

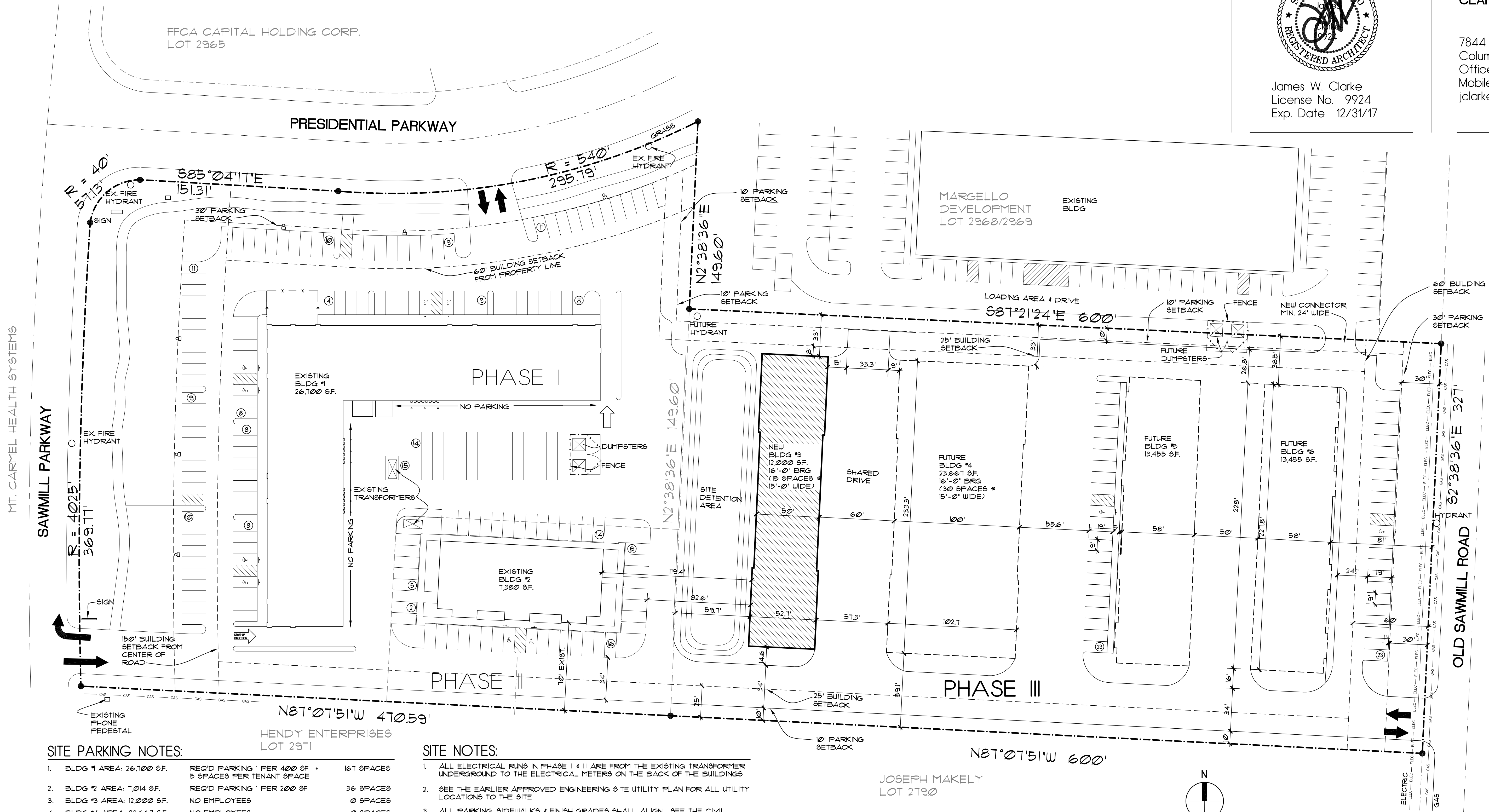
NAME: CLARKE \\\CAI-2-PC\\COMMERCIAL SERVER\\COMMERCIAL MARGELLO DEVELOPMENT\\PRESIDENTIAL POINTE\\PHASE 3\\WAREHOUSE BLDGS\\BLDG 3\\0031-SITEDWG DATE: MAR 03, 2017 TIME: 9:09 AM



James W. Clarke
License No. 9924
Exp. Date 12/31/17



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SITE PARKING NOTES:

1. BLDG #1 AREA: 26,100 SF.	REQ'D PARKING 1 PER 400 SF + 5 SPACES PER TENANT SPACE	167 SPACES
2. BLDG #2 AREA: 1,014 SF.	REQ'D PARKING 1 PER 200 SF	36 SPACES
3. BLDG #3 AREA: 12,000 SF.	NO EMPLOYEES	0 SPACES
4. BLDG #4 AREA: 23,661 SF.	NO EMPLOYEES	0 SPACES
5. BLDG #5 AREA: 13,455 SF.	REQ'D PARKING 1 PER 200 SF	68 SPACES
6. BLDG #6 AREA: 13,455 SF.	REQ'D PARKING 1 PER 200 SF	68 SPACES
TOTAL BLDG AREA: 92,661 SF.	TOTAL REQ'D PARKING SPACES	339 SPACES
6. REQUIRED PARKING PHASES I, II & III:		319 SPACES
ACTUAL PARKING & HC INDICATED PHASE I & II:		179 SPACES
DESIGNED PARKING & HC INDICATED PHASE III:		46 SPACES
TOTAL ACTUAL PARKING & HC INDICATED:		225 SPACES
7. PARKING SPACES ARE 9'W x 19'1/2' W/ 22'W (MIN.) DRIVE AISLES		
8. PER ADDAG, MINIMUM (8) HANDICAP SPACES REQUIRED FOR PHASES I & II COMBINED. PER ADDAG, MINIMUM (2) HANDICAP SPACES REQUIRED FOR PHASES III.		

SITE NOTES:

- ALL ELECTRICAL RUNS IN PHASE I & II ARE FROM THE EXISTING TRANSFORMER UNDERGROUND TO THE ELECTRICAL METERS ON THE BACK OF THE BUILDINGS
- SEE THE EARLIER APPROVED ENGINEERING SITE UTILITY PLAN FOR ALL UTILITY LOCATIONS TO THE SITE
- ALL PARKING, SIDEWALKS & FINISH GRADES SHALL ALIGN. SEE THE CIVIL ENGINEERING DRAWINGS.

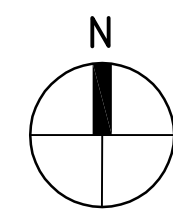
SITE INFORMATION:

ZONING DISTRICT:	PC - PLANNED COMMERCIAL
PARCEL NO.:	3193440104700
TOTAL LAND AREA:	3,057 AC (394,521.36 SF)
TOTAL BLDG AREA:	92,661 SF
TOTAL GREEN AREA:	95,531 SF

SETBACKS:

	REQUIRED	ACTUAL
FRONT BUILDING SETBACK (SAWMILL PARKWAY):	150'	190.3'
FRONT PAVEMENT SETBACK (SAWMILL PARKWAY):	15'	75'
FRONT BUILDING SETBACK (OLD SAWMILL RD.):	60'	92.8'
FRONT PAVEMENT SETBACK (OLD SAWMILL RD.):	30'	31'
SIDE BUILDING SETBACK (PRESIDENTIAL PARKWAY):	60'	107.1'
SIDE PAVEMENT SETBACK (PRESIDENTIAL PARKWAY):	30'	30'
SIDE BUILDING SETBACK (NORTH):	25'	33'
SIDE PAVEMENT SETBACK (NORTH):	10'	10'
SIDE BUILDING SETBACK (SOUTH):	25'	59.1'
SIDE PAVEMENT SETBACK (SOUTH):	10'	10'
BUILDING SEPARATION:	50'	86.9'/60'

JOSEPH MAKELY
LOT 2790



40 80 120

Site Plan



DATE: MARCH 3, 2017

REVISION DATES:

PROJECT:

MARGELLO DEVELOPMENT
PRESIDENTIAL POINTE
BUILDING 3
SAWMILL RD.
POWELL, OHIO 43065

PROJECT NUMBER: CA201609

SHEET TITLE:

ARCHITECTURAL SITE PLAN

SHEET NUMBER:

S1

NAME: CLARKE \\CAI-2-PC\COMMERCIAL_SERVER\COMMERCIAL\MARGELLO DEVELOPMENT\PRESIDENTIAL POINTE\PHASE 3\WAREHOUSE BLDGS\0033-LANDSCAPEDWG DATE: FEB 23, 2016 TIME: 5:49 PM

MT. CARMEL HEALTH SYSTEMS

SAWMILL PARKWAY

FFCA CAPITAL HOLDING CORP.
LOT 2965

PRESIDENTIAL PARKWAY

MARGELLO
DEVELOPMENT
LOT 2968/2969

EXISTING
BLDG

PHASE I

EXISTING
BLDG #1
26,100 SF.

EXISTING
BLDG #2
1,380 SF.

PHASE II

RED 1
SPACED
APPROX.
80' APART

NEW
BLDG #3
12,000 SF.
16'-0" BRG
(15 SPACES @
15'-0" WIDE)

SITE
DETENTION
AREA

FUTURE
BLDG #4
23,661 SF.
16'-0" BRG
(30 SPACES @
15'-0" WIDE)

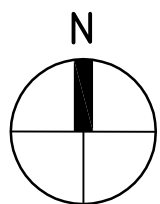
PHASE III

FUTURE
BLDG #5
13,455 SF.

FUTURE
BLDG #6
13,455 SF.

OLD SAWMILL ROAD

3'-0" MOUND



40' 80'

LANDSCAPE SITE PLAN

2 WORKING DAYS
BEFORE YOU DIG
CALL TOLL FREE 800-362-2764
OHIO UTILITIES PROTECTION SERVICE

LANDSCAPE NOTES:

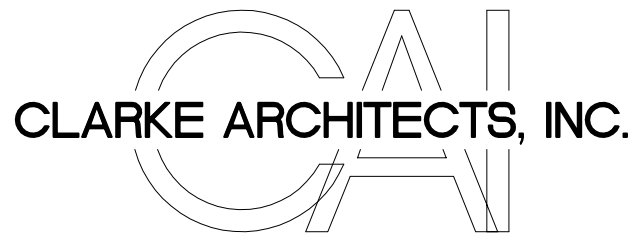
- TREES SHALL BE SUBSTITUTED AS LONG AS THE TREES HAVE THE COMPARABLE SIZE & GROWTH RATE
- COORDINATE ALL TREES W/ THE UNDERGROUND UTILITIES BEFORE INSTALLATION

LANDSCAPING/ZONING NOTES:

A TOTAL TRUNK DIAMETER IS BASE ON SQUARE FOOTAGE OF BUILDING GROUND COVER. THE NEW BUILDING AREAS INDICATED IS 66,581 SF. REQUIRED TRUNK DIAMETER - 61", MIN. TREE SIZE OF 2" CAL. 62" OF TREES ARE DESIGNED

PLANTING SPECIFICATIONS:

QUANTITY	SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE
13	RED	RED MAPLE	ACER RUBRUM	2" CAL.
1	ZEL	JAPANESE ZELKOVA	ZELKOVA SERRATA	2" CAL.
13	SPI	SPIREA 'MAGIC CARPET'	SPIREA 'MAGIC CARPET'	1 GAL
13	BUR	BURNING BUSH	EUONYMUS ALATUS	1 GAL
5	BLU	BLUE HOLLY	ILEX MESERVAE	1 GAL
21	KNO	KNOCK-OUT SHRUB ROSE	ROSA 'KNOCK-OUT'	1 GAL
11	SPR	BLUE SPRUCE	PICEA FUNGENS	6' HT



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REVIEW SET -
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DATE: FEBRUARY 30, 2017

REVISION DATES:

PROJECT:

MARGELLO DEVELOPMENT
PRESIDENTIAL POINTE
BUILDING 3
SAWMILL RD.
POWELL, OHIO 43065

PROJECT NUMBER: CA201609

SHEET TITLE:

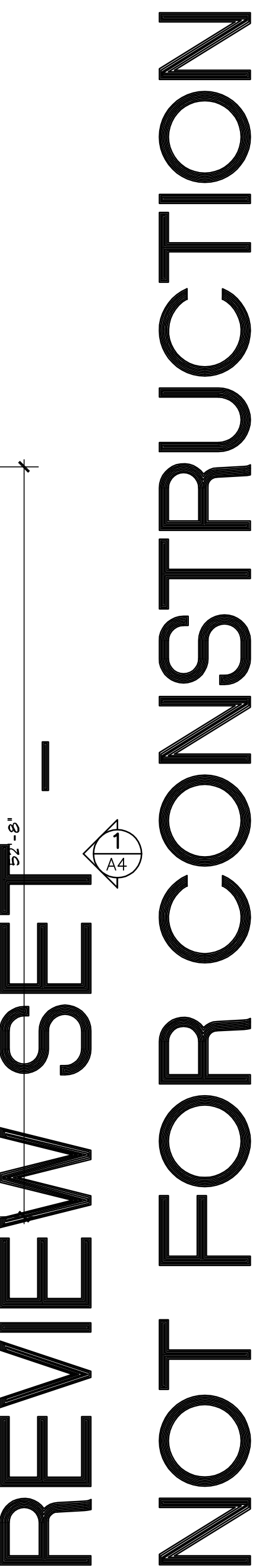
LANDSCAPE SITE PLAN

SHEET NUMBER:

1. COORDINATE OPENINGS & FRAMING W/ CONTRACTOR BEFORE INSTALLATION OF DOORS
2. ALL FINISH HARDWARE SHALL BE COORD. W/ THE OWNER
3. SEE FLOOR PLAN FOR THE EXACT COUNT & LOCATION OF DOORS REQ'D
4. CONTRACTOR SHALL COORD. ALL HARDWARE FUNCTION, SCHEDULE, PURPOSE, ETC. W/ OWNER BEFORE SHOP DRAWINGS, ORDERING & INSTALLATION.
6. THE OVERHEAD DOOR SHALL BE A SECTIONAL, 17'-0" X 14'-0" INSULATED, HIGH-LIFT TRACK TYPE, 26 GA. BACKER SHEET, MFG. STANDARD HARDWARE W/ JAMBS & ROLL SEALS AS MFG. BY OVERHEAD DOOR CO. MODEL #422, OR OWNER APPROVED EQUAL

1. CONTRACTOR SHALL OBTAIN A COMPLETE SET OF PLANS & BE FAMILIAR W/ THE ENTIRE PROJECT IN ORDER TO UNDERSTAND THE COMPLETE SCOPE OF THE PROJECT.
2. FOR ALL STRUCTURAL FOUNDATION NOTES SEE SHEET A2 FOR ALL GENERAL STRUCTURAL NOTES SEE SHEET A5
3. PROVIDE STRUCTURAL WALL 1/2" FLYWOOD SHEATHING OR ORIENT STRAND BOARD (OSB) ON THE ENTIRE EXTERIOR OF THE BUILDING ALONG W/ A BUILDING WRAP. SEE GENERAL STRUCTURAL NOTES ON SHEET A5.
4. WOOD FRAMED, EXTERIOR BRG WALLS SHALL BE A MIN. OF 2 x 6 @ 16' O.C. @ 16'-0" H.
5. ALL LUMBER SHALL BE STRESS GRADE (NO 2 OR BETTER), & MARKED, W/ MIN FO 1000 (255) SPECIES - SPECIFICATIONS FOR MODULUS OF ELASTICITY (1300,000 PSI), MAX DEFLECTION OF L/360, THE STRUCTURAL LUMBER INFORMATION SHALL BE MINIMUM.
6. ALL WOOD IN CONTACT W/ CONCRETE OR CONCRETE BLOCK SHALL BE PRESSURE TREATED. FASTENERS SHALL ONLY W/ APPROV CABLE CODES, IN ALL CONDITIONS ARE PRESSURE TREATED. WOOD TO BE FASTENED W/ ANCHOR BOLTS, WASHERS, NAILS ETC. SHALL BE TRIPLE HOT DIPPED OR STAINLESS STEEL.
7. ALL WALLS & CEILINGS SHALL BE COVERED W/ 5/8" GYP. BD. OR METAL PANELS, UNLESS NOTED OTHERWISE
8. ALL THE EXTERIOR WALLS SHALL BE 2 x 6 @ 16' O.C., 12'-0" H. (DIM. TO EXTERIOR FACE OF SHEATHING: (6"). THE INTERIOR STUD WALLS SHALL BE EITHER 2 x 4 @ 16' O.C. (DIM. 3 1/2") OR 2 x 6 @ 24' O.C. (DIM. 5 1/2") @ 16'-0" H. UNLESS NOTED OTHERWISE
9. ALL DIMENSIONS ARE TO FACE OF WOOD STUDS, FACE OF EXTERIOR WALL SHEATHING & FACE OF FOUNDATION, UNLESS NOTED OTHERWISE
10. THE INSULATION MATERIAL CONCEALED WITHIN THE BUILDING ASSEMBLIES SHALL HAVE A FLAME SPREAD RATING OF 15 OR LESS. THE SMOKE DEVELOPMENT RATING SHALL BE 450 OR LESS. THE INTERIOR LOCATIONS ARE OPTIONAL, DECIDED BY THE OWNER

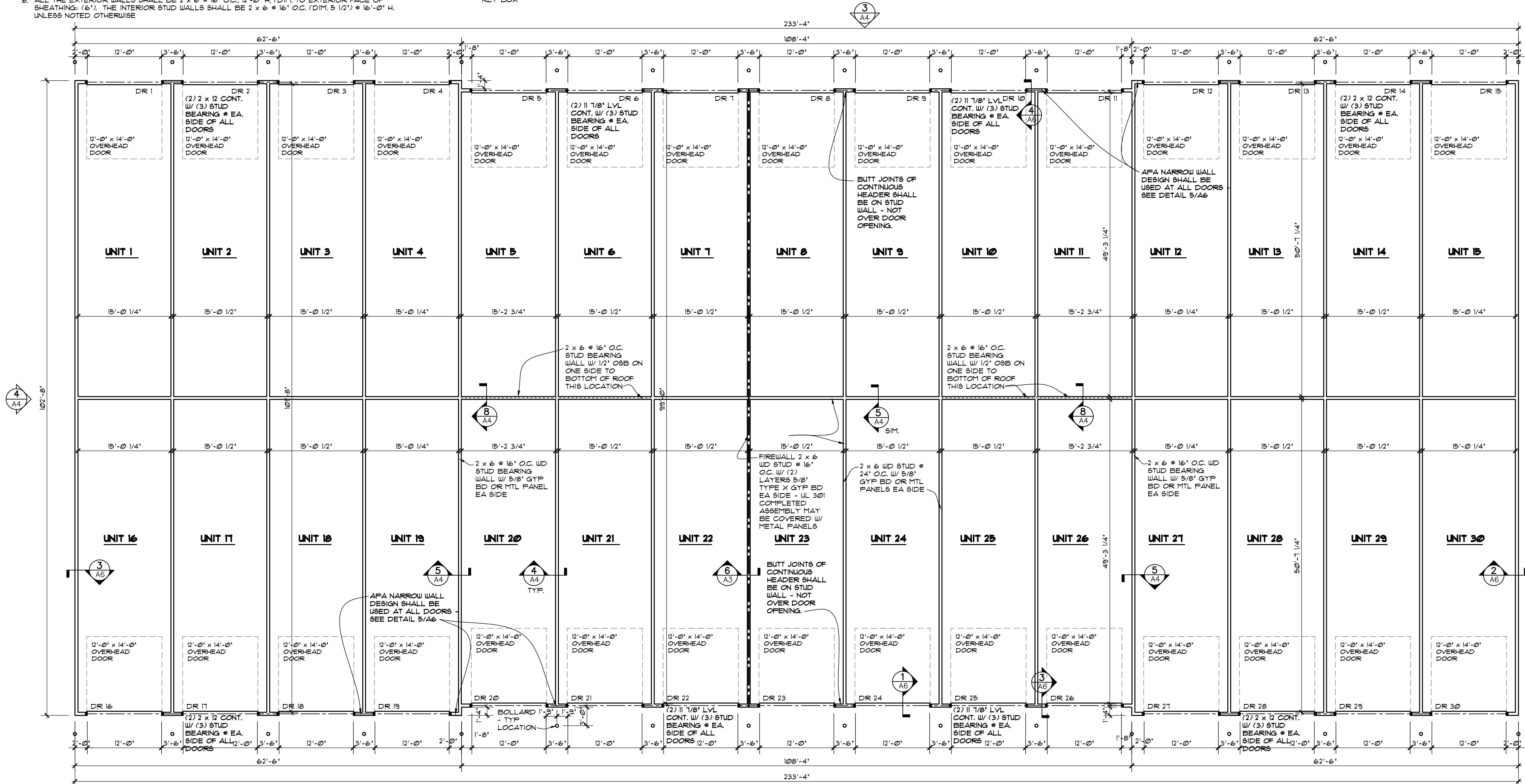
11. COORDINATE ALL OPENINGS W/ DOORS BEFORE INSTALLATION
12. THE CONTRACTORS SHALL VERIFY THAT THE SOFFIT/ROOF VENTILATION MEETS OR EXCEEDS REQUIREMENTS AS PER LOCAL BUILDING CODES. SEE THE ROOF PLAN
13. PROVIDE ICE DAM PROTECTION PER OBC 15012.82, A MEMBRANE THAT CONSISTS OF AT LEAST TWO LAYERS OF UNDERLAYMENT CEMENTED TOGETHER OR OF A SELF-ADHERING POLYMER MODIFIED BITUMEN SHEET SHALL BE USED IN LIEU OF NORMAL UNDERLAYMENT AND EXTEND FROM THE EAVE'S EDGE TO A POINT AT LEAST 24 INCHES INSIDE THE EXTERIOR WALL LINE OF THE BUILDING.
14. PROVIDE (1) ATTIC ACCESS PER EA. SIDE OF DRAFT STOP, 22" x 32". MAINTAIN MIN. 30" HEAD ROOM. ALL ATTIC ACCESS HATCHES SHALL HAVE WEATHERSTRIPPING & BE INSULATED TO A LEVEL EQUIVALENT TO THE INSULATION ON THE SURROUNDING SURFACES.
15. PROVIDE DRAFT SPACE DRAFT STOP EVERY 3,000 SF, 1/2" GYP. BOARD ON ONE SIDE OF TRUSS &/OR ROOF FRAMING, SEE SHEET A5.
16. FIRE STOPPING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (VERT. & HORIZ.) & TO FORM AN EFFECTIVE FIRE STOP BETWEEN WALLS & THE ROOF
17. COORDINATE W/ OWNER & FIRE DEPARTMENT FOR THE EXACT LOCATION OF THE REQUIRED FIRE KEY BOX
18. PER OBC 712.2 FIRE BLOCKING SHALL BE PROVIDED IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AND PARALLEL ROUS OF STUDS OR STAGGERED STUDS, AS FOLLOWS: A VERTICALLY AT THE CEILING AND FLOOR LEVELS. B. HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET
19. THE INSULATION MATERIAL CONCEALED WITHIN THE BUILDING ASSEMBLIES SHALL HAVE A FLAME SPREAD RATING OF 15 OR LESS. THE SMOKE DEVELOPMENT RATING SHALL BE 450 OR LESS. THE NEW EXTERIOR WALLS SHALL BE FILLED W/ R-21 HIGH DENSITY BATT INSUL. THE ROOF AREAS SHALL HAVE R-38. THE INSULATION VALUES ARE LISTED AS MINIMUMS.
20. BUTT JOINTS OF HEADERS SHALL BE ON STUD WALL - NOT OVER DOOR OPENING.
21. APA NARROW WALL DESIGN SHALL BE USED AT ALL DOORS - SEE DETAIL 5/A6



NAME: CLARKE \NCAI-2-PC\COMMERCIAL SERVER\COMMERCIAL DEVELOPMENT\PRESIDENTIAL POINTE\PHASE 3\WAREHOUSE BLDGS\BDG 4\A3- PLANDWG DATE: FEB 09, 2017 TIME: 2:18 PM

GENERAL PLAN NOTES:

- CONTRACTOR SHALL OBTAIN A COMPLETE SET OF PLANS & BE FAMILIAR W/ THE ENTIRE PROJECT IN ORDER TO UNDERSTAND THE COMPLETE SCOPE OF THE PROJECT.
- FOR ALL STRUCTURAL FOUNDATION NOTES SEE SHEET A2 FOR ALL GENERAL STRUCTURAL NOTES SEE SHEET A2
- PROVIDE STRUCTURAL WALL 1/2" PLYWOOD SHEATHING OR ORIENT STRAND BOARD (OSB) ON THE ENTIRE EXTERIOR OF THE BUILDING ALONG W/ A BUILDING WRAP. SEE GENERAL STRUCTURAL NOTES ON SHEET A2.
- WOOD FRAMED, EXTERIOR BRG WALLS SHALL BE A MIN. OF 2 x 6 @ 16" O.C. @ 16'-0" H
- ALL LUMBER SHALL BE STRESS GRADE (NO. 2 OR BETTER) & MARKED, W/ MIN. Pb 1000 PSI. SPECIES - SPRUCE PINE FIR, MODULES OF ELASTICITY - 1300000 PSI, MAX. DEFLECTION OF L/360, THE STRUCTURAL LUMBER INFORMATION SHALL BE MINIMUM.
- ALL WOOD IN CONTACT W/ CONCRETE OR CONCRETE BLOCK SHALL BE PRESSURE TREATED. FASTENERS SHALL COMPLY W/ APPLICABLE CODES. IN ALL CONDITIONS WHERE PRESSURE-TREATED WOOD IS USED, FASTENERS, ANCHOR BOLTS, WASHERS, NAILS, ETC. SHALL BE TRIPLE HOT DIPPED OR STAINLESS STEEL.
- ALL WALLS & CEILINGS SHALL BE COVERED W/ 5/8" GYP. BD. OR METAL PANELS, UNLESS NOTED OTHERWISE
- ALL THE EXTERIOR WALLS SHALL BE 2 x 6 @ 16" O.C. 12'-0" H. (DIM. TO EXTERIOR FACE OF SHEATHING: (6"). THE INTERIOR STUD WALLS SHALL BE 2 x 6 @ 16" O.C. (DIM. 5 1/2") @ 16'-0" H. UNLESS NOTED OTHERWISE
- ALL DIMENSIONS ARE TO FACE OF WOOD STUDS, FACE OF EXTERIOR WALL SHEATHING & FACE OF FOUNDATION, UNLESS NOTED OTHERWISE
- THE INSULATION MATERIAL CONCEALED WITHIN THE BUILDING ASSEMBLIES SHALL HAVE A FLAME SPREAD RATING OF 15 OR LESS. THE SMOKE DEVELOPMENT RATING SHALL BE 450 OR LESS.
- COORDINATE ALL OPENINGS W/ DOORS BEFORE INSTALLATION
- THE CONTRACTORS SHALL VERIFY THAT THE SOFFIT/ROOF VENTILATION MEETS OR EXCEEDS REQUIREMENTS AS PER LOCAL BUILDING CODES. SEE THE ROOF PLAN
- PROVIDE (1) ATTIC ACCESS PER EA. SIDE OF DRAFT STOP, 22" x 32", MAINTAIN MIN. 30" HEAD ROOM. ALL ATTIC ACCESS HATCHES SHALL HAVE WEATHERSTRIPPING & BE INSULATED TO A LEVEL EQUIVALENT TO THE INSULATION ON THE SURROUNDING SURFACES.
- PROVIDE ATTIC SPACE DRAFT STOP EVERY 3.000 SF, 1/2" GYP. BOARD ON ONE SIDE OF TRUSS & /OR ROOF FRAMING, SEE SHEET A5.
- FIRE STOPPING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (VERT. & HORIZ.) & TO FORM AN EFFECTIVE FIRE STOP BETWEEN WALLS & THE ROOF
- COORDINATE W/ OWNER & FIRE DEPARTMENT FOR THE EXACT LOCATION OF THE REQUIRED FIRE KEY BOX
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- PER OBC 1112.2 FIRE BLOCKING SHALL BE PROVIDED IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS: A. VERTICALLY AT THE CEILING AND FLOOR LEVELS. B. HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET
- THE INSULATION MATERIAL CONCEALED WITHIN THE BUILDING ASSEMBLIES SHALL HAVE A FLAME SPREAD RATING OF 15 OR LESS. THE SMOKE DEVELOPMENT RATING SHALL BE 450 OR LESS. THE NEW EXTERIOR WALLS SHALL BE FILLED W/ R-21 HIGH DENSITY BATT INSUL. THE ROOF AREAS SHALL HAVE R-38. THE INSULATION VALUES ARE LISTED AS MINIMUMS.
- BUTT JOINTS OF HEADERS SHALL BE ON STUD WALL - NOT OVER DOOR OPENING.
- APA NARROW WALL DESIGN SHALL BE USED AT ALL DOORS - SEE DETAIL 5/A6



1 FLOOR PLAN
A3 1/8" = 1'-0"

AREA:
BUILDING: 23,661 SF

GENERAL DOOR NOTES:

- COORDINATE OPENINGS & FRAMING W/ CONTRACTOR BEFORE INSTALLATION OF DOORS
- ALL FINISH HARDWARE SHALL BE COORD. W/ THE OWNER
- SEE FLOOR PLAN FOR THE EXACT COUNT & LOCATION OF DOORS REQ'D
- CONTRACTOR SHALL COORD. ALL HARDWARE FUNCTION, SCHEDULE, PURPOSE, ETC. W/ OWNER BEFORE SHOP DRAWINGS, ORDERING & INSTALLATION.
- THE OVERHEAD DOOR SHALL BE A SECTIONAL, 12'-0" x 14'-0" INSULATED, HIGH-LIFT TRACK TYPE, 26 GA. BACKER SHEET, MFG. STANDARD HARDWARE W/ JAMB & SILL SEALS AS MFG. BY OVERHEAD DOOR CO. MODEL #422, OR OWNER APPROVED EQUAL

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DATE: FEBRUARY 9, 2017

REVISION DATES:

PROJECT:

MARGELLO DEVELOPMENT
PRESIDENTIAL POINTE
BUILDING 4
SAWMILL RD.
POWELL, OHIO 43065

PROJECT NUMBER: CA201609

SHEET TITLE:

FLOOR PLAN/ NOTES

SHEET NUMBER:

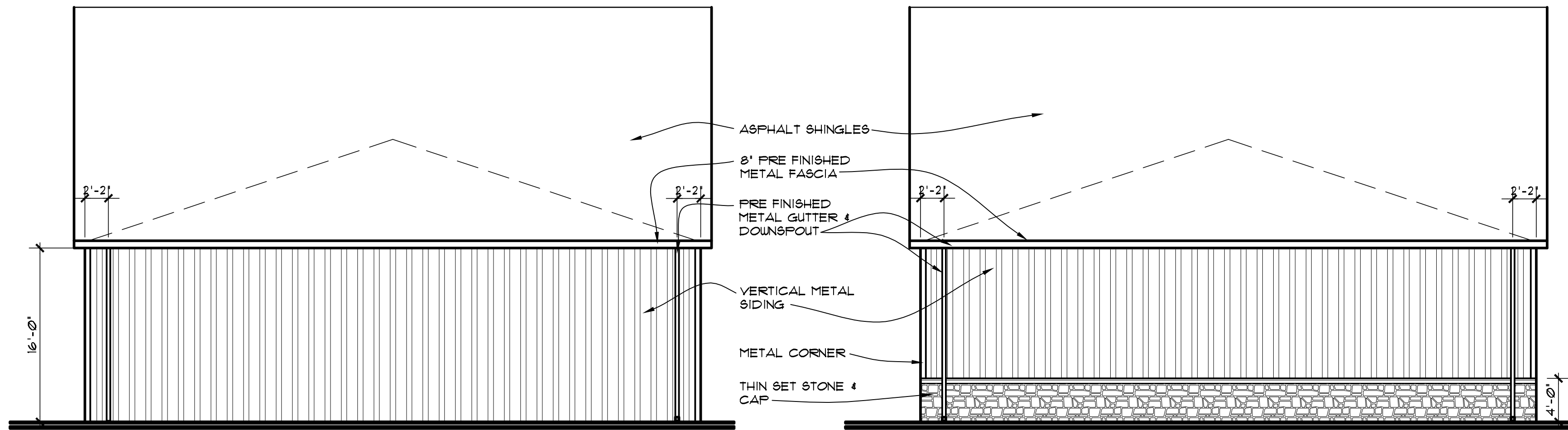
REVIEW SET -
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CLARKE ARCHITECTS, INC.

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jclarke@clarkearchitects.com

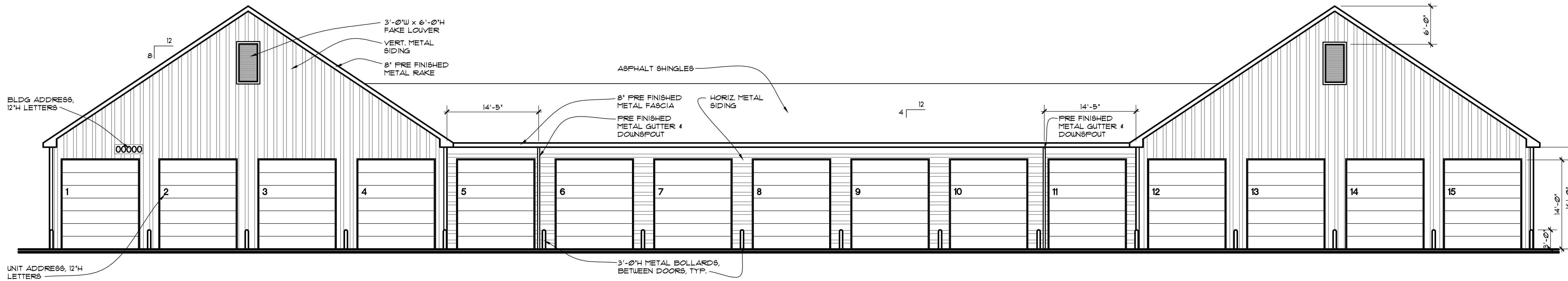
A3

NAME: CLARKE \\\CAI-2-PC\COMMERCIAL SERVER\COMMERCIAL MARGELLO DEVELOPMENT\PRESIDENTIAL POINTE\PHASE 3\WAREHOUSE BLDGS\BLDG 3\A4-ELEV.DWG DATE: FEB 09, 2017 TIME: 3:03 PM

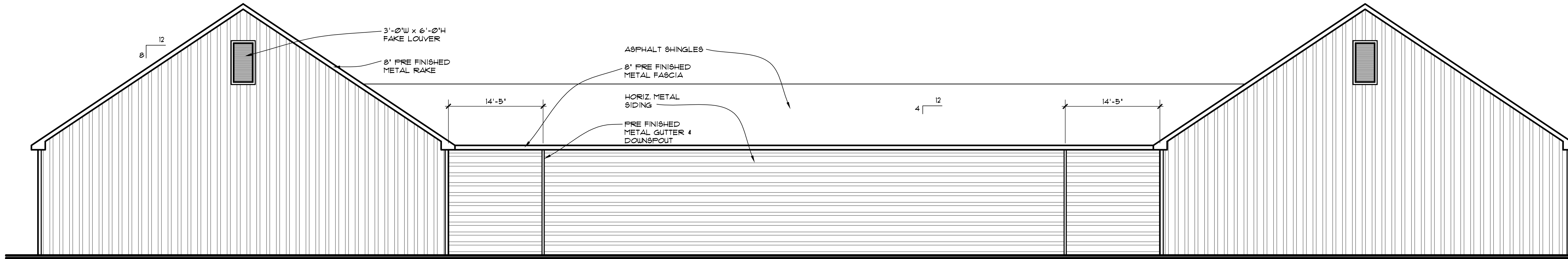


1 NORTH ELEVATION
A4 1/8" = 1'-0"

4 SOUTH ELEVATION
A4 1/8" = 1'-0"



2 EAST ELEVATION
A4 1/8" = 1'-0"



3 WEST ELEVATION
A4 1/8" = 1'-0"

ELEVATION NOTES:

- THE BUILDING IS A WOOD FRAME BUILDING W/ METAL SIDING.
- THE COLOR OF THE BUILDING SHALL BE SELECTED FROM MFR'S. STANDARDS, COORD. W/ THE OWNER.
- COORDINATE EXACT LOCATION, STYLE & FINISH OF DOWNSPOUTS W/ THE OWNER, DRAIN ONTO THE HARD SURFACE AROUND THE BLDG.
- ASPHALT SHINGLES:
UL CLASS A FIRE RESISTANCE, ASTM D 3462, 30 YEAR LIMITED WARRANTY.
QUENS CORNING OAKRIDGE PRO 30, COLOR - AGED CEDAR, VERIFY W/ THE OWNER BEFORE ORDERING.
- METAL SIDING:
METAL EXTERIOR SIDING PANELS SHALL BE A MINIMUM OF 26 GA.
CORROSION-RESISTANT STEEL OR .019 ALUMINUM ON 8" PURLINS. THE EXTERIOR METAL SIDING PANELS SHALL BE GROUNDED W/ (4) 5/8" x 8" LONG GROUNDING RODS, @ 100'-0" APART ATTACHED W/ #6 GROUNDING WIRE.
- THE GUTTER SHALL BE 6" K. GUTTER, .032 ALUM., PREFINISHED W/ 4" x 5" RECTANGULAR CORRUGATED DOWNSPOUT, .021 ALUM., PREFINISHED DUMPING ON TO CONCRETE SPLASH BLOCKS. PROVIDE MANUFACTURED STANDARD FASTENERS & FOLLOW DIRECTIONS. COORDINATE THE EXACT LOCATION, STYLE, & FINISH OF DOWNSPOUTS W/ THE OWNER BEFORE ORDERING & INSTALLATION.

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REVISION DATES:

PROJECT:

MARGELLO DEVELOPMENT
PRESIDENTIAL POINTE
BUILDING 3
SAWMILL RD.
POWELL, OHIO 43065

PROJECT NUMBER: CAI201609

SHEET TITLE:

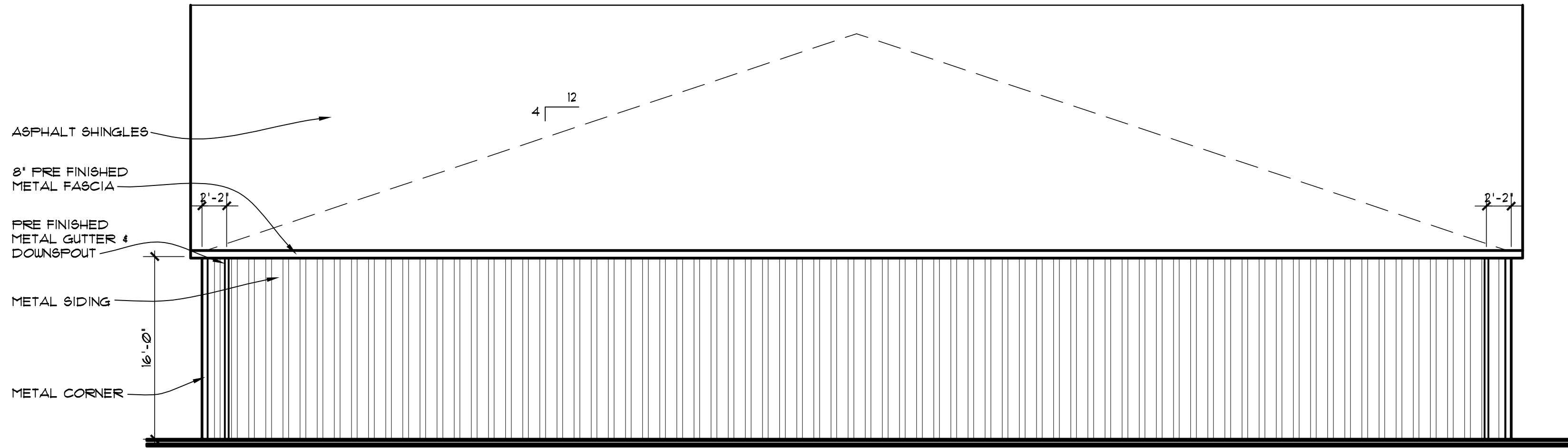
ELEVATIONS

SHEET NUMBER:

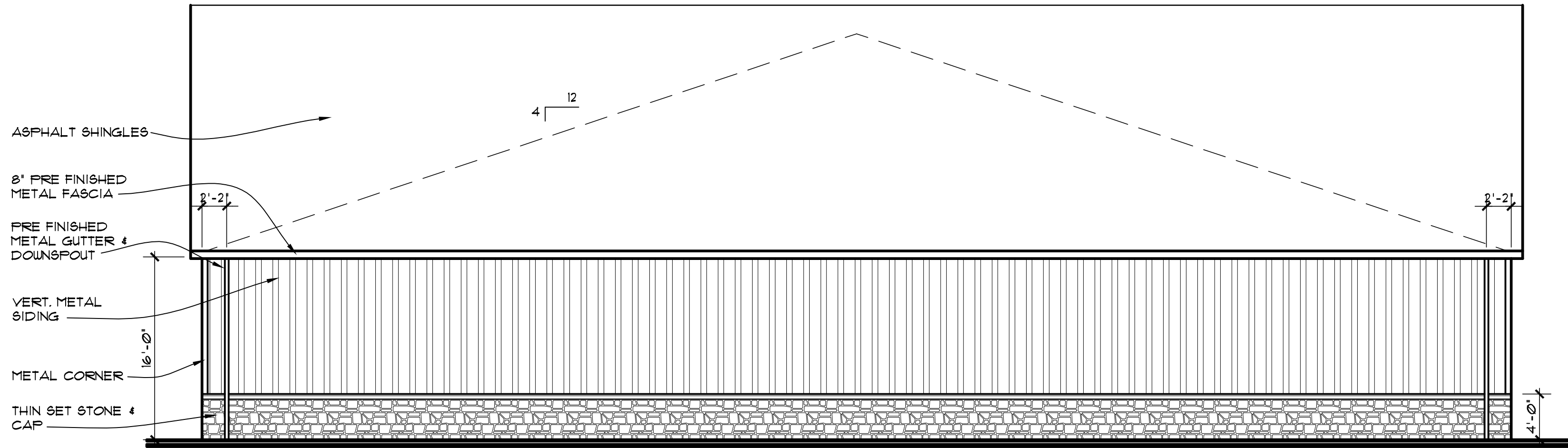
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A4

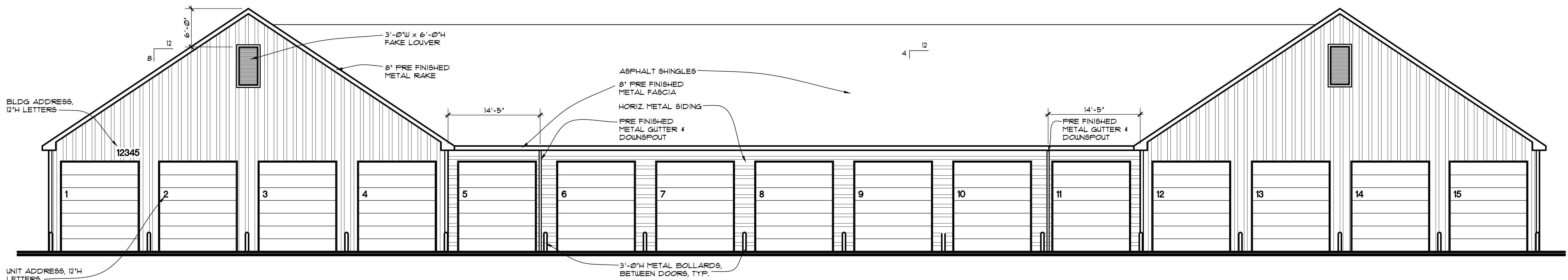
NAME: CLARKE \\\CAI-2-PC\COMMERCIAL_SERVER\COMMERCIAL\MARGELLO DEVELOPMENT\PRESIDENTIAL POINTE\PHASE 3\WAREHOUSE BLDGS\BLDG 4\A4-ELEV.DWG DATE: FEB 09, 2017 TIME: 2:22 PM



1 NORTH ELEVATION
A4 1/8" = 1'-0"



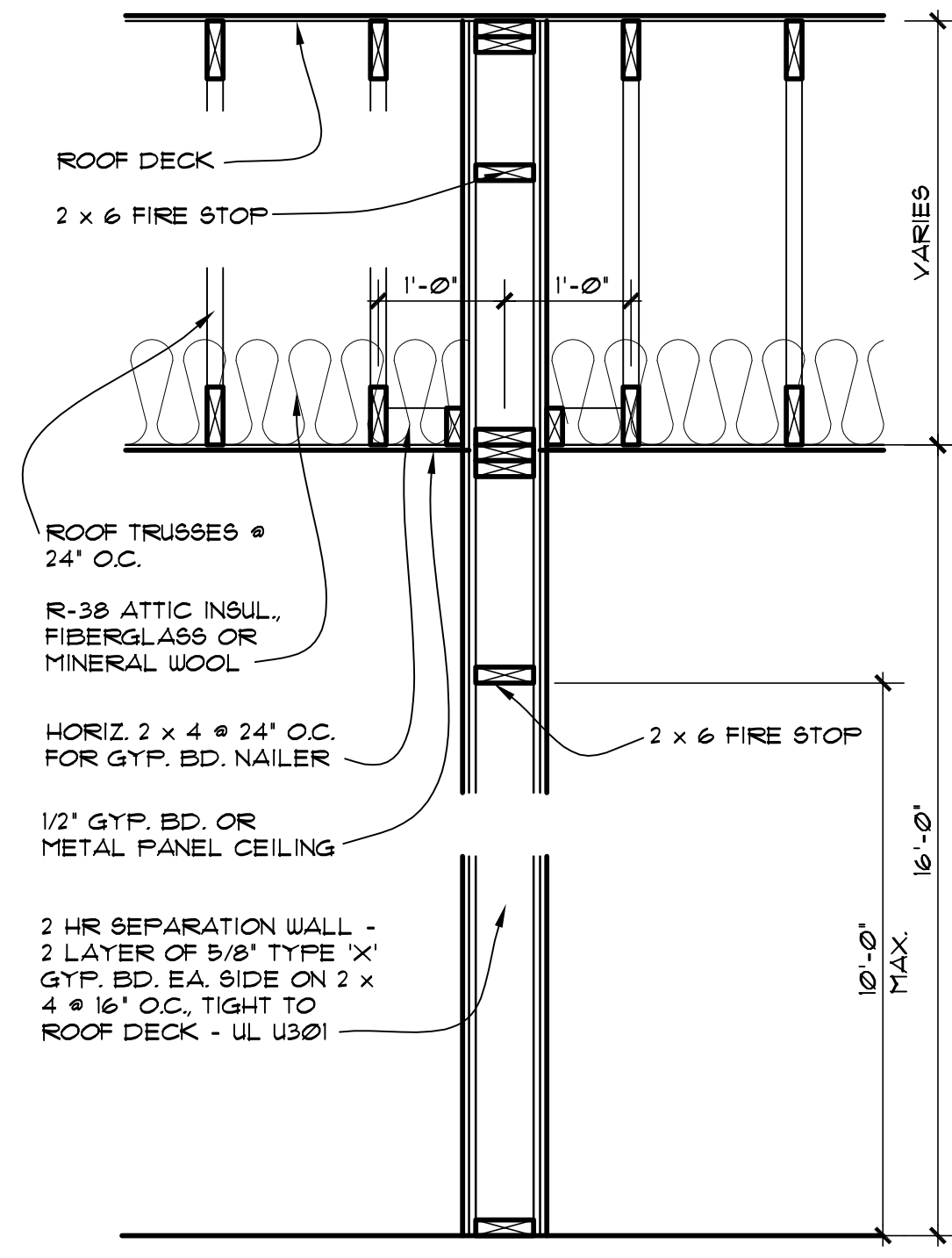
3 SOUTH ELEVATION
A4 1/8" = 1'-0"



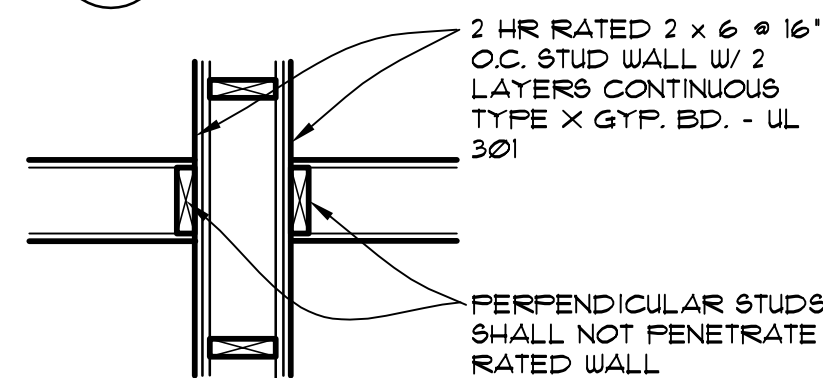
2 EAST/WEST ELEVATION
A4 1/8" = 1'-0"

ELEVATION NOTES:

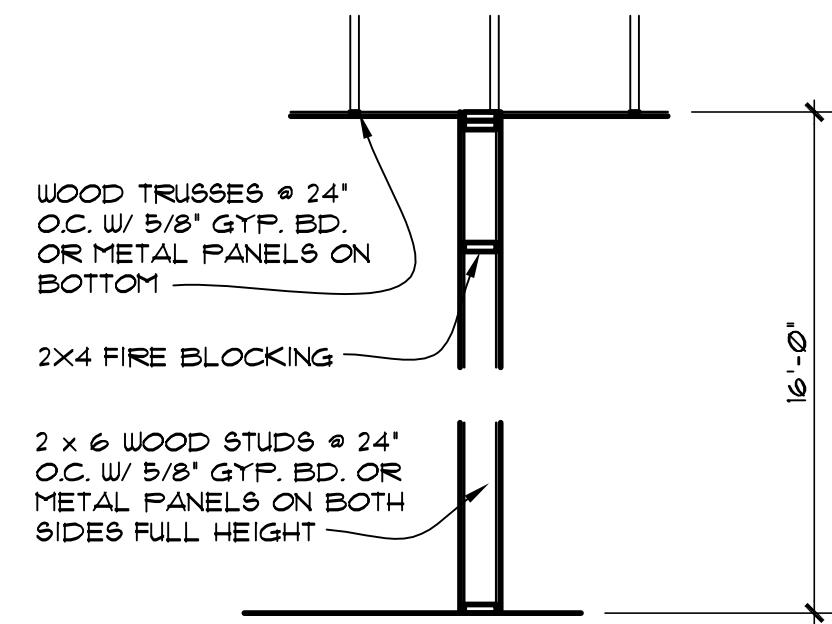
- THE BUILDING IS A WOOD FRAME BUILDING W/ METAL SIDING.
- THE COLOR OF THE BUILDING SHALL BE SELECTED FROM MFG'R'S. STANDARDS, COORD. W/ THE OWNER
- COORDINATE EXACT LOCATION, STYLE & FINISH OF DOWNSPOUTS W/ THE OWNER, DRAIN ONTO THE HARD SURFACE AROUND THE BLDG.
- ASPHALT SHINGLES:
UL CLASS A FIRE RESISTANCE, ASTM D 3462, 30 YEAR LIMITED WARRANTY,
'QUENS CORNING' OAKRIDGE PRO 30, COLOR - AGED CEDAR, VERIFY W/ THE OWNER BEFORE ORDERING
- METAL SIDING:
METAL EXTERIOR SIDING PANELS SHALL BE A MINIMUM OF 26 GA. CORROSION-RESISTANT STEEL OR .013 ALUMINUM ON 8' FURLINS. THE EXTERIOR METAL SIDING PANELS SHALL BE GROUNDED W/ (4) 5/8" x 8' LONG GROUNDING RODS, @ 100'-0" APART ATTACHED W/ #6 GROUNDING WIRE
- THE GUTTER SHALL BE 6" K GUTTER, .032 ALUM., PREFINISHED W/ 4" x 5" RECTANGULAR CORRUGATED DOWNSPOUT, .021 ALUM., PREFINISHED DUMPING ON TO CONCRETE SPLASH BLOCKS. PROVIDE MANUFACTURER'S STANDARD FASTENERS & FOLLOW DIRECTIONS. COORDINATE THE EXACT LOCATION, STYLE, & FINISH OF DOWNSPOUTS W/ THE OWNER BEFORE ORDERING & INSTALLATION.



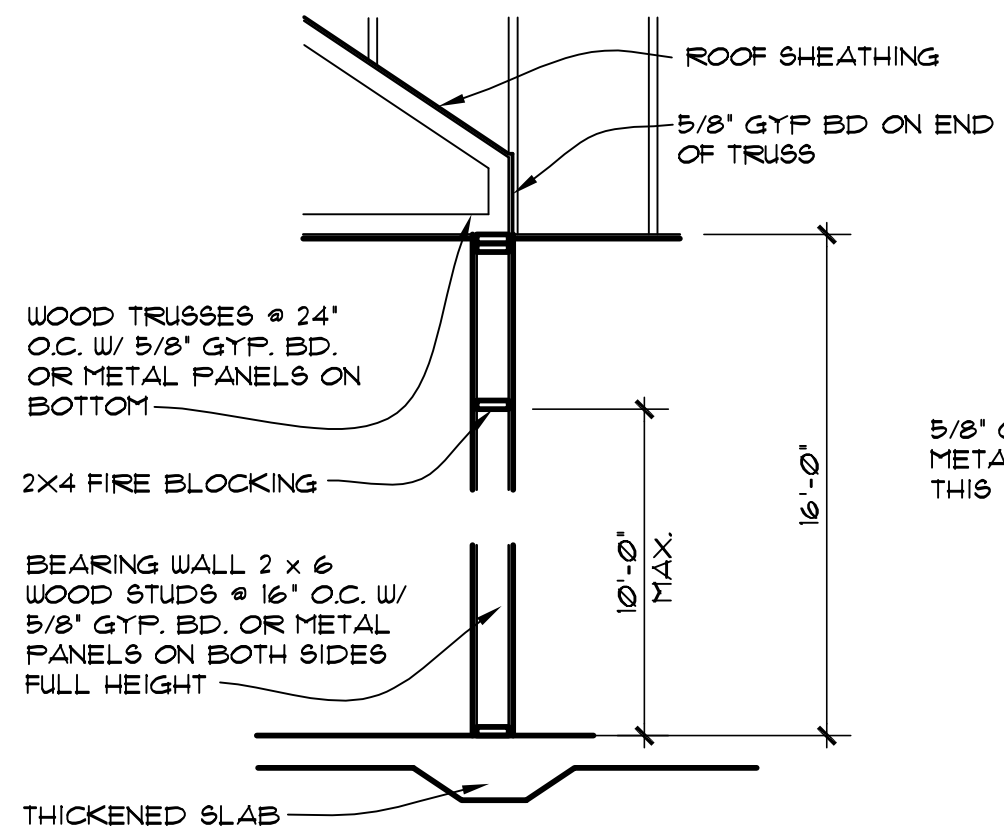
6 FIRE WALL DETAIL
A4 N.T.S.



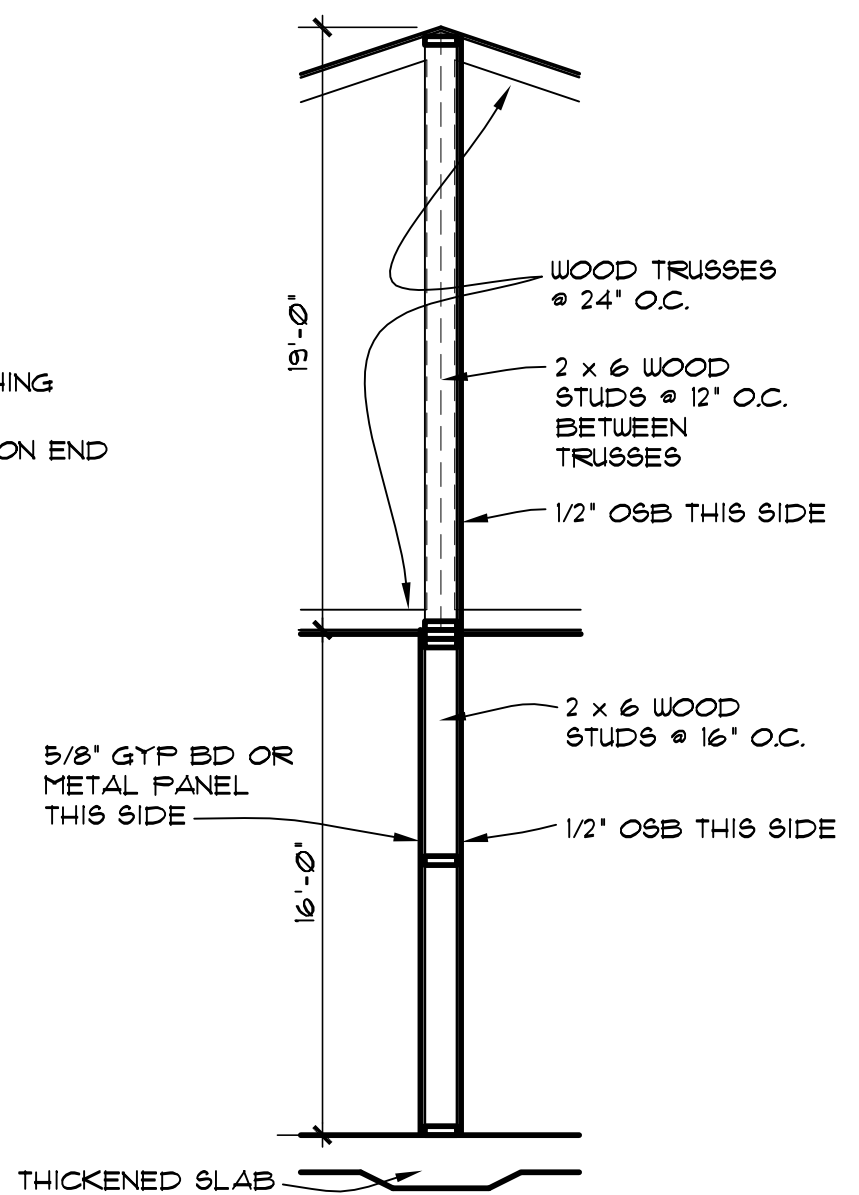
7 PLAN FIRE WALL DETAIL
A4 3/4" = 1'-0"



4 TYP. WALL DETAIL
A4 N.T.S.



5 TYP. BEARING WALL DETAIL
A4 N.T.S.



8 BRACE WALL DETAIL
A4 N.T.S.

These Drawings and Specifications prepared by Clarke Architects Inc. are instruments of service for use solely with respect to this Project and, unless otherwise provided, Clarke Architects Inc. shall be deemed the author of these documents and shall retain all common law, statutory and other reserved rights, including the copyright. The Architect's Drawings, Specifications or other documents shall not be used by the Owner or others on other projects, for additions to this Project or for completion of this Project by others. No modifications or changes to the drawings shall be permitted.

DATE: FEBRUARY 9, 2017

REVISION DATES:

PROJECT:

MARGELLO DEVELOPMENT
PRESIDENTIAL POINTE
BUILDING 4
SAWMILL RD.
POWELL, OHIO 43065

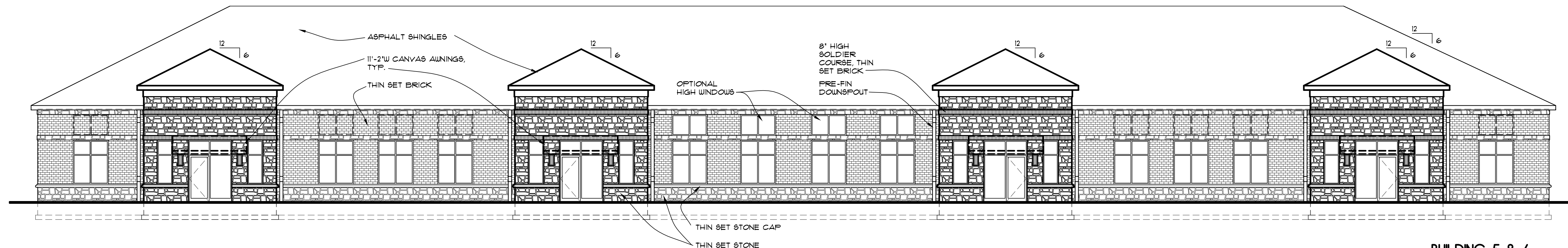
PROJECT NUMBER: CAI201609

SHEET TITLE:

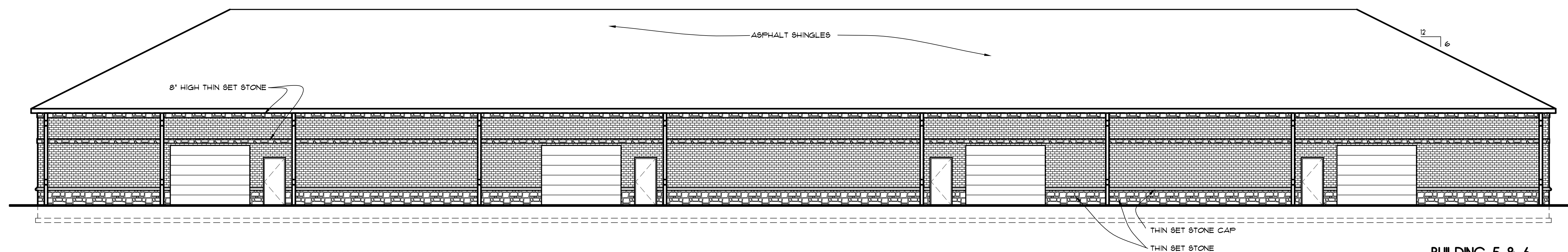
ELEVATIONS

SHEET NUMBER:

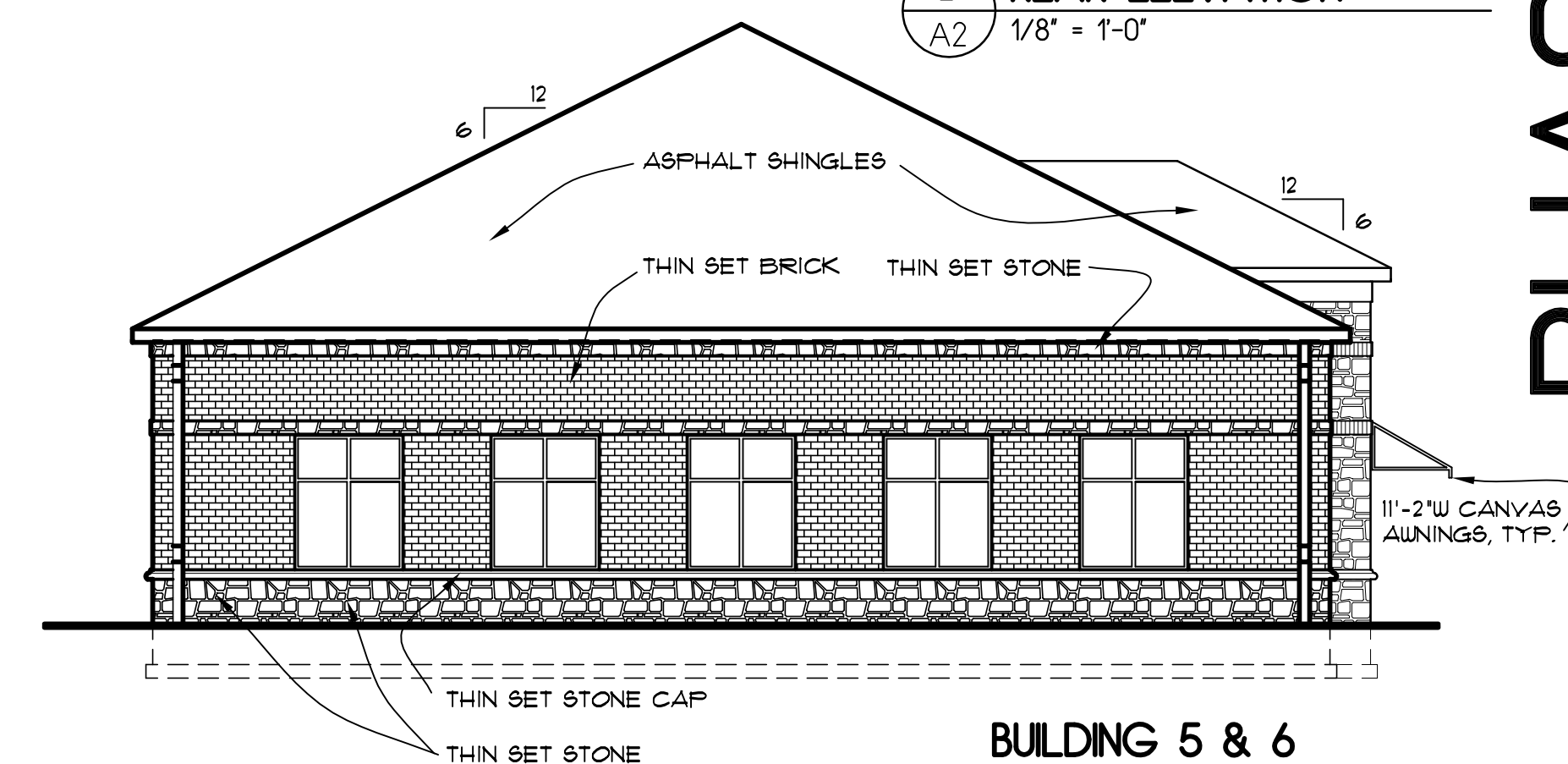
A4



**BUILDING 5 & 6
FRONT ELEVATION**
1
A2
1/8" = 1'-0"



**BUILDING 5 & 6
REAR ELEVATION**
2
A2
1/8" = 1'-0"



**BUILDING 5 & 6
SIDE ELEVATIONS**
3
A2
1/8" = 1'-0"

PHASE 3 NEW BUILDINGS

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DATE: JANUARY 30, 2017

REVISION DATES:

PROJECT:
MARGELLO DEVELOPMENT
PRESIDENTIAL POINTE
PHASE 3
OLD SAWMILL RD.
POWELL, OHIO 43065

PROJECT NUMBER: CA201609

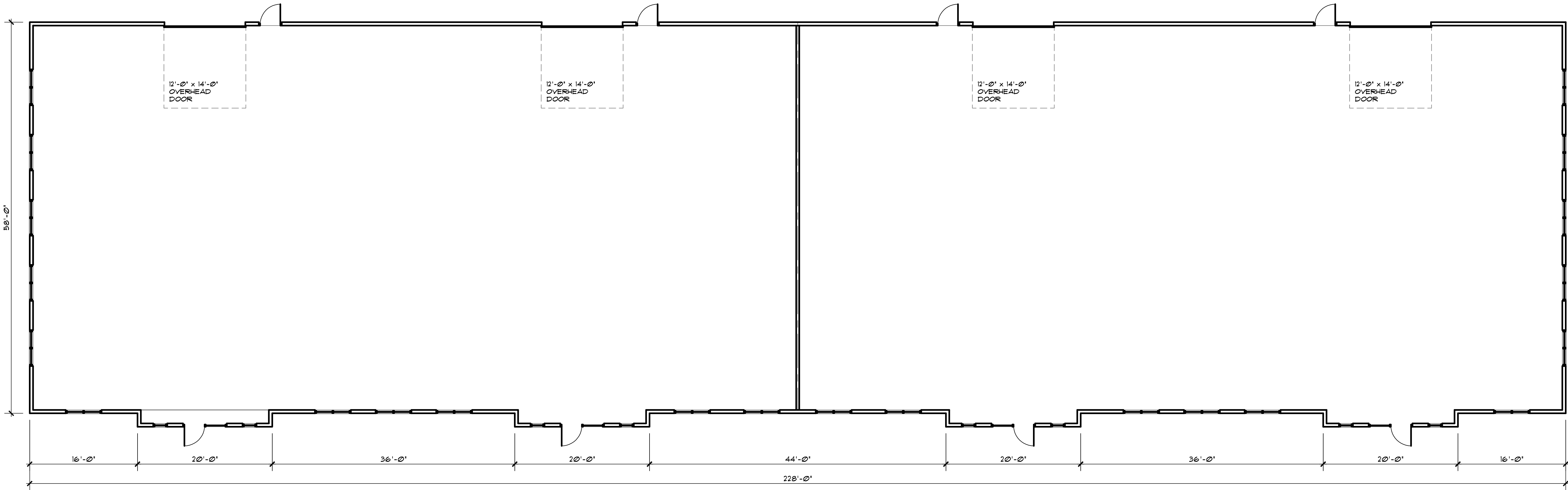
SHEET TITLE:

**BUILDING 5 & 6
PLAN/ ELEVATIONS**

SHEET NUMBER:

A2

NAME: CLARKE \\CAI-2-PC\COMMERCIAL_SERVER\COMMERCIAL\MARSELLO DEVELOPMENT\RESIDENTIAL_PONTE\PHASE 3\WAREHOUSE BLDGS\BLDG 5 & 6.DWG. DATE: JAN 30, 2017 TIME: 12 PM



CLARKE ARCHITECTS, INC.

7844 Flint Rd.
Columbus, Ohio 43235-6407
Office: 614-791-1200
Mobile: 614-271-8420
jclarke@clarkearchitects.com

PHASE 3 NEW BUILDINGS

These Drawings and Specifications prepared by Clarke Architects Inc. are instruments of service for use solely with respect to this Project and, unless otherwise provided, Clarke Architects Inc. shall be deemed the author of these documents and shall retain all common law, statutory and other reserved rights, including the copyright. The Architect's Drawings, Specifications or other documents shall not be used by the Owner or others on other projects, for additions to this Project or for completion of this Project by others.

DATE: JANUARY 30, 2017

REVISION DATES:

PROJECT:
MARGELLO DEVELOPMENT
PRESIDENTIAL PONTE
PHASE 3
OLD SAWMILL RD.
POWELL, OHIO 43065

PROJECT NUMBER: CA201609

SHEET TITLE:
**BUILDING 5 & 6
PLAN/ ELEVATIONS**

SHEET NUMBER: **A1**

GENERAL NOTES

The requirements of the City of Powell, and the Ohio Department of Transportation, together with the City of Columbus Material Specifications, latest editions, including all supplements in force on date of contract shall govern all materials and workmanship involved in the improvements shown on these plans except as such specifications are modified by the following specifications or by the construction details set forth herein.

It is the responsibility of the Contractor to visit the site and verify the extent of the work to be performed prior to making his bid. This is especially true with regard to any removal items.

The Contractor shall obtain all necessary permits prior to construction.

The Contractor and Sub-Contractor shall be solely responsible for complying with all federal, state and local safety requirements together with exercising precaution at all times for the protection of persons (including employees) and property. It is also the sole responsibility of the Contractor and Sub-Contractor to initiate, maintain and supervise all safety requirements, precautions and programs in connection with the work.

The identity and locations of the existing underground utility facilities known to be located in the construction area have been shown on the plans as accurately as provided by the Owner of the underground utility. The Engineer and/or City assumes no responsibility as to the accuracy or the depths of the underground facilities shown on the plans.

Support, protection and restoration of all existing utilities and appurtenances shall be the responsibility of the Contractor. The cost of this work shall be included in the price bid for the various items.

The Contractor shall cause notice to be given to the Ohio Utilities Protection Service (telephone 800-362-2764) and to the owners of underground utility facilities shown on the plans who are not members of a registered underground protection service in accordance with Section 153.64 of the REVISED Code. The above mentioned notice shall be given at least 48 hours prior to start of construction.

The following utilities and Owners are located within the work limits of this project and do not subscribe to a registered underground utility protection service.

UTILITY	CONTACTING AGENT	TELEPHONE
Storm Sewer	City of Powell 47 Hall Street Powell, OH 43065 Attn: Steve Underwood, Service Superintendent	(614) 885-9820, extension 4
Sanitary Sewer	Delaware County Sanitary Engineer 50 Channing Street Delaware, OH 43015	(740) 368-5870

All traffic control devices shall be furnished, erected, maintained, and removed by the Contractor in accordance with the "Ohio Manual of Traffic Control Devices for Construction and Maintenance Operations", copies of which are available from the Ohio Department of Transportation Bureau of Traffic, 1980 W. Broad Street, Columbus, Ohio 43223.

Steady-burning, Type"C" lights shall be required on all barricades, drums and similar traffic control devices in use at night. Cones are not approved for use at night.

Access to all adjoining properties shall be maintained at all times.

The Contractor is responsible to guarantee all site paving for a period of two (2) years after completion of the work.

All earthwork in the building pad and adjacent parking areas shall be done so in accordance with, and under the observance of, a Registered Soils Engineer employed by the Owner. (Note: See Architectural plans for additional specifications.)

All pavement markings shall be in accordance with Item 642.

See foundations plans for building dimensions.

All building dimensions are to be outside face of wall.

Expansion joints are to be placed at all work intersections with stoops, pavement and other walks.

Scores are to be equally spaced between joints with contraction joints at 20'-0" or less.

Connections to existing water mains shall be made by Del-Co Water Company at the Contractor's expense. The Contractor shall coordinate this work with Del-Co Water Company, (740) 548-7746.

Each Sub-Contractor is responsible to coordinate and pay for permits and installation of services to building from existing mains.

All water services, sanitary sewer services, and gas services, etc. under pavement or sidewalk shall be backfilled with compacted granular material per Item 912. Services not within pavement or sidewalk limits shall be backfilled with suitable soil compacted to the density of the surrounding natural ground.

The Contractor shall be responsible for the horizontal deflection and/or bends of the water lines/services in accordance with the manufacturer's specifications.

The Contractor is to deflect water lines/services as required to provide 1'-6" minimum vertical clearance with storm/sanitary sewers. A 10'-0" minimum horizontal clearance with storm/sanitary sewers shall also be provided, unless otherwise shown on plans.

Pipe material for storm sewer shall be per City of Columbus Specification 901. Contractor to install this pipe in accordance to the manufacturer's recommendations, especially with respect to cover.

Contractor to coordinate private utility services (gas, electric, telephone, cable) with that utility.

All site landscaping, seeding and mulching shall be in accordance with the landscape plan and the approved Development Plan.

Quantities as shown on this plan are for estimating purposes only. All work as delineated on this plan shall be performed at the contract bid price.

A preconstruction meeting shall be held at least 15 calendar days prior to the start of any construction at the City Engineer's Office. Representatives of the owner/developer, general contractor and design engineer shall be present.

Any revisions to this plan shall be approved by the City Engineer, in writing, prior to construction.

The Contractor shall provide positive drainage; to the satisfaction of the City Engineer, at all locations throughout the construction limits of the project. Further, the Contractor shall not adversely affect drainage, as solely determined by the City Engineer, to, from or on an adjacent private or public property.

As-Built-Plans - The Developer/Owner shall provide the City of Powell with an As-Built Survey of Improvements, including the Storm Water Management System and all critical spot elevations depicting that the overland major storm routings function per approved plan and as intended - no occupancy permit shall be granted until such As-Built Survey is provided and demonstrates the aforementioned requirements have been satisfied.

Existing OUPS tickets: #A502701434 & #A502701431

Topographic/Boundary information based upon 3/14/06 Raab Survey (614-445-6698)

STANDARD CONSTRUCTION DRAWINGS

The Standard Construction Drawings listed on this plan shall be considered a part thereof:

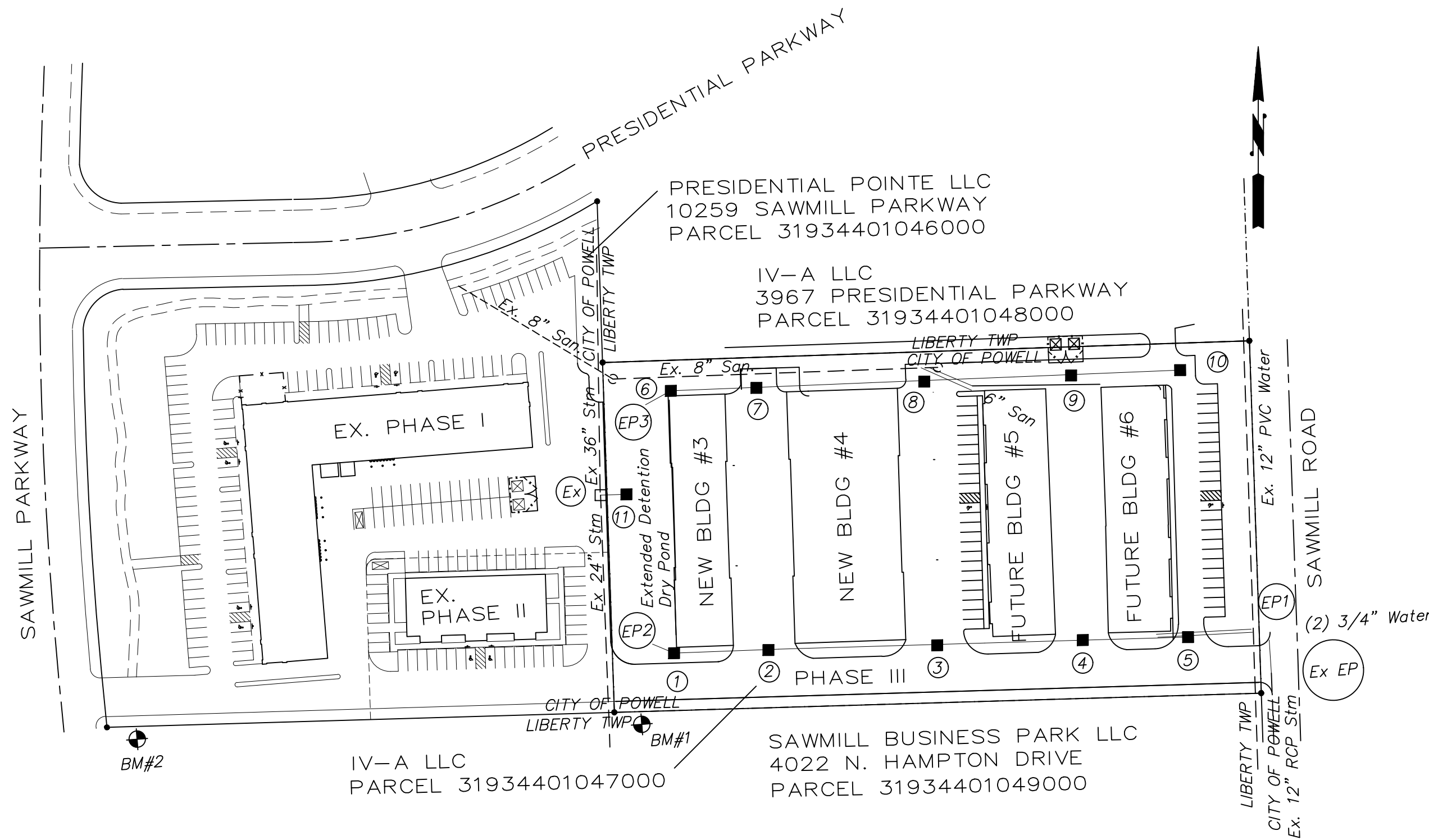
CITY OF COLUMBUS

AA-S133A
AA-S141
AA-S149
AA-S150
AA-S151
AA-S160

SHEET INDEX

Sheet 1 - Title Sheet
Sheet 2 - Notes and Details
Sheet 3 - Grading, Storm Sewer and Utility Plan
Sheet 4 - Stormwater Pollution Prevention Plan
Sheet 5 - Pavement Plan

2017
PRIVATE SITE IMPROVEMENT PLANS
PRESIDENTIAL POINTE PHASE III
CITY OF POWELL, OHIO



INDEX MAP
SCALE: 1"=100'

PRELIMINARY
NOT TO BE USED
FOR CONSTRUCTION
1-18-17



A.D.A NOTE

All curb ramps, parking stall striping, H.C. parking signs and sidewalks shall be constructed in full compliance with the requirements of the Americans with Disabilities Act (ADA) of 1990, including all supplements and in accordance with the City of Columbus ADA Curb Ramps Design Guidelines and Standard Drawings, including all supplements or replacement drawings issued thereto or as may otherwise be specified by the City of Powell within these plans. Sidewalks shall be constructed with a cross slope not to exceed 2.00%.

ARCHITECTURAL PLANS PREPARED BY:

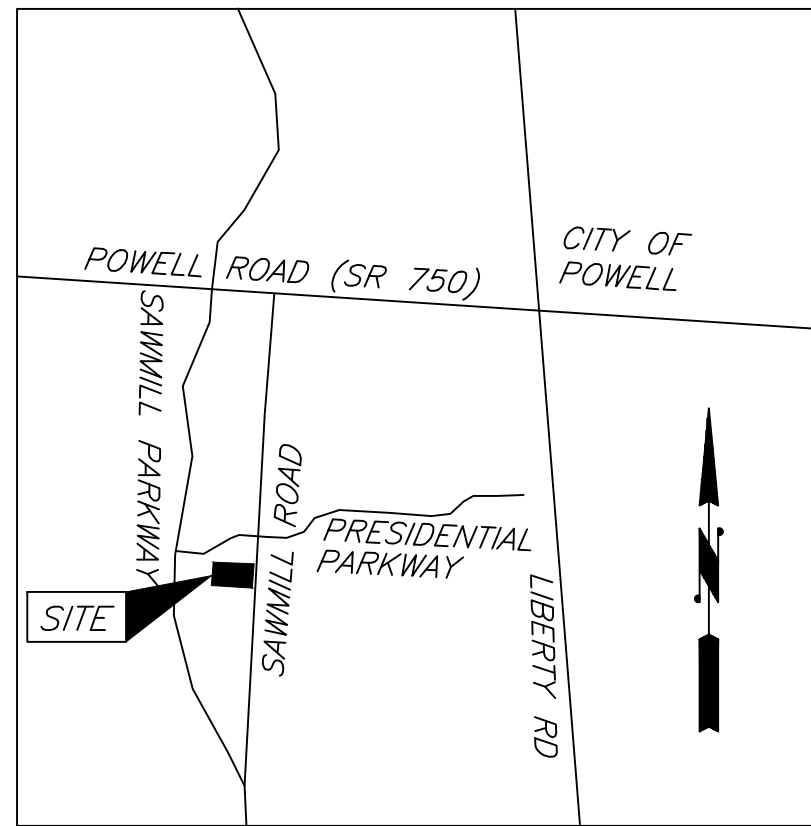
Clarke Architects, Inc.
2433 Shillingham Ct.
Powell, OH 43065
Contact: Jim Clarke
Phone Number: (614) 791-1200
jclarke@clarkearchitects.com

DEVELOPER:

IVA LLC
3967 Presidential Parkway, Unit J
Powell, OH 43065
Contact: Vince Margello
Phone Number: (614) 848-4004
margellodevelopment@gmail.com

ESTIMATE OF QUANTITIES				DESCRIPTION
ITEM	QUAN PH. 1	QUAN PH. 2	UNIT	DESCRIPTION
EARTHWORK & DEMOLITION				
201	Lump		Sum	Clearing and Grubbing
202	82		Lin Ft	Curb Removed and Disposed of
202	1		Each	Sign to be relocated
203	Lump		Sum	Excavation Including Embankment Construction
STORM SEWER				
604	2	1	Each	Standard Catch Basin (AA-S133A) with Heavy Duty Grate (AA-S141)
604	2		Each	Standard Catch Basin (AA-S133B)
604	5		Each	Standard Catch Basin (AA-S133B) with Heavy Duty Grate (AA-S141)
604	1		Each	Standard Catch Basin (AA-S133B) with Window/Orifice Plate (AA-S145)
901	31		Lin Ft	12" Storm 706.01 Class III with Type 1 Bedding & Concrete Encasement
901	24	99	Lin Ft	12" Storm Pipe with Type 1 Bedding
901	99		Lin Ft	15" Storm Pipe with Type 1 Bedding
901	296		Lin Ft	18" Storm Pipe with Type 1 Bedding
901	507		Lin Ft	24" Storm Pipe with Type 1 Bedding
WATER				
801	11		Lin Ft	6" Water Line Pipe and Fittings
805	2		Each	3/4" Water Service Tap, Complete
809	1		Each	Fire Hydrant Type B
SANITARY				
915	2		Each	8"x6" Wye Insert-a-Tee Fitting
918	213		Lin Ft	6" Sanitary House Connection Service
EROSION CONTROL				
207	1		Each	Construction Road Stabilization
207	9	1	Each	Catch Basin Sediment Filter
207	1742		Lin Ft	Silt Fence
659	Lump		Sum	Seeding and Mulching
659	1		Each	IAS SKIMMER (OR APPROVED EQUAL)

THESE QUANTITIES ARE THE BEST ESTIMATE OF THE ENGINEER AND SHOULD BE VERIFIED BY THE CONTRACTOR WHEN MAKING A BID.



LOCATION MAP
NOT TO SCALE

BENCH MARKS (NAVD 1988 Datum)

Source - Elevations were established using 45 minute static observations utilizing global positioning system (GPS) procedures. The GPS data was submitted to the National Geodetic Survey's (NGS) Online Positioning User Service Rapid-Static (OPUS-RS) system for processing. The sstem uses the Continually Operating Reference Stations (CORS) to establish the geodetic elevation.

Site BM 1 - Mag Nail set in the curb line of adjacent parking lot, 12.5' south of subject parcel south property line, 19.5' east of subject parcel west property line.

Elevation = 913.17

Site BM 2 - Mag Nail set at the south end of existing asphalt walk, 10' south of subject parcel south property line, 34' east of Sawmill Parkway right-of-way.

Elevation = 912.75

SUBMITTED BY:

HOCKADEN AND ASSOCIATES, INC.

883 NORTH CASSADY AVENUE, COLUMBUS, OHIO 43219
PHONE: (614) 252-0993 FAX: (614) 252-0444

BY: REGISTERED ENGINEER NO. E-61341 DATE

City of Powell:

Signatures below signify only concurrence with the general purpose of this project. All technical details are the responsibility of Hockaden and Associates, Inc.

City Engineer, City of Powell Date

Mayor, City of Powell Date

Director of Development, City of Powell Date

Del-Co Water Company, Inc.:

Deputy General Manager Date

Fire System Approval:

Chief, Liberty Township Fire Department Date

CITY OF POWELL, DELAWARE COUNTY, OHIO

TITLE SHEET
FOR

PRESIDENTIAL POINTE PHASE III



PREPARED BY:
HOCKADEN AND ASSOCIATES, INC.
Consulting Engineers & Surveyors
883 North Cassady Avenue
Columbus, Ohio 43219
Tele.: (614) 252-0993
Fax: (614) 252-0444

SCALE: 1" = 30'

C-1
C-5

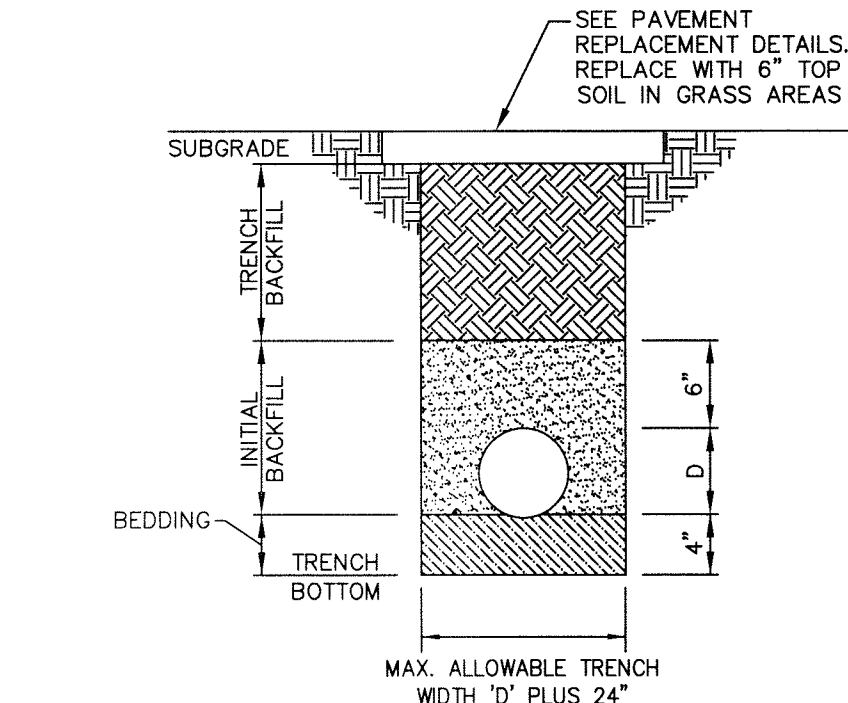
DEL-CO WATER COMPANY
GENERAL NOTES FOR WATER LINE CONSTRUCTION

- General Notes as modified by Del-Co and shown on the approved Construction Drawings shall supersede the requirements of the *Del-Co Water Company Construction Standards Manual* wherever discrepancies occur.
- Standard General Notes:
 - Water line design, materials, and installation methods shall conform to applicable sections of Recommended Standards for Water Works (Ten States Standards), American Water Works Association (AWWA) Standards, and the *Del-Co Water Company Construction Standards Manual*. Contractor shall obtain a copy of the standards and have in their possession at all times during construction. Coordinate work with Del-Co Water (740) 548-7746.
 - Del-Co.'s signature on this plan signifies only concurrence with the general purpose and location of the proposed water line improvements. All technical details remain the responsibility of the professional engineer who prepared and certified these plans. Del-Co Water Company takes no responsibility, financial or otherwise, regarding errors in this plan.
 - Correction of errors shall be to the applicable Del-Co Water Company standard, and the sole responsibility of the developer. All corrections, or revisions that affect Del-Co.'s Water Line plans, directly or indirectly shall be submitted to, and approved by Del-Co Water Company prior to revisions being issued.
 - GPS coordinates shall be provided to Del-Co Water at the completion of the waterline installation. These coordinates shall include all materials, equipment and labor necessary to obtain horizontal and vertical (northing, easting and elevation) survey coordinates for the water main improvements. The survey coordinates shall be obtained at the completion of the water main installation and shall include all valves, tees, fire hydrants, bends, plugs, reducers, tapped tees, curb stops, air releases, 2" end of line fire hydrants, ends of casing pipe, service saddles and corporations. Additional GPS coordinates are required on the water main every 200' where no fittings or service saddles are to be installed.
 - GPS coordinates shall be referenced to the applicable County Engineer's Monuments and shall be based on the North American Datum of 1983 (NAD 83) with the NSRS2007 adjustment, with further reference made to the Ohio State Plane North Coordinate System, North Zone, with elevations based on NAVD 88 datum. All coordinates (Northing, Easting and Elevation) shall be referenced to the nearest hundredth. All survey coordinates shall be accurate to within 0.6 foot or less horizontal and vertical.
 - The GPS coordinates shall be submitted to the Del-Co Water Engineering Department in digital spreadsheet form and shall include the applicable item, station, northing, easting and elevation coordinates. The above listed GPS coordinate information shall be submitted to the Del-Co Water Engineering Department as part of the As-Built Drawing submittal.
 - As-Built drawings are required following the completion of construction. One set of drawings marked "As-Built" shall be submitted by the developer to Del-Co's Inspection Department for review and approval. Water mains cannot receive a Final Acceptance until as-built drawings have been approved. *Please note: taps may not be purchased nor installed until water lines have received a Final Acceptance*
 - Water mains shall become the ownership of Del-Co Water upon final acceptance.
 - Water line construction plans are approved for a period of one year from the date of the approval letter or signed plans. If construction has not started within one year of the date of approval, plans shall be resubmitted to Del-Co Water Company for approval.
- Water Line Construction:
 - Water lines shall be NSF 61 approved, and compliant with ASTM D2241 & Ohio EPA ENG-08-001 standards.
 - Use the following type and class of pipe unless otherwise indicated on the drawings:
 - 2-inch water line pipe: Class 200 SDR 21 Yelomine PVC (restrained joint).
 - 4-inch water line pipe: Class 200 SDR 21 PVC.
 - 6-inch water line pipe: Class 200 SDR 21 PVC.
 - 8-inch to 12-inch water line pipe: Class 160 SDR 26 PVC.
 - 16-inch and larger water line pipe: AWWA C151 Class 52 DIP.
 - 4-inch pipe and larger used for fire service: AWWA C900 DR 18 (150 PSI) PVC.
 - All sizes of Del-Co-owned water lines used on master meter projects: Class 200 SDR 21 PVC.
 - All fittings shall be mechanical joint conforming to AWWA C153.
 - Crosses shall not be used without approval of Del-Co Water Company.
 - All valves shall be mechanical joint conforming to AWWA with AISI 304 stainless steel external hardware. Valves 12-inch and smaller shall be Resilient-Seated Gate valves per AWWA C509 and valves 16-inch and larger shall be Pratt Groundhog butterfly valves per AWWA C504.
 - Provide heavy-duty valve boxes on all hot-taps and at valves located under gravel or pavement surfaces.
 - Top of valve box shall be flush with finished grade in paved areas, and 4 inches above finished grade in non-paved areas.
 - Maintain a minimum 10-foot horizontal and 1.5-foot vertical separation between water lines and sanitary and storm sewers.
 - All other buried utilities shall maintain a minimum 5-foot horizontal separation, and 2-foot vertical separation from the centerline of water lines as finally laid and constructed.
 - Provide concrete thrust blocking for all fittings, valves, anchor tees, and hydrants.
 - Bury water lines a minimum depth of 48-inches to the top of pipe.
 - All engineered fill to be placed over or under Del-Co Water Lines shall be in place prior to the construction of the water lines.
 - Place a 5-foot steel fence post or 4"x4" wood post at valves and the ends of lines. Paint blue.
 - Tracer Wire:
 - Install Copperhead® or equal 12-gauge high strength 452lb break strength 30 mil HDPE jacket, copper-clad, steel reinforced tracer wire on all water main and service lines installed by trenching methods.
 - Install Copperhead® or equal 12-gauge extra high strength 1150lb break strength 45 mil HDPE jacket, copper-clad, steel reinforced tracer wire on all water main and service lines installed by boring methods.

- Fasten wire to pipe in two places per pipe section. Extend tracer wire to ground surface at all valves and hydrants as shown in the Del-Co standard detail. Splice wires using Burndy Copper Split Bolt KS-15. Thoroughly wrap the connector and bare wires with 3M Temflex 2155 Rubber Splicing Tape, cover entire connection with Scotch Super 88 Heavy Duty Grade Electrical Tape.
- Connect all service line wires to main line wires using Burndy Copper Split Bolt KS-15. Thoroughly wrap the connector and bare wires with 3M Temflex 2155 Rubber Splicing Tape, cover entire connection with Scotch Super 88 Heavy Duty Grade Electrical Tape.
- Contractor Shall Test the continuity of all wire using a third-party tester.
 - Contractor shall contact Del-Co.'s Inspection Department a minimum of 24 hours prior to test.
 - Tester shall send a signed report to Del-Co Water Inspection Department affirming all wire has continuity.
 - Contractor shall repair all deficiencies.

- Water Service Construction (between main line and meter pit):
 - All water services shall be constructed and installed per AWWA C800.
 - For meters 1-inch and smaller, use 1-inch Class 200 SDR 7 iron pipe size (IPS) polyethylene pipe.
 - Connections to PVC pipe shall be made with approved tapping saddle and corporation stop per Del-Co Subdivision Construction Standards Manual.
 - Connections to DIP shall be by direct tap or saddle and approved corporation stop per Del-Co Subdivision Construction Standards Manual.
 - Provide a curb stop with 1-inch female iron pipe threads on the customer side at the end of service lines. Locate at ROW, but a minimum of five feet from edge of sidewalk unless otherwise approved or directed by Del-Co.
 - All service line valves 1½-inch and larger shall be mechanical joint gate valves, restrained with Duct-Lugs and galvanized all thread rod, or anchor tees where applicable.
 - Minimum depth of cover shall be 48 inches.
 - Place a 5-foot steel fence post or 4"x4" wood post at the ends of all service lines, paint blue.
 - Contractor shall be responsible for providing special backfill material for all lines, including those installed by Del-Co Water Company, where required by the County or City Engineer.
- Fire Hydrants:
 - Fire hydrants shall conform to AWWA C502 for dry barrel hydrants.
 - Main valve: 5.25-inch compression.
 - Nozzles:
 - Threading: Conform to NFPA National Standard fire hose threads.
 - 4.5-inch steamer, except in the following locations provide an integral storz connection; Harrington HH550 or equal: Berkshire, Berlin, Concord, Genoa, Kingston, Liberty, Orange, Porter, Trenton, and Scioto Townships; City of Powell; and the Villages of Sunbury and Galena.
- Two 2 5/8-inch hose connections.
- Inlet Connection: 6-inch mechanical joint.
- Operating Nut: 1.5-inch pentagon, turn counterclockwise to open.
- Extensions and parts: Shall be manufactured by the original equipment manufacturer.
- Approved Manufacturers: Mueller Super Centurion 200, American Flow Control B-84-B, Clow Medallion, M&H Model 129M, AVK Nostalgic 2780, or Kennedy Guardian K81D.
- Painting: Repaint all hydrants after installation per Del-Co Subdivision Construction Standards Manual Section 02731, Part 2.06.
 - Liberty Township, Powell, and Village of Sunbury: Safety Red.
 - Other Townships: Safety Yellow
- Fire hydrants located on private water lines shall be painted Industrial Green.

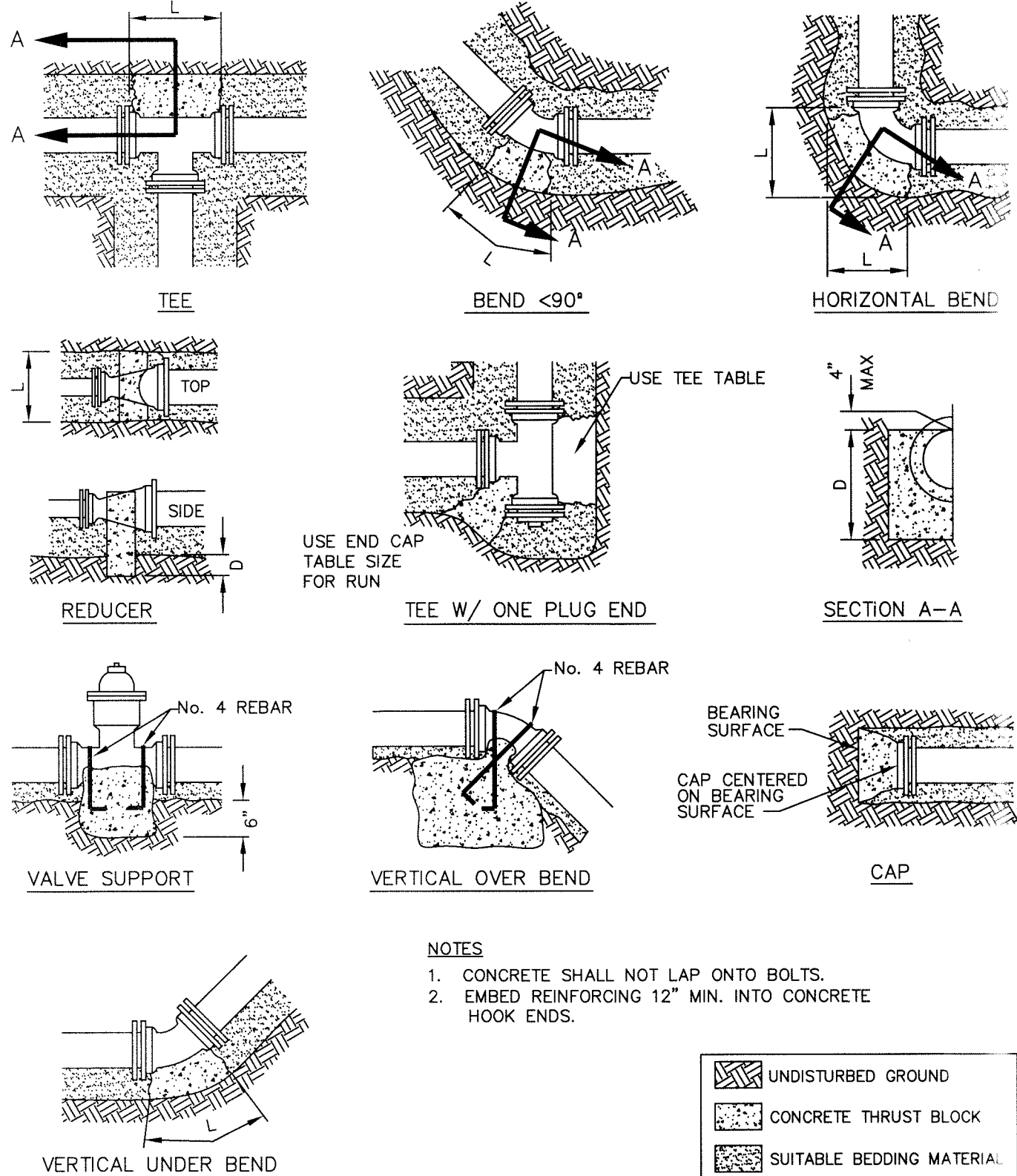
- Disinfect all water lines in accordance with AWWA C651 and Del-Co specifications.
- All pipe installation and pressure testing shall be in accordance with AWWA C600 for ductile iron pipe and C605 for plastic pipe, and Del-Co Specifications.
 - Contractor shall provide all equipment necessary to perform pressure test.
 - Schedule test between 8:00 AM and 2:00 PM weekdays. Notify Del-Co 24 hours prior to test.
- Obtain written approval of material and manufacturers list from Del-Co Water prior to beginning construction.
- Provide casing pipe for all road crossings unless otherwise approved by Del-Co. Casing pipe shall be steel pipe with 0.375-inch wall thickness, or PVC C900 for water lines 12-inch Dia. or less. Casings for water lines larger than 12-inch Dia. may be AWWA C905.
- Easements shall be provided to Del-Co Water before permission will be given to make new service line connections.
- Connections to existing water lines will be made by Del-Co Water at the contractor's expense, or performed by contractors who are approved for making connections. Notify all property owners, and Del-Co Water, in writing 48 hours before starting construction.
- Contractor shall excavate to determine the location and depth of existing water lines wherever cover over the water lines is being reduced. If the final depth of the waterline will be below Del-Co Water standards, Contractor shall submit a relocation plan for approval by Del-Co Water, and relocate the water line at their expense.
- Contractor shall be responsible for locating and protecting the water line prior to final acceptance by Del-Co Water, and repairing all damages from construction activity.
- Do not fill new water lines until approved by Del-Co Water Co.
- Booster pumps are not allowed on individual services.
- All water mains, including those not designed to provide fire protection, shall be sized following an analysis based on flow demands, and pressure requirements. The system shall be designed to maintain a minimum pressure of 20 psi at ground level at all points in the distribution system under all designed flow conditions. Normal working pressure in the distribution system shall not be less than 35 psi.



NOTES

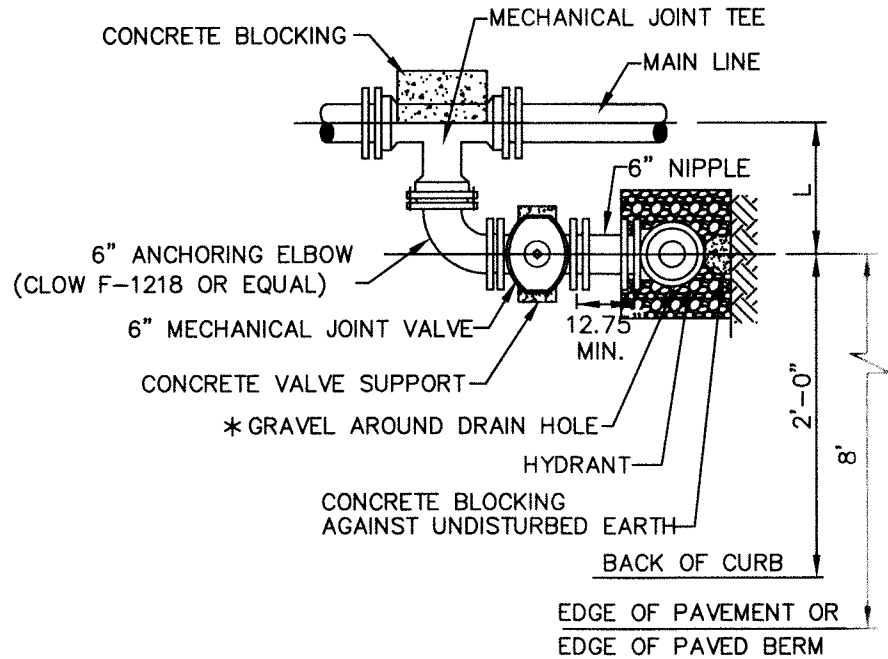
- SUITABLE BEDDING AND INITIAL BACKFILL MATERIAL SHALL CONSIST OF NATURALLY OCCURRING SAND OR CLAY FREE FROM TRASH, ROOTS, DEBRIS, EXCESSIVE MOISTURE AND OBJECTS LARGER THAN ¾".
- PIPE TRENCH WALL SHALL BE VERTICAL TO THE TOP OF THE INITIAL BACKFILL.
- PROVIDE SELECT FILL No. 8 OR No. 57 STONE FOR BEDDING MATERIAL TO THE DEPTH REQUIRED BY THE WATER UTILITY WHEN UNSTABLE TRENCH BOTTOMS ARE ENCOUNTERED, AS DETERMINED BY THE WATER UTILITY.
- MANUALLY COMPACT EMBEDMENT MATERIAL FILLING ALL VOIDS AROUND PIPE.
- TRENCH BACKFILL TYPE SHALL BE PER GENERAL NOTES AND SPECIFICATIONS.

WATER LINE EMBEDMENT
NTS



NOTES

- CONCRETE SHALL NOT LAP ONTO BOLTS.
- EMBED REINFORCING 12" MIN. INTO CONCRETE HOOK ENDS.



TYPE B: LONG SIDE BEND TO TEE.
TYPE B MODIFIED: SHORT SIDE BEND TO TEE.

MAIN LINE	DIMENSION L		
	TYPE B	TYPE B MOD.	
6"	24"	19"	
8"	25"	20"	
12"	28"	23"	
16"	31"	26"	

NOTE:

- FIRE HYDRANTS SHALL BE SET A MINIMUM OF 6" FROM ALL DRIVEWAY OPENINGS.

* CREATE A DRY WELL AROUND HYDRANT DRAIN USING 1/4 YARD OF #57 GRAVEL. GRAVEL TO BE 18" ABOVE DRAIN HOLE.

HYDRANT SETTING TYPE B
NTS

PRELIMINARY
NOT TO BE USED
FOR CONSTRUCTION
1-18-17

SIZE	END CAP BLOCKING				
	2"	4"	6"	8"	
BLOCKING AREA	6"x6"	9"x9"	13"x13"	17"x17"	

R U N	BLOCKING FOR TEES														
	BRANCH														
	4"			6"			8"			12"			16"		
4"	L*	D*	Vc.f.	L*	D*	Vc.f.	L*	D*	Vc.f.	L*	D*	Vc.f.	L*	D*	Vc.f.
6"	11	8	0.8	18	12	1.9	23	16	3.5						
8"	10	9	0.7	18	12	1.9	23	16	3.5	18	22	8.7			
12"	8	12	0.8	18	12	1.9	23	16	3.5	18	23	8.7	49	30	13.6
16"	6	16	0.8	14	16	2.0	20	18	3.5	18	23	8.7	49	30	13.6

SIZE OF CONCRETE BLOCKING FOR VERTICAL OVERBEND				BLOCKING FOR REDUCERS										
PIPE SIZE	SIZE OF BLOCK			VOLUME Cu. Yd.	4"		6"		8"		12"		16"	
	D*	L*	Vc.f.		D*	L*	D*	L*	D*	L*	D*	L*	D*	L*
4"	1.5'	x1.5'	1.5	0.13	2"	12	6	12	6	12	6	12	6	12
6"	2.5'	x2.5'	1	0.5			4"	12	12	12	12	12	12	12
8"	3'	x3'	3	1	6"									
12"	3.5'	x3.5'	3.5	1.5	8"							24	18	
16"	4.5'	x4.5'	4.5	3.5	12"								24	24

PIPE SIZE	BLOCKING FOR HORIZONTAL BENDS AND VERTICAL UNDERBENDS												VALVE SUPPORTS		
	DEGREE OF BEND												VALVE SIZE	WIDTH	Vc.f.
	L*	D*	Vc.f.	L*	D*	Vc.f.	L*	D*	Vc.f.	L*	D*	Vc.f.			
4"	5	4	0.2	9	5	0.4	14	5	0.6	14	5	0.6	4"	16"	0.3
6"	8	6	0.5	12	7	0.7	20	8	1.4	9	1.7		6"	17"	0.4
8"	9	8	0.7	16	9	1.4	24	12	2.7	25	11	4	8"	20"	0.4
12"	14	12	1.8	24	14	3.6	36	18	6.8	32	18	10.7	12"	24"	0.5
16"	18	16	3.4	32	18	6.7	36	32	13.4	41	26	25.6	16"	30"	0.5

CONCRETE THRUST BLOCKING
NTS

CITY OF POWELL, DELAWARE COUNTY, OHIO

NOTES AND DETAILS

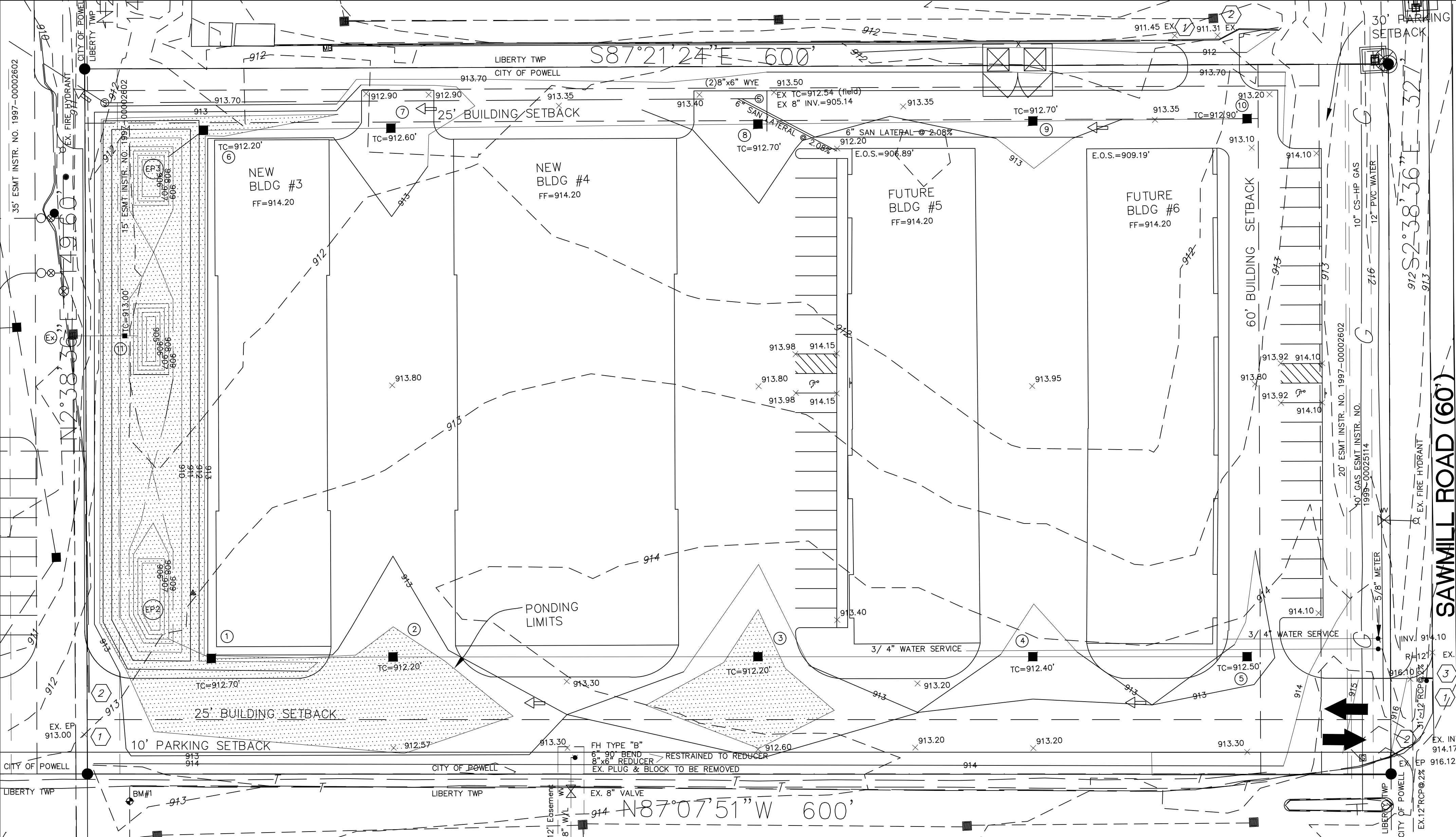
FOR

PRESIDENTIAL POINTE PHASE III

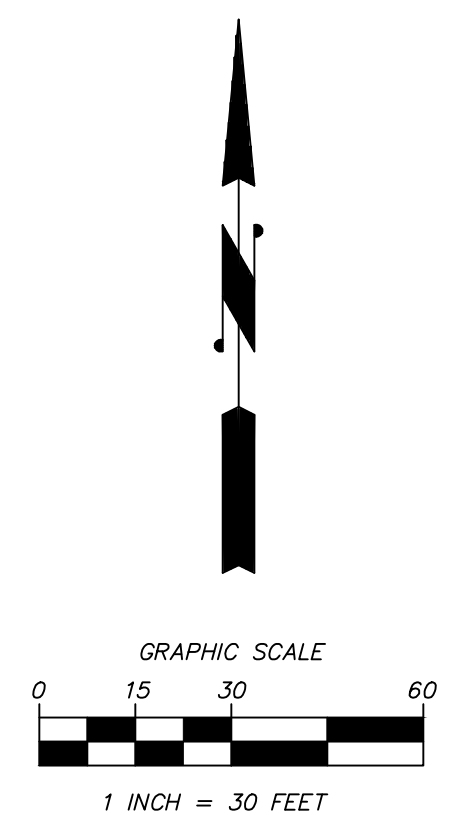
PREPARED BY:
HOCKADEN AND ASSOCIATES, INC.
Consulting Engineers & Surveyors
883 North Cassady Avenue
Columbus, Ohio 43219
Tele.: (614) 252-0993
Fax: (614) 252-0444

SCALE: 1"=30'

C-2
C-5



- LEGEND**
- Major Flood Routing
 - Limits of 100 Year Ponding Area at elevation 912.59'
 - Sawcut and provide neat straight edge on existing pavement. Sawcut shall be tack coated and a crack seal shall be placed on surface course of saw cut. Meet existing pavement flush.
 - Remove and Dispose of Existing Curb
 - Church Entrance Sign to be Relocated



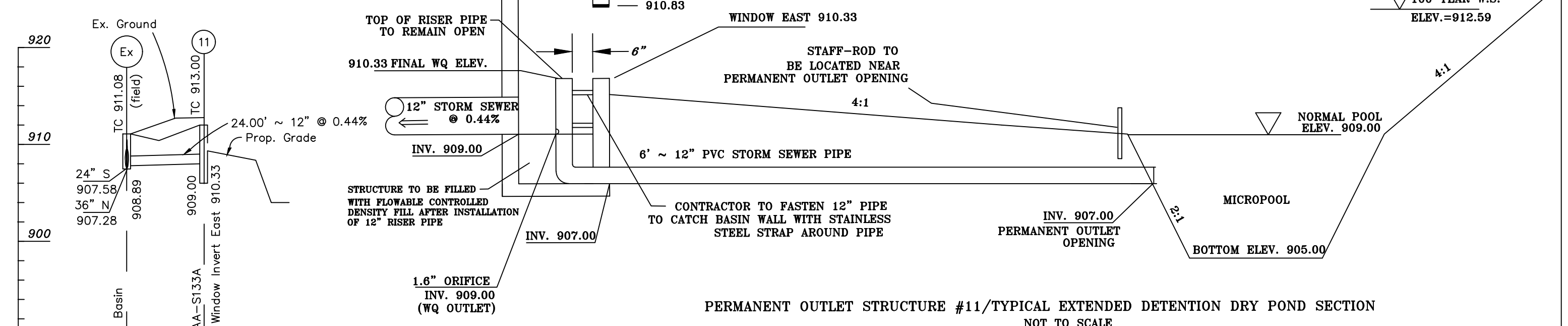
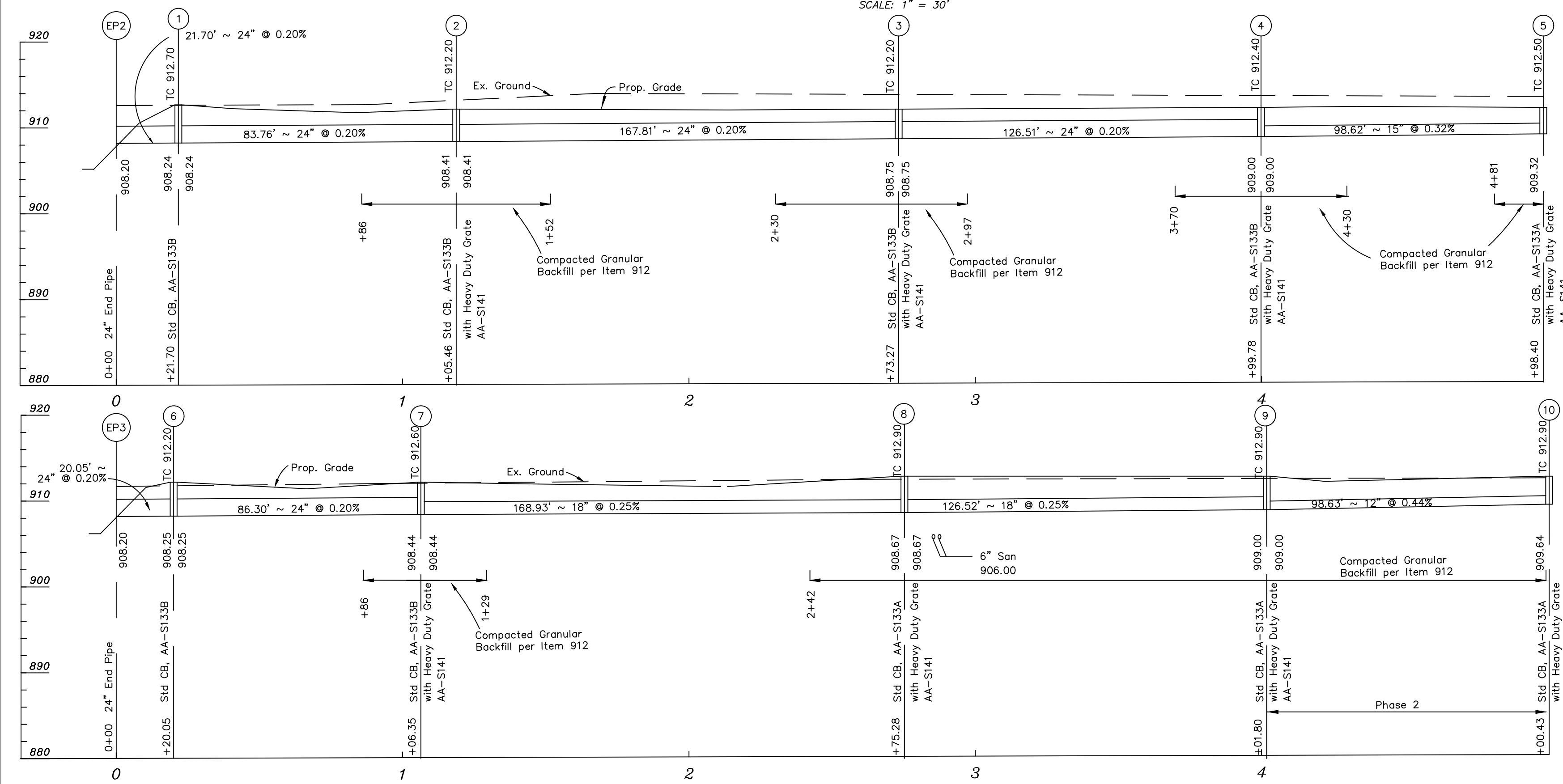
STORMWATER MANAGEMENT SUMMARY

RETURN EVENT (YEAR)	PRE-DEV. RELEASE RATE (CFS)
	1
100	3.87
100	15.64

BASIN OUTLET STRUCTURE #	TC	RETURN EVENT (YEAR)	POST RELEASE RATE (CFS)
11	913.00	100	3.54

	VOLUME REQUIRED (CF)	VOLUME PROVIDED (CF)	MAX. WATER SURFACE ELEV. (FT)
WQv	6,534	8,078	910.33
100YR	35,760	35,806	912.59

GRADING, STORM SEWER, AND UTILITY PLAN
SCALE: 1" = 30'

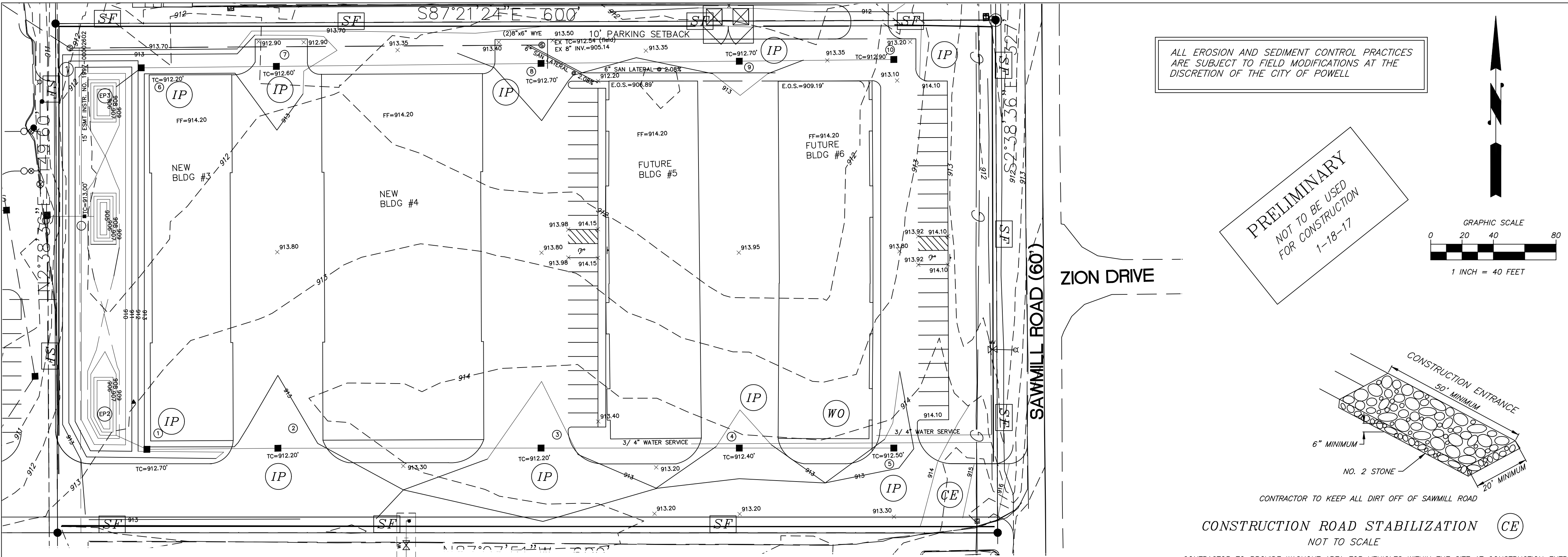


PRELIMINARY
NOT TO BE USED
FOR CONSTRUCTION
1-18-17

CITY OF POWELL, DELAWARE COUNTY, OHIO
GRADING, STORM SEWER AND UTILITY PLAN
FOR
PRESIDENTIAL POINTE PHASE III

PREPARED BY:
HOCKADEN AND ASSOCIATES, INC.
Consulting Engineers & Surveyors
883 North Cassady Avenue
Columbus, Ohio 43219
Tele.: (614) 252-0993
Fax: (614) 252-0444

SCALE: AS NOTED



ALL EROSION AND SEDIMENT CONTROL PRACTICES ARE SUBJECT TO FIELD MODIFICATIONS AT THE DISCRETION OF THE CITY OF POWELL.

NOTE: All construction traffic shall enter site at proposed construction entrance (CE).

LOCATION OF SITE

Parcel 31934401047000
Powell, Ohio 43065

NAME AND ADDRESS OF OWNER/DEVELOPER

Vince Margello
IVA LLC
3967 Presidential Parkway Unit J
Powell, Ohio 43065
(614) 848-4004
margellodevelopment@gmail.com

SITE DESCRIPTION:

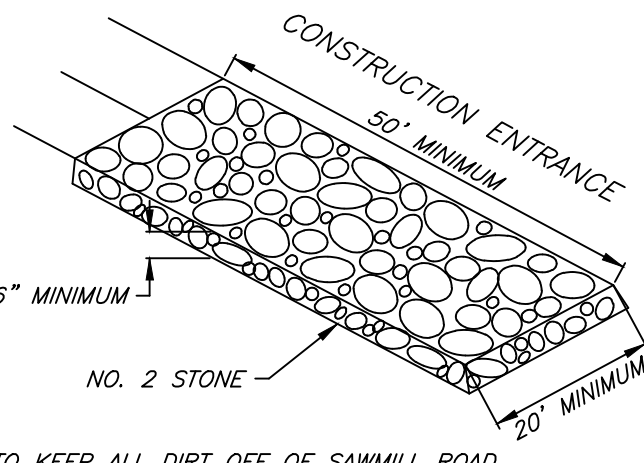
The project consists of developing existing Lot that is presently a grassed field. The site is to be cleared and graded per plan for the future buildings.
Total site area is 4.488 acres and 4.488 acres on-site will be disturbed during construction. It is anticipated there will be minimal off-site disturbance. Therefore, Ohio EPA NOI application assumes 5 acres of project disturbance.

Existing runoff coefficient is 0.48 and the developed runoff coefficient is .83.
3.445 acres of the 4.488 acres to be disturbed will be impervious, 77% of the site.
The existing soil types are Blount Silt Loam, Glynwood Clay Loam, and Pewamo Silty Clay Loam.

The immediate receiving stream for the site is a City of Powell 36 inch diameter public storm sewer just west of the site, part of unnamed tributary to Olentangy River.

SEQUENCE OF CONSTRUCTION

- 1) PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, INSTALL THE CONSTRUCTION ROAD STABILIZATION AT PROPOSED ENTRANCE.
 - 2) CLEAR AND GRUB ONLY THE AREAS NECESSARY FOR THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AS SHOWN ON THE PLAN.
 - 3) INSTALL ALL EROSION AND SEDIMENT CONTROL MEASURES AS SHOWN ON THE PLAN INCLUDING THE SILT FENCE.
 - 4) CONSTRUCT THE SANITARY SEWER.
 - 5) CONSTRUCT THE STORM SEWERS, INCORPORATING EROSION AND SEDIMENT CONTROL MEASURES PER PLAN.
 - 6) BEGIN ROUGH GRADING WITHIN THE SITE AS NECESSARY TO INSTALL THE STORM DRAIN.
 - 7) IN CONJUNCTION WITH THE PREPARATION OF THE ROAD BASE, INSTALL THE STORM DRAIN.
- NOTE: PROVIDE INLET PROTECTION AT ALL STORM STRUCTURES AS THE STORM DRAIN CONSTRUCTION PROGRESSES.
- 8) PAVE SITE.
 - 9) AS CONSTRUCTION NEARS COMPLETION AND THE FINAL GRADES ARE OBTAINED, STABILIZE ALL DISTURBED AREAS PER SEEDING AND MULCHING SPECIFICATIONS. THIS INCLUDES CLEANING OF BUILT-UP SEDIMENT FROM THE EXISTING TEMPORARY SEDIMENT CONTROL FEATURES AT STORM STRUCTURES AND SILT FENCE.
 - 10) UPON PERMANENT STABILIZATION OF ALL DISTURBED AREAS, REMOVE THE REMAINING EROSION AND SEDIMENT CONTROL MEASURES.



CONSTRUCTION ROAD STABILIZATION (CE)
NOT TO SCALE

CONTRACTOR TO PROVIDE WASHOUT AREA FOR VEHICLES WITHIN THE SITE AT CONSTRUCTION ENTRANCE

GENERAL LAND CONSERVATION NOTES

NO DISTURBED AREA WILL BE DENUDED FOR MORE THAN 7 DAYS IF IT IS TO REMAIN DORMANT FOR MORE THAN 14 DAYS UNLESS AUTHORIZED BY THE GOVERNING JURISDICTION'S INSPECTOR. PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DISTURBED AREAS WITHIN 7 DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE.

ALL STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE PLACED PRIOR TO OR AS THE FIRST STEP IN GRADING FOR ALL SITES.

ALL STORM SEWER, SANITARY SEWER, WATER MAIN AND SERVICE TRENCHES SHALL BE MULCHED AND SEEDED WITHIN 7 DAYS AFTER BACKFILL IF INSTALLATION IS THROUGH STABILIZED AREAS. NO MORE THAN 500 FEET OF TRENCH SHALL BE OPEN AT ANY ONE TIME.

ELECTRIC POWER, TELEPHONE, CATV AND GAS SUPPLY TRENCHES SHALL BE COMPACTED, SEEDED AND MULCHED WITHIN 7 DAYS AFTER BACKFILL, IF INSTALLATION IS THROUGH STABILIZED AREAS.

ALL TEMPORARY DIVERSIONS AND EARTH STOCKPILES SHALL BE SEEDED AND MULCHED WITH TEMPORARY VEGETATIVE COVER WITHIN 7 DAYS AFTER GRADING. STRAW, HAY MULCH OR EQUIVALENT IS REQUIRED.

ALL STORM SEWER INLETS SHALL BE PROTECTED BY INLET PROTECTION WHICH WILL BE MAINTAINED AND MODIFIED AS REQUIRED AS CONSTRUCTION PROGRESSES.

ANY DISTURBED AREA NOT STABILIZED WITH SEEDED, SODDING, PAVING OR BUILT UPON BY NOVEMBER 1ST, OR AREAS DISTURBED AFTER THAT DATE, SHALL BE MULCHED IMMEDIATELY WITH HAY OR STRAW AT THE RATE OF 2 TONS PER ACRE AND OVER-SEEDED BY APRIL 15TH.

AT THE COMPLETION OF CONSTRUCTION, AND ONCE ALL DENUDED AREAS ARE PERMANENTLY STABILIZED, ALL TEMPORARY SEDIMENT CONTROLS SHALL BE REMOVED.

MAINTENANCE NOTES

ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CHECKED BY THE OWNER'S REPRESENTATIVE WEEKLY AND WITHIN 24 HOURS AFTER EACH RAINFALL TO ENSURE THAT THE MEASURES ARE FUNCTIONING ADEQUATELY. SEDIMENT THAT IS COLLECTED WILL BE DISTRIBUTED ON THE PROTECTED PORTION OF THE SITE AND STABILIZED. ALL STOCKPILES OF EARTH AND TOPSOILS WILL BE PROTECTED WITH TEMPORARY SEEDED OR OTHER MEANS TO PREVENT EROSION. A CURRENT MAINTENANCE LOG SHALL BE KEPT ON SITE AT ALL TIMES AND MADE AVAILABLE TO ANY GOVERNING AGENCY FOR REVIEW IMMEDIATELY UPON REQUEST.

CONSTRUCTION ROAD STABILIZATION (CE)
BOTH TEMPORARY AND PERMANENT ROADS AND PARKING AREAS MAY REQUIRE PERIODIC TOP DRESSING WITH NEW GRAVEL. SEEDING AREAS ADJACENT TO THE ROADS AND PARKING AREAS SHOULD BE CHECKED PERIODICALLY TO ENSURE THAT A VIGOROUS STAND OF VEGETATION IS MAINTAINED. ROADSIDE DITCHES AND OTHER DRAINAGE STRUCTURES SHOULD BE CHECKED REGULARLY TO ENSURE THAT THEY DO NOT BECOME CLOGGED WITH SILT OR OTHER DEBRIS.

SILT FENCE (SF)
SILT FENCES AND FILTER BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.

SHOULD THE FABRIC ON A SILT FENCE OR FILTER BARRIER DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER IS STILL NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.

SEDIMENT DEPOSITS SHOULD BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.

ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE OR FILTER BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM WITH THE EXISTING GRADE, PREPARED AND SEEDED.

INLET PROTECTION (IP)
THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAIN AND SEDIMENT DEPOSITS REMOVED TO ENSURE THAT THE MEASURE IS FUNCTIONING PROPERLY. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.

MEASURES SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE REMAINING DRAINAGE AREA HAS BEEN PERMANENTLY STABILIZED.

SEEDING AND MULCHING

GENERAL
THE SEEDING, EITHER PERMANENT OR TEMPORARY, SHALL COMMENCE WITHIN 7 DAYS AFTER THE STREET AND LOT GRADING IS COMPLETED.

THE CONTRACTOR SHALL FURNISH ALL LABOR, EQUIPMENT, AND MATERIALS REQUIRED TO ACCOMPLISH BOTH TEMPORARY AND PERMANENT SEEDED.

ALL DITCHES, DIVERSIONS, RIGHT-OF-WAY AREAS AND AREAS DISTURBED DURING CONSTRUCTION SHALL BE SEEDED AND MULCHED OR SODDED.

THE LIMITS OF SEEDED AND MULCHING ARE ASSUMED TO A DISTANCE OF 5 FEET OUTSIDE WORK LIMITS. ALL AREAS NOT DESIGNATED TO BE SODDED SHALL REMAIN UNDER EXISTING GROUND COVER. THOSE AREAS DISTURBED OUTSIDE THE SEEDED LIMITS SHALL BE SEEDED AND MULCHED AT THE CONTRACTOR'S EXPENSE.

PAYMENT FOR TEMPORARY SEEDED SHALL BE INCLUDED UNDER "EROSION CONTROL" QUANTITIES.

OTHER EROSION AND SEDIMENT CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL THEY ARE ORDERED REMOVED BY THE ENGINEER OR AS DIRECTED BY THE "SEQUENCE OF CONSTRUCTION".

PERMANENT SEEDED: KIND OF SEED	SEEDING DATES	PER 1,000 SQ. FT.	PER ACRE
A) CREEPING RED FESCUE PLUS DOMESTIC RYEGRASS PLUS KENTUCKY BLUEGRASS	MARCH-MAY AUG-SEPT	1/2 LB. 1/4 LB.	20 LBS. 10 LBS.
B) TALL FESCUE	MARCH-MAY AUG-SEPT	1 LB.	40 LBS.
C) DWARF (TURF-TYPE) FESCUE	MARCH-MAY AUG-SEPT	1 LB.	40 LBS.

MAINTENANCE:

- A) IRRIGATION - IF SOIL MOISTURE IS DEFICIENT, SUPPLY NEW SEEDINGS WITH ADEQUATE WATER FOR PLANT GROWTH UNTIL THEY ARE FIRMLY ESTABLISHED. THIS IS ESPECIALLY TRUE WHEN SEEDINGS ARE MADE LATE IN THE PLANTING SEASON, IN ABNORMALLY DRY AND HOT SEASONS OR ON ADVERSE SITES.
- B) REPAIRS - INSPECT ALL SEEDED AREAS FOR FAILURES AND MAKE NECESSARY REPAIRS, REPLACEMENTS, RESEEDING AND REMULCHING WITHIN THE PLANTING SEASON IF POSSIBLE.
1. IF STAND IS INADEQUATE, OVERSEED FERTILIZE, USING HALF OF THE RATES ORIGINALLY APPLIED, AND MULCH.
2. IF THE STAND IS OVER 60 PERCENT DAMAGED, REESTABLISH FOLLOWING ORIGINAL LIME, FERTILIZER, SEEDED PREPARATION, SEEDED RECOMMENDATIONS, AND MULCHING RECOMMENDATIONS.

MAINTENANCE FERTILIZATION AND MOWING FOR PERMANENT SEEDED

MIXTURE	FORMULA	FERTILIZER RATE LBS./AC	FERTILIZER RATE LBS./1000 SQ. FT.	TIME	MOWING
CREEPING RED FESCUE RYEGRASS KENTUCKY BLUEGRASS	10-10-10	500	12	FALL YEARLY OR AS NEEDED	NOT CLOSER THAN 3"
TALL FESCUE	10-10-10	500	12	FALL YEARLY OR AS NEEDED	NOT CLOSER THAN 4"
DWARF (TURF-TYPE) FESCUE	10-10-10	500	12	FALL YEARLY OR AS NEEDED	NOT CLOSER THAN 2"
FLATPEA AND CROWWITCH WITH FESCUE	0-20-20	400	10	SPRING YEARLY FOLLOWING ESTABLISHMENT AND EVERY 4-7 YEARS THEREAFTER	DO NOT MOW

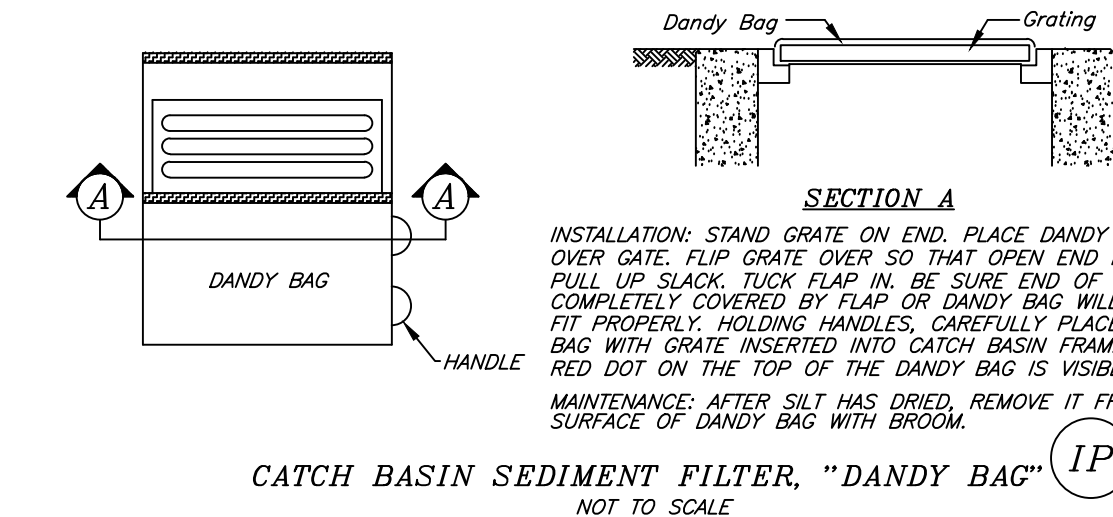
INSTALLATION

- A) GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDED PREPARATION, SEEDED, MULCH APPLICATION AND ANCHORING, AND MAINTENANCE. AFTER THE GRADING OPERATION SPREAD TOPSOIL, WHERE NEEDED.
- B) WHERE COMPACTED SOILS OCCUR, THEY SHOULD BE BROKEN UP SUFFICIENTLY TO CREATE A FAVORABLE ROOT DEPTH OF 6-8 INCHES.
- C) FOR PERMANENT SEEDED, PLACE TOPSOIL TO A DEPTH OF 4 INCHES MINIMUM.
- D) APPLY LIME AT A RATE AS RECOMMENDED BY SOIL TESTS, OR AT A RATE OF 100 POUNDS PER 1000 SQUARE FEET OR TWO TONS PER ACRE OF AGRICULTURAL GROUND LIMESTONE. FOR BEST RESULTS MAKE A SOIL TEST.
- E) APPLY FERTILIZER AT A RATE AS RECOMMENDED BY SOIL TESTS, OR AT A RATE OF 25 POUNDS PER 1000 SQUARE FEET OR 1000 POUNDS PER ACRE OF 10-10-10, FOR BEST RESULTS MAKE A SOIL TEST.
- F) WORK THE LIME AND FERTILIZER INTO THE SOIL WITH A DISK HARROW, SPRINGTOOTH HARROW OR OTHER SUITABLE FIELD EQUIPMENT TO A DEPTH OF THREE INCHES. ON SLOPING LAND THE FINAL OPERATION SHALL BE ON THE CONTOUR.
- G) APPLY THE SEED UNIFORMLY WITH A CYCLONE SEEDER, DRILL, CULTIPACKER SEEDER OR HYDROSEEDER (SLURRY MAY INCLUDE SEED AND FERTILIZER) PREFERABLY ON A FIRM, MOIST SEEDED. SEED WHEAT OR RYE NO DEEPER THAN ONE INCH. SEED RYEGRASS NO DEEPER THAN ONE-FOURTH INCH.
- H) WHEN FEASIBLE, EXCEPT WHERE A CULTIPACKER TYPE SEEDER IS USED, THE SEEDED SHOULD BE FIRMED FOLLOWING SEEDED OPERATIONS WITH A CULTIPACKER, ROLLER OR LIGHT DRAG. ON SLOPING LAND SEEDED OPERATIONS SHOULD BE ON THE CONTOUR WHEREVER POSSIBLE.
- I) APPLY MULCH AT A RATE OF TWO TONS PER ACRE OR 100 POUNDS (TWO TO THREE BALES) PER 1000 SQUARE FEET.
- J) SPREAD THE MULCH UNIFORMLY BY HAND OR MECHANICALLY SO THE SOIL SURFACE IS COVERED.
- K) ANCHOR MULCH BY ONE OF THE FOLLOWING METHODS:
1. MECHANICAL - USE A DISK, CRIMPER OR SIMILAR TYPE TOOL SET STRAIGHT TO PUNCH OR ANCHOR THE MULCH MATERIAL INTO THE SOIL.
 2. ASPHALT EMULSION - APPLY AT THE RATE OF 160 GALLONS PER ACRE INTO THE MULCH AS IT IS BEING APPLIED.
 3. MULCH NETTINGS - USE ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS. USE IN AREAS OF WATER CONCENTRATION TO HOLD MULCH IN PLACE.

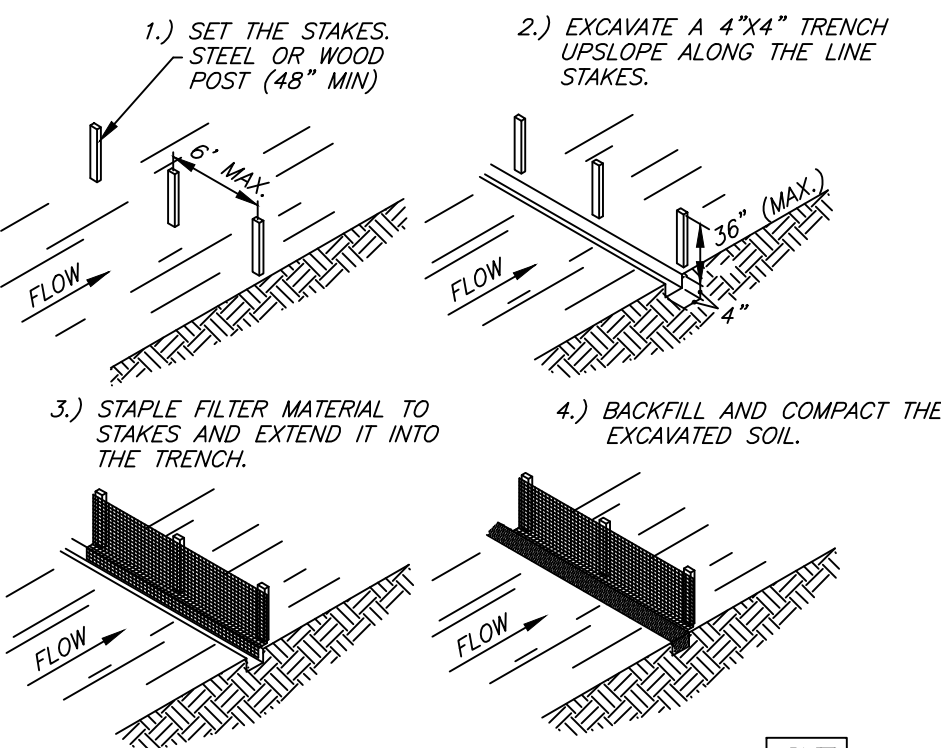
BASIN	LOCATION	TRIBUTARY ACREAGE	REQUIRED SEDIMENT STORAGE VOLUME (37 CY/AC)	PROVIDED SEDIMENT STORAGE VOLUME (37 CY/AC)	REQUIRED DEWATERING STORAGE VOLUME (87 CY/AC)	PROVIDED DEWATERING STORAGE VOLUME (87 CY/AC)	EMERGENCY SPILLWAY ELEVATION	TOP OF EMBANKMENT ELEVATION
1	SEDIMENT BASIN	DISTURBED 4.488	4,488 CF	4,530 CF @ 909.00	8,078 CF	8,078 CF @ 910.33	912.59	913.00

SWP3 AMENDMENT LOG FOR FIELD MODIFICATIONS
NOTE: A COPY OF THE SWP3 SHALL BE ON SITE AT ALL TIMES.

AMENDMENT NUMBER	AMENDMENT DESCRIPTION	AMENDMENT PREPARED BY (NAME AND TITLE)	AMENDMENT DATE



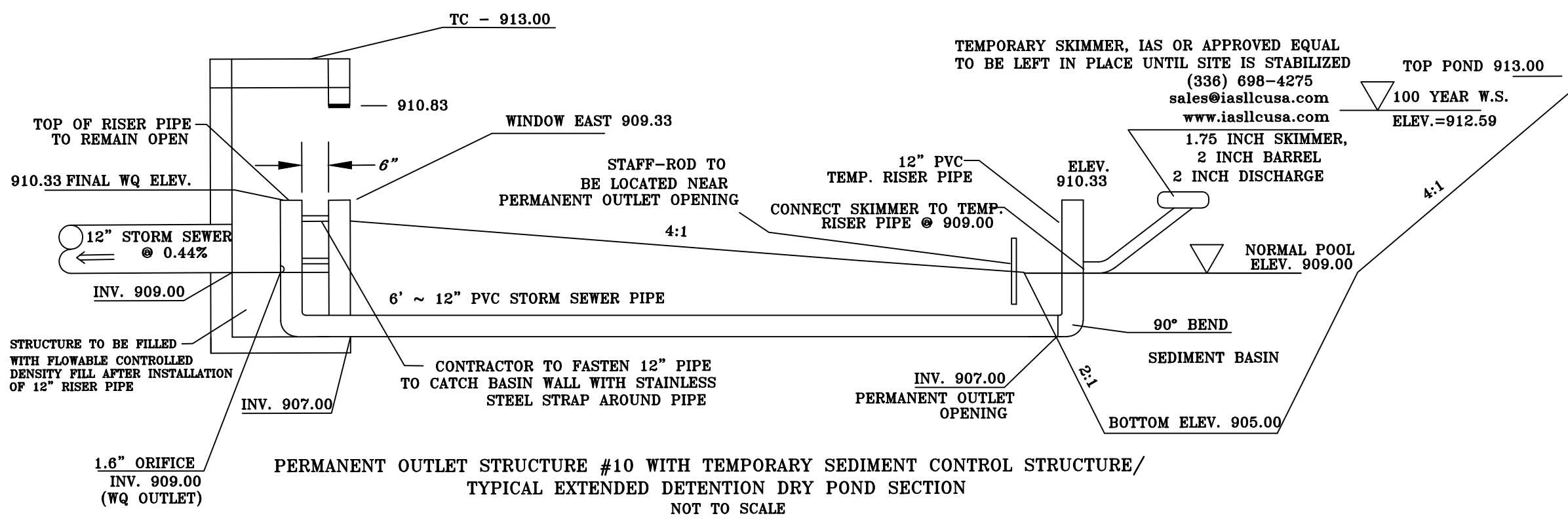
CATCH BASIN SEDIMENT FILTER, "DANDY BAG" (IP)
NOT TO SCALE



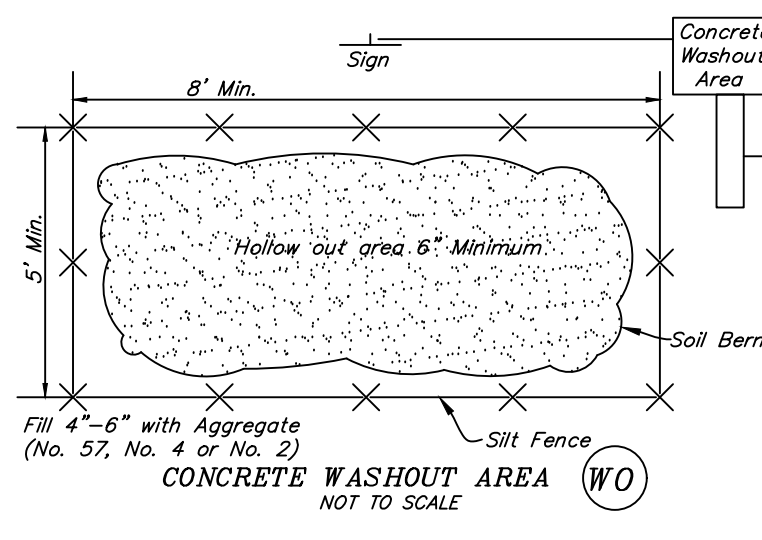
CONSTRUCTION OF A SILT FENCE (SF)
NOT TO SCALE

POST CONSTRUCTION BMP MAINTENANCE PLAN SCHEDULE

Owner	Full compliance with the City of Powell Erosion and Sediment Control Regulations.	Full compliance with the City of Powell Erosion and Sediment Control Regulations until all construction activities are completed
Contractor	Provide Erosion and Sediment controls as detailed on plans.	Perform Daily inspections and as needed maintenance until all slope areas they control are permanently stabilized. Maintain site per City of Powell requirements
Owner	Inspection Checklists	The Property Owner shall maintain copies of complete dated and signed inspection checklists in a maintenance inspection log, along with recorded dates and descriptions of maintenance activities performed by the Property Owner to remedy the deficiencies observed during prior inspections. The maintenance inspection log shall be kept on the property and shall be made available to the City upon request.



PERMANENT OUTLET STRUCTURE #10 WITH TEMPORARY SEDIMENT CONTROL STRUCTURE/
TYPICAL EXTENDED DETENTION DRY POND SECTION
NOT TO SCALE



CITY OF POWELL, DELAWARE COUNTY, OHIO

STORMWATER POLLUTION PREVENTION PLAN

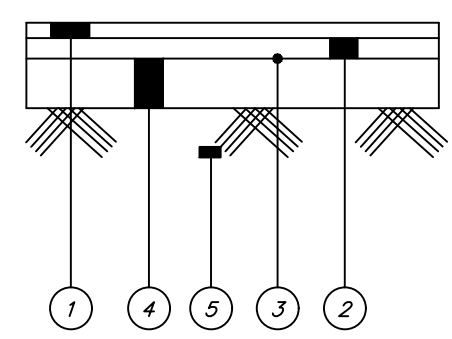
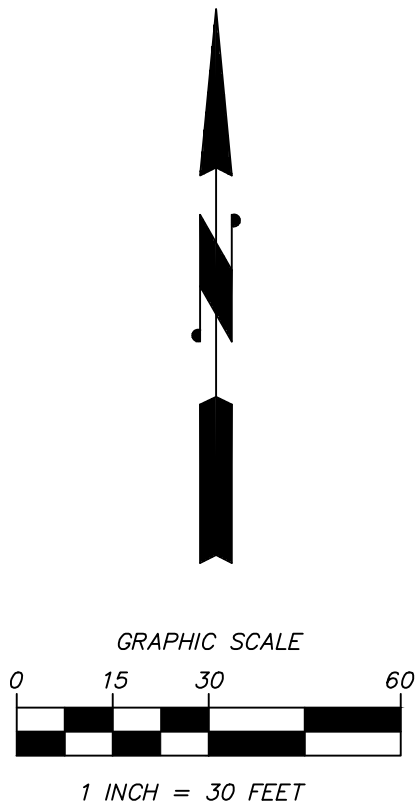
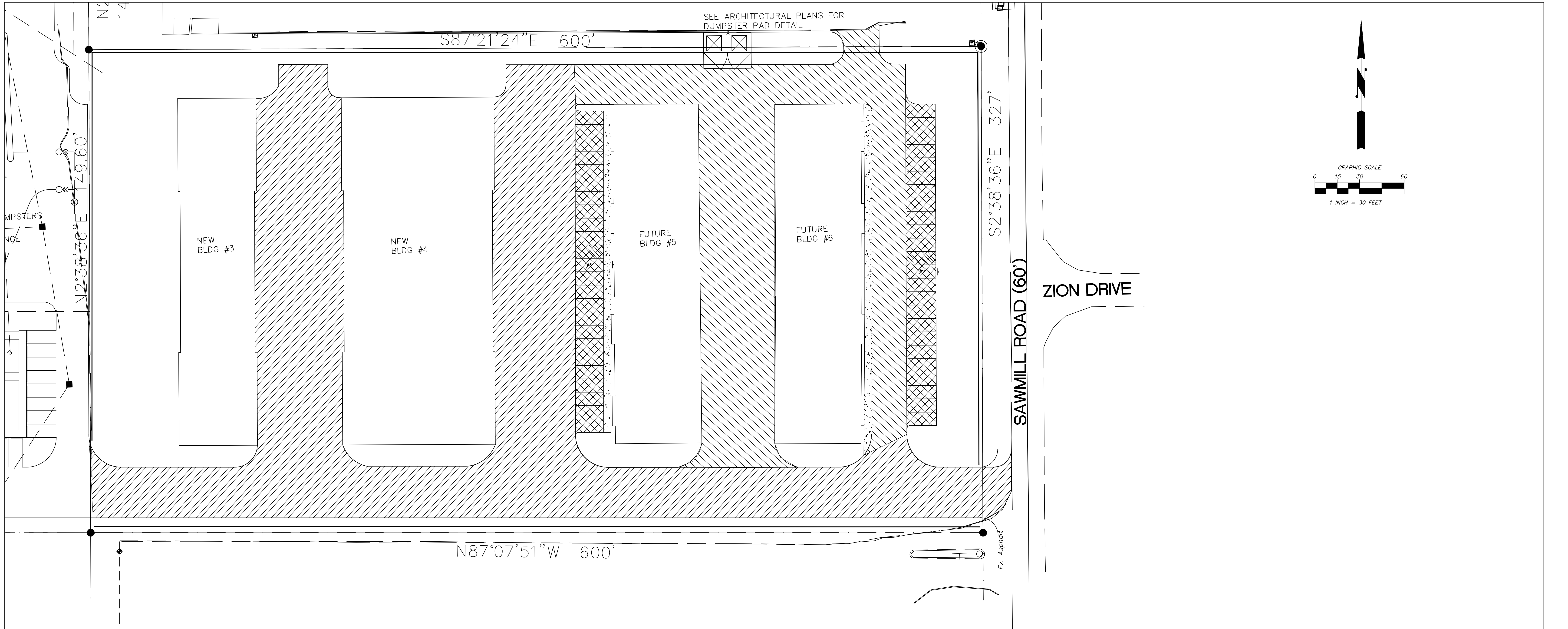
FOR

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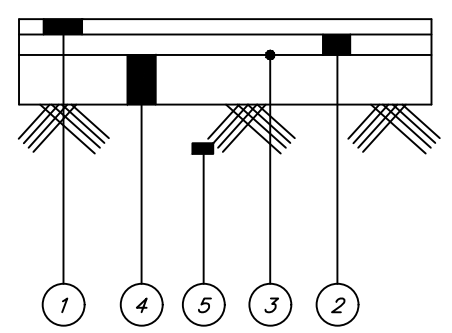
SCALE: 1"=40'

C-4
C-5



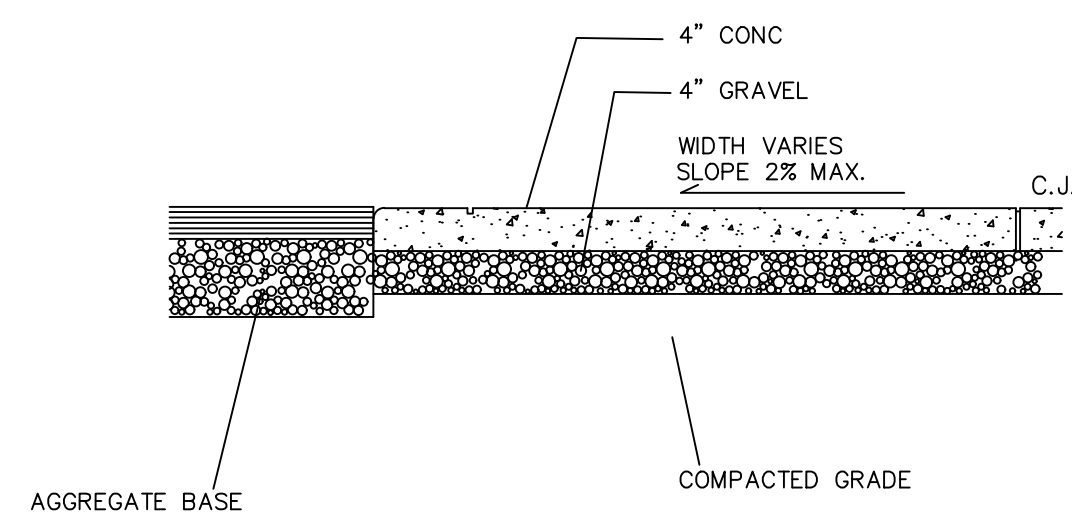
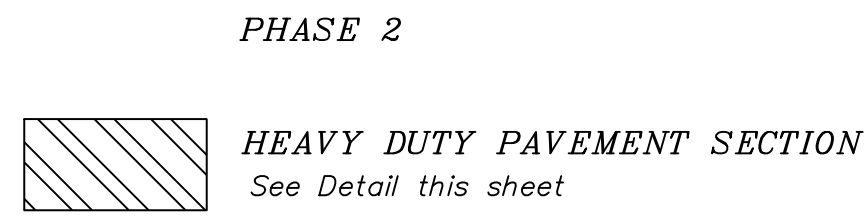
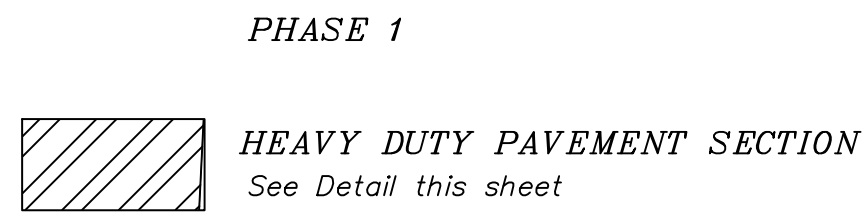
- 1 1-1/2" Asphalt Concrete, Surface Course, Item 448
- 2 2" Asphalt Concrete, Intermediate Course, Item 448
- 3 Bituminous Primecoat, Item 408, applied at 0.40 gal per sq. yard
- 4 8" Crushed Aggregate Base, Item 304
- 5 Compacted Subgrade, Item 203

HEAVY DUTY PAVEMENT SECTION FOR
ON SITE PARKING AND DRIVE LANES
-NOT TO SCALE-



- 1 1-1/2" Asphalt Concrete, Surface Course, Item 448
- 2 1-1/2" Asphalt Concrete, Intermediate Course, Item 448
- 3 Bituminous Primecoat, Item 408, applied at 0.40 gal per sq. yard
- 4 6" Crushed Aggregate Base, Item 304
- 5 Compacted Subgrade, Item 203

TYPICAL PAVEMENT SECTION FOR
ON SITE PARKING AND DRIVE LANES
-NOT TO SCALE-



WALK DETAIL
-NOT TO SCALE-

PRELIMINARY
NOT TO BE USED
FOR CONSTRUCTION
1-18-17

CITY OF POWELL, DELAWARE COUNTY, OHIO

PAVEMENT PLAN

FOR

PRESIDENTIAL POINTE PHASE III

PREPARED BY:
HOCKADEN AND ASSOCIATES, INC.
Consulting Engineers & Surveyors
883 North Cassady Avenue
Columbus, Ohio 43219
Tele.: (614) 252-0993
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SCALE: 1"=30'

C-5
C-5