



GERMAIN COLLISION CENTER

Information contained within this map may be used to generally locate, identify and inventory land parcels within Delaware County.

Delaware County cannot warrant or guarantee the information contained herein, including, but not limited to its accuracy or completeness. The map parcel lines shown are approximate and this information cannot be constructed or used as a "legal description" of a parcel.

Flood Plain information is obtained from FEMA and is administered by the Delaware County Building Department (740-833-2201).

Please report any errors or omissions to the Delaware County Auditor's office at delcogis@co.delaware.oh.us.

Prepared by: Delaware County Auditor's GIS Office

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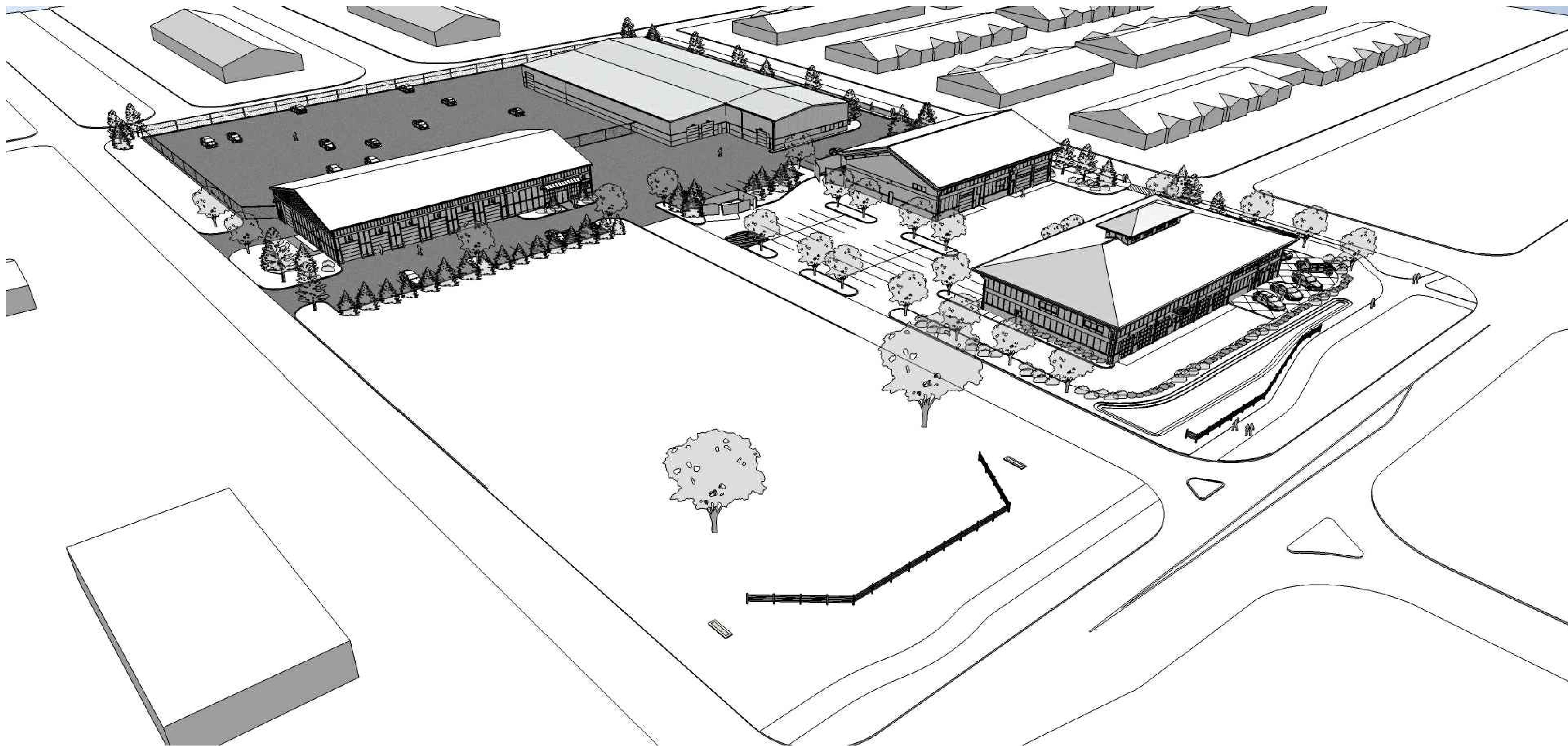
Delaware County Auditor
George Kaltsa



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**Project Description: Germain Collision Center Powell, OH
Certificate of Appropriateness Submittal (4/27/2016)**

Germain Real Estate is seeking approval to improve the existing Collision Center building. Two small additions will be added to the building, both matching the existing construction type and materials. This includes splitface and scored face masonry base with metal siding above. The new additions and existing building will be painted on the exterior to coordinate with the soon to be completed adjacent Detail Center building. The splitface masonry will be painted a light gray color while the scored face and metal siding will be painted white to match the Detail Center siding.

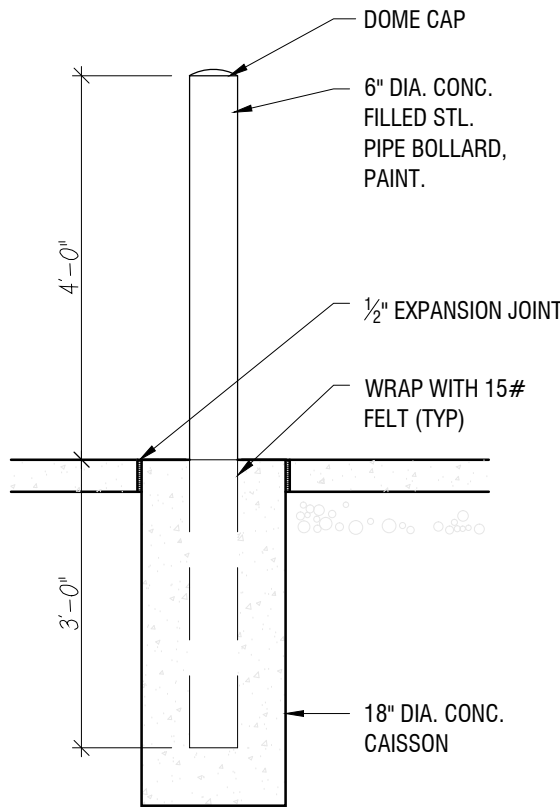




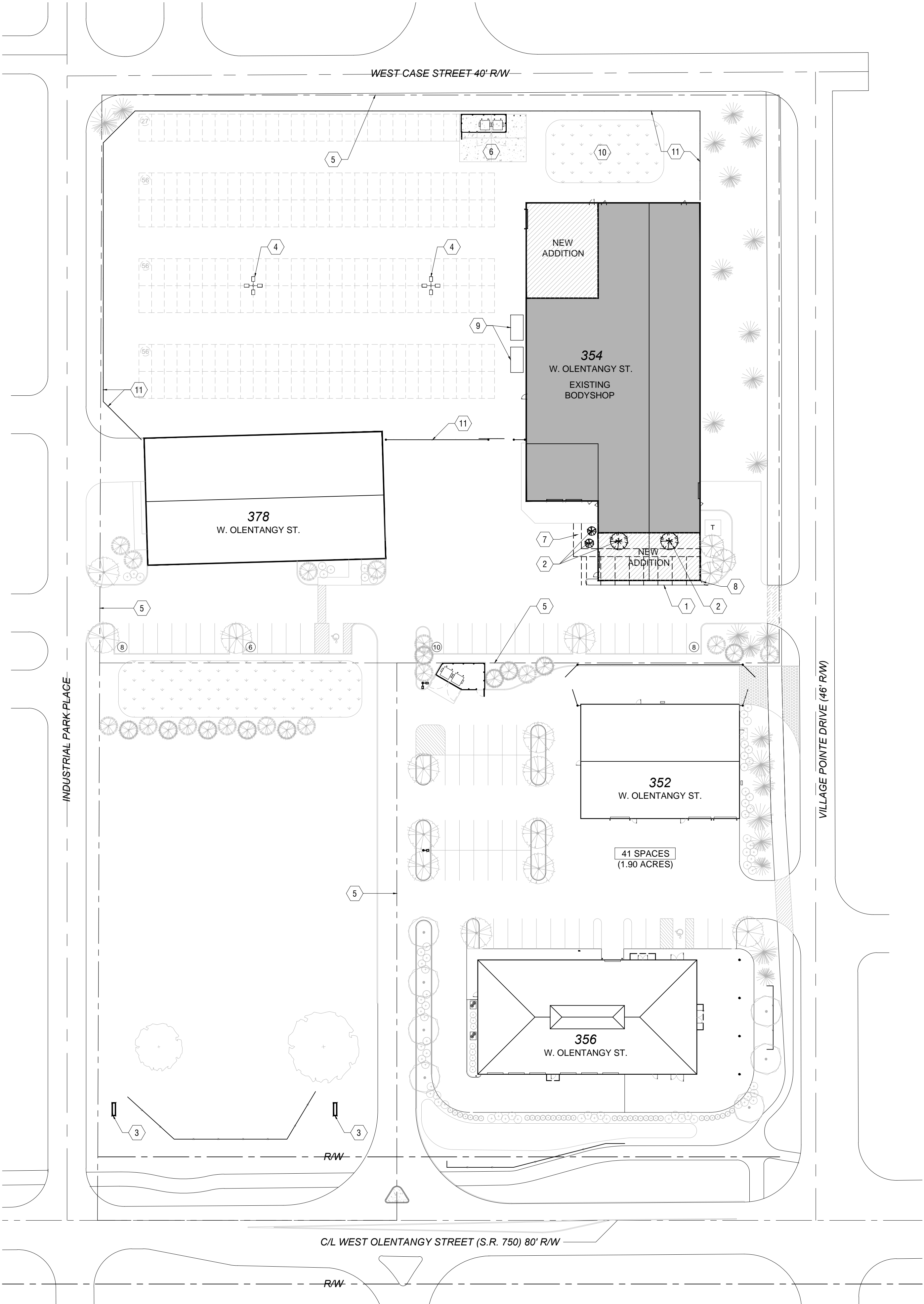




2 TYPICAL BOLLARD
SCALE 1/2" = 1'-0"



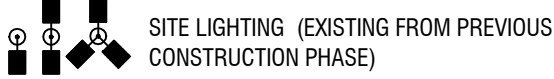
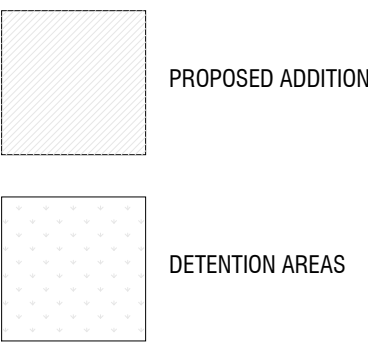
1 SITE PLAN
SCALE 1" = 40'-0"



GENERAL NOTES

1. REFER TO SHEET A3.00 FOR ADDITIONAL INFORMATION ON CONSTRUCTION SEQUENCING.
2. LANDSCAPE ILLUSTRATED ON ARCHITECTURAL SITE PLAN IS GRAPHICAL IN NATURE.
3. REMOVE EXISTING SURFACES AFFECTED BY LIMITS OF NEW CONSTRUCTION AND PROVIDE ADDITIONAL EXCAVATION WHERE REQUIRED FOR NEW FOUNDATIONS AND FLOOR SLAB. REFER TO CIVIL/SITE DRAWINGS FOR ADDITIONAL SITE WORK.

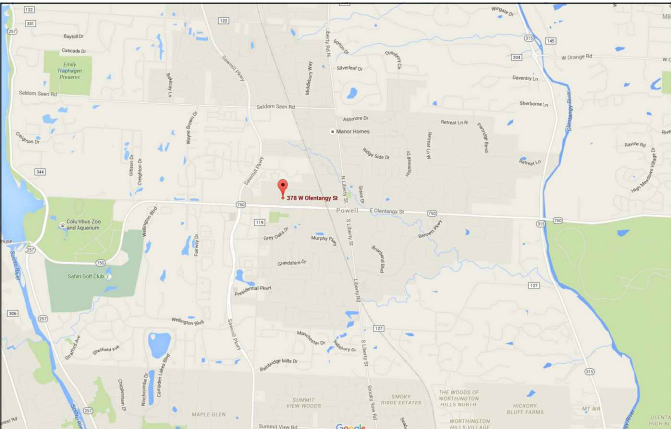
PLAN LEGEND



SITE PLAN CODED NOTES

- 1 NEW 6" HIGH CONCRETE CURB.
- 2 EXISTING TREE TO BE COMPLETELY REMOVED.
- 3 EXISTING PYLON SIGN TO REMAIN.
- 4 EXISTING SITE LIGHTING POLE TO REMAIN.
- 5 PROPERTY LINE.
- 6 EXISTING DUMPSTER ENCLOSURE.
- 7 DEMO AND REMOVE EXISTING SIDEWALK.
- 8 DEMO AND REMOVE EXISTING CONCRETE CURB.
- 9 TEMPORARY RESTROOMS AND PAINT BOOTH DURING CONSTRUCTION. REFER TO PHASING PLAN A3.00.
- 10 STORMWATER DETENTION AREAS. REFER TO CIVIL DRAWINGS.
- 11 CHAIN LINK FENCE.

SITE LOCATION MAP



DRAWING SET

04 25 2016	preliminary
04 25 2016	check
04 25 2016	bid
04 25 2016	permit
04 25 2016	construction

REVISIONS

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SEAL

PROJECT NUMBER

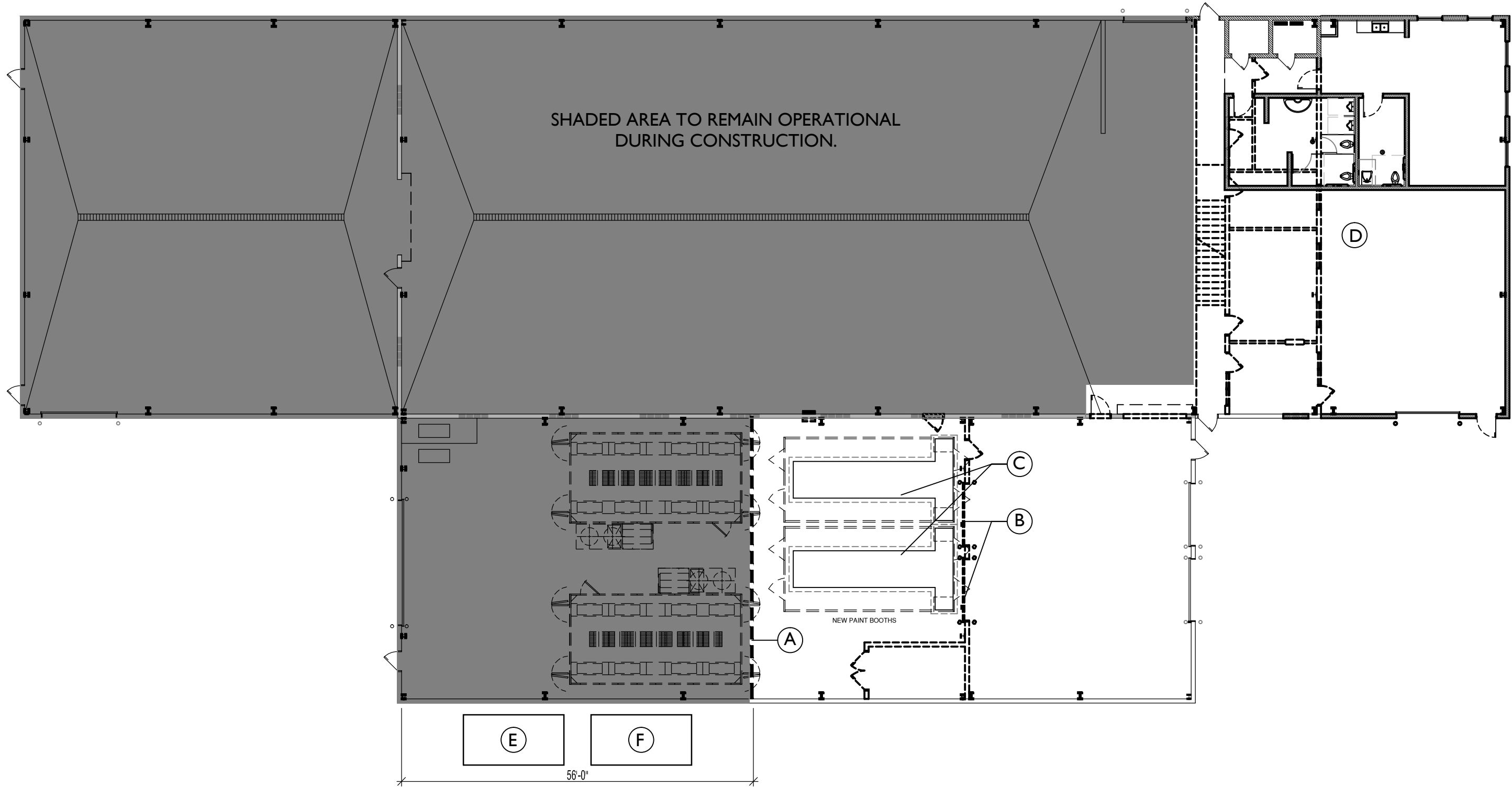
A16-017

SHEET TITLE

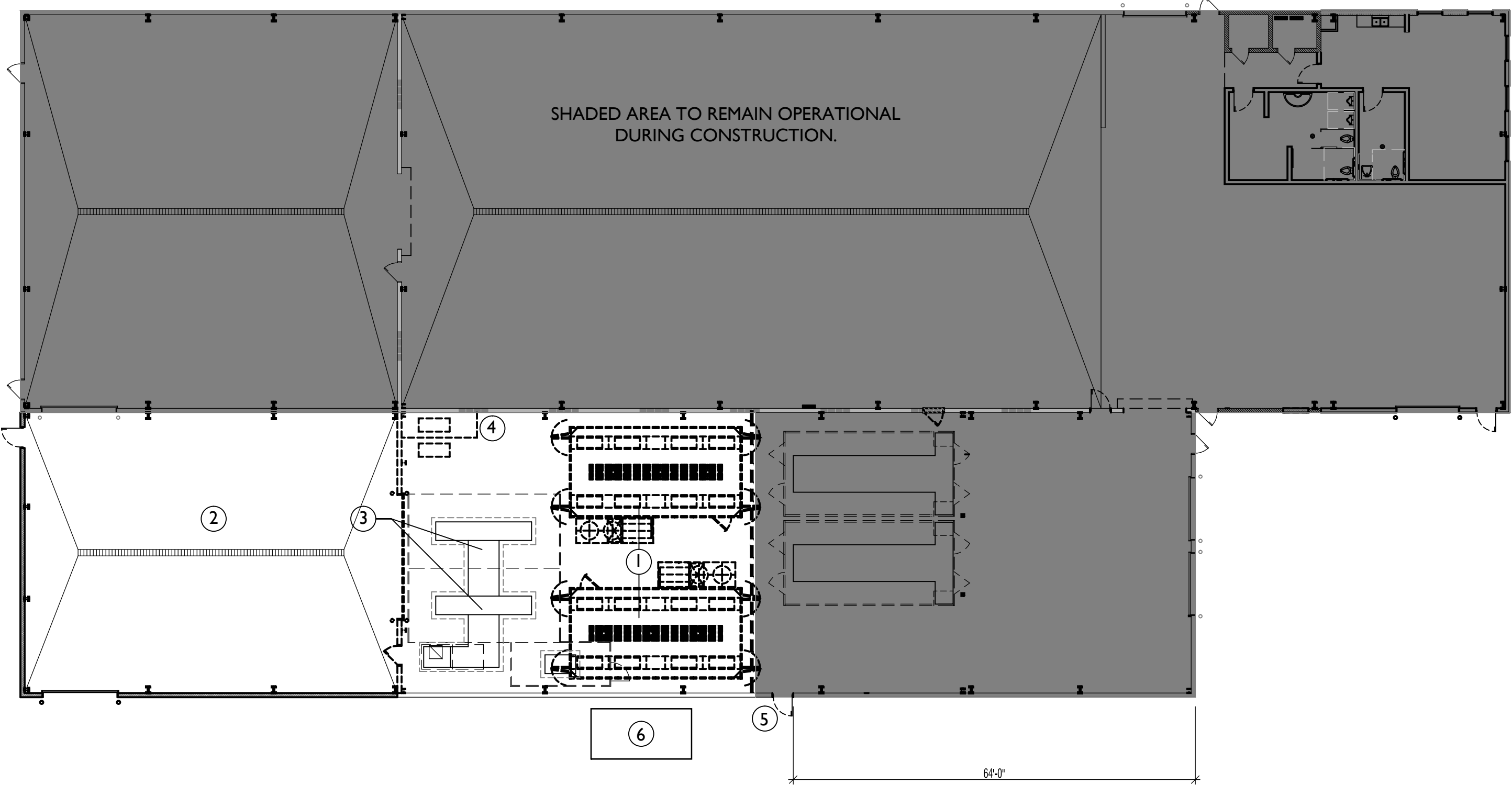
SITE PLAN AND DETAILS

SHEET NUMBER

A1.01



PHASE 1 FLOOR PLAN
SCALE 1/16" = 1'-0" 16' 8' 1"



PHASE 2 FLOOR PLAN
SCALE 1/16" = 1'-0" 16' 8' 1"

PHASE 1 NOTES

- (A) TEMPORARY WALL
- (B) INSTALL NEW COLUMNS AND FOUNDATIONS AND REMOVE EXISTING COLUMNS
- (C) INSTALL NEW PAINT BOOTH PITS AND BOOTHS
- (D) DEMOLITION AND BUILD OUT OF ADDITION
- (E) TEMPORARY RESTROOMS FOR OCCUPANTS
- (F) TEMPORARY PAINT MIX ROOM

PHASE 2 NOTES

- 1 REMOVE EXISTING PAINT BOOTHS AND INFILL SLAB/PITS
- 2 DEMOLITION AND BUILD OUT OF ADDITION
- 3 INSTALL NEW PAINT BOOTH PITS AND BOOTHS
- 4 BACKFEED COMPRESSED AIR LINES FROM NEW AIR COMPRESSOR LOCATION
- 5 NEW EXTERIOR DOOR IN EXISTING WALL
- 6 TEMPORARY PAINT BOOTH UNTIL NEW PERMANENT BOOTH IS INSTALLED.

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PROJECT NUMBER **A16-017**

SHEET TITLE **CONSTRUCTION SEQUENCING PLANS**

SHEET NUMBER **A3.00**

GENERAL NOTES

NOTES APPLY TO SHEETS 3.00

1. EXTERIOR PLAN DIMENSIONS FOR WALLS ARE MEASURED TO FACE OF STUD/FACE OF BLOCK.
2. INTERIOR PLAN DIMENSIONS, INCLUDING ENLARGED & PARTIAL FLOOR PLANS ARE MEASURED TO FACE OF STUD UNLESS OTHERWISE NOTED.
3. REFER TO SHEET 0.02 FOR SYMBOL LEGEND.
4. WINDOW AND DOOR OPENING DIMENSIONS REPRESENT ROUGH OPENINGS.
5. INTERIOR DOORS ARE LOCATED 4" OFF PERPENDICULAR WALL UNLESS OTHERWISE NOTED.

PARTITION PLAN LEGEND

NOTE: DASHED LINES INDICATE ITEMS TO BE DEMOLISHED OR REMOVED FOR THE NEW FACILITY.

— INDICATES EXISTING WALL

— INDICATES EXISTING DOOR

— INDICATES DOOR NUMBER "N".
SEE SCHEDULE SHEET A6.01.

— INDICATES WINDOW/STOREFRONT
TYPE "A" - SEE SCHEDULE SHEET A6.01

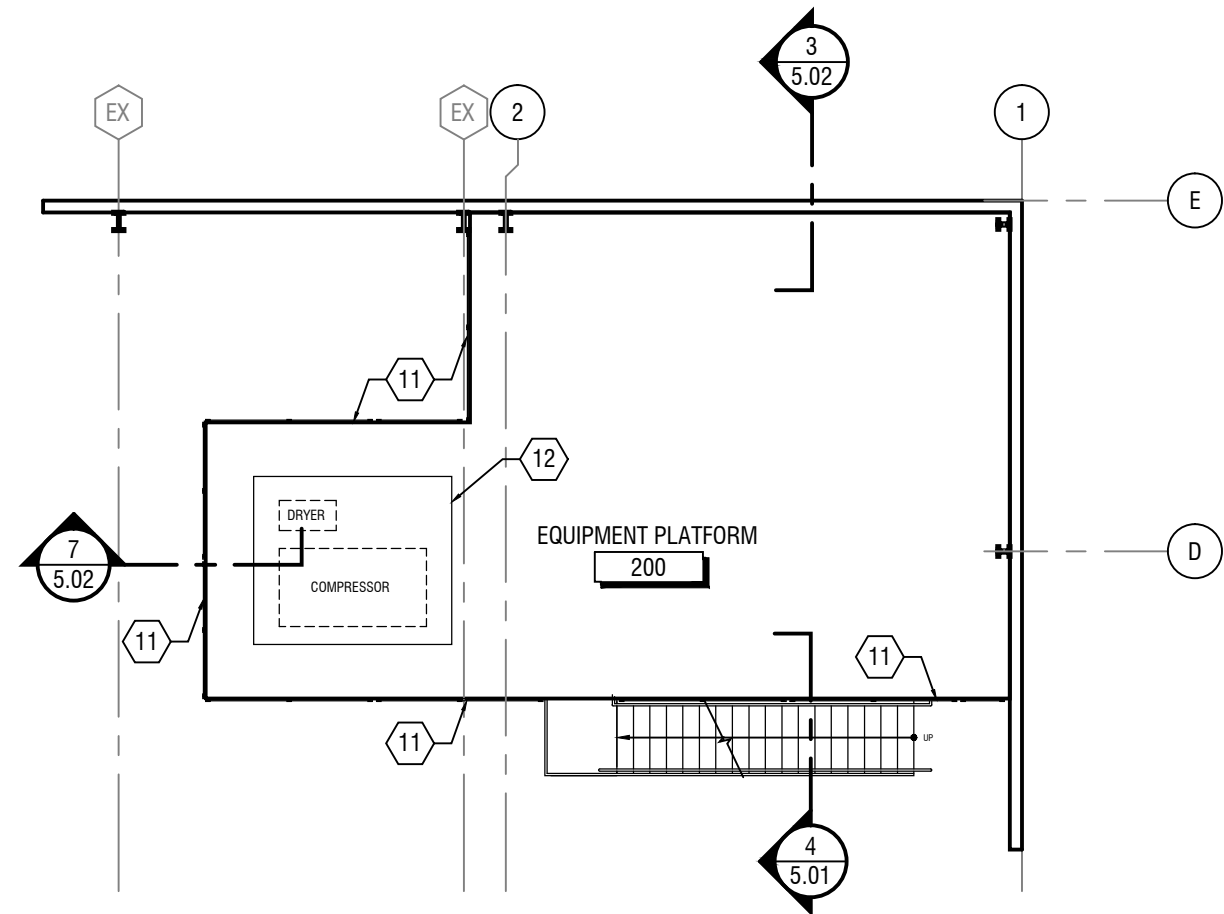
WALL TYPES:

① 8" SMOOTH FACE CMU.

② 3 5/8" MTL. STUDS FURRING WITH 5/8" GYP BD ON ONE SIDE. EXTEND TO 6" ABOVE CEILING.

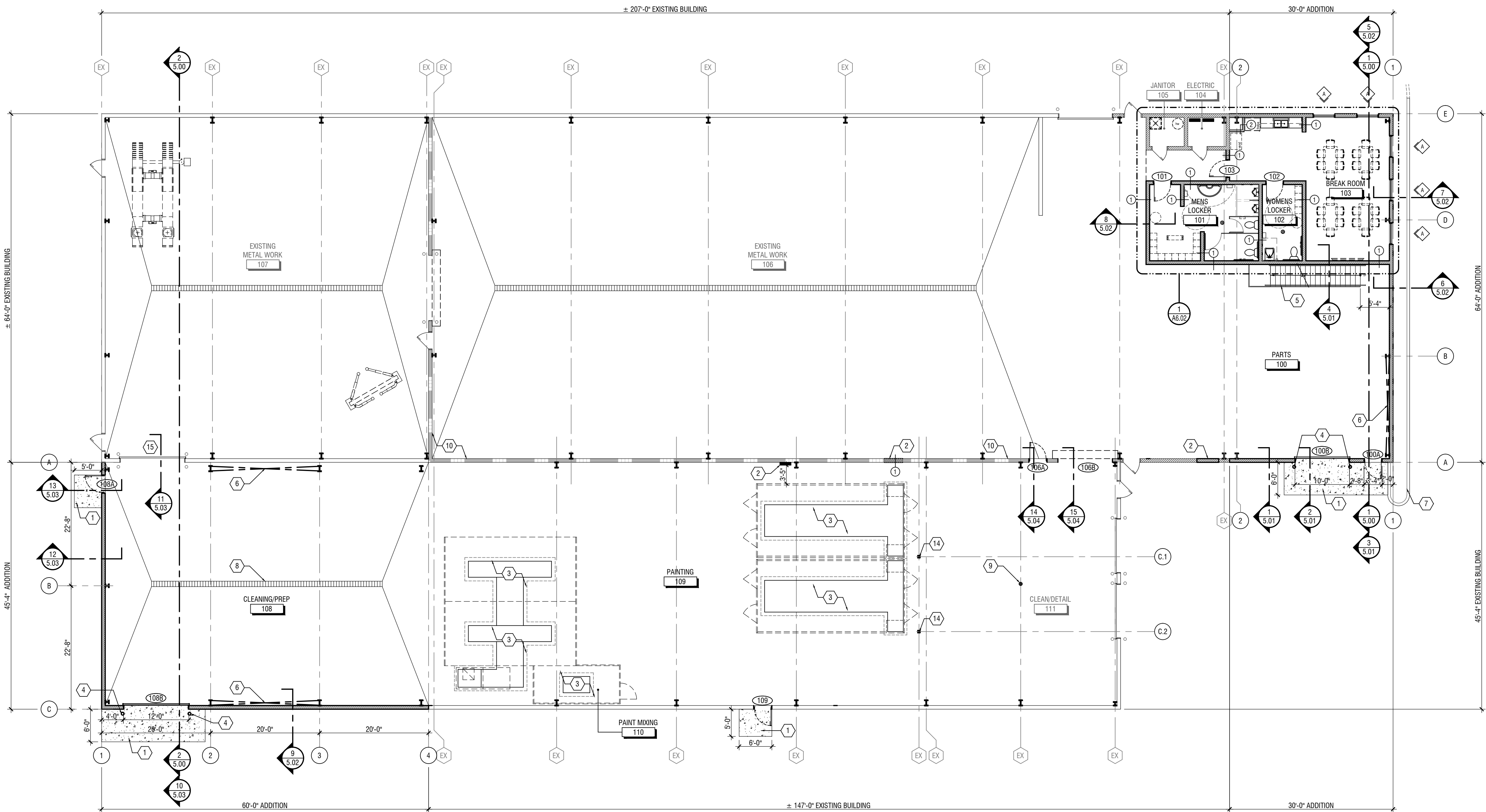
FLOOR PLAN CODED NOTES

- ① CONCRETE APRON. REFER TO SECTIONS AND CIVIL DRAWINGS
- ② CMU INFILL. ALIGN WITH FACE OF EXISTING CONSTRUCTION. FOR 3-HR RATED U#904 ASSEMBLY REFER TO SHEET A0.02 FOR ADDITIONAL ASSEMBLY INFORMATION.
- ③ PAINT BOOTH PITS. REFER TO PAINT BOOTH AND STRUCTURAL DRAWINGS. PITS BY CONTRACTOR, BOOTH INSTALLATION BY OWNER VENDOR.
- ④ PAINTED BOLLARD. CONCRETE FILLED STEEL PIPE. REFER TO DETAIL ON SHEET A1.01
- ⑤ RELOCATED METAL STAIR. REPLACE LANDING METAL GRATE AND PAINT ENTIRE STAIR, HANDRAIL AND GUARDRAIL.
- ⑥ PRE-ENGINEERED METAL BUILDING CROSS BRACING.
- ⑦ CONCRETE CURB AND LANDSCAPE BED. REFER TO CIVIL DRAWINGS FOR ADDITIONAL INFORMATION.
- ⑧ NEW POLYMER TRENCH DRAIN. REFER TO PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- ⑨ EXISTING FLOOR DRAIN TO REMAIN.
- ⑩ EXISTING 3-HR FIRE SEPARATION WALL UL #904.
- ⑪ REMOVABLE PAINTED METAL GUARDRAIL.
- ⑫ THICKENED CONCRETE SLAB UNDER AIR COMPRESSOR. REFER TO STRUCTURAL DRAWINGS.
- ⑬ EXISTING ELECTRIC PANEL TO REMAIN. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- ⑭ NEW STEEL COLUMN. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- ⑮ PROVIDE NEW FALCON SENSOR THIS SIDE AT EXISTING OVERHEAD DOOR.



PLATFORM FLOOR PLAN

SCALE 3/32" = 1'-0"



GROUND FLOOR PLAN

SCALE 3/32" = 1'-0"

DRAWING SET		
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SEAL

PROJECT NUMBER
A16-017

SHEET TITLE
BUILDING ELEVATIONS

SHEET NUMBER

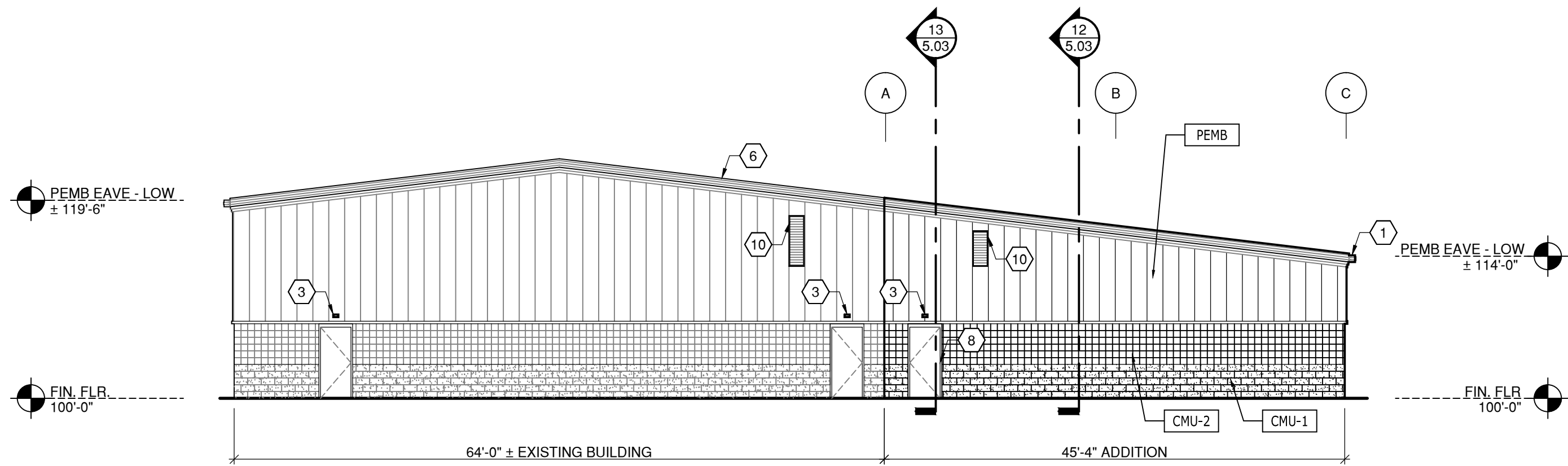
A4.01

EXTERIOR FINISH SCHEDULE

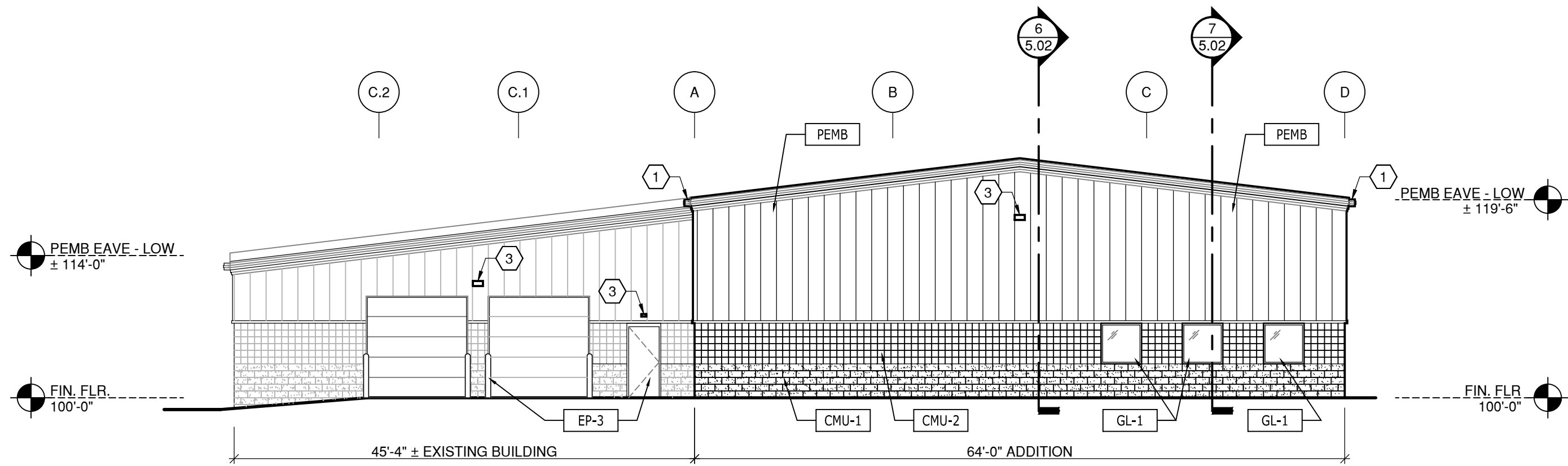
CMU-1	CONCRETE MASONRY BLOCK MFR: COLOR: EP-1 SAFE GRAY TEXTURE: SPLIT FACE BLOCK
CMU-2	CONCRETE MASONRY BLOCK MFR: COLOR: EP-2 WHITE TEXTURE: SCORED FACE BLOCK
PEMB	PRE ENGINEER METAL BUILDING MFR: NUCOR COLOR: WHITE STYLE: MATCH EXISTING
EP-1	EXTERIOR PAINT MFR: SHERWIN WILLIAMS PRODUCT: SW7066 COLOR: GRAY MATTERS
EP-2	EXTERIOR PAINT MFR: SHERWIN WILLIAMS PRODUCT: SW7006 COLOR: EXTRA WHITE
EP-3	EXTERIOR PAINT MFR: SHERWIN WILLIAMS PRODUCT: SW7066 COLOR: GRAY MATTERS
GL-1	GLAZING MFR: KAWNEER PRODUCT: 1" INSULATED GLASS STOREFRONT COLOR: WHITE FRAMES

EXTERIOR CODED NOTES

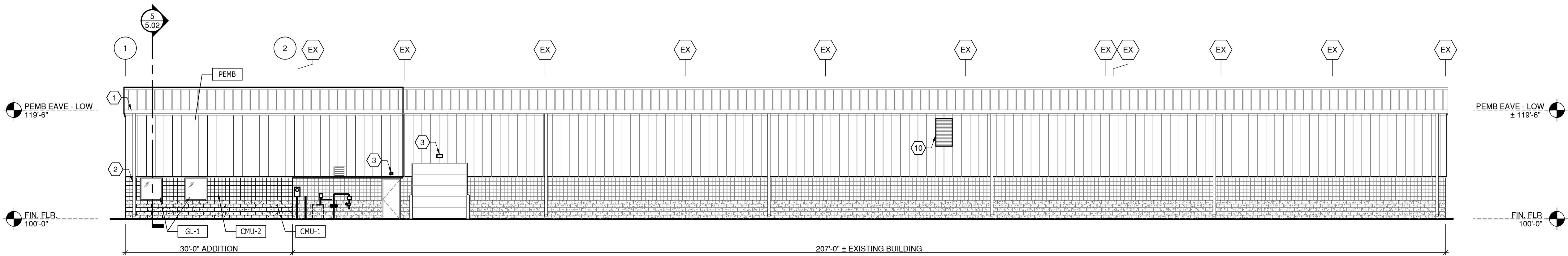
- 1 NEW METAL GUTTER. SIZE, POSITION, TO MATCH EXISTING. FINISH: WHITE.
- 2 NEW METAL DOWNSPOUT. FINISH: WHITE.
- 3 NEW WALL-MOUNTED LIGHTING FIXTURE. REFER TO ELECTRICAL DRAWINGS.
- 4 REMOVE EXISTING GLAZING, FRAME, AND ASSOCIATED HARDWARE. REFER TO DEMO PLANS.
- 5 FILL OPENING WITH NEW SCORED-FACE BLOCK. COLOR AND PATTERN TO MATCH EXISTING ADJACENT.
- 6 REMOVED EXISTING ROOF SYSTEM IN AREA INDICATED. REPLACE AND TIE-IN ADJACENT WITH NEW. REFER TO ROOF PLAN FOR MORE INFORMATION.
- 7 NEW BOLLARD. PAINT EP-1, UNLESS NOTED OTHERWISE.
- 8 NEW INSULATED HOLLOW METAL DOOR AND FRAME. REFER TO FLOOR PLAN AND DOOR SCHEDULE FOR MORE INFORMATION.
- 9 CONCRETE APRON. REFER TO CIVIL AND STRUCTURAL DRAWINGS.
- 10 LOUVER. REFER TO MECHANICAL DRAWINGS AND SCHEDULES FOR MORE INFORMATION.



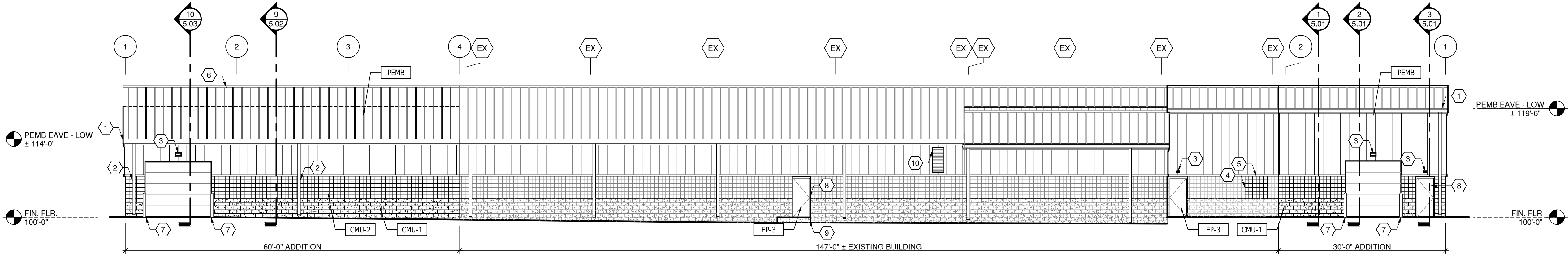
2 EXTERIOR ELEVATION
SCALE 3/32" = 1'-0"



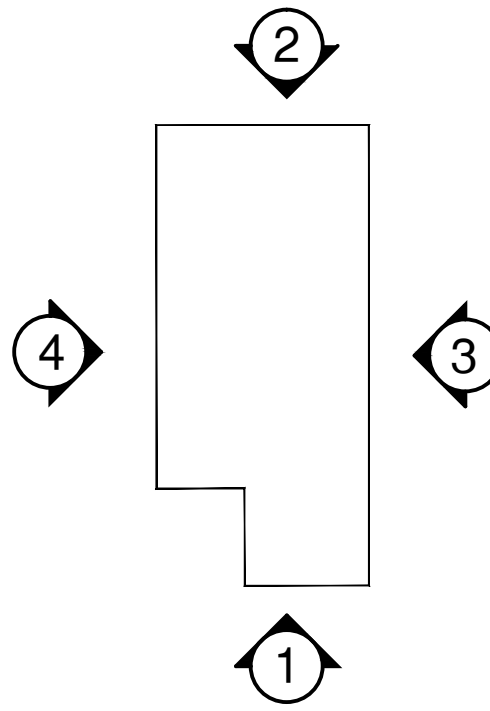
1 EXTERIOR ELEVATION
SCALE 3/32" = 1'-0"



3 EXTERIOR ELEVATION
SCALE 3/32" = 1'-0"



4 EXTERIOR ELEVATION
SCALE 3/32" = 1'-0"



KEY PLAN
NOT TO SCALE