURFACE.2. REFER TO SHEET A8.2 FOR TEMPERED GLASS LOCATIONS.3. ALUMINUM STOREFRONT TO BE DARK BRONZE.4. ALL GLAZING TO BE 1" INSULATED GLAZING.5. SIGNAGE IS SHOWN FOR REFERENCE ONLY. FINAL SIZE, LOCATION AND QUANTITY TO BE DETERMINED BY SIGNAGE VENDOR. SIGNAGE VENDER SHALL PERMIT ALL SIGNS UNDER SEPARATE COVER.6. REFER TO REFLECTED CEILING PLAN FOR EXTERIOR LIGHTING SPECIFICATIONS.7. ALL FINISHES TO BE APPROVED BY ARCHITECT AND OWNER PRIOR TO INSTALLATION.8. ALTERNATES ARE TO BE APPROVED BY ARCHITECT.9. PROVIDE SAMPLES OF ALL MATERIALS. SUBMIT TO ARCHITECT AND OWNER FOR REVIEW.10. FINISHES ARE SUBJECT TO CHANGE AT ANY TIME. COORDINATE FINAL FINISH SELECTION WITH OWNER.		



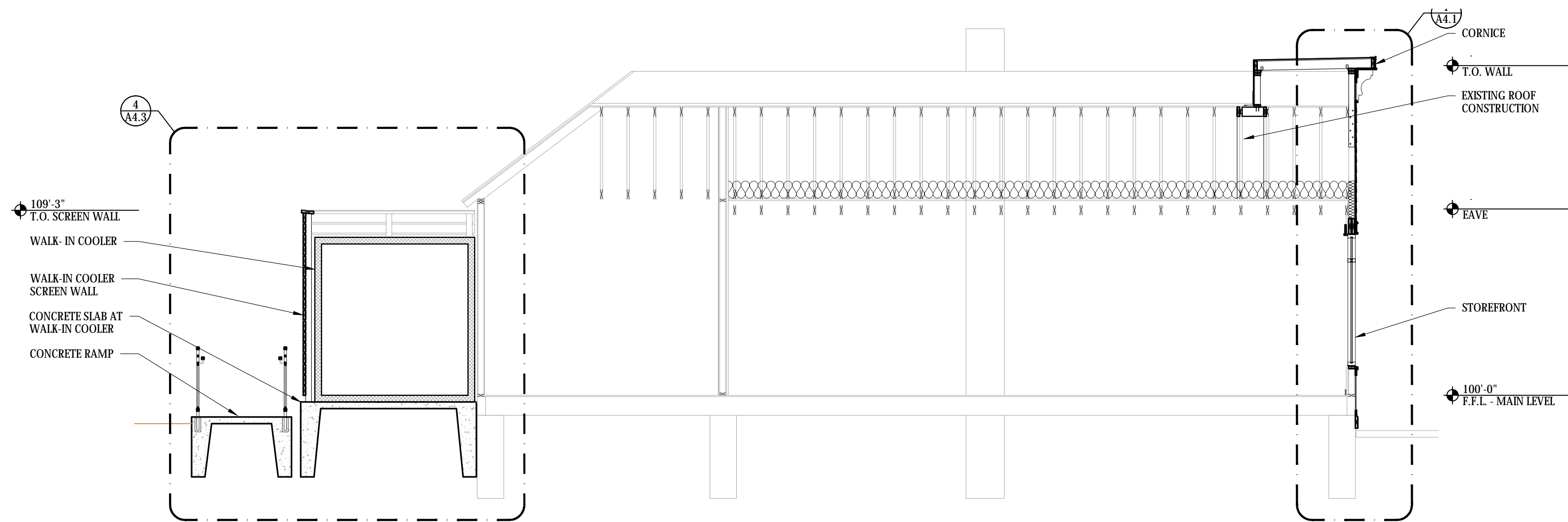
1
A2.2
EXTERIOR ELEVATION - SOUTH
1/4" = 1'-0"



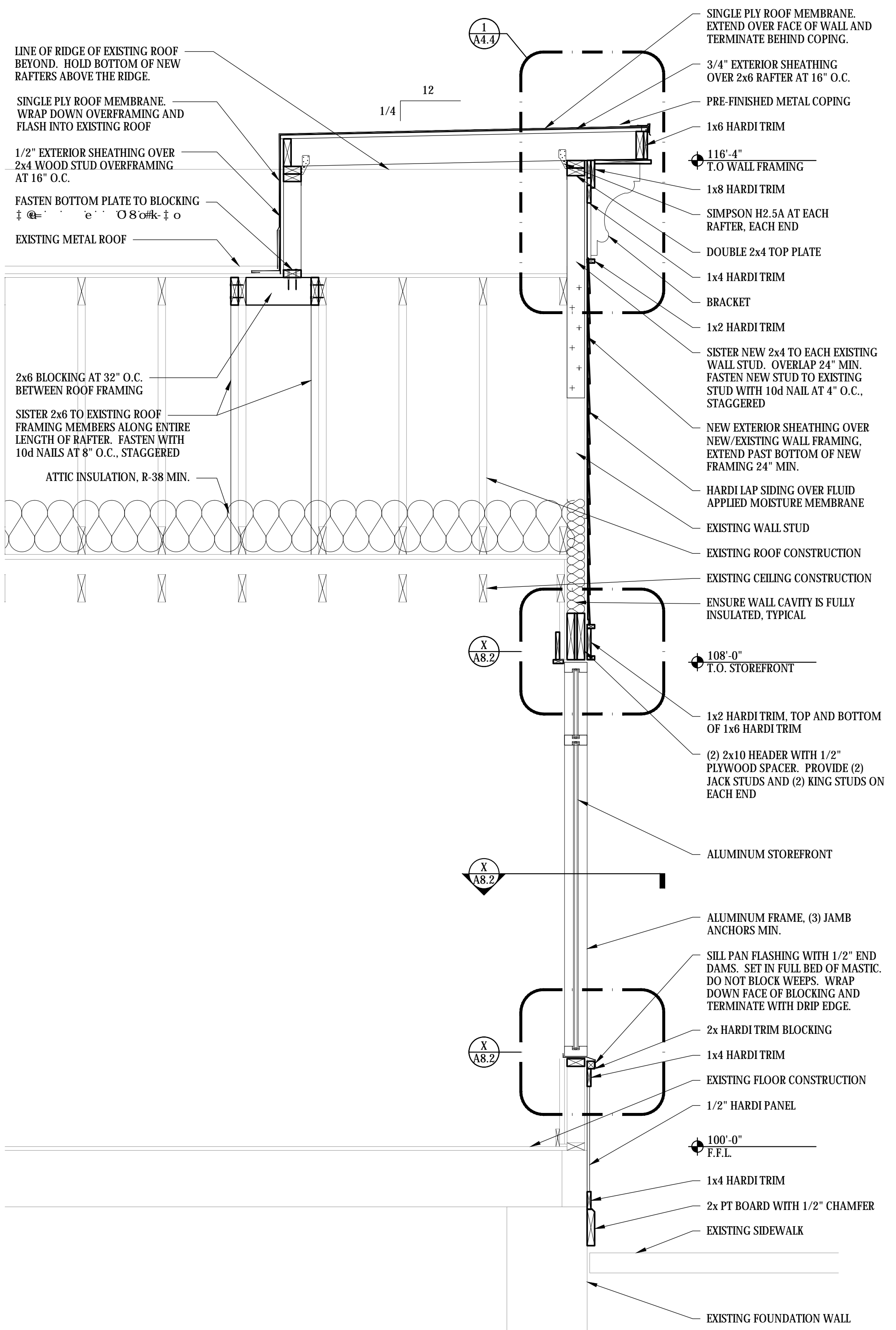
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A2.2
EXTERIOR ELEVATION - WEST
1/4" = 1'-0"



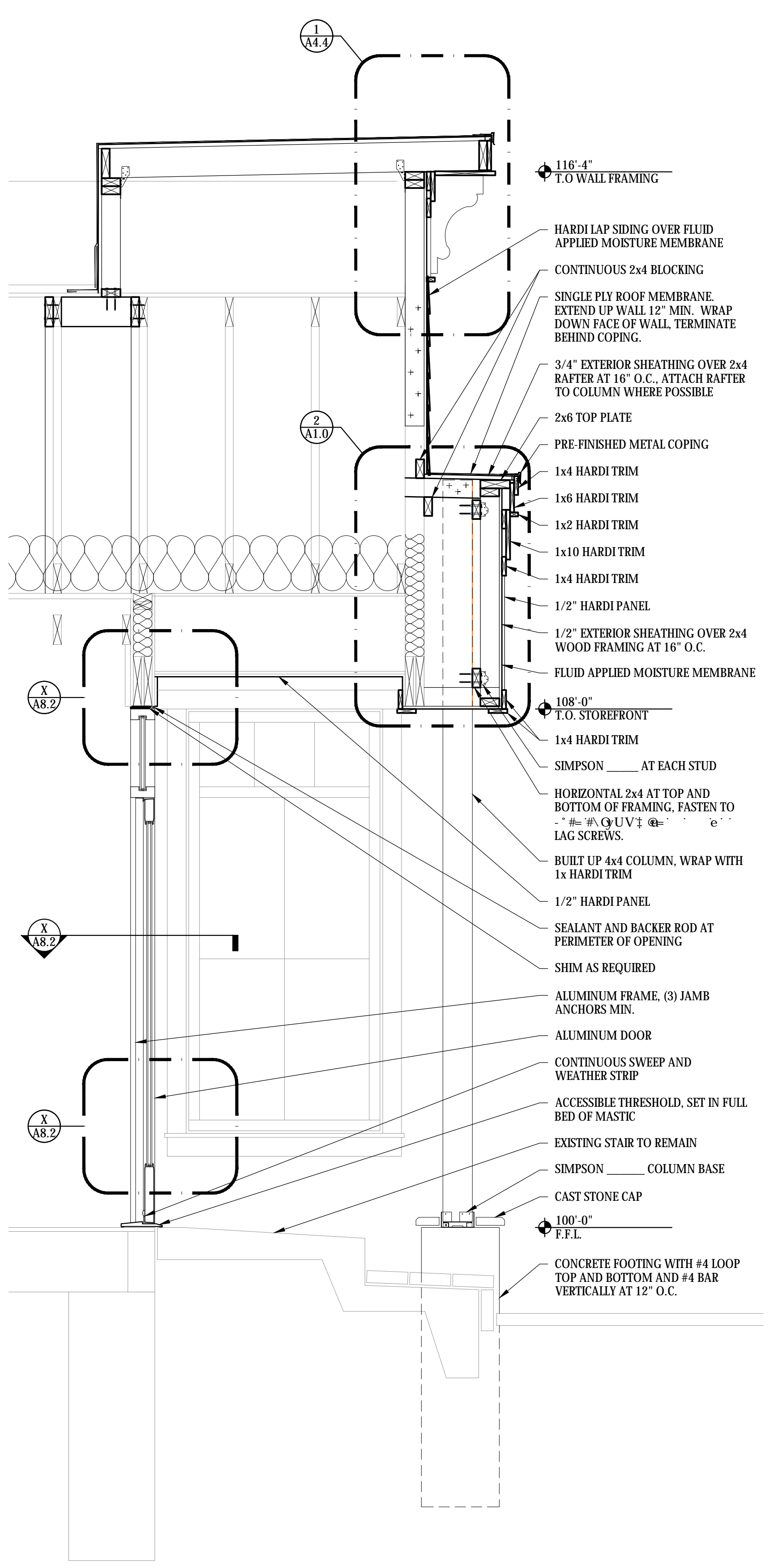
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A2.3
BUILDING SECTION
1/4" = 1'-0"



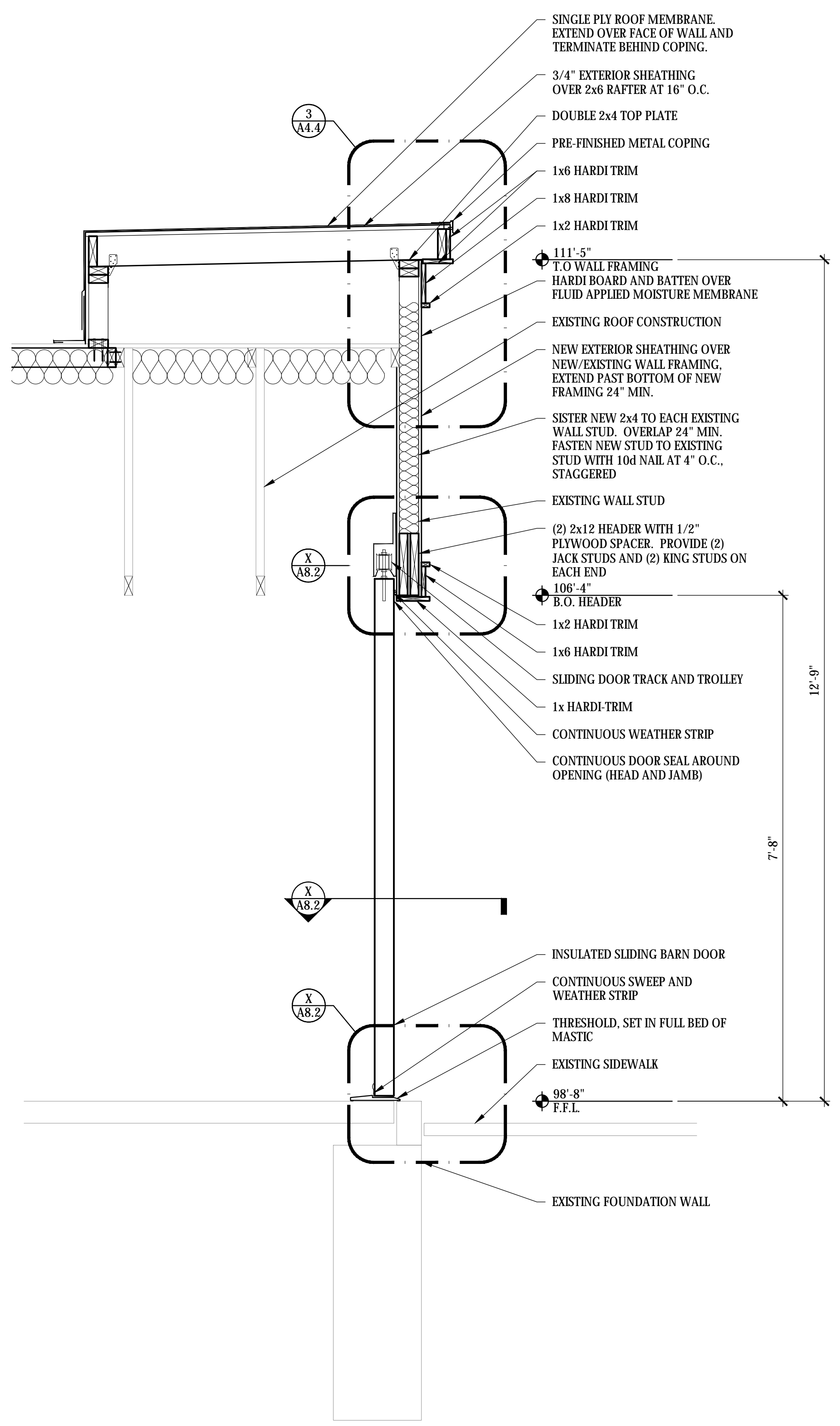
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A2.3
BUILDING SECTION
1/4" = 1'-0"



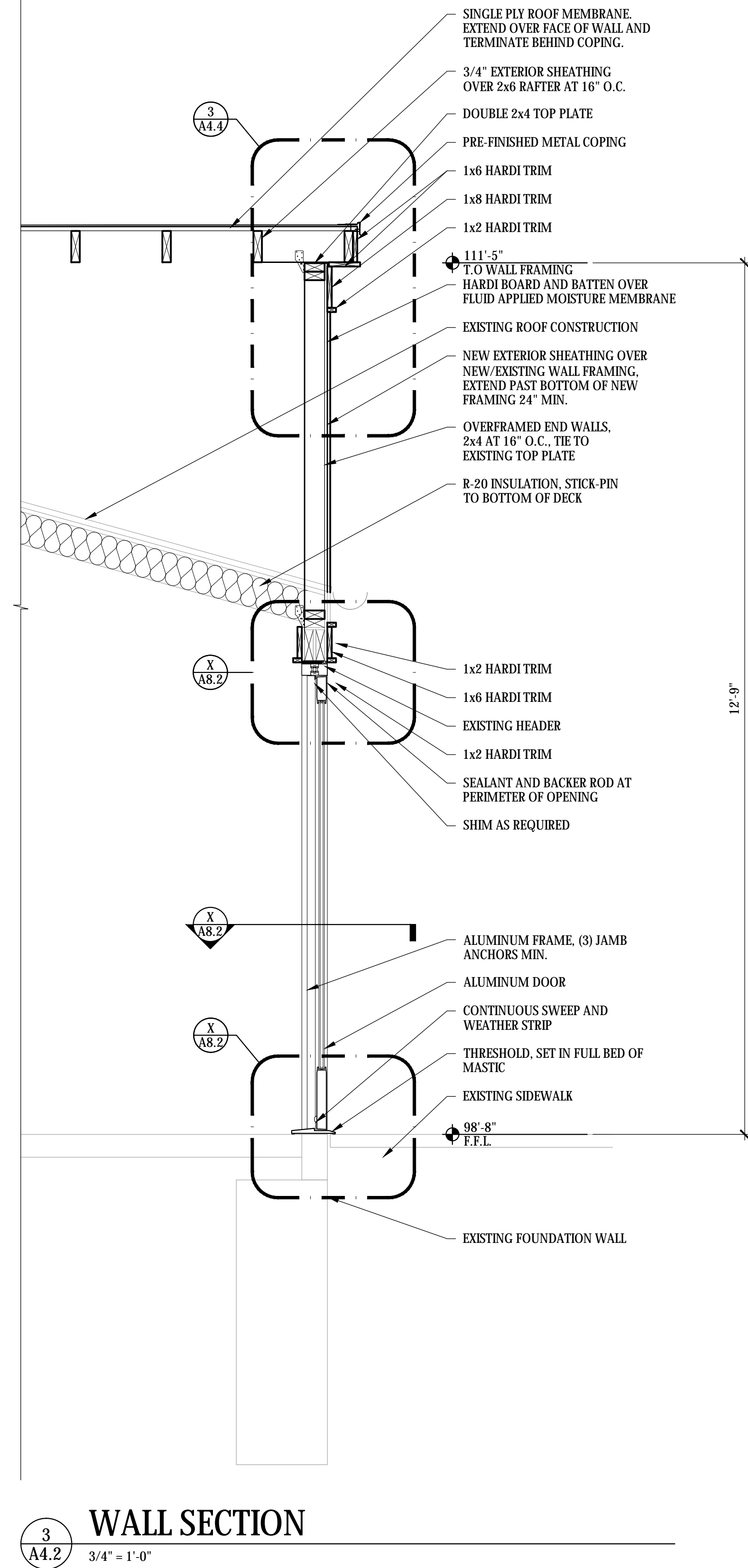
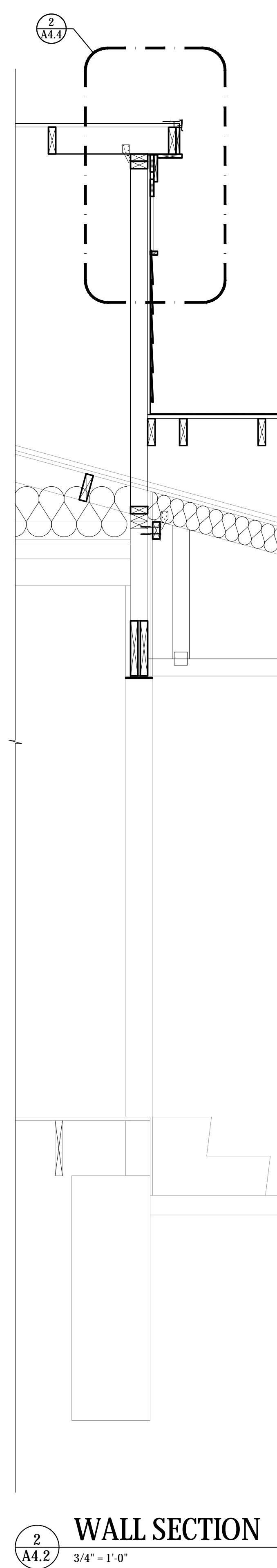
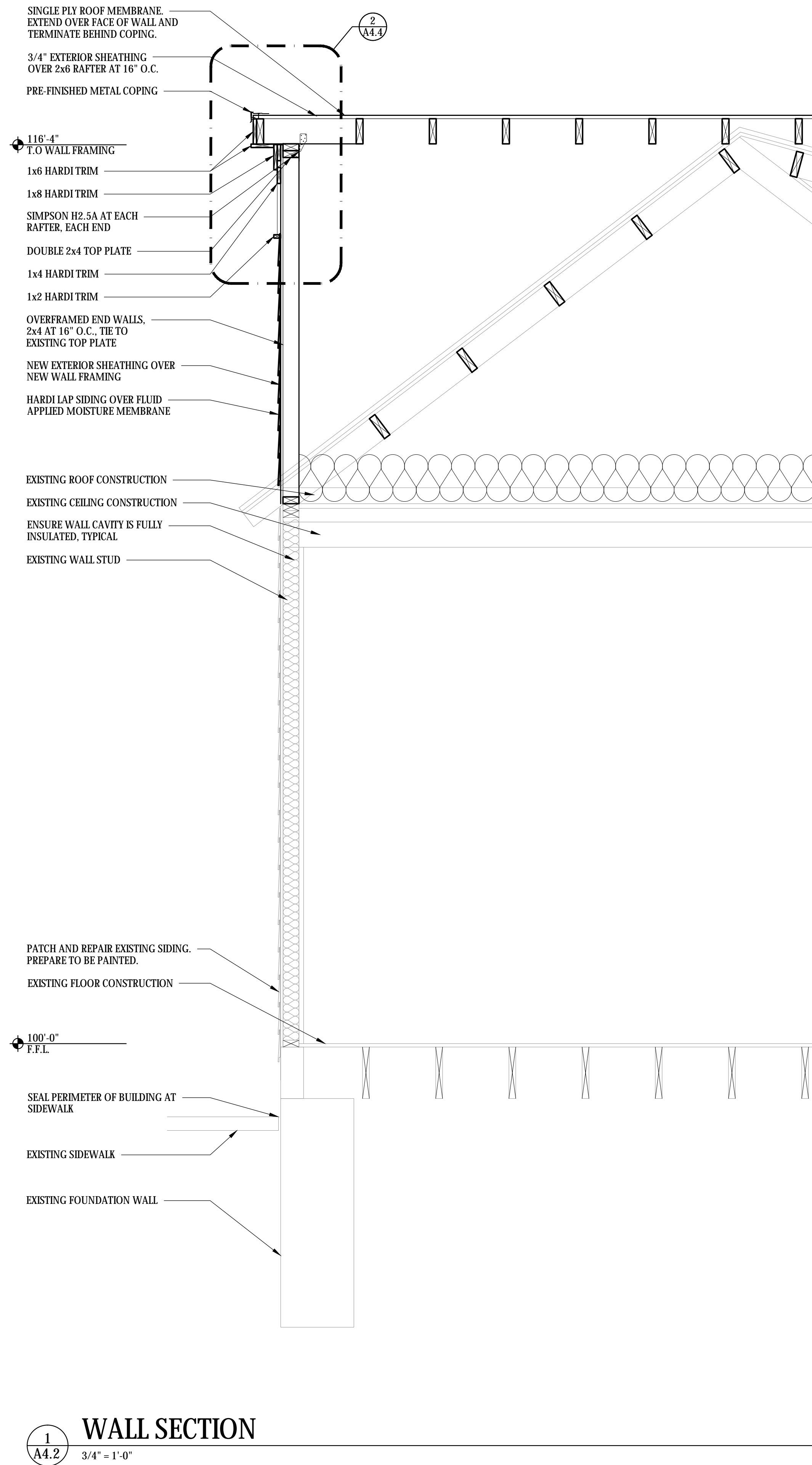
1
A4.1
WALL SECTION
3/4" = 1'-0"

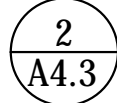


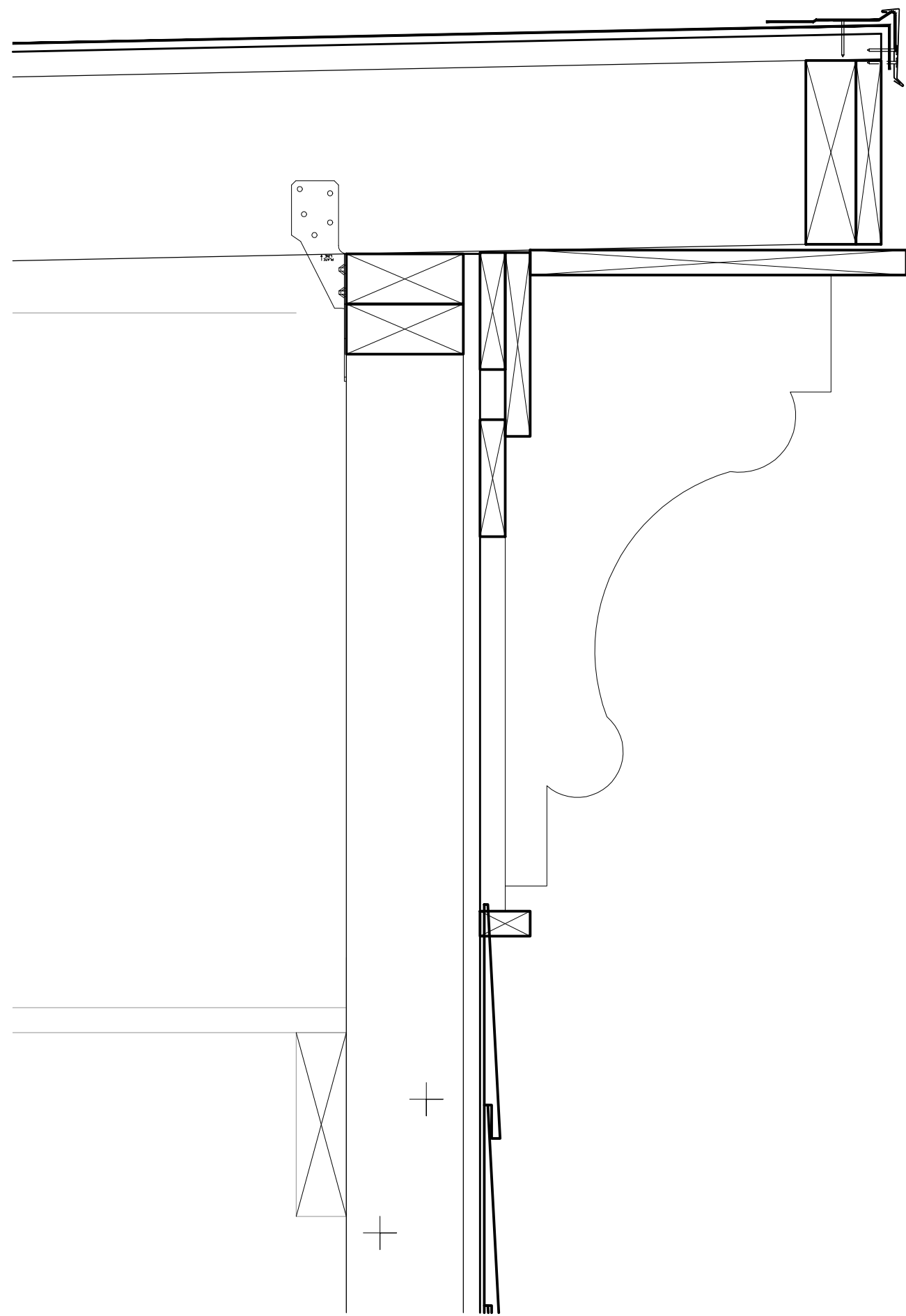
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A4.1
WALL SECTION
3/4" = 1'-0"



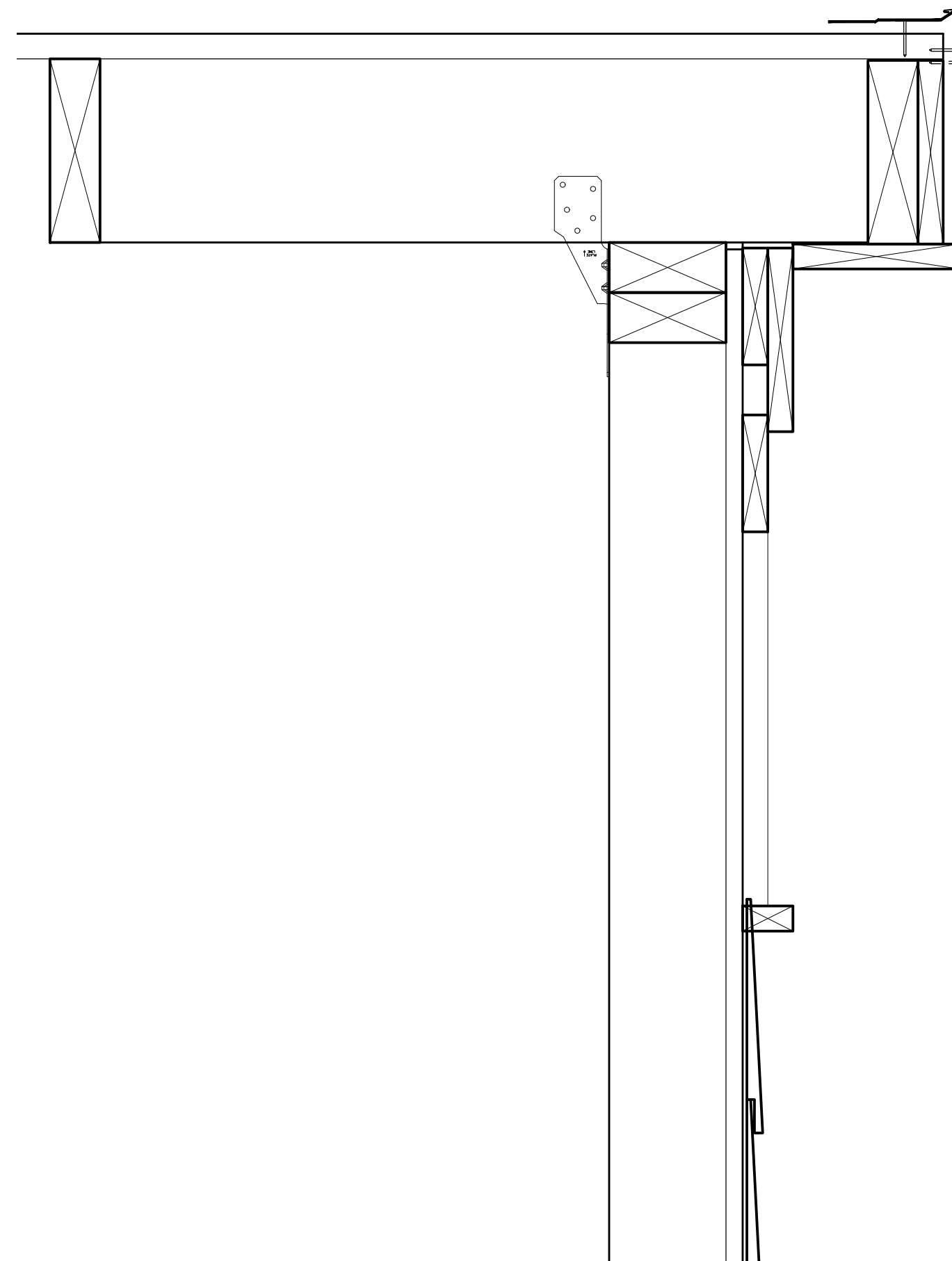
3
A4.1
WALL SECTION
3/4" = 1'-0"



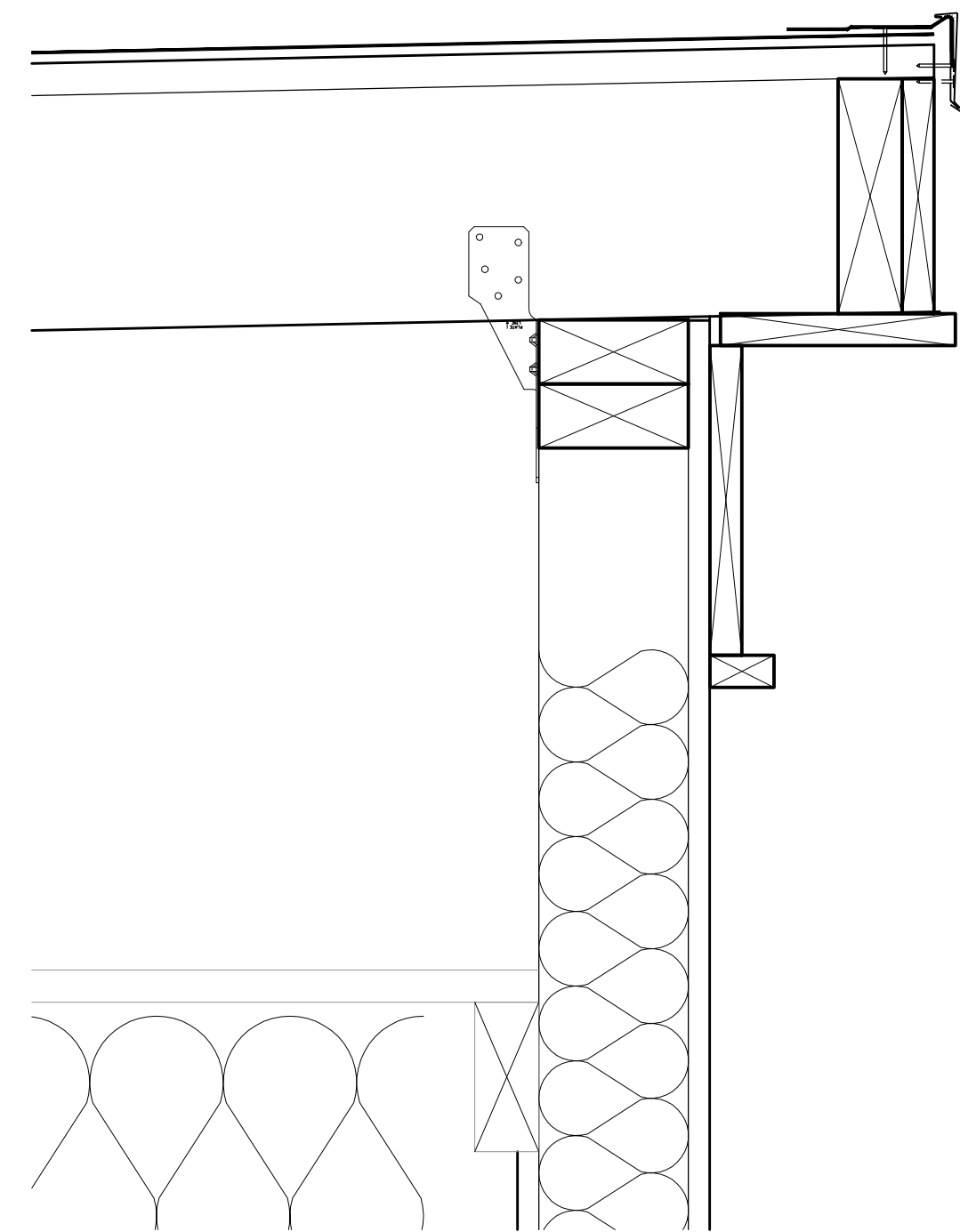




1
A4.4 WALL SECTION
3/4" = 1'-0"



2
A4.4 WALL SECTION
3/4" = 1'-0"



3
A4.4 WALL SECTION
3/4" = 1'-0"