

BY GRAPHICAL PLOTTING ONLY, THE SUBJECT PREMISES IS LOCATED IN ZONE "X", (AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL FLOODPLAIN), AS DETERMINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, NATIONAL FLOOD INSURANCE PROGRAM, AND SHOWN ON THE FLOOD INSURANCE RATE MAP, 39041C0237K, EFFECTIVE DATE: APRIL 16, 2009.

DELAWARE COUNTY SURVEY MARK
DESIGNATION: 97-056

BRASS TABLET SET IN CONCRETE FLUSH WITH THE GROUND, STAMPED
"97-056" AND LOCATED 22' NORTH OF THE CENTERLINE OF EAST
ORANGE ROAD, 110' EAST OF NORTH CENTRAL DRIVE.
ELEVATION = 948.3 (NAVD 88)

B.M. #1: CONCRETE NAIL IN NORTHEAST CORNER CONCRETE LIGHT
POST BASE.
ELEVATION = 915.27 (NAVD 88)

1. REMOVE EXISTING SIDEWALK IN PROPOSED BUILDING AREA.
2. REMOVE EXISTING TREE.
3. REMOVE EXISTING FACILITY SIGN. RETURN TO PROPERTY OWNER.
4. REMOVE EXISTING ASPHALT PAVEMENT UNDER PROPOSED SIDEWALK. SEE PAVING PLAN FOR SIDEWALK LOCATION.
5. REMOVE SITE LIGHTING - RETURN FIXTURES TO PROPERTY OWNER.
- THERE ARE EXISTING SHRUBS/LANDSCAPE AREAS THAT ARE TO BE REMOVED IN DEVELOPMENT AREA.

●	5/8"x30" REBAR SET W/ YELLOW I.D. CAP MARKED "BRH GROUP"		FIRE HYDRANT		TELEPHONE PEDESTAL		
			WATER VALVE		TELEPHONE POLE		
▲	RAILROAD SPIKE SET		WATER METER		TELEPHONE MARKER		
■	MAG NAIL SET		CLEAN OUT		UTILITY POLE	_____G_____	GAS
○	FOUND, AS LABELED		GAS VALVE	---G	GUY WIRE	_____SA_____	SANITARY
△	RAILROAD SPIKE FOUND		GAS METER		ELECTRIC TRANSFORMER	_____ST_____	STORM
□	MONUMENT FOUND		GAS MARKER		ELECTRICAL PULL BOX	_____W_____	WATERLINE
⊞	CENTERLINE		CATCH BASIN		A/C UNIT	_____UGS_____	UNDERGROUND ELECTRIC
R	PROPERTY LINE		CURB INLET		GUARD RAIL	_____LGT_____	UNDERGROUND TELEPHONE
-.-.	SIGN	R/W	MANHOLE (TYPE NOTED ON PLAN)		SIGNAL POLE	_____OHE_____	OVERHEAD ELECTRIC
●	BOLLARD	R/W	RIGHT-OF-WAY LINE		FLAG POLE	_____OHT_____	OVERHEAD TELEPHONE
●	MAIL BOX		LIGHT POLE	PID:	PARCEL NUMBER		

THE SURVEYOR HAS/OT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES AS SHOWN HEREON. THE UNDERGROUND UTILITIES SHOWN HEREON HAVE BEEN APPROXIMATELY PLOTTED BASED ON LOCATIONS FROM AN ACTUAL FIELD SURVEY, AND/OR INFORMATION OBTAINED FROM RECORD UTILITY PLANS AND ATLAS MAPS AS MAY BE AVAILABLE FROM LOCAL MUNICIPALITIES OR PUBLIC AND QUASI-PUBLIC UTILITY COMPANIES. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN HEREON COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN HEREON ARE IN THE EXACT LOCATION INDICATED. ALTHOUGH THE DOWNEY COMPANY HAS BEEN ADVISED OF THIS ACCURACY, IT IS POSSIBLE FROM INFORMATION AVAILABLE, THE OHIO REVISED CODE, SECTIONS 3781.25 THROUGH 3781.32 REQUIRES THAT THE CONTRACTOR NOTIFY THE UTILITY PROTECTION SERVICE AND LOCAL UTILITY FACILITIES TWO WORKING DAYS PRIOR TO EXCAVATION.

THE FOREGOING TOPOGRAPHIC SURVEY HAS BEEN PREPARED BY BRH GROUP, INC. FROM AN ACTUAL FIELD SURVEY OF THE PREMISES IN AUGUST, 2016. BOUNDARY LINES SHOWN HEREIN ARE BASED ON DEED INFORMATION AND FIELD OBSERVATIONS AND IS NOT A BOUNDARY SURVEY PURSUANT TO CHAPTER 4733-37 OF THE OHIO ADMINISTRATIVE CODE, THE SURVEY HAS BEEN PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT.

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Columbus, Ohio 43212-2816
Phone: (614) 220-9122
Email: info@brhgroup.com

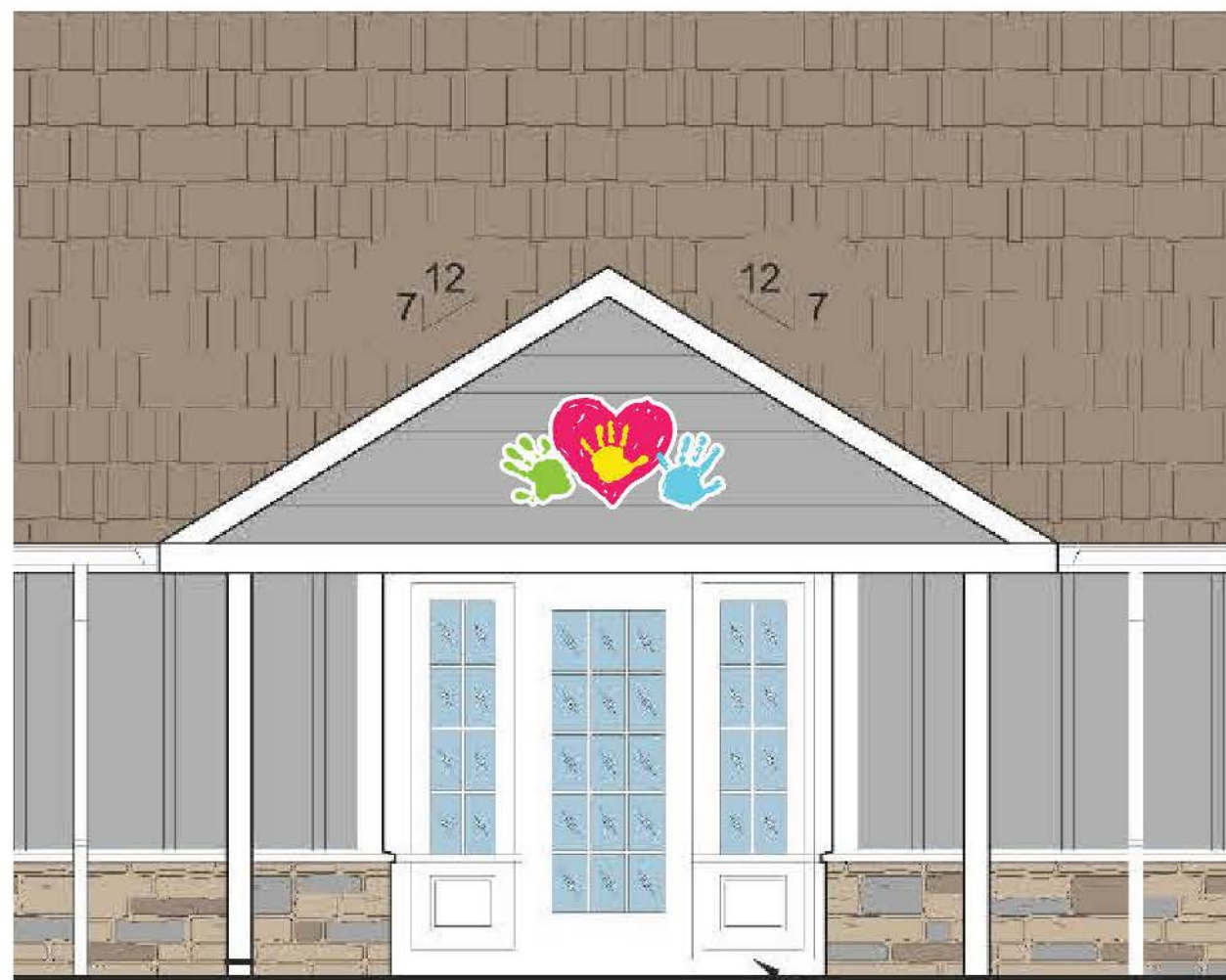
TOPOGRAPHICAL UTILITY SURVEY & DEMOLITION PLAN
BIG HEARTS LITTLE HANDS CHILDCARE
14 GRACE DRIVE
POWELL, OHIO

REVISIONS		DATE
No.		
JOB NO.	40322	
DRAWN BY	SRB	
DESIGNED BY		
CHECKED BY	RH	
FIELD CREW	RDG	
FIELD BOOK		
DATE	10-24-2016	
SCALE	1" = 20'	

SHEET

1

OF 2



& Logo - Option D

Proposed Sign

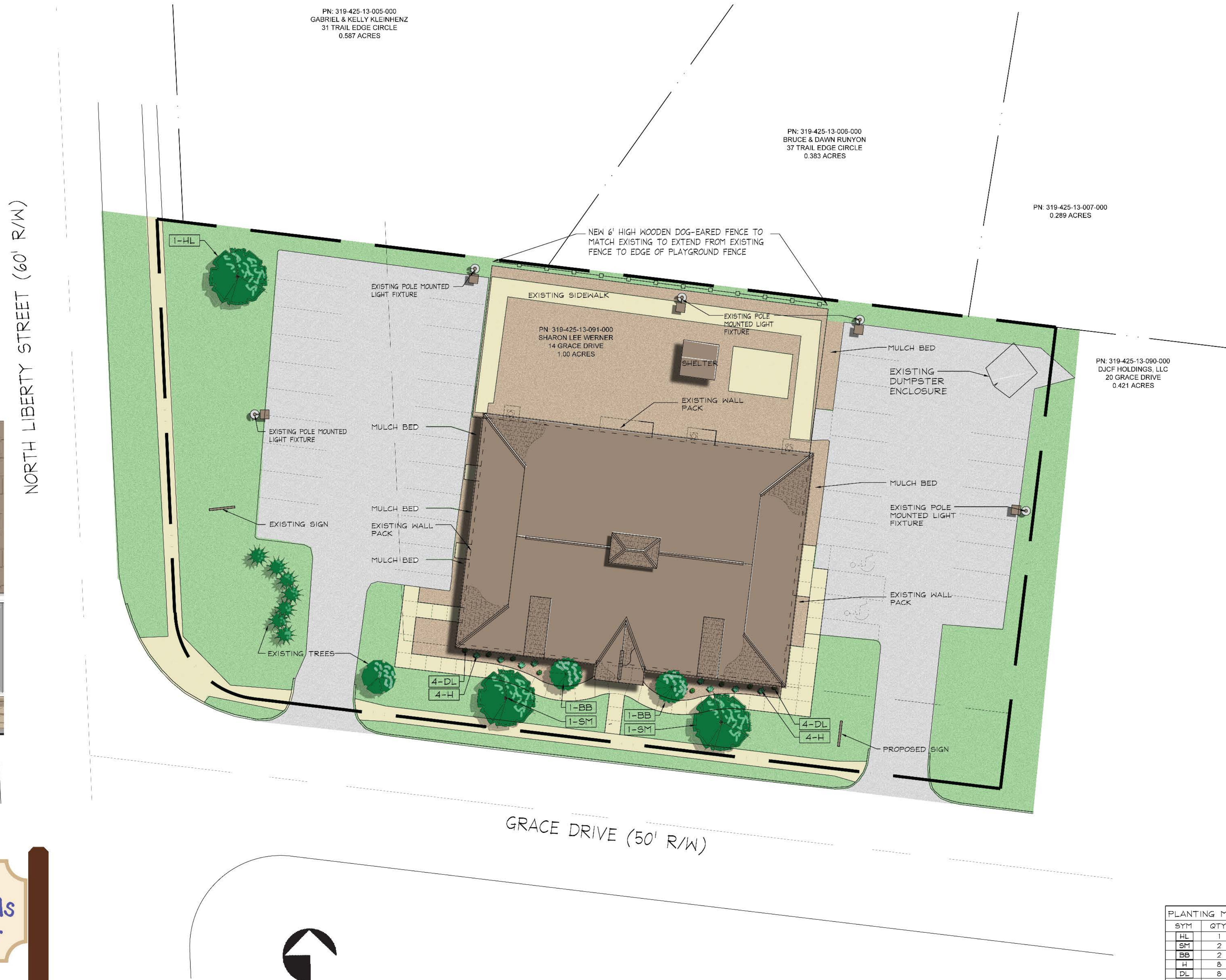
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Duplicate of Existing Sign on Liberty Rd Frontage
to be Placed on Grace Drive Frontage
(24 Sq. Ft. - DS)

Proposed Sign

Scale: nts



NOTE: SEE EXTERIOR ELEVATIONS FOR CAN LIGHTS LOCATED IN EAVES.

Landscape Plan

Scale 1"=20'-0"

Big Hearts Little Hands

Applicant:
Brenda Warnock
14 Grace Drive
Powell, Ohio 43065
Phone: 614.499.2596

Design Professionals:
Bogenrife Architecture LLC
1443 Snowmass Road
Columbus, Ohio 43235
Phone: 614.310.5922

BRH Group
1500 West Third Avenue
Columbus, Ohio 43212
Phone: 614-220-9122

Property owners within 250:
See drawing and attached list.

Legal Description of Property:
Lot 527 Huffman Subdivision No.2.

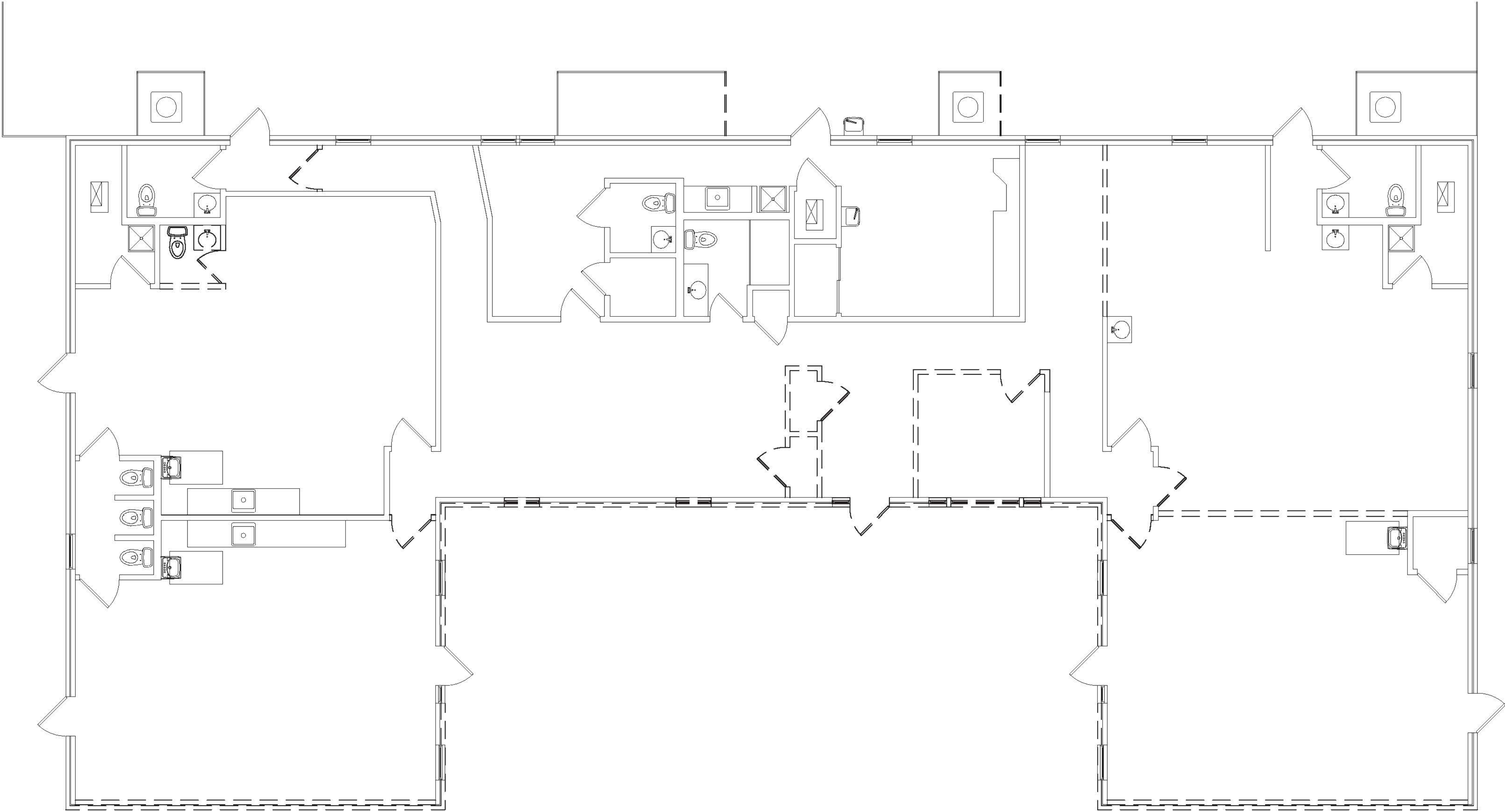
Description of present use:
The property is currently used as a day-care and will continue to be used as a day-care after the expansion.

Statement of Impact:
We feel the impact of the expansion will mostly be positive. Big Hearts Little Hands provides quality day care at a reasonable price and the expansion will allow the business to better serve the community. The paving will not be increased on the site as we already meet the parking requirement after the expansion. The impervious surface increase will mostly be from the building.

[illegible]

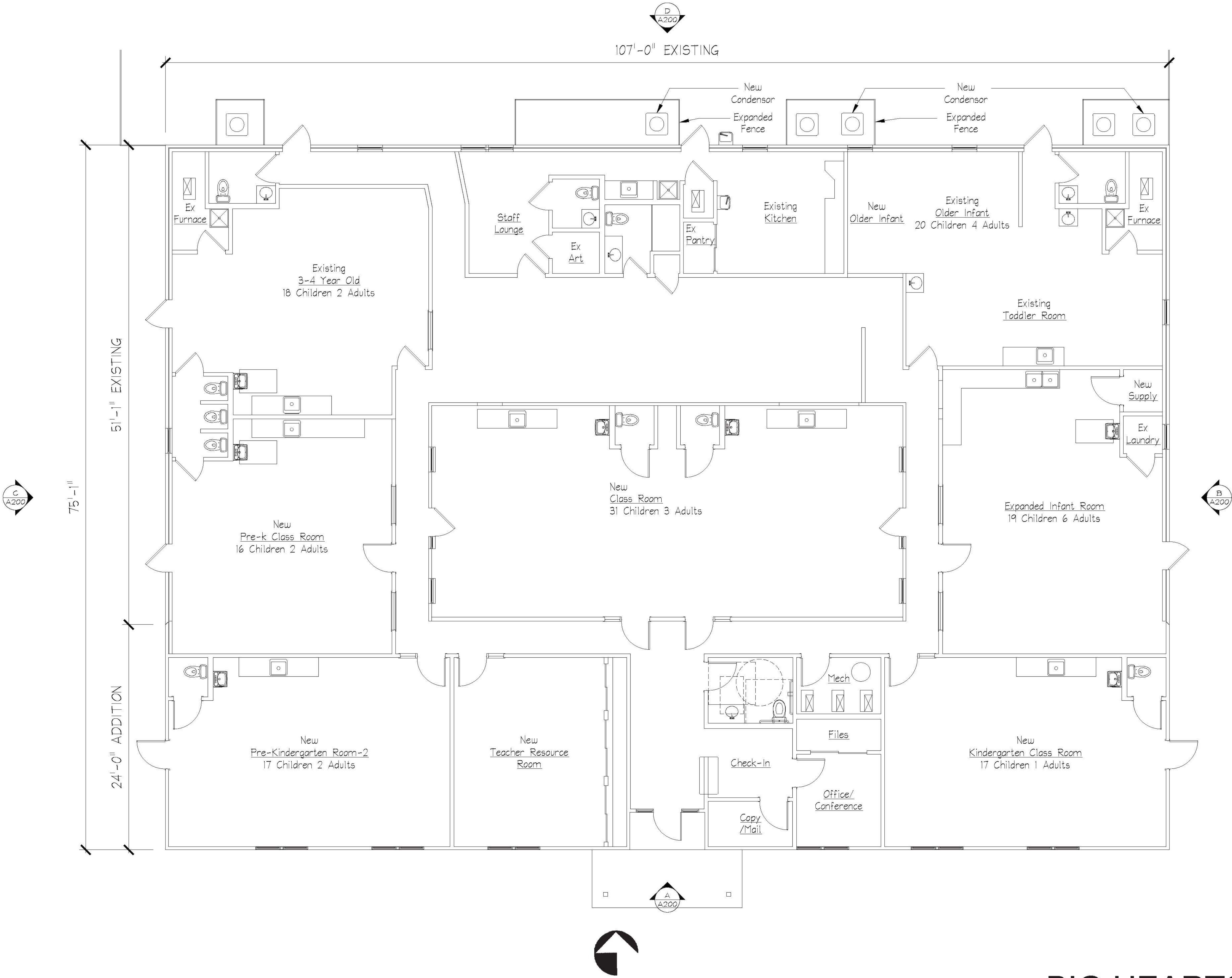
BIG HEARTS LITTLE HANDS

14 GRACE DRIVE
POWELL, OHIO 43065
21 OCTOBER 2016



Demolition Plan
Scale: 3/16"=1'-0"

BIG HEARTS LITTLE HANDS
14 GRACE DRIVE
POWELL, OHIO 43065
21 OCTOBER 2016

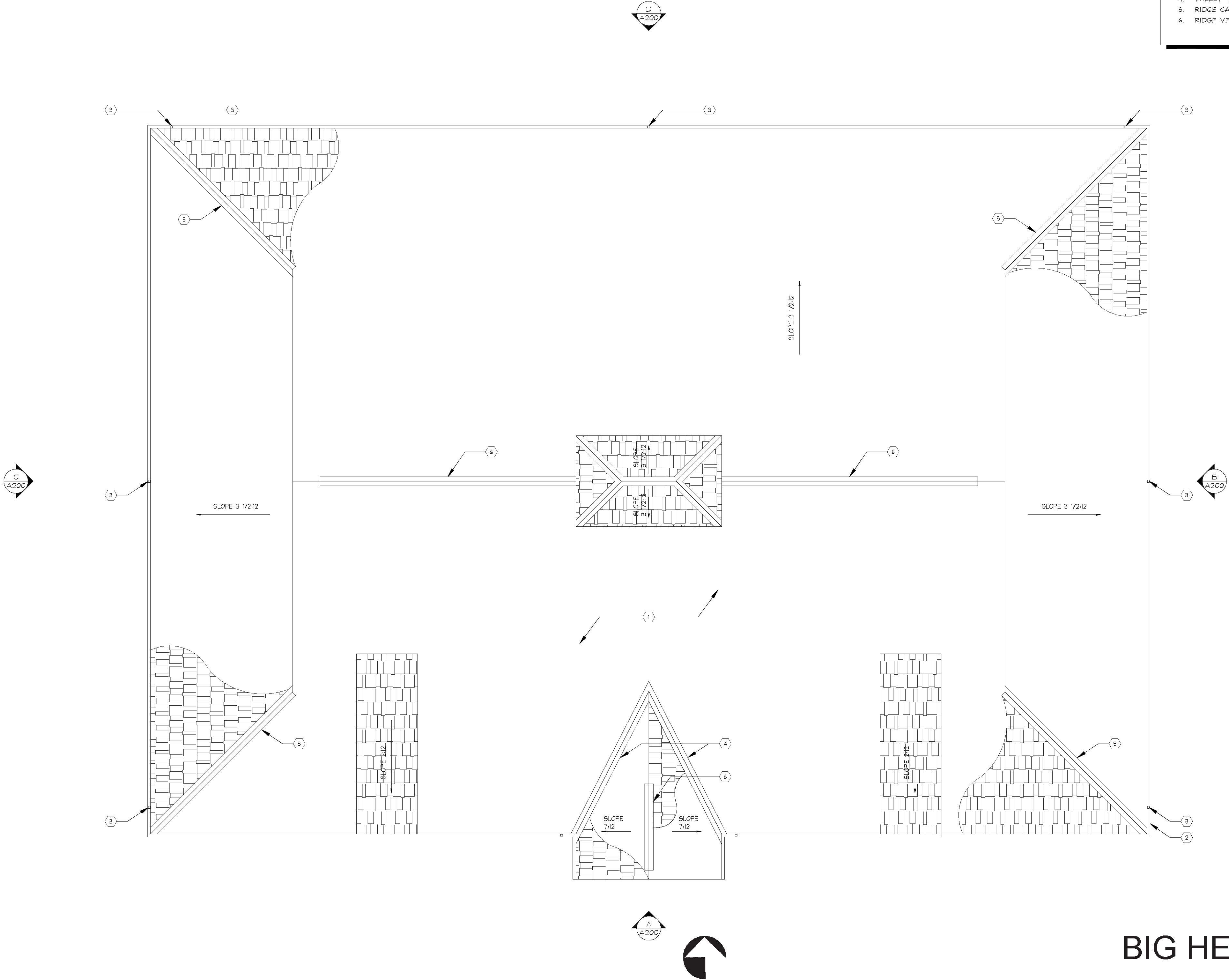


Floor Plan
Scale: 3/16"=1'-0"

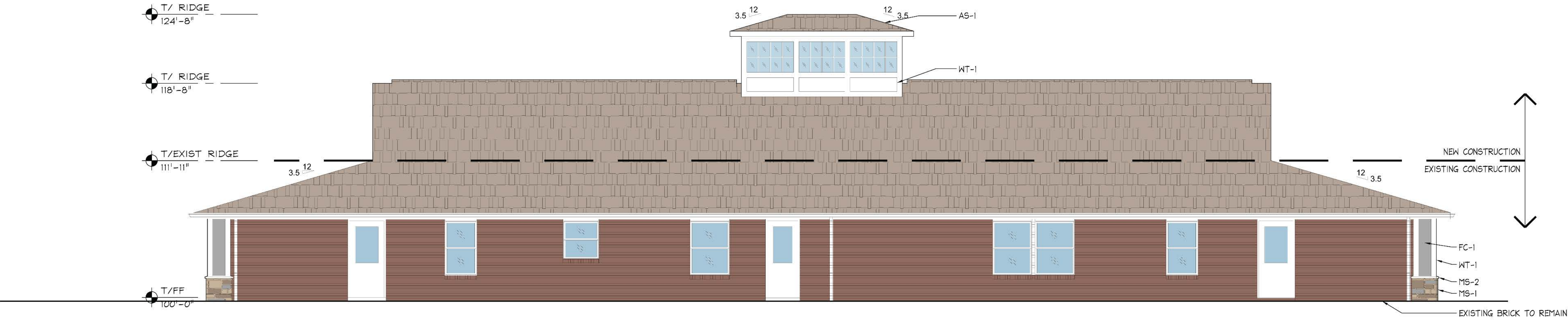
BIG HEARTS LITTLE HANDS

14 GRACE DRIVE
POWELL, OHIO 43065
21 OCTOBER 2016

	ROOF PLAN CODED NOTES
1.	DIMENSIONAL SHINGLES - SEE ELEVATIONS (TYPICAL ALL ROOF PLANES)
2.	PREFINISHED ALUMINUM GUTTER (TYP)
3.	PREFINISHED DOWNSPOUT
4.	VALLEY FLASHING
5.	RIDGE CAP
6.	RIDGE VENT



Roof Plan
Scale: 3/16"=1'-0"



EXTERIOR FINISH SCHEDULE				
FINISH	MATERIAL	MANUFACTURER	COLOR	FINISH
AS-1	ASPHALT SHINGLES	GAF	WEATHERED WOOD	-
FC-1	FIBER CEMENT VERTICAL SIDING W/ WOOD BATTENS	HARD/BOARD	PRIMED PAINT PT-1	SELECT CEDARMILL
FC-2	FIBER CEMENT LAP SIDING	HARD/BOARD	PRIMED PAINT PT-1	SELECT CEDARMILL
WT-1	WOOD TRIM	NA	PAINT PT-2	-
MS-1	MANUFACTURED STONE VENEER	HERITAGE STONE	SANDUSKY SHORE LIMESTONE	-
MS-2	MANUFACTURED STONE VENEER - ACCESSORY	LANDMARK	WATERTABLE PROFILE	-
PT-1	PAINT	SHERWIN WILLIAMS	SW 2849 "WESTCHESTER GRAY"	-
PT-2	PAINT	SHERWIN WILLIAMS	SW 2829 "CLASSICAL WHITE"	-

