renovation for:



restaurant/bar 26 olentangy street powell ohio

GENERAL NOTES

- 1. THE USE OF THESE DOCUMENTS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED. REUSE OR REPRODUCTION OF THE DOCUMENTS, (WHOLE OR IN PART) FOR ANY OTHER PURPOSE IS PROHIBITED. MATTHEW R. ALTHOUSE RETAINS ALL RIGHTS OF OWNERSHIP.
- 2. THE CONTRACTOR AND SUB-CONTRACTORS SHALL BE SOLELY RESPONSIBLE FOR COMPLYING WITH ALL FEDERAL, STATE, AND LOCAL SAFETY REQUIREMENTS TOGETHER WITH EXERCISING PRECAUTIONS AT ALL TIMES FOR THE PROTECTION OF PERSONS INCLUDING EMPLOYEES AND PROPERTY. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND SUB-CONTRACTORS TO INITIATE, MAINTAIN, AND SUPERVISE ALL SAFETY REQUIREMENTS, PRECAUTIONS, AND PROGRAMS IN CONNECTION WITH THE
- 3. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE ALL WORK AND FOR THE MEANS, METHODS, PROCEDURES, TECHNIQUES, AND SEQUENCE OF CONSTRUCTION.
- 4. THE GENERAL CONTRACTOR IS TO GUARANTEE ALL WORK INCLUDING WORK DONE BY SUB-CONTRACTORS FOR A PERIOD OF A MINIMUM ONE (1) YEAR COMMENCING WITH THE DATE OF SUBSTANTIAL COMPLETION OF THE WORK, OR AS STATED IN CONTRACT WITH OWNER. WHICHEVER IS GREATER.
- 5. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SCHEDULING AND MONITORING OF ON-SITE TESTING AND INSPECTION SERVICES AS LISTED IN GENERAL CONDITIONS A201
- 6. THE GENERAL CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND EXISTING FIELD CONDITIONS WITH THE DRAWINGS. IN PARTICULAR: SOIL CONDITIONS, INCOMING UTILITIES, ETC. GENERAL CONTRACTOR IS TO REPORT IMMEDIATELY TO THE ARCHITECT ANY VARIANCES OR FIELD CONDITIONS THAT MAY CAUSE CONSTRUCTION PROBLEMS PRIOR TO COMMENCING WORK.
- 7. ALL DIMENSIONS SHOWN ARE TO FACE OF FRAMING UNLESS SPECIFICALLY NOTED
- 8. ALL DIMENSIONS SHOWN ARE NOMINAL DIMENSIONS UNLESS SPECIFICALLY NOTED
- 9. ALL DOOR HANDLES SHALL BE OF THE LEVER TYPE, HARDWARE SHALL BE MOUNTED NO HIGHER THAN 48" ABOVE FINISH FLOOR.
- 10. ALL SAW CUTTING AND CORING LOCATIONS SHALL BE REVIEWED IN FIELD BY THE GENERAL CONTRACTOR PRIOR TO CUTTING/CORING.
- 11. THE CONTRACTORS SHALL FURNISH ALL MATERIAL, LABOR AND EQUIPMENT TO
- COMPLETE ALL OF THE WORK.

 12. THE GENERAL CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND FIELD CONDITIONS WITH THE DRAWINGS. NOTIFY THE OWNER OF ANY VARIANCES PRIOR TO COMMENCING
- 13. THE CONTRACTORS SHALL CAREFULLY STUDY AND COMPARE ALL CONTRACT DOCUMENTS WITH EACH OTHER AND SHALL IMMEDIATELY REPORT TO THE ARCHITECT, ANY ERRORS, INCONSISTENCIES OR OMISSIONS DISCOVERED. IF THE CONTRACTOR PERFORMS ANY CONSTRUCTION ACTIVITY KNOWING IT INVOLVES A RECOGNIZED ERROR, INCONSISTENCY OR OMISSION IN THE CONTRACT DOCUMENTS WITHOUT NOTICE TO THE CONTRACT MANAGERS, THE CONTRACTOR SHALL ASSUME APPROPRIATE RESPONSIBILITY FOR SUCH PERFORMANCE AND SHALL BEAR AN APPROPRIATE AMOUNT OF THE ATTRIBUTABLE COST FOR CORRECTION.
- 14. ANY MATERIAL OR LABOR, WHICH MAY NOT BE SHOWN ON THE DRAWINGS OR NOT SPECIFIED, BUT WHICH IS OBVIOUSLY NECESSARY TO COMPLETE THE WORK SHALL BE FURNISHED WITHOUT ADDITIONAL COST.
- 15. THE GENERAL CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS AND INSPECTIONS REQUIRED AND SHALL ALSO PAY FEES REQUIRED FOR THE GENERAL CONSTRUCTION. PLUMBING, ELECTRICAL, HVAC AND SPRINKLER CONTRACTORS SHALL PAY FOR THEIR PERMITS.
- 16. ANY CHANGES, INCLUDING TIME DELAYS, RESULTING FROM THE USE OF APPROVED EQUALS SHALL BE BORN BY THE CONTRACTOR. ANY EFFECTS ON OTHER PORTIONS OF THE WORK CREATED BY SUCH CHANGES SHALL BE COORDINATED BY ALL CONTRACTORS.
- 17. VERIFY UNDERGROUND UTILITIES AND CONDITIONS WITH THE OWNER AND PROPER AUTHORITY PRIOR TO START OF WORK. CALL TWO DAYS BEFORE DIGGING.
- 18. DO NOT SCALE DRAWINGS, WRITTEN DIMENSIONS SHALL CONTROL AT ALL LOCATIONS.
- 19. CONTRACTOR SHALL KEEP THE JOB SITE NEAT AND ORDERLY, REMOVING SCRAP MATERIAL DAILY AND SHALL CLEAN THE SITE AND THE WORK THOROUGHLY UPON COMPLETION.
- 20. IT IS THE OWNER'S RESPONSIBILITY TO HAVE THESE DOCUMENTS REVIEWED BY THEIR RESPECTIVE INSURANCE COMPANIES FOR COMPLIANCE WITH SPECIFIC REQUIREMENTS OF THOSE INSURANCE COMPANIES.
- 21. VERIFY ALL ROUGH OPENINGS BEFORE FRAMING.

ROJECT	INFORMATION	

26 OLENTANGY STREET

POWELL, OHIO 43065

PROJECT OWNER:

SUN PROPERTIES
22 LIBERTY STREET
POWELL, OHIO

PROJECT ARCHITECT: MATTHEW R. ALTHOUSE 1165 ELM PARK CIRCLE GALLOWAY, OHIO 43119 937.578.8770

CIVIL ENGINEER:

CRAIG STEVENSON

HARRAL AND STEVENSON

120 EAST MAIN STREET, SUITE A
CIRCLEVILLE, OHIO 43113

PROJECT CONTRACTOR:

PROJECT ADDRESS:

PROJECT DESCRIPTION: COMMERCIAL REMODEL PROJECT. EXTERIOR AND INTERIOR RENOVATIONS. NEW KITCHEN AND

CONCURRENTLY.

CHANGE OF USE FROM RETAIL TO RESTAURANT.

ZONING CLEARANCE PLAN HAS BEEN SUBMITTED

BUILDING CODES:

BUILDING CODE 2011 OHIO BUILDING CODE STRUCTURAL CODE 2011 OHIO BUILDING CODE PLUMBING CODE 2011 OHIO PLUMBING CODE MECHANICAL CODE 2011 OHIO MECHANICAL CODE ELECTRICAL CODE 2014 OHIO BUILDING CODE -NFPA 70 LIFE SAFETY CODE 2011 OHIO FIRE CODE **ENERGY CODE** ASHRAE 90.1 - 2007 GAS CODE 2011 OHIO FUEL GAS CODE

ACCESSIBILITY CODE ANSI A117.1-2009
AMERICANS WITH DISABILITIES ACT
ACCESSIBILITY GUIDELINES (ADAAG) 2010

CONSTRUCTION TYPE: V-B, UNPROTECTED
USE GROUP: A-2

ALLOWABLE AREA: 6,000

ACTUAL AREA: 1,917 SQ. FT.

FIRE PROTECTION: NONE REQUIRED, NONE PROVIDED

FIRE ALARM: NONE REQUIRED, NONE PROVIDED

SEPARATION: NONE REQUIRED, NONE PROVIDED

OCCUPANCY: CURRENT OCCUPANCY IS 20 OCCUPANTS (100 SF/OCC)

EGRESS: MAX. REQUIRED: 99 * .2 = 19.8" PROVIDED: 68"

TRAVEL DISTANCE: COMMON PATH: 75'-0" EXIT ACCESS: 200'-0"

PLUMBING FIXTURES:

EXISTING TO REMAIN
RESTROOMS WILL BE IMPROVED DURING TENANT FIT-UP

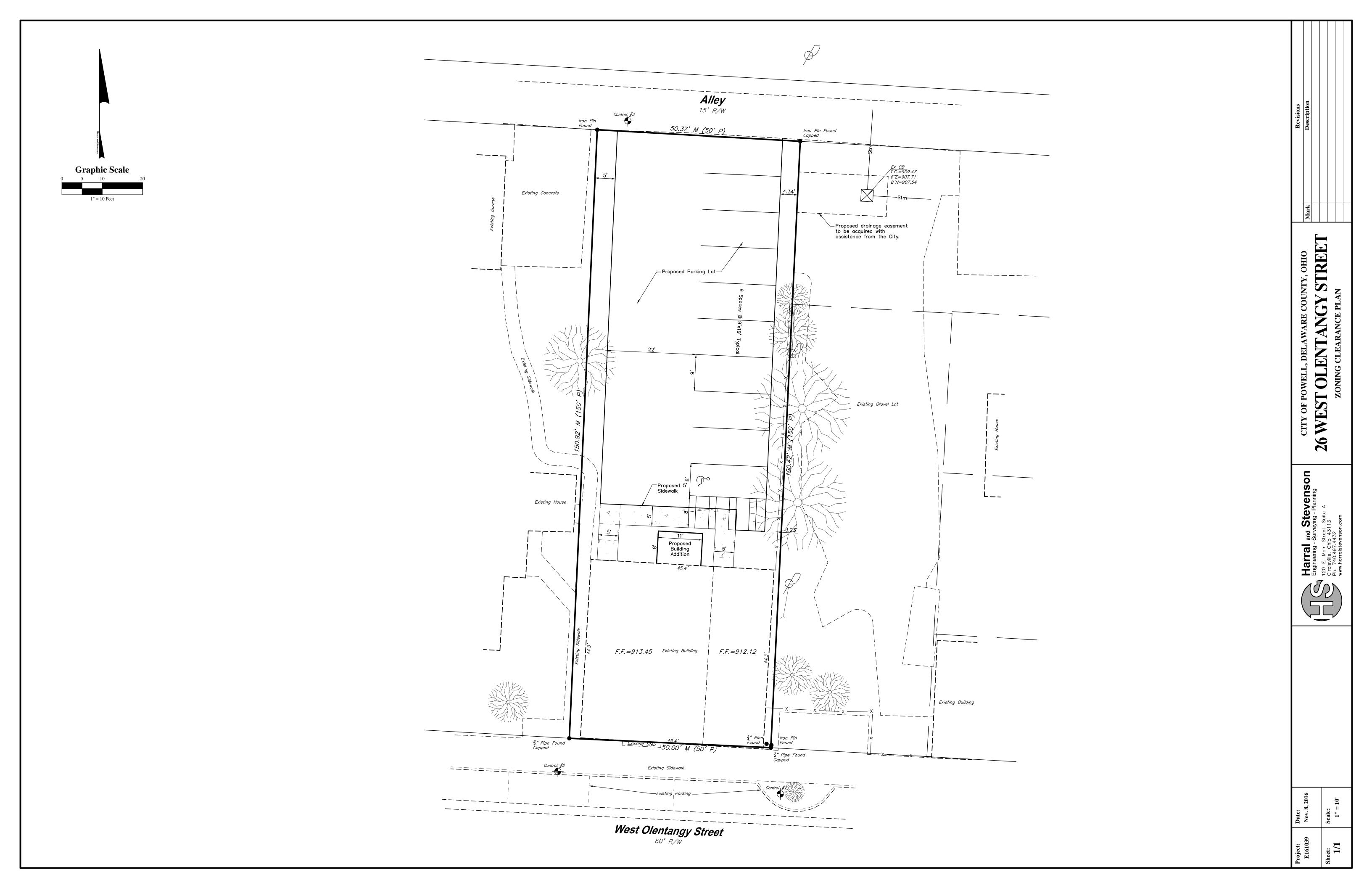
FUTURE OCCUPANCY TO BE DETERMINED DURING TENANT FIT-UP, BUT WILL BE LIMITED TO 99 OCCUPANTS

ISSUE		SHEET NO.	SHEET NAME
	11.28.2016 ZONING		
		GENERAL	
	•	G0.0	COVER SHEET
		CD ///	
		CIVIL	ZONING CLEADANCE DI ANI
	-		ZONING CLEARANCE PLAN
		ARCHITECTURAL	
		AS1.1	ARCHITECTURAL SITE PLAN
		AD1.1	DEMOLITION FLOOR PLAN
		A1.0	GENERAL NOTES AND DETAILS
		A1.1	ARCHITECTURAL FLOOR PLAN
		A1.2	EQUIPMENT PLAN
		A1.3	REFLECTED CEILING PLAN
		A1.4	ENLARGED FLOOR PLAN
		A2.1	EXTERIOR ELEVATIONS
	•	A2.2	EXTERIOR ELEVATIONS
		A4.1	WALL SECTIONS
		A4.2	WALL SECTIONS
		A5.1	FINISH PLAN
		A5.2	FINISH DETAILS
		A6.1	INTERIOR ELEVATIONS
		A6.2	MILLWORK DETAILS
		A8.1	DOORS AND WINDOWS



VICINITY MAP

G0.0 N.T.S.



DEMOLITION FLOOR PLAN 1/4" = 1'-0"

GENERAL DEMOLITION NOTES

- A. FIELD VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORK.
- B. FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK.
- C. EACH CONTRACTOR SHALL VISIT THE PROJECT SITE TO REVIEW THE EXISTING CONDITIONS PRIOR TO THE START OF DEMOLITION.
- D. ALL SUB-CONTRACTOR'S ARE TO CONSULT WITH THE GENERAL CONTRACTOR AND REPORT IN WRITING ANY DISCREPANCIES BETWEEN THE EXISTING CONDITIONS AND THE CONTRACT DOCUMENTS.
- E. SEE PLUMBING, MECHANICAL, AND ELECTRICAL SHEETS FOR ADDITIONAL DEMOLITION INFORMATION.
- NOTIFY OWNER'S REPRESENTATIVE OF ANY HAZARDOUS MATERIALS (ASBESTOS, FREON, ETC.) REQUIRED TO BE REMOVED PRIOR TO COMMENCEMENT OF DEMOLITION.
- G. OWNER RESERVES THE RIGHT OF FIRST REFUSAL ON ALL MATERIAL, EQUIPMENT, AND FIXTURES TO BE REMOVED. CONTRACTOR TO COORDINATE THE REMOVAL AND/OR STORAGE OF ITEMS WITH THE OWNER'S REPRESENTATIVE.
- H. DEMOLITION CONTRACTOR IS TO PROVIDE PROPER VENTILATION OF ALL VAPOR, EXHAUST, AND FUMES THAT ARE CREATED AS A RESULT OF DEMOLITION.
- I. LOCATE ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF DEMOLITION. RELOCATE AS REQUIRED. SEE PLUMBING, MECHANICAL, AND ELECTRICAL SHEETS.
- J. MAINTAIN EXISTING UTILITY SERVICES. PROTECT DURING DEMOLITION AND CONSTRUCTION. PROVIDE TEMPORARY SERVICES IF INTERRUPTION OF SERVICES IS REQUIRED. PROVIDE TEMPORARY SERVICES IN COMPLIANCE WITH GOVERNING AUTHORITY.
- C. PROVIDE TEMPORARY LIGHTING THROUGHOUT THE FLOOR AS REQUIRED. MAINTAIN EXISTING UTILITY SERVICES AND PROTECT DURING DEMOLITION/CONSTRUCTION. PROVIDE TEMPORARY SERVICES IF INTERRUPTION OF SERVICES ARE REQUIRED. PROVIDE TEMPORARY SERVICES IN COMPLIANCE WITH GOVERNING AUTHORITY.
- L. GENERAL CONTRACTOR TO PROVIDE UTILITY BY-PASS CONNECTIONS AS REQUIRED TO MAINTAIN CONTINUITY OF SERVICES TO OCCUPIED AREAS DURING CONSTRUCTION.
- M. COORDINATE UTILITY SERVICE ITEMS TO BE CUT BACK, CAPPED, OR TURNED OFF WITH GENERAL CONTRACTOR AS REQUIRED FOR NEW CONSTRUCTION.
- N. REMOVE ABANDONED PLUMBING, HVAC, AND ELECTRIC BACK TO SOURCE AND CAP OR TERMINATE AS REQUIRED TO MAINTAIN SERVICE.
- O. REMOVE AND DISCONNECT ALL EQUIPMENT SYSTEM COMPONENTS AS REQUIRED.
- P. CONDUCT DEMOLITION OPERATIONS AND REMOVAL OF DEBRIS TO ENSURE MINIMUM INTERFERENCE WITHIN AREAS OF EXISTING BUILDING AND ADJACENT TENANT OPERATIONS.
- Q. CONDUCT DEMOLITION OPERATIONS AND REMOVAL OF DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH ROADWAYS, SIDEWALKS, AND SITE OPERATIONS.
- . GENERAL CONTRACTOR IS TO PROVIDE TEMPORARY BARRICADES AND/OR OTHER FORMS OF SEPARATION AS REQUIRED TO PROTECT THE GENERAL PUBLIC FROM INJURY AS REQUIRED BY LOCAL GOVERNING AUTHORITY.
- S. GENERAL CONTRACTOR IS TO PROVIDE REQUIRED PROTECTION TO PROTECT THE INTERIOR FROM
- T. COORDINATE DEMOLITION AND CONSTRUCTION PHASING AND SEQUENCING WITH THE OWNER.
- U. COORDINATE ITEMS TO BE REMOVED FOR CLEANING, TEMPORARY STORAGE, AND REINSTALLATION WITH GENERAL CONTRACTOR AS DIRECTED BY OWNER'S REPRESENTATIVE.
- V. PATCH AND REPAIR FLOOR AT AREAS OF DEMOLITION AS REQUIRED TO ACHIEVE A CONSISTENT
- W. PATCH AND REPAIR EXISTING CONSTRUCTION ITEMS TO REMAIN THAT HAVE BEEN DAMAGED AS A RESULT OF DEMOLITION OPERATIONS.

CODED NOTES

REMOVE EXISTING CONCRETE STOOP AND ROOF ABOVE.

FLOOR LEVEL TO RECEIVE NEW TENANT FLOOR FINISH.

- 2. REMOVE EXISTING WOOD DECK.
- 3. REMOVE PORTION OF WALL FOR NEW OPENING.
- 4. REMOVE EXISTING ELECTRICAL PANEL BACK TO SERVICE DISCONNECT. PREPARE METER FOR NEW ELECTRICAL SERVICE DURING TENANT FIT-UP.
- 5. REMOVE EXISTING WINDOW. PREPARE OPENING FOR NEW WORK.
- 6. REMOVE EXISTING DOOR AND FRAME. PREPARE OPENING FOR NEW WORK.
- 7. EXISTING FURNACE TO BE RELOCATED
- 8. REMOVE EXISTING RESTROOM FIXTURES COMPLETELY.
- 9. EXISTING WATER HEATER TO REMAIN.10. REMOVE EXISTING STAIR TO COMPLETELY.
- 11. EXISTING STAIR TO REMAIN.
- 12. SAW CUT EXISTING SIDEWALK/STAIR FOR NEW FOUNDATIONS.
- 13. REMOVE EXISTING WALL COMPLETELY.
- 14. REFER TO WALL SECTION FOR TRUSS RE-WORK.
- 15. REMOVE PORTION OF WALL FOR NON-COMBUSTIBLE CONSTRUCTION BEHIND NEW HOOD.

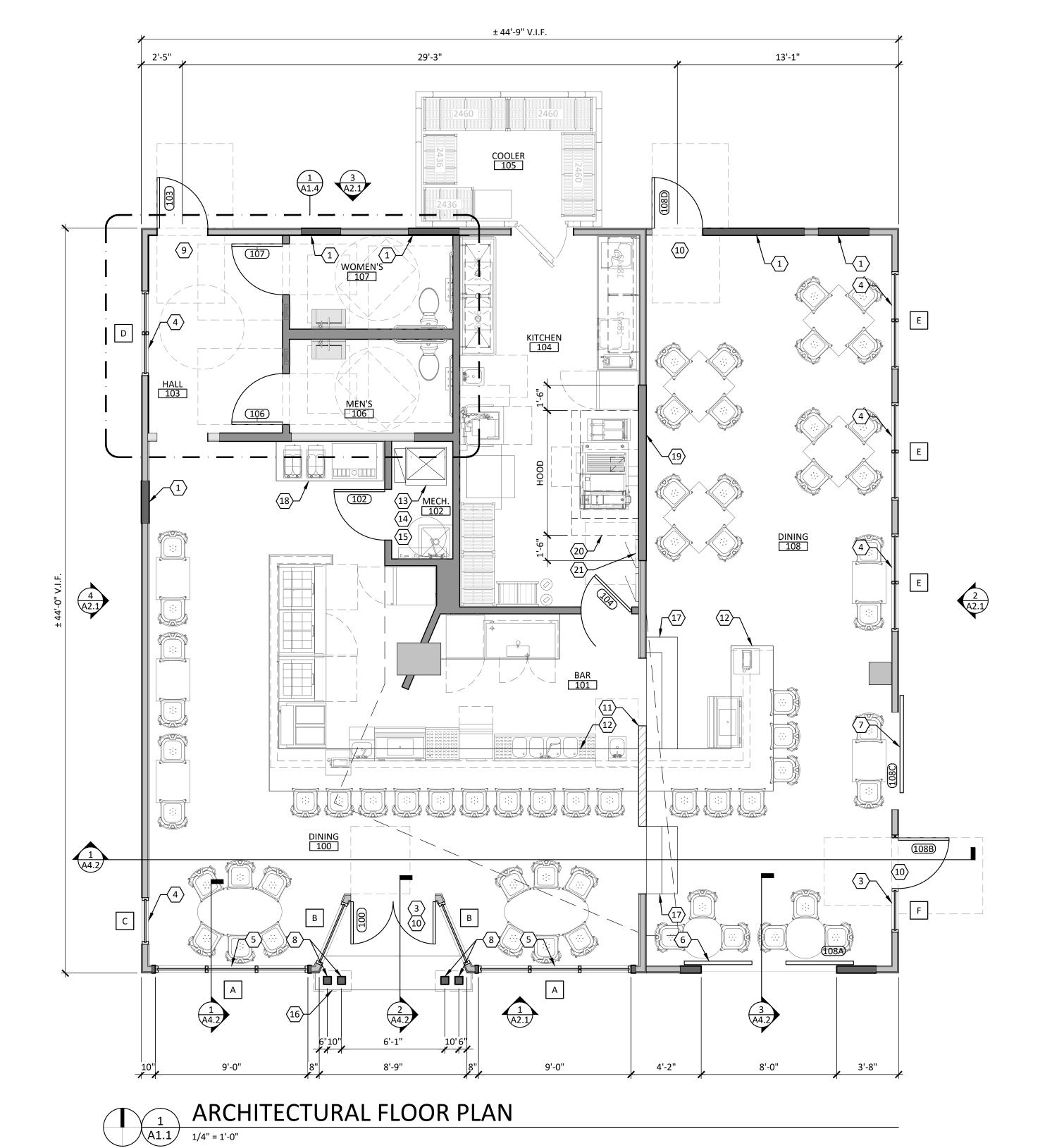
WALL LEGEND

=== EXISTING WALL/PARTITION TO BE DEMOLISHED

EXISTING WALL/PARTITION TO REMAIN

WALL LEGEND				
	EXISTING WALL/PARTITION TO REMAIN			
	NEW WALL/PARTITION			

LL LEGEND	SYIV	IBOL LEGEN
EXISTING WALL/PARTITION TO REMAIN	(#)	FLOOR PLAN CODED NOTE (SEE SCHEDULE ON THIS SHEET
NEW WALL/PARTITION	(100)	DOOR TAG (SEE SCHEDULE ON SHEET A8.1
	<u>(A1*)</u>	WALL TYPE TAG (SEE SCHEDULE ON SHEET A1.0
	X	WINDOW SYSTEM TAG (SEE ELEVATIONS ON SHEET AS



GENERAL FLOOR PLAN NOTES

- VERIFY ALL UNMARKED WALLS WITH ARCHITECT.
- B. GENERAL CONTRACTOR TO PROVIDE ALL WALLS INDICATED ON FLOOR PLAN.
- PROVIDE 2x6 FIRE RETARDANT TREATED WOOD BLOCKING IN PARTITIONS TO SUPPORT ALL CASEWORK, DOOR WALL STOPS, ELECTRICAL AND MECHANICAL DEVICES, AND FIRE
- ELECTRICAL CONTRACTOR TO COORDINATE LOCATIONS WITH MECHANICAL EQUIPMENT AND FIRE PROTECTION PRIOR TO STARTING WORK.
- GENERAL CONTRACTOR TO PATCH ALL ROOF PENETRATIONS MADE BY THIS PROJECT WITH ROOFING CONTRACTOR.
- GENERAL CONTRACTOR TO PROVIDE ALL ROOF PATCHING AROUND MECHANICAL EQUIPMENT. VERIFY ROOF WARRANTY REQUIREMENTS WITH OWNER.
- G. SEE SECTION A4.x FOR WALL SECTIONS AND DETAILS.
- H. SEE SHEET A8.1 FOR DOOR SCHEDULE.
- SEE SHEET A8.1 FOR WINDOW SCHEDULE.
- VERIFY ALL OWNER SUPPLIED EQUIPMENT BEFORE ROUGH-INS ARE COMPLETED & GYP. BOARD IS INSTALLED.
- ELECTRICAL CONTRACTOR TO COORDINATE LIGHT FIXTURE LOCATIONS WITH MECHANICAL EQUIPMENT PRIOR TO INSTALLATION.
- FRAMING CONTRACTOR TO COORDINATE FRAMING AROUND HVAC DUCTS, PIPES, CONDUITS AND OTHER ITEMS LOCATED ABOVE THE CEILING.
- THERMAL AND ACOUSTICAL INSULATION IN FLOORS, WALLS AND CEILING TO COMPLY WITH STATE AND LOCAL CODE REQUIREMENTS FOR FLAME SPREAD AND SMOKE DEVELOPMENT
- ALL SHEATHING THAT IS TO RECEIVE FULLY ADHERED ROOF MEMBRANE IS TO BE ATTACHED TO FRAMING BY THE USE OF NON-REVERSING SCREWS. NO NAIL FASTENERS ARE
- O. EC TO PROVIDE CONDUIT & PULL STRINGS FOR OWNER SUPPLIED COMMUNICATION.
- PROVIDE TACTILE EXIT SIGNAGE AT EACH DOOR TO AN EGRESS STAIRWAY, AN EXIT PASSAGEWAY AND ALL EXIT DISCHARGE POINTS.
- ALL MATERIALS SPECIFIED ARE TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS. CONTRACTOR IS TO CONSTRUCT THE PROJECT ACCORDING TO THE CONTRACT DOCUMENTS. ANY DEVIATION FROM THE INTENT OF THE CONTRACT DOCUMENTS WITHOUT ARCHITECT OR OWNER APPROVAL ARE AT THE CONTRACTOR'S OWN RISK.
- VERIFY LOCATION OF ALL EQUIPMENT AND VERIFY SIZES, WALL OPENINGS, AND SUPPORT REQUIREMENTS WITH MANUFACTURE. PROVIDE REINFORCEMENT AS REQUIRED BY
- ALL DOORS TO BE LOCATED 4" FROM ADJACENT WALL OR COUNTER, OR CENTERED IN WALL UNLESS OTHERWISE NOTED.
- THE GENERAL CONTRACTOR IS TO VERIFY SIZE, QUANTITY AND LOCATION W/LOCAL FIRE MARSHAL PRIOR TO INSTALLATION AND CONFIRM WITH OWNER WHO IS TO PROVIDE
- U. 2x FRT BLOCKING TO BE PROVIDED AT ALL SINKS, GRAB BARS, MIRRORS, DISPENSERS, ETC. PER MFR. SPECIFICATIONS.
- V. PROVIDE IN-WALL BLOCKING AS REQUIRED FOR ALL CASEWORK AND DOOR WALL STOPS.
- W. ALL EXISTING WALLS TO BE PATCHED & REPAIRED AND MADE READY TO RECEIVE SPECIFIED
- X. DO NOT SCALE OF PLANS, CALL THE ARCHITECT FOR ADDITIONAL DIMENSIONAL INFORMATION IF REQUIRED.
- WRITTEN DIMENSIONS HAVE PRECEDENT OVER SCALED DIMENSIONS IN ALL CASES. G.C. SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS AT THE JOB SITE AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO STARTING WORK.

CODED NOTES

- 1. INFILL EXISTING OPENING WITH SIMILAR CONSTRUCTION AND THICKNESS.
- 2. PROVIDE TEMPORARY BARRICADE OVER OPENING UNTIL TENANT FIT-UP COMMENCES.
- 3. NEW DOOR IN EXISTING OPENING.
- 4. NEW WINDOW IN EXISTING OPENING.
- 5. NEW WINDOW IN NEW OPENING.
- 6. NEW SLIDING BARN DOOR IN NEW OPENING. 7. NEW SLIDING BARN DOOR IN EXISTING OPENING.
- 8. NEW COLUMN AND FOUNDATION. 9. ACCESSIBLE ENTRANCE.
- 10. PROVIDE SIGN AT NON-ACCESSIBLE ENTRANCE DIRECTING PATRON TO ACCESSIBLE ENTRANCE.
- 11. PARTIAL HEIGHT WALL
- 12. CONCRETE COUNTERTOP
- 13. RELOCATED FURNACE.
- 14. MOP SINK.
- 15. WATER HEATER.
- 16. EXISTING STAIR TO REMAIN.
- 17. NEW CONCRETE STAIR. REFER TO ____
- 18. BEVERAGE BAR.
- 19. NEW NON-COMBUSTIBLE WALL BEHIND NEW HOOD. PROVIDE STAINLESS STEEL SHEET OVER 1/2" CEMENT BOARD ON METAL STUD FRAMING BEHIND HOOD. EXTEND MIN. 18" BEYOND EDGE OF HOOD IN BOTH DIRECTIONS, FROM SLAB TO T.O. WALL.
- 20. NEW HOOD. REFER TO MECHANICAL PLANS.
- 21. ELECTRIC PANELS, REFER TO ELECTRICAL PLANS.



EXTERIOR ELEVATION - SOUTH A2.1 1/4" = 1'-0"

