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<input type="checkbox"/>		permit
<input type="checkbox"/>		construction

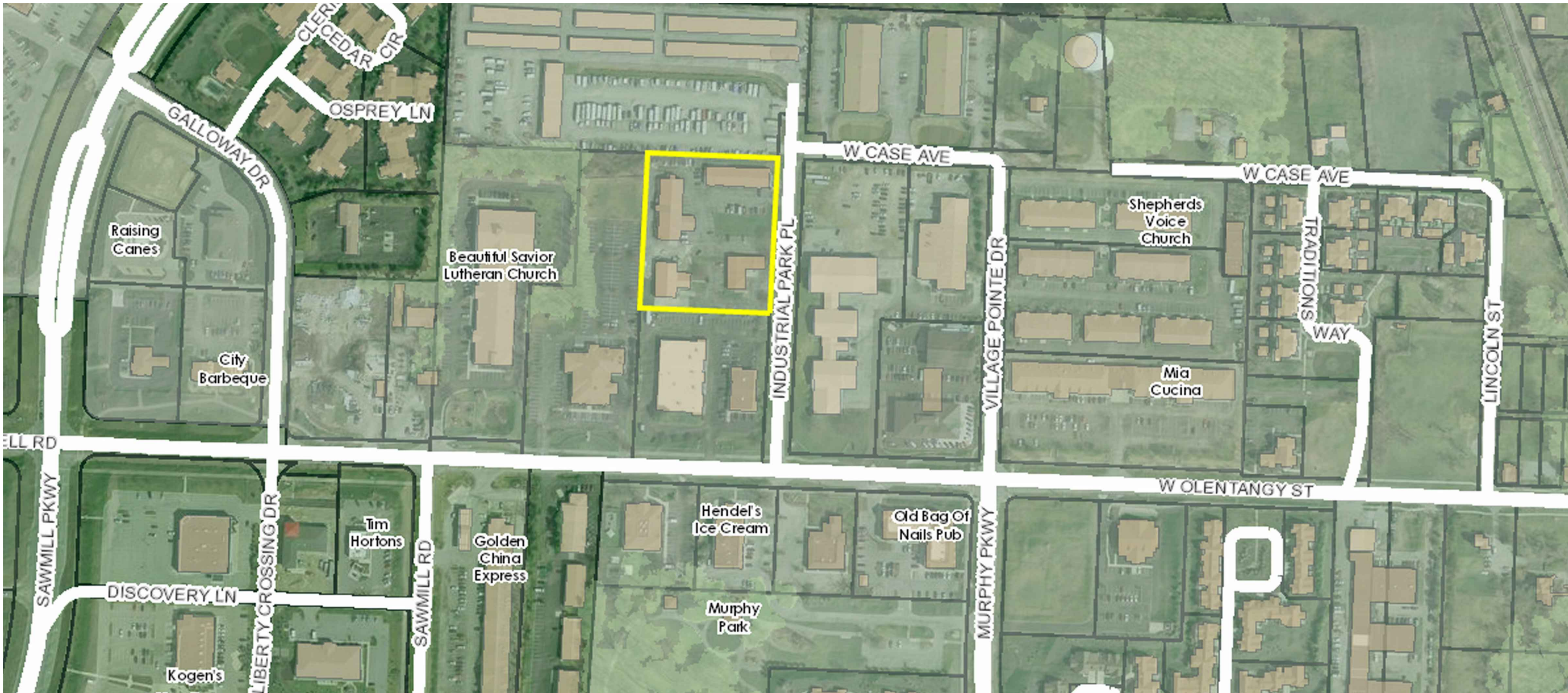
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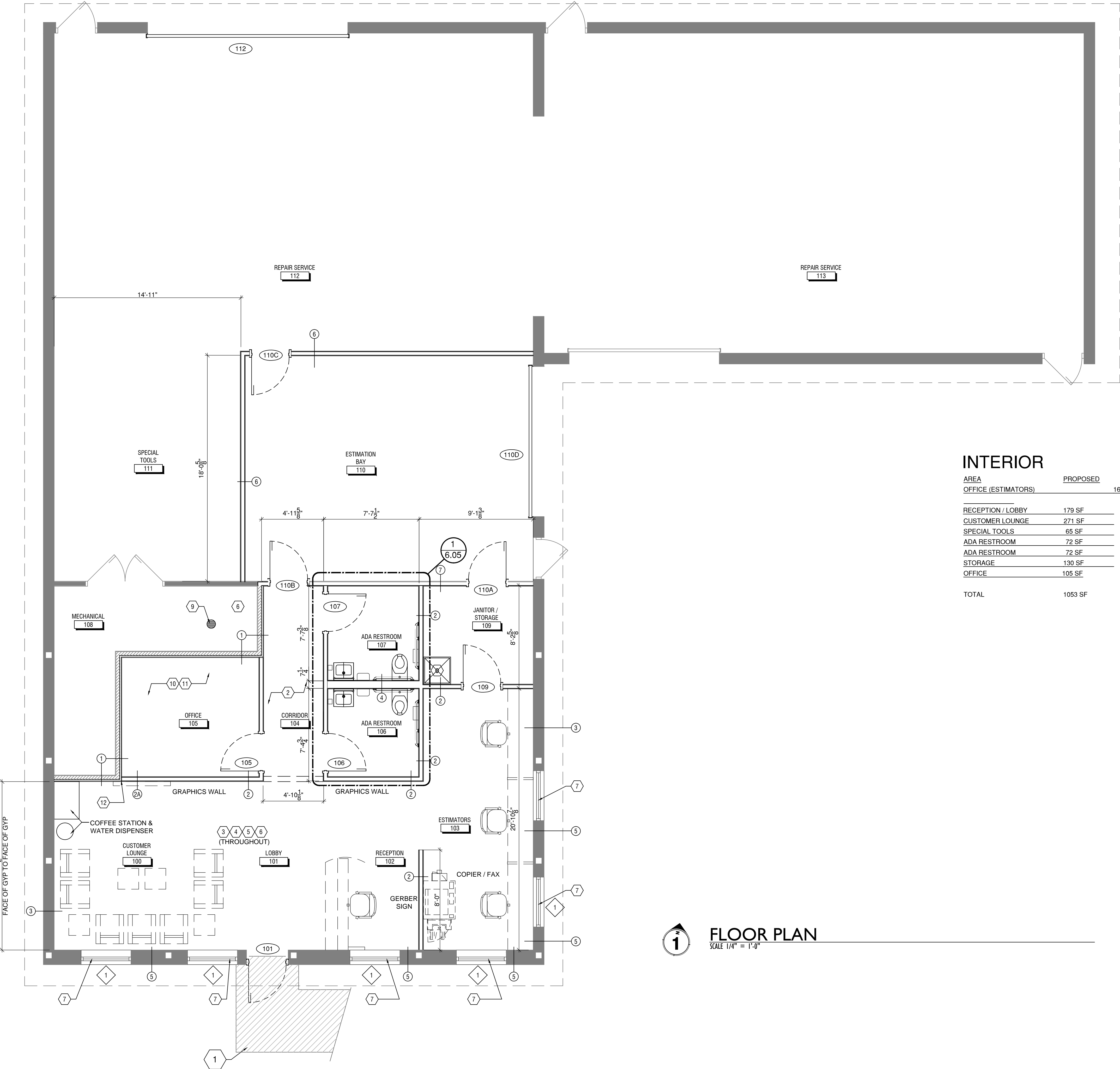
PROJECT NUMBER
A16-012

SHEET TITLE

SHEET NUMBER
SITE PLAN



SITE PLAN



INTERIOR

AREA	PROPOSED
OFFICE (ESTIMATORS)	167 SF
RECEPTION / LOBBY	179 SF
CUSTOMER LOUNGE	271 SF
SPECIAL TOOLS	65 SF
ADA RESTROOM	72 SF
ADA RESTROOM	72 SF
STORAGE	130 SF
OFFICE	105 SF
TOTAL	1053 SF

FLOOR PLAN

SCALE 1/4" = 1'-0"

GENERAL NOTES

THIS IS AN EXISTING FACILITY. FIELD VERIFY ALL CRITICAL DIMENSIONS AND CONDITIONS. NOTIFY GC & ARCHITECTURAL ALLIANCE OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK.

INTERIOR PLAN DIMENSIONS ON FLOOR PLANS ARE MEASURED TO FINISH FACE.

ALL DOORS ARE EXISTING TO REMAIN UNLESS NOTED OTHERWISE.

FURNITURE SHOWN IS FOR REFERENCE ONLY.

PARTITION PLAN LEGEND

- INDICATES DOOR IS EXISTING TO REMAIN
- WINDOW OR STOREFRONT
- EXISTING WALL
- WALL WITH SOUND INSULATION

WALL TYPES:

- ALL WALLS ARE EXISTING UNLESS HATCHED OR OTHERWISE NOTED. IF USED THIS TAG INDICATES AN EXISTING WALL TO REMAIN.

CODED NOTES

- NEW 5' CONCRETE WALK FOR ADA ACCESSIBILITY
- RELOCATE EXISTING DUCTWORK TO UNCONDITIONED AREA
- NEW FLOORING - SEE FINISH PLAN.
- DRYWALL CEILING ALL AREAS TO BOTTOM OF EXISTING ROOF TRUSS
- PATCH AND REPAIR DRYWALL AS NECESSARY IN ALL AFFECTED AREAS
- PROVIDE NEW LIGHT FIXTURES THROUGHOUT SURFACE MOUNT TO NEW DRYWALL CEILINGS
- FRAME OPENING TO RECEIVE NEW STOREFRONT WINDOW
- UTILITY SINK. SEE PLUMBING DRAWINGS
- EXISTING FLOOR DRAIN FOR AIR HANDLER. CONTRACTOR TO MAKE 100% OPERATIONAL.
- REPAIR ANY VISQUEEN AT BOTTOM OF TRUSSES AS NECESSARY TO MAINTAIN VAPOR BARRIER IN ALL AREAS
- INSTALL ADDITIONAL INSULATION AS NECESSARY IN TRUSS AREA
- FACE OF STUD WITH FACE OF FURRING AT THIS LOCATION TO KEEP A SMOOTH TRANSITION ON DRYWALL.

WALL TYPES

- WITH ONE SIDE OF THE GYP BOARD REMOVED, INSTALL 3" THERMAFIBER SAFB IN EXISTING 2x4 WOOD STUD WALL. INSTALL RESILIENT CHANNEL OR EQUIVALENT ON EXPOSED SIDE. INSTALL 5/8" GYP BOARD ON ONE SIDE TIGHT TO THE BOTTOM OF TRUSS. MIN. STC = 50
- 2x4 WOOD STUD WALL WITH 5/8" GYP BOARD BOTH SIDES. EXTEND TIGHT TO BOTTOM OF TRUSS
- 2x4 WOOD STUD WALL WITH 5/8" GYP BOARD BOTH SIDES ON TOP OF EXISTING WALL CONSTRUCTION. EXTEND TIGHT TO BOTTOM OF TRUSS
- EXTEND EXISTING WALL 12", TIGHT TO BOTTOM OF TRUSS. PROVIDE BATT. INSULATION, R-19 MINIMUM IN NEW WALL CONSTRUCTION
- PLUMBING WALL, 6" WOOD STUDS WITH 5/8" GYP BOARD BOTH SIDES. EXTEND TIGHT TO BOTTOM OF TRUSS
- NEW DRYWALL ON INTERIOR FACE OF EXISTING EXTERIOR WALL. PROVIDE BATT. INSULATION, R-19 MINIMUM AND EXTEND TIGHT TO BOTTOM OF TRUSS
- 2x4 WOOD STUD WALL WITH 5/8" GYP BOARD BOTH SIDES ON TOP OF EXISTING WALL CONSTRUCTION. EXTEND TIGHT TO BOTTOM OF TRUSS. FILL STUD CAVITY WITH 3" THERMAFIBER SAFB.
- EXIST WOOD STUD WALL INSTALL, REPAIR OR REPLACE GYP. BOARD ON EACH SIDE. FILL STUD CAVITY WITH 3" THERMAFIBER SAFB.

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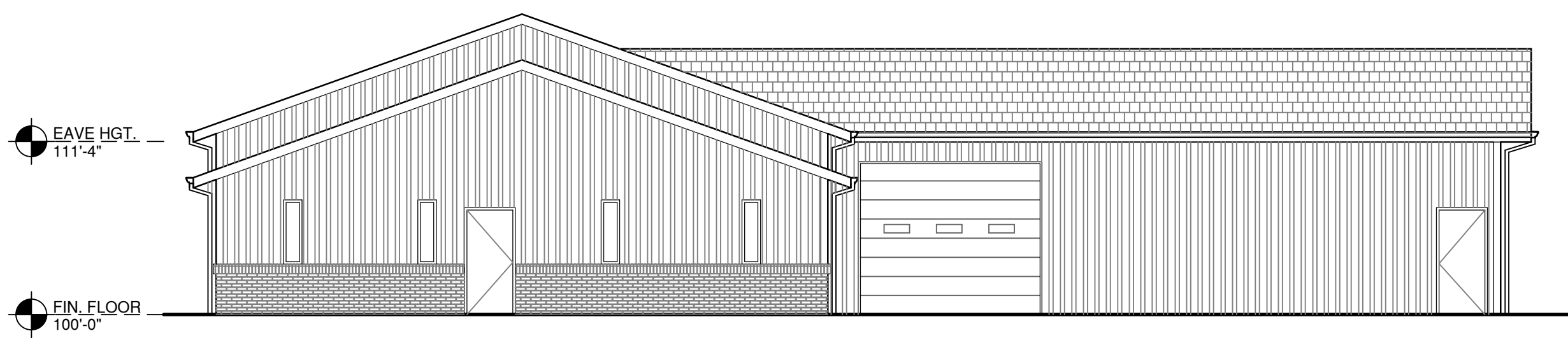
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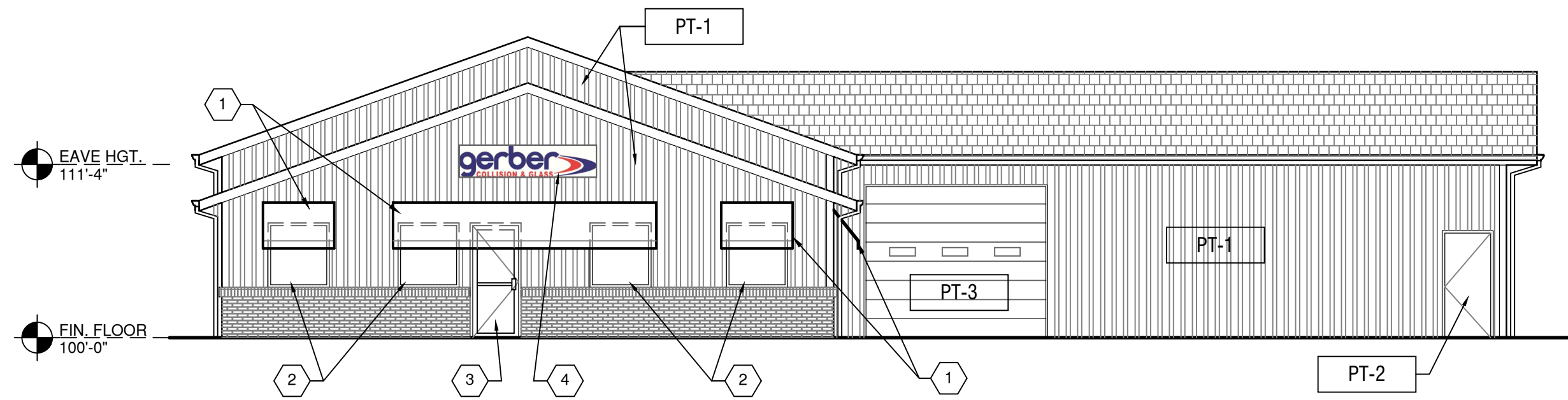
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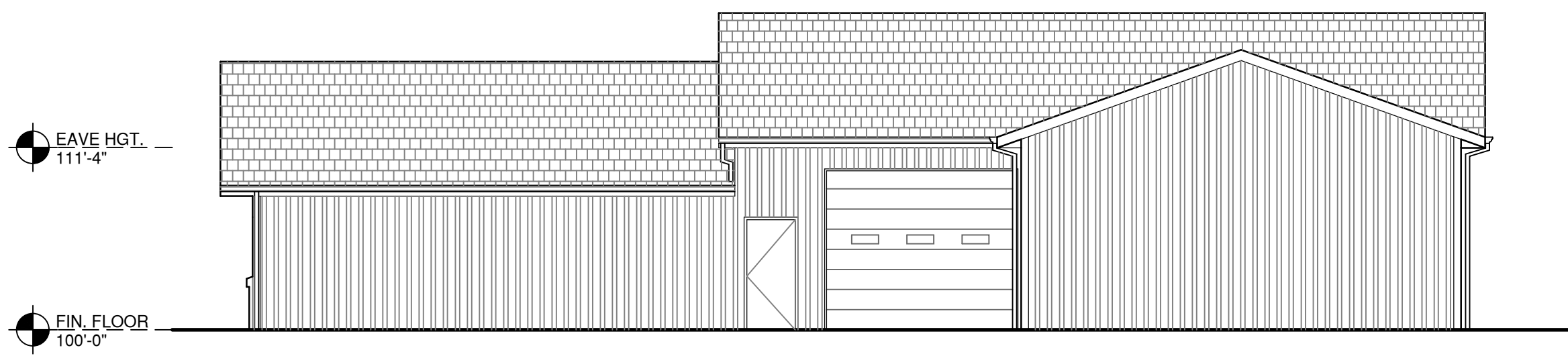
FLOOR PLAN



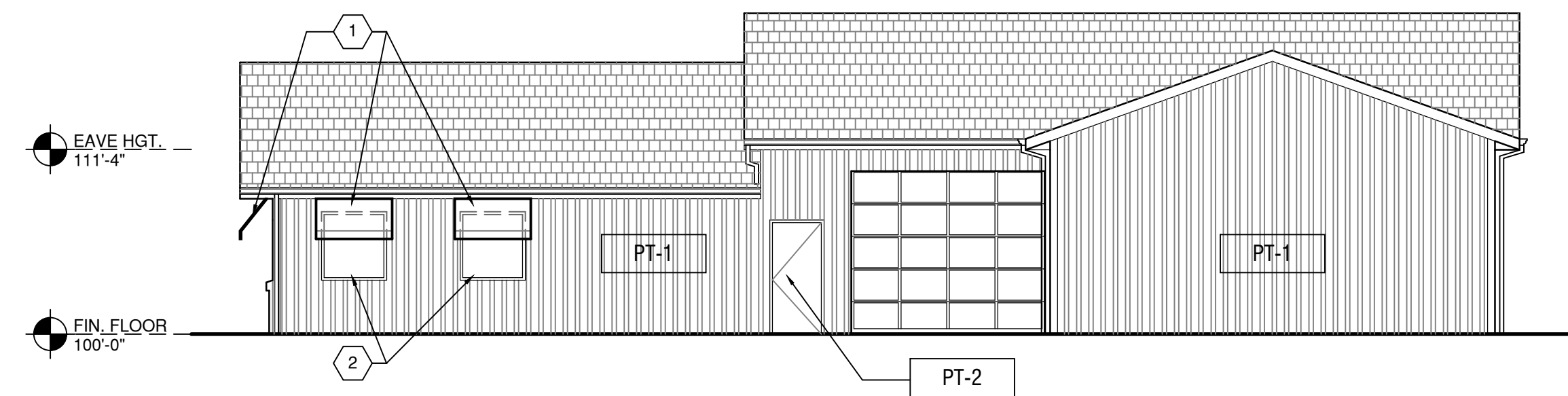
A EXISTING SOUTH ELEVATION
SCALE 1/8" = 1'-0"



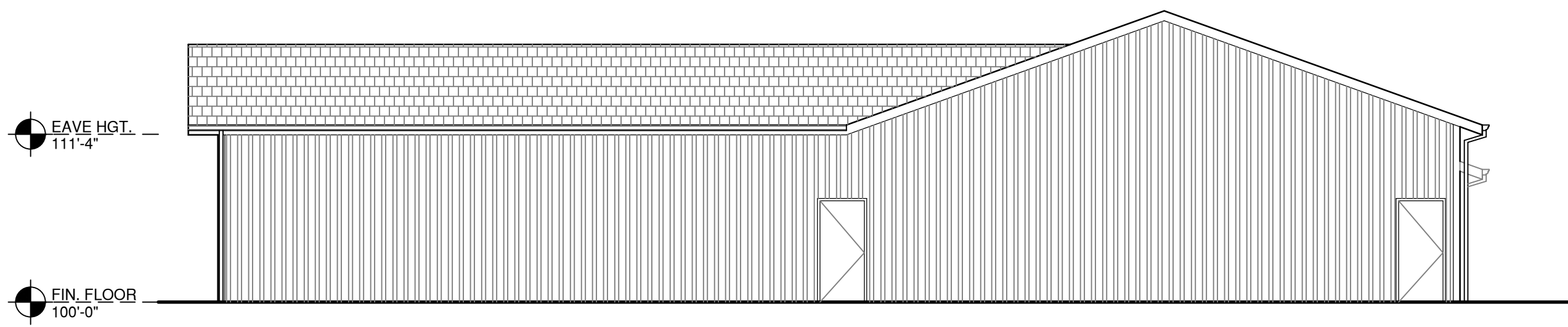
A1 PROPOSED SOUTH ELEVATION
SCALE 1/8" = 1'-0"



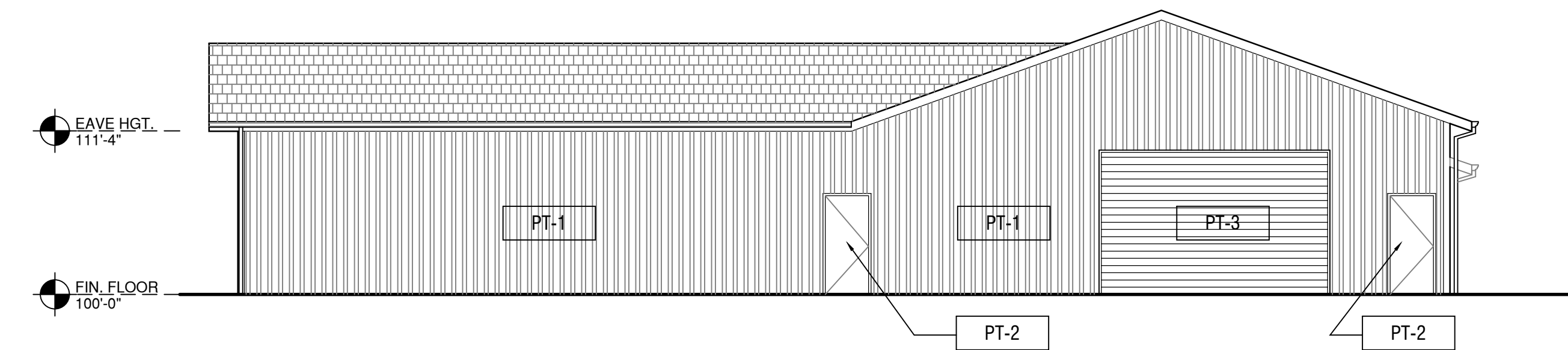
B EXISTING EAST ELEVATION
SCALE 1/8" = 1'-0"



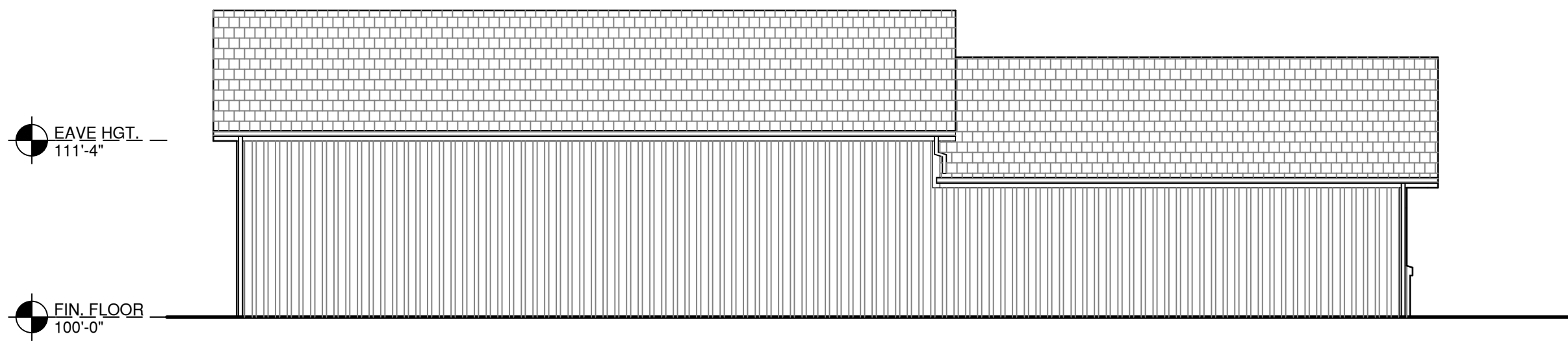
B1 PROSED EAST ELEVATION
SCALE 1/8" = 1'-0"



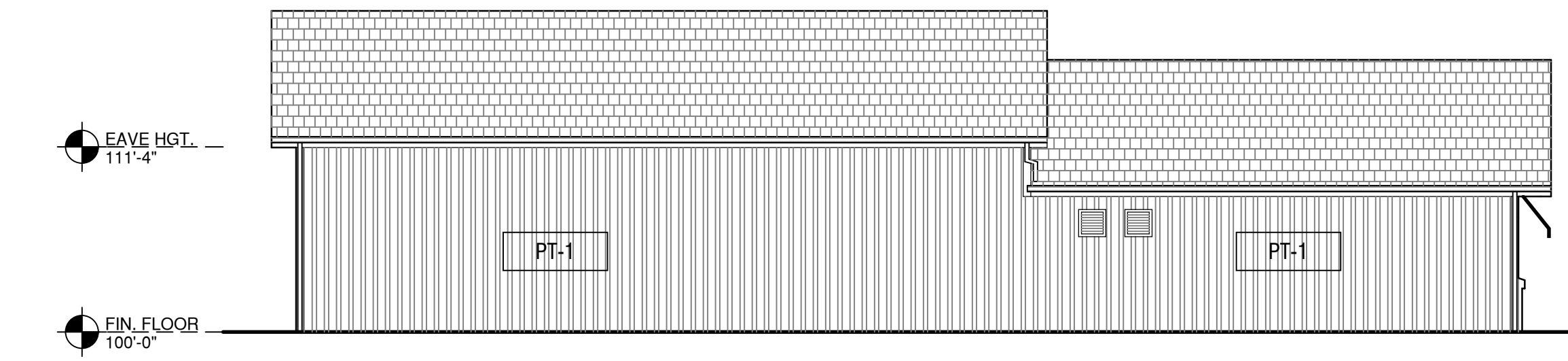
C EXISTING NORTH ELEVATION
SCALE 1/8" = 1'-0"



C1 PROSED NORTH ELEVATION
SCALE 1/8" = 1'-0"



D EXISTING WEST ELEVATION
SCALE 1/8" = 1'-0"



D1 PROSED WEST ELEVATION
SCALE 1/8" = 1'-0"

ELEVATION GENERAL NOTES

- FACILITY IS EXISTING TO REMAIN UNLESS OTHERWISE NOTED. FIELD VERIFY ANY EXISTING CONDITIONS BEFORE WORK IS PERFORMED.
- REFER TO FINISH SCHEDULE ON SHEET A6.05 FOR ADDITIONAL INFORMATION.
- ALUMINUM COMPOSITE PANEL PROVIDER TO SUBMIT SHOP DRAWINGS FOR PANELING LAYOUT. FIELD VERIFY CRITICAL DIMENSIONS. WHERE NO DIMENSIONS ARE GIVEN FOR PANEL RHYTHM, ASSUME EQUAL SIZED PANELS FROM LEFT TO RIGHT ACROSS THE ASSOCIATED SURFACE.
- PATCH AND REPAIR ANY EXISTING OR NEWLY DAMAGED EXTERIOR FINISH PRIOR TO NEW PAINT FINISH. CONTRACTOR TO SURVEY EXISTING CONDITIONS TO DETERMINE EXTENT OF WORK.
- SIGNAGE IS BY OWNER AND TO BE COORDINATED WITH AGI. THE EXTERIOR SIGNAGE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ALL SEPARATE SIGN PERMITS.
- PAINT ALL EXTERIOR PORTIONS OF BUILDING THAT ARE NOT AFFECTED BY NEW CONSTRUCTION. THIS INCLUDES ANY DOORS, PANELING, FLASHING, TRIM, DOWNSPOUTS, GUTTERS, BOLLARDS, ETC...
- ALL NEW EXTERIOR GLAZING TO MATCH THE GLASS CALLED OUT FOR GL-1. SEE FINISH SCHEDULE BELOW.

EXTERIOR FINISH SCHEDULE

NOTE: IF AREA IS NOT NOTED WITH A FINISH IT WILL BE EXISTING FINISH TO REMAIN.

PT-1	EXTERIOR PAINT COLOR: GREY PMS 430 MAIN FACADE PAINT COLOR
PT-2	EXTERIOR PAINT COLOR: LT GREY PMS 429 AT MULLIONS, FLUSH DOORS AND ALL OTHER EXTERIOR DETAILS.
PT-3	EXTERIOR PAINT COLOR: BLUE PMS 287 AT FLUSH GARAGE DOORS.

ELEVATION CODED NOTES

- NEW CANVAS AWNINGS ON ALUMINUM FRAMES. AWNINGS TO BE THATCHER OAKS SUNBRELLA FABRICS COLOR OCEAN BLUE 6072.
- 4'-0" X 4'-0" ALUMINUM FRAME FIXED WINDOW. SEE WINDOW DETAILS ON SHEET 6.01 FOR MORE DETAIL.
- 3'-0" X 8'-0" ALUMINUM STOREFRONT DOOR OPENING.
- RELOCATE EXISTING BOX SIGN. COORDINATE BLOCK AND ELECTRICAL REQUIREMENTS PRIOR TO INSTALLATION.
- FLUSH OVERHEAD DOORS TO BE PAINTED PT-3 COLOR BLUE - PMS 287.

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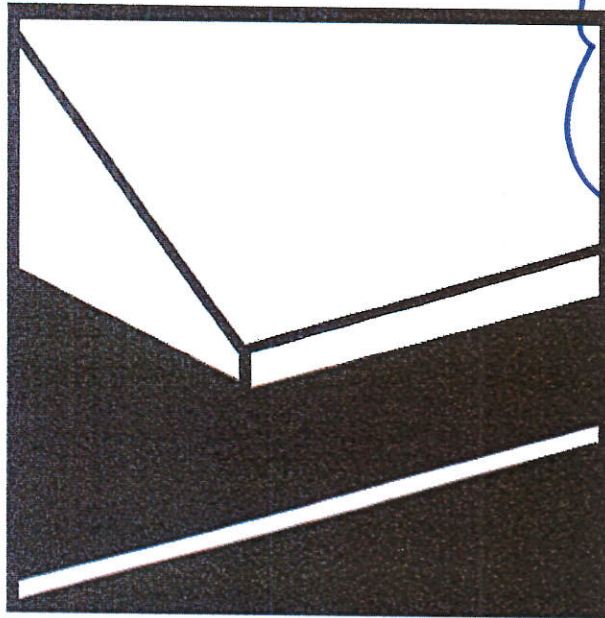
PROJECT NUMBER
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SHEET TITLE

SHEET NUMBER
EXTERIOR ELEVATIONS

A4.01

Exterior Architecture | Awnings

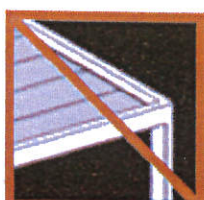
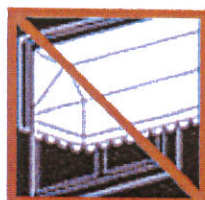
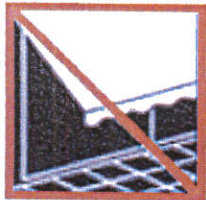


Awnings shall be installed when a) replacing existing awnings and b) awnings are required per code in Tier 1, 2 or 3 stores.

Awnings may only be placed over customer entries in order to clearly mark customer-facing areas and entry.

Awnings may include the Gerber name but may never include any other text including but not limited to the address unless code states otherwise.

Awnings are not required by Gerber.



AWNING COLOR

Exterior Architecture | Awnings

Awnings Specification:

Manufacturer: Thatcher Oaks

Fabric: Sunbrella Fabrics

Product: Custom Awning

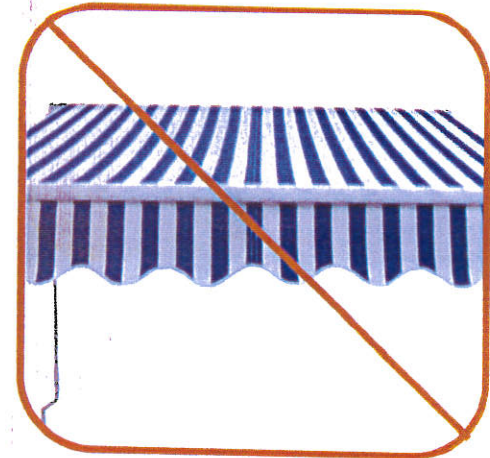
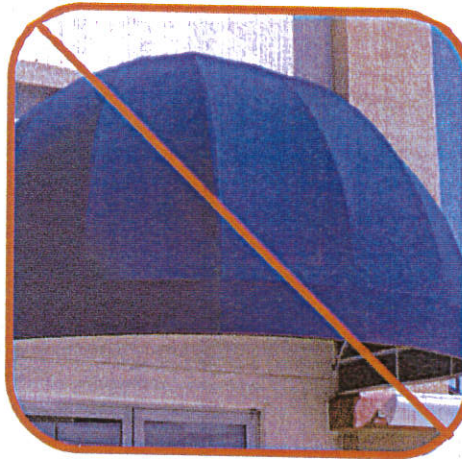
Color: Ocean Blue 6072

An LED tube light is also required under the awning to provide a safe and clear welcome into Gerber. This light shall be hardwired and incorporated into the design of the entire entry.

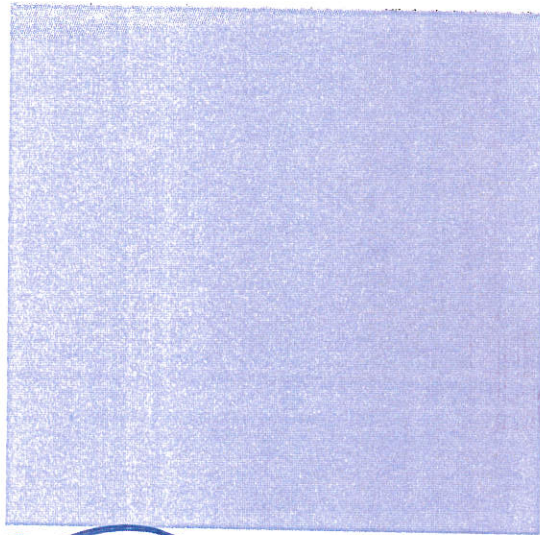
Awnings shall not be curved, striped, ruffled, scalloped, or any other color than the approved Gerber blue color.

Awnings shall not have any text or graphics other than the approved Gerber logo.

Re-skinning existing awnings is prohibited. Graphics or text other than the Gerber logo are prohibited.



Exterior Architecture | Paint Colors



PT-1

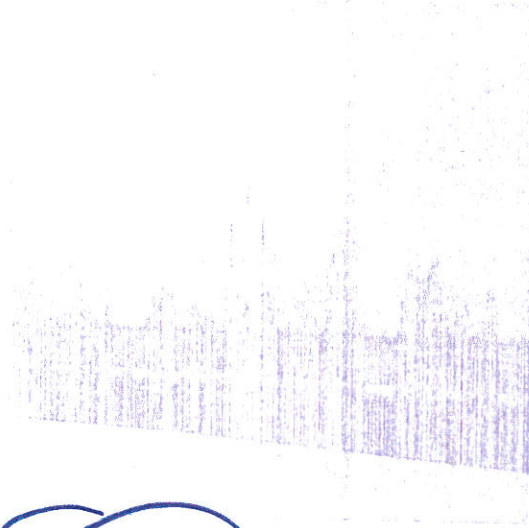
Color: Grey

Number: PMS 430

Finish: TBD

Location: Exterior Façade

Suggested Regions for Use: All



PT-2

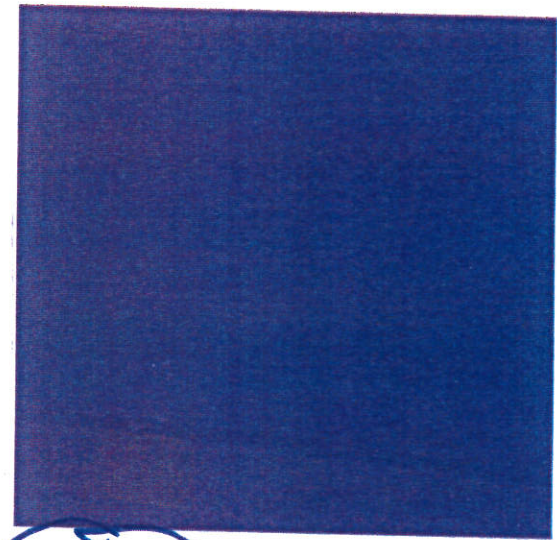
Color: Lt Grey

Number: PMS 429

Finish: TBD

Location: Mullions, Wood or Metal Doors, Other exterior details

Suggested Regions for Use: All



PT-3

Color: Blue

Number: PMS 287

Finish: TBD

Location: Horizontal Façade Accent Band, Garage Doors

Suggested Regions for Use: All

BRICK, METAL
SPRING COLOR.

MAIN DOOR COLOR.

GARAGE DOOR COLOR.