

N:\OSBORN\Current\Jobs\Elite Land Title\20150003.000 75 Lincoln Street Office Bldg\Drawings\Civil\Preliminary\20150003.000_C-01.dwg
2/12/2015 4:23 PM
Lundgren, Bryan

SITE DEVELOPMENT DATA

PID NO: 319-426-02-018-000

ZONING: DOWNTOWN BUSINESS DISTRICT - DB

EXISTING USE: VACANT

PROPOSED USE: OFFICE BUILDING

SITE AREA: 0.46 AC
DISTURBED AREA: 0.46 ACRE (UNDER 1 ACRE - OHIO EPA NOI PERMIT NOT REQUIRED)
PRE-IMPERVIOUS AREA: 0.07 ACRES
POST-IMPERVIOUS AREA: 0.33 ACRES

OWNER/DEVELOPER: ELITE TITLE LAND
ATTUCKS DRIVE
POWELL, OH 43065

CONTACT:
ROBERT CORWIN
PHONE: 614.568.0033
EMAIL: RCORWIN@ELITE-LANDTITLE.COM

ARCHITECT: SBA STUDIOS
1565 DALE FORD ROAD
DELAWARE, OH 43015

CONTACT:
SCOTT BAKER
PHONE: 614.562.7761
EMAIL: SBAKER@SBA-STUDIOS.COM

CIVIL ENGINEER: OSBORN ENGINEERING
990 W. THIRD AVENUE
COLUMBUS, OH 43212

CONTACT:
BRYAN LUNDGREN, PE
PHONE: 614.306.6374
EMAIL: BLUNDGREN@OSBORN-ENG.COM

SITE PLAN NOTES:

1. PARKING REQUIREMENTS:

- GROSS FLOOR AREA: 2,735 SF
- PARKING REQUIRED: 1:200 SF = 14 SPACES
- PARKING PROVIDED: 14 SPACES

2. UTILITY SERVICES:

- EXISTING WATER SERVICE AND SANITARY SERVICE ARE LOCATED ALONG LINCOLN STREET

3. STORM WATER MANAGEMENT:

- PARKING LOT TO SERVE AS A DETENTION FACILITY.

SURVEY PREPARED BY:

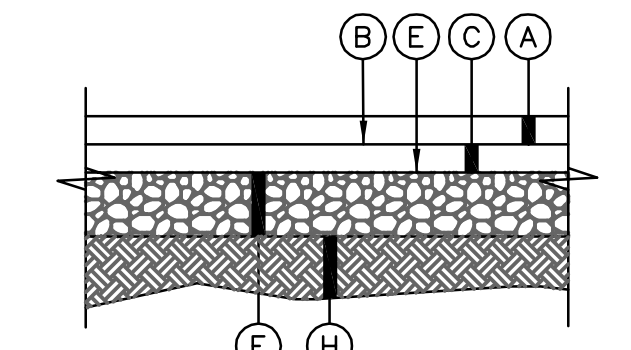
BENCHMARK LAND SURVEYING
3501 MANILA DRIVE
WESTERVILLE, OHIO 43081
(614) 794-9609 ~ OFFICE
(614) 899-0336 ~ FAX
PREPARED JANUARY 2015

SOURCE BENCHMARK: DELAWARE COUNTY
UTILITIES - SAN MH, DCRSD_ID: 09MH001660000005
ELEVATION = 925.38

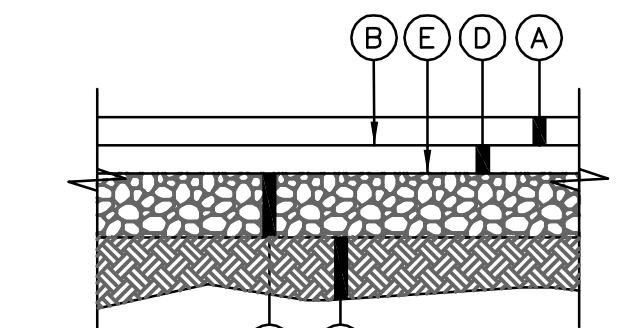
FEMA NOTE:

According to FEMA Flood Insurance Rate Map (FIRM) Index # 39041C0237K, dated 04/16/2009, the subject property is located in Zone X, designated as an area outside the 100 and 500 year' flood zones and the flood potential for the subject property is minimal.

UNDERGROUND UTILITIES
2 WORKING DAYS
BEFORE YOU DIG
CALL 800-362-2764 (TOLL FREE)
OHIO UTILITIES
PROTECTION SERVICE
NON-MEMBER
MUST BE CALLED DIRECTLY



(PARKING STALLS)
PR ASPHALT PAVEMENT (LIGHT)
NOT TO SCALE



(DRIVE AISLES)
PR ASPHALT PAVEMENT (HEAVY)
NOT TO SCALE

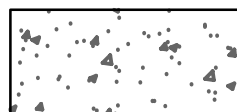
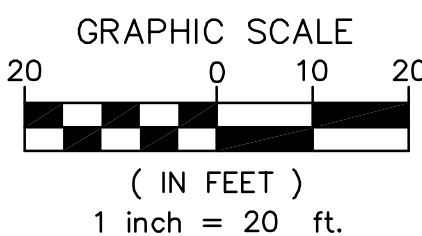
PAVEMENT LEGEND

- 1.5" MIN. ASPHALT SURFACE COURSE (ODOT CMS 448 TYPE 1)
- TACK COAT (ODOT CMS 407 & 702.13)
- 1.5" MIN. ASPHALT SURFACE COURSE (ODOT CMS 448 TYPE 1)
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- PRIME COAT (ODOT CMS 408)
- 8" AGGREGATE BASE (ODOT CMS 304)
- 10" AGGREGATE BASE (ODOT CMS 304)
- SUBGRADE COMPACTION (ODOT CMS 204)

PAVEMENT NOTE:
PAVEMENT SECTION TO BE
VERIFIED WITH GEOTECHNICAL
ENGINEER AND APPROVED BY
OWNER PRIOR TO INSTALLATION.

SITE PLAN

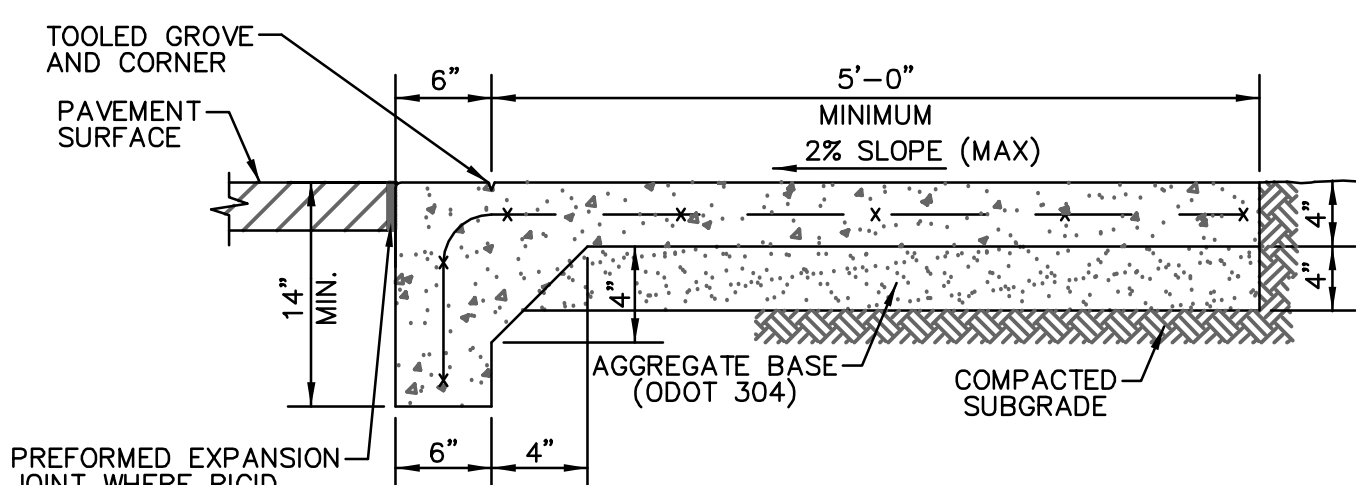
SCALE: 1"=20'



CONCRETE WALK
IMPROVEMENT AREA

NOTES

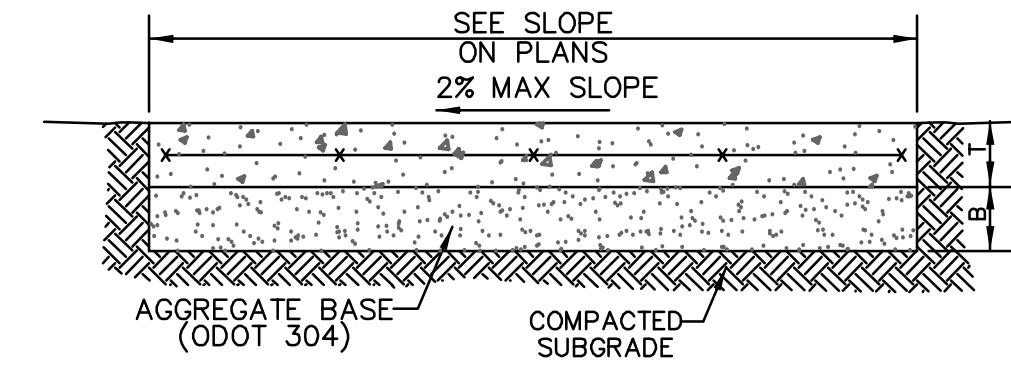
- USE 3/8"x 4" EXPANSION JOINTS AT CHANGE OF DIRECTIONS, CURBS, RIGID STRUCTURES, AND RIGID PAVEMENT. ON STRAIGHT RUNS PROVIDE EXPANSION JOINTS EVERY 20 FEET.
- CONCRETE-
SIDEWALKS- USE READY-MIX CONCRETE WITH 4,000 PSI STRENGTH @ 28 DAYS.
- USE REINFORCEMENT - 6x 6 - W1.4x W1.4 W.W.M.
- TOOL ALL EXPOSED EDGES AND JOINTS TO 3/4" RADIUS.
- BROOM FINISH ACROSS DIRECTION OF TRAVEL.



INTEGRAL CURB
CONCRETE SIDEWALK DETAIL
NOT TO SCALE

NOTES

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CONCRETE SIDEWALK DETAIL
NOT TO SCALE

ABBREVIATION LEGEND

PR PROPOSED
TYP TYPICAL
R/W RIGHT OF WAY
EOP EDGE OF PAVEMENT
C/L CENTERLINE
STM STORM SEWER
SAN SANITARY SEWER
WS WATER SERVICE
FH FIRE HYDRANT
OHE OVERHEAD ELECTRIC

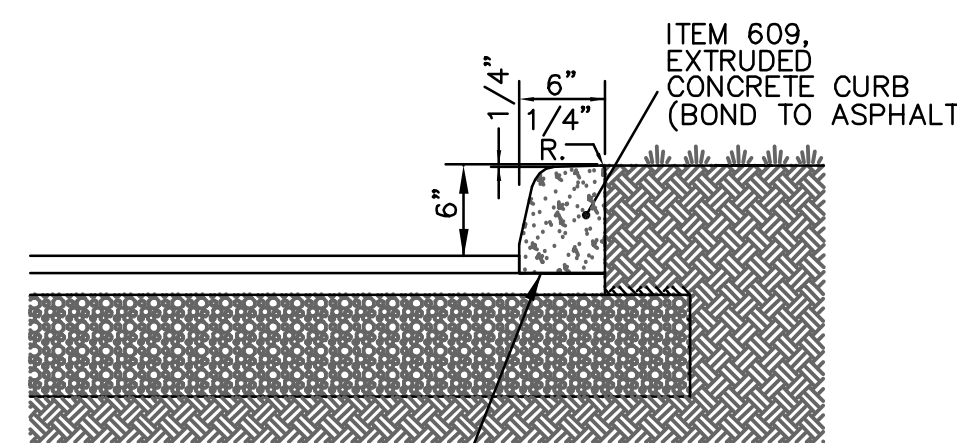


VICINITY MAP

NOT TO SCALE

Legend

- Ex. Finished Floor Elevation
- Ex. Sanitary Manhole
- ex. Catch Basin
- Ex. Hydrant
- Ex. Power Pole
- Ex. Transformer
- Ex. Water Valve
- Ex. Tree (w/ size)
- Ex. Electric Meter
- Ex. Gas Valve
- Ex. Gas Meter
- 5/8"-REBAR SET (w/ "S-7980" CAP)
- 3/4" IRON PIN FOUND



EXTRUDED CURB DETAIL
NOT TO SCALE

ELITE
LAND TITLE
3755 ATTUCKS DRIVE
POWELL, OHIO 43065
T: 614 568-0033
F: 614 568-0034

OSBORN
ENGINEERING
1100 Superior Ave - Suite 300 | Cleveland, OH 44114
441 Wolf Ledges Pkwy - Suite 300 | Akron, OH 44311
990 West Third Avenue | Columbus, OH 43212

NEW OFFICE
BUILDING
75 LINCOLN ST.

POWELL
DELAWARE COUNTY
OHIO

TAG	ISSUED	DATE
A	PRELIMINARY	1.27.15
B	REVISION 1	2.11.15

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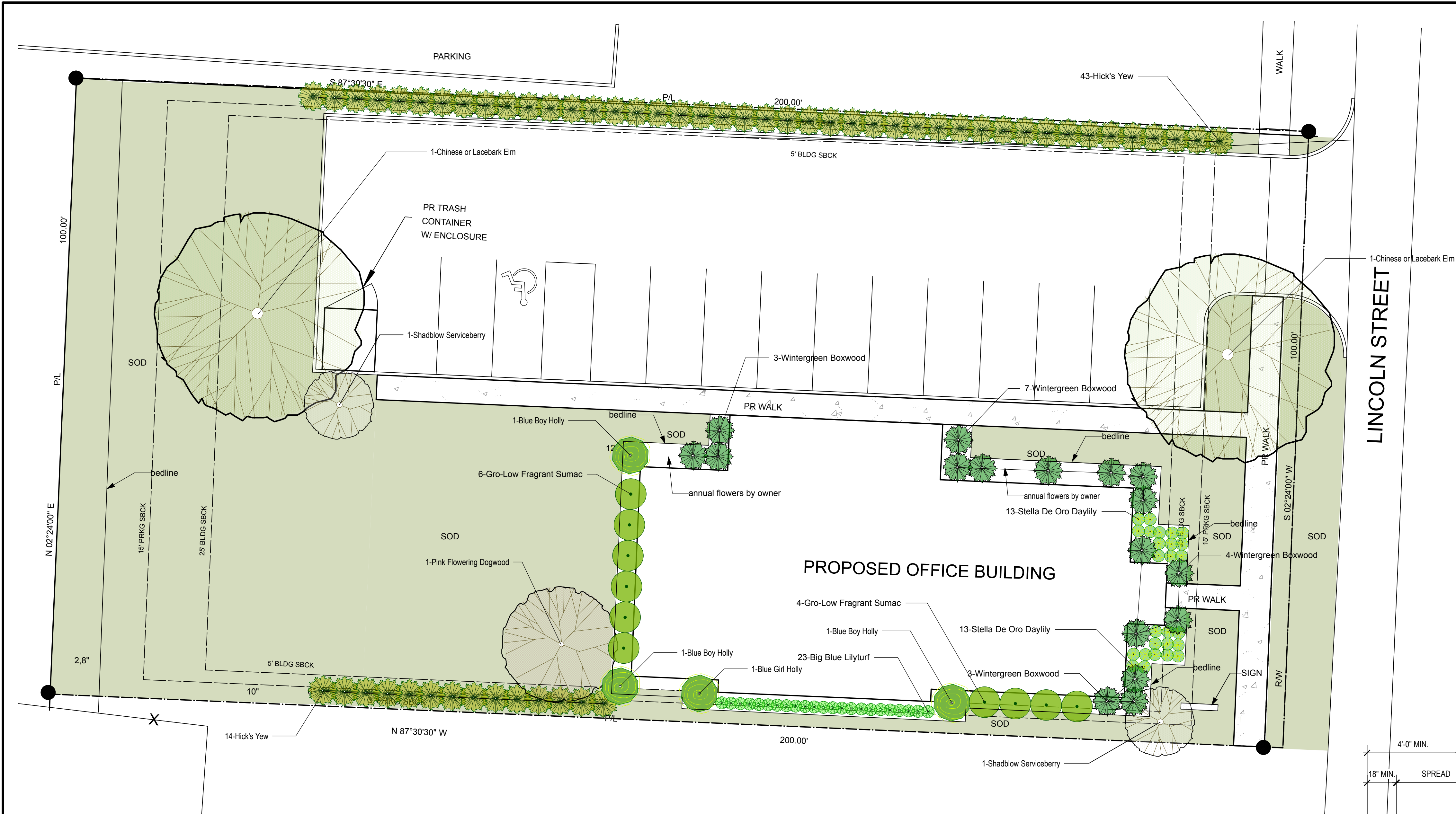
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CHECKED BY BL
CLIENT PROJ. NO. -

OSBORN PROJ. NO.
J20150003.000

PRELIMINARY
DEVELOPMENT
PLAN

DRAWING NO.

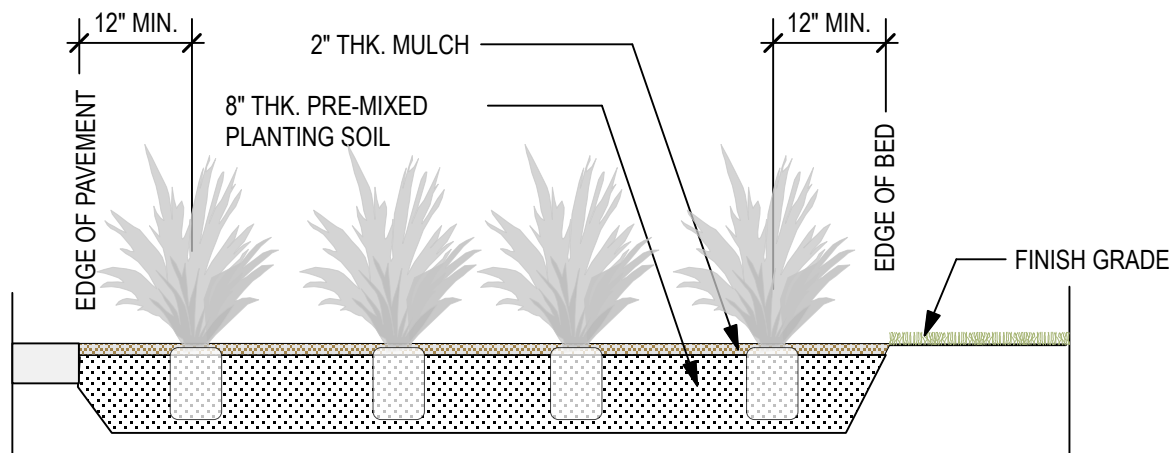
C.01



LANDSCAPE PLAN

GENERAL NOTES S-Details® version 2010

- CONTRACTOR TO VERIFY WITH OWNER AND UTILITY COMPANIES THE LOCATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION. TO DETERMINE IN THE FIELD THE ACTUAL LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES. WHETHER SHOWN ON THE PLANS OR NOT. THE CONTRACTOR SHALL CALL UTILITY PROTECTION SERVICE AND/OR OWNER 72 HOURS PRIOR TO CONSTRUCTION.
- EXAMINE FINISH SURFACE, GRADES, TOPSOIL QUALITY AND DEPTH. DO NOT START ANY WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. VERIFY LIMITS OF WORK BEFORE STARTING.
- CONTRACTOR TO SATISFACTORY REPAIR ALL DAMAGES TO EXISTING CONDITIONS.
- ALL PLANT MASSES AND HEDGES ARE TO BE CONTAINED WITHIN A BARK MULCH BED.
- BED LINE TO BE NO LESS THAN 18" AND NO MORE THAN 24" FROM OUTER EDGE OF PLANT MATERIAL BRANCHING.
- ALL SHRUBS TO BE A MINIMUM OF 4'-0" FROM PAVEMENT EDGE UNLESS SPECIFICALLY NOTED OTHERWISE.
- CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN LAWN AREAS.
- FINE GRADE LAWN AREAS TO PROVIDE A SMOOTH AND CONTINUAL GRADE FREE OF IRREGULARITIES OR DEPRESSIONS.
- WHERE PROPOSED TREE LOCATIONS OCCUR UNDER EXISTING OVERHEAD UTILITIES OR CROWD EXISTING TREES, NOTIFY THE CONSULTANT TO ADJUST TREE LOCATIONS.
- MULCH TO BE TRIPLE PROCESSED HARDWOOD BARK MULCH. MULCH TO BE BROWN IN COLOR. SUBMIT SAMPLE TO CONSULTANT FOR FINAL APPROVAL.



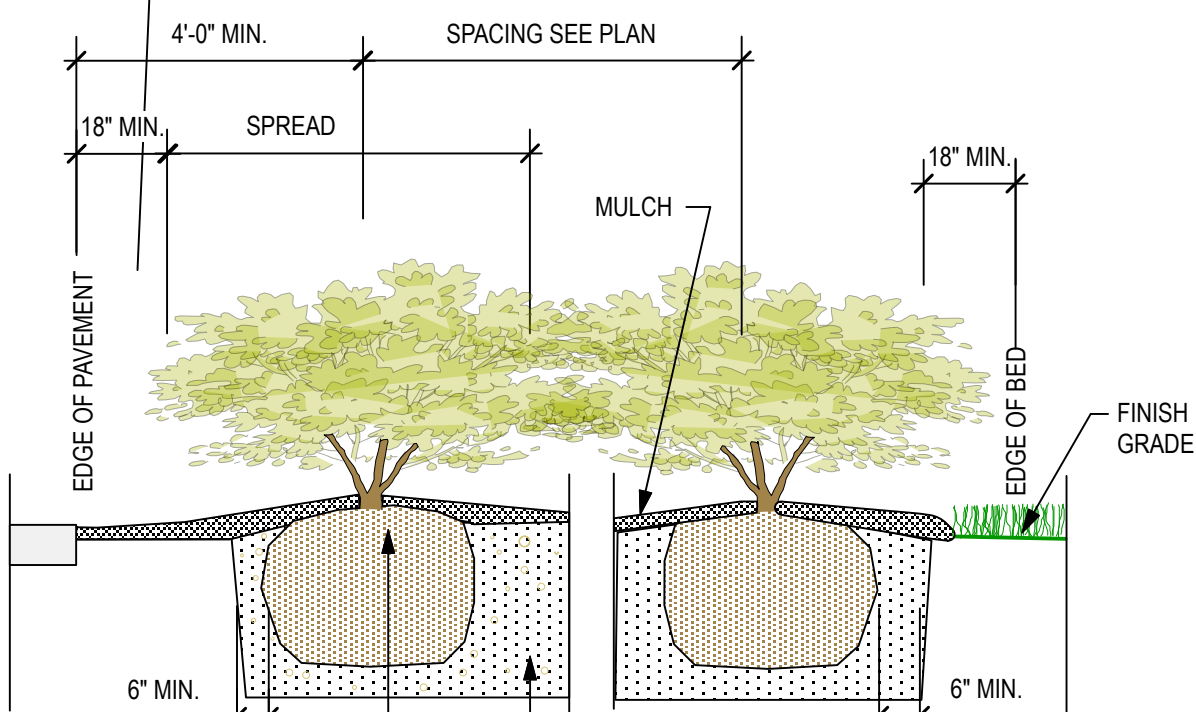
NOTES

- PRIOR TO PLANTING PERENNIALS, THE BED IS TO BE SMOOTH WITHOUT DIPS OR RIDGES. AFTER PLANTING THE PERENNIALS, RAKE THE BED SURFACE SMOOTH PRIOR TO MULCHING.
- VERTICALLY CUT THE PERIMETER ROOTS AROUND THE CIRCUMFERENCE WITH A KNIFE. FOR ALL CONTAINER ROOT BOUND PLANTS PRIOR TO PLANTING.
- SPACE PLANTS PER PLAN.

DETAIL: PERENNIAL PLANTING

SCALE: NONE

S-Details®



REMOVE TOP 1/3 OF BURLAP INCLUDING TWINE OF BALLED AND BURLAP PLANTS. REMOVE COMPLETE CONTAINER OR PEAT POT FOR CONTAINER GROWN OR POTTED PLANTS. SCARIFY PERIMETER ROOTS OF CONTAINER ROOT BOUND PLANTS.

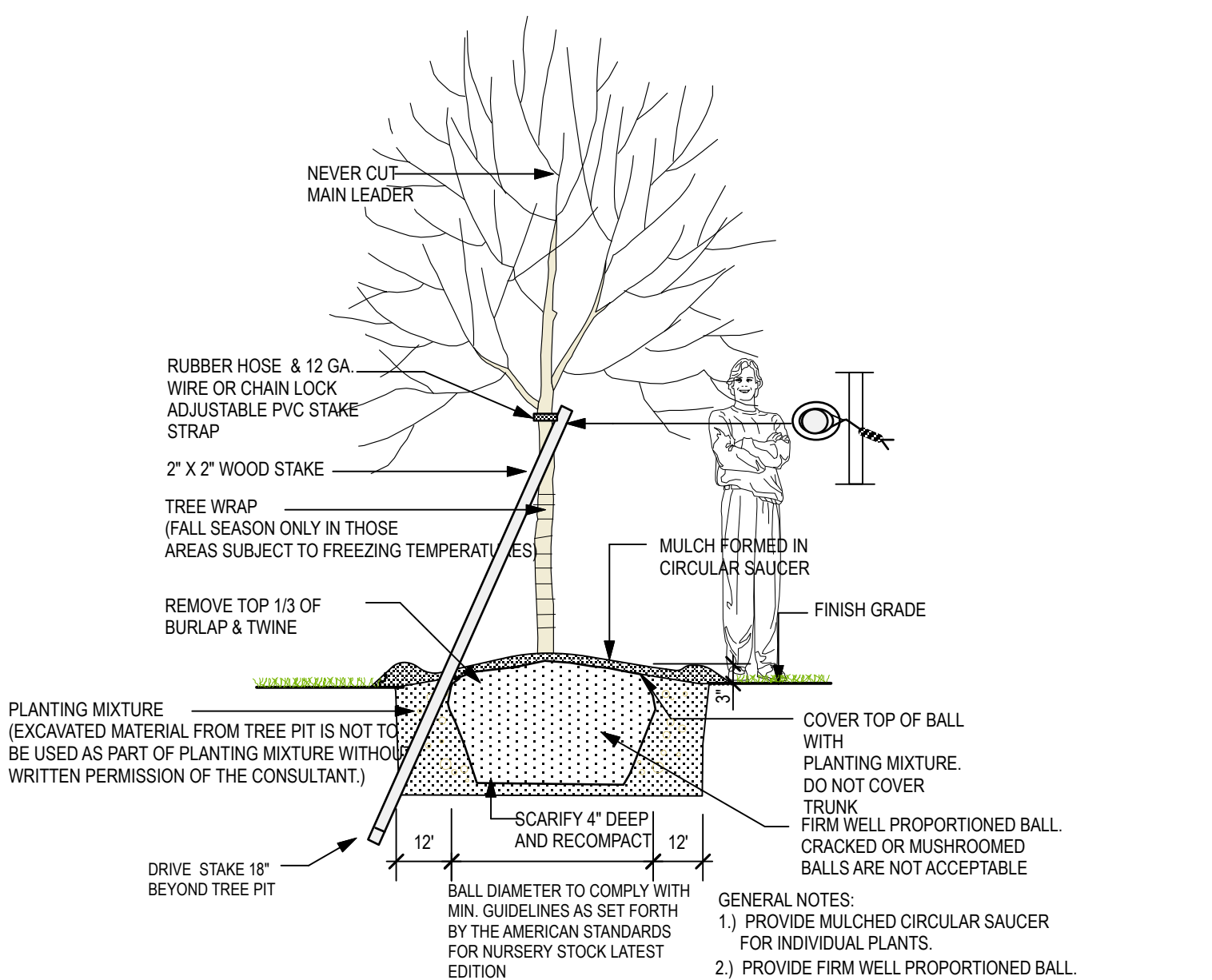
GENERAL NOTES:

- PROVIDE MULCHED CIRCULAR SAUCER FOR INDIVIDUAL PLANTS.
- PROVIDE FIRM WELL PROPORTIONED BALL. CRACKED OR MUSHROOMED BALLS ARE NOT ACCEPTABLE.
- THE 1ST ORDER LATERAL ROOTS ARE TO BE PARTIALLY EXPOSED PRIOR TO DIGGING. DIG PLANTS SO THAT BURLAP RESTS ON NO MORE THAN 1" OF SOIL ABOVE 1ST ORDER LATERAL ROOTS.

DETAIL: SHRUB PLANTING

SCALE: NONE

S-Details®



DETAIL: DECIDUOUS TREE STAKING

SCALE: NONE

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Plant Materials List

Quantity	Common Name	Botanical Name	Size	Root / Remarks
Deciduous Trees				
2	Chinese or Lacebark Elm	Ulmus parvifolia	2.0" Cal.	B&B
Ornamental Trees				
2	Shadblow Serviceberry	Amelanchier canadensis	8' Multi-stem	B&B
1	Pink Flowering Dogwood	Cornus florida var. rubra	2.0" Cal..	B&B
Evergreen Trees				
57	Hick's Yew	Taxus x media 'Hicksii'	30" Ht.	Cont.
Deciduous/Evergreen Shrubs				
3	Blue Boy Holly	Ilex x meserveae 'Blue Boy'	24"	Cont.
1	Blue Girl Holly	Ilex x meserveae 'Blue Girl'	24"	Cont.
17	Wintergreen Boxwood	Buxus microphylla 'Wintergreen'	24"	Cont.
10	Gro-Low Fragrant Sumac	Rhus aromatica 'Gro-Low'	18" to 24" Sp.	Cont.
Perennials				
26	Stella De Oro Daylily	Hemoerocallis 'Stella De Oro'	1 Gal.	Cont.

Notes: Plant material size refers to Height unless otherwise noted.

DRAWN BY:
J. BURKART
CHECKED BY:
J. BURKART
DATE:
1.24.15

REVISIONS:

DRAWING PHASE:

- ☐ SCHEMATIC
☐ DESIGN DEVELOPMENT
☒ CONSTRUCTION DOCUMENT
☒ PERMIT SET
☐ BID SET

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Elite Land Title
75 Lincoln Street
Powell, Ohio 43065

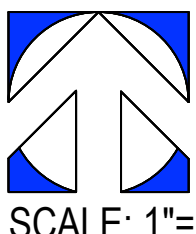
PROJECT:

BURKART
DISTINGUISHED LANDSCAPE ARCHITECTURE
JAMES BURKART ASSOCIATES, INC., 5737 LAKE FOREST WAY,
WEST LAFAYETTE, INDIANA 47906
email: jburkart@jburkart.com

JBA # 1505

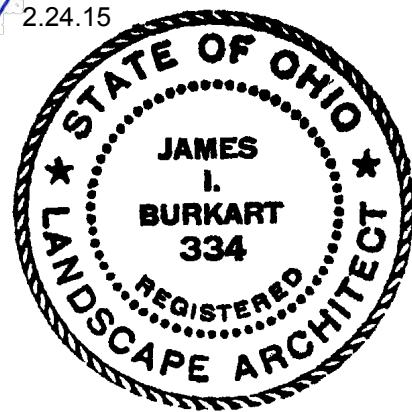
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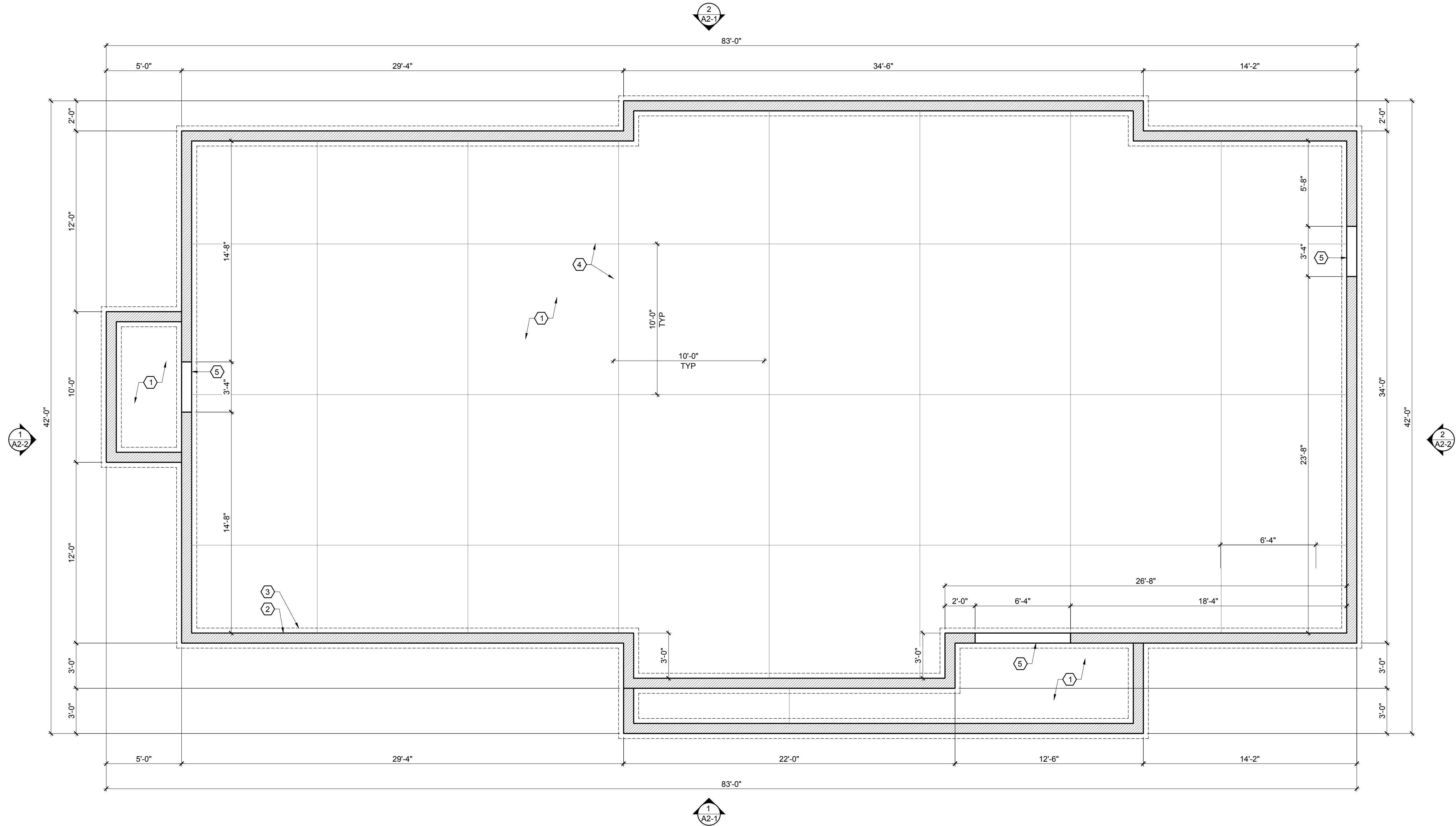
SP-1



LANDSCAPE PLAN

SCALE: 1"=10'





FOUNDATION CODED NOTES

1. 4" CONCRETE SLAB ON COMPACTED GRANULAR FILL AND VAPOR BARRIER. PROVIDE SYNTHETIC FIBER REINFORCING.
2. 8" CMU FOUNDATION WALL
3. 16"x8" CONCRETE FOOTING W/ (2) #5 CONTINUOUS
4. SAWCUT CONTROL JOINT
5. HOLD DOWN CMU WALL THIS LOCATION, POUR SLAB THROUGH.

#	DATE	ISSUED WITH: CHANGE DESCRIPTION

ELITE LAND TITLE
NEW OFFICES

ELITE
LAND TITLE

SBA
STUDIOS
ARCHITECTURAL DESIGN
614.562.7761 WWW.SBA-STUDIOS.COM

SCALE: 1/4" = 1'-0"
SHEET # / DESCRIPTION
BASEMENT PLAN
A1-0
DATE: 02.23.2015
PRELIMINARY
SCOTT B. BAKER, LICENSE #14654
EXPIRATION DATE 12/31/2015
SBA STUDIOS PROJECT # 2014-391

SITE DEVELOPMENT DATA

PID NO: 319-426-02-018-000
 ZONING: DOWNTOWN BUSINESS DISTRICT - D0
 EXISTING USE: VACANT
 PROPOSED USE: OFFICE BUILDING

SITE AREA: 0.46 AC
 DISTURBED AREA: 0.46 AC (UNDER 1 ACRE - OHIO EPA NOI PERMIT NOT REQUIRED)
 PRE-IMPERVIOUS AREA: 0.07 ACRES
 POST-IMPERVIOUS AREA: 0.33 ACRES

OWNER/DEVELOPER: ELITE TITLE LAND
 ATTUCKS DRIVE
 POWELL, OH 43065
 CONTACT:
 ROBERT CORYN
 PHONE: 614.568.0033
 EMAIL: RCORYN@ELITE-TITLE.COM

ARCHITECT: SBA STUDIOS
 1565 DALE FORD ROAD
 DELAWARE, OH 43015

CONTACT:
 SCOTT BAKER
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SURVEY PREPARED BY:

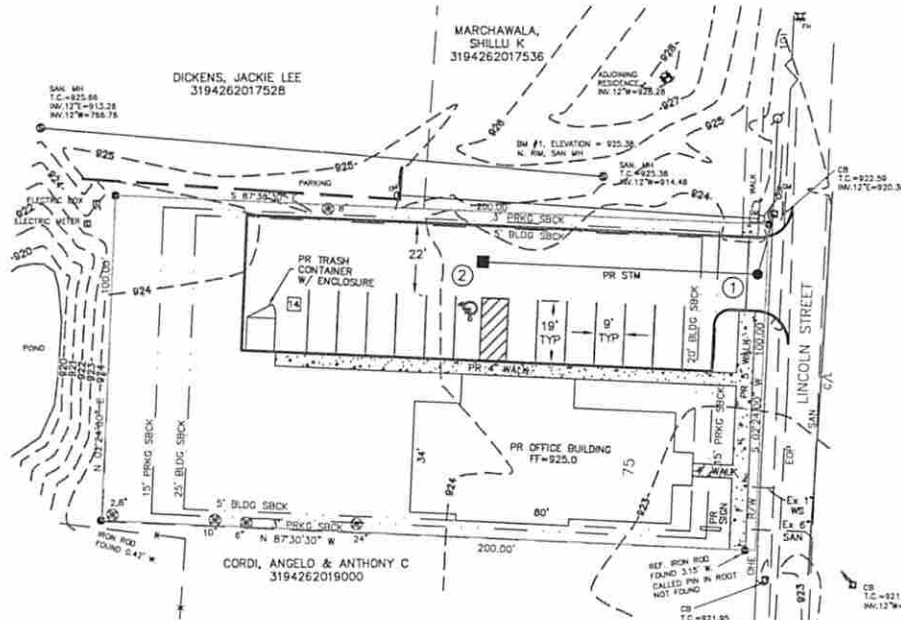
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 PREPARED JANUARY 2015

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FEMA NOTE:

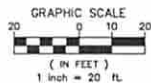
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SITE PLAN

SCALE: 1"=20'



ABBREVIATION LEGEND

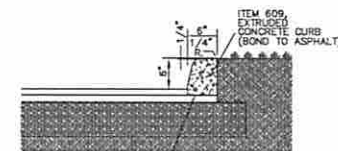
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VICINITY MAP
NOT TO SCALE

Legend

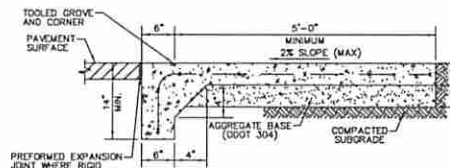
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EXTRUDED CURB DETAIL
NOT TO SCALE

NOTES

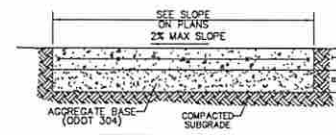
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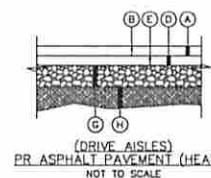
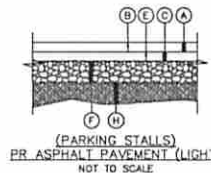
**INTEGRAL CURB
CONCRETE SIDEWALK DETAIL**
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ELITE
 3755 ATTUCKS DRIVE
 POWELL, OHIO 43065
 T: 614.568.0033
 F: 614.568.0034

OSBORN
 ENGINEERING
 1100 S. Wacker Ave., Suite 800, Chicago, IL 60606
 311 West Lakeshore Drive, Suite 201, Westerville, OH 43081
 800 West Third Avenue, Columbus, OH 43215

**NEW OFFICE
BUILDING**
75 LINCOLN ST.

POWELL
 DELAWARE COUNTY
 OHIO

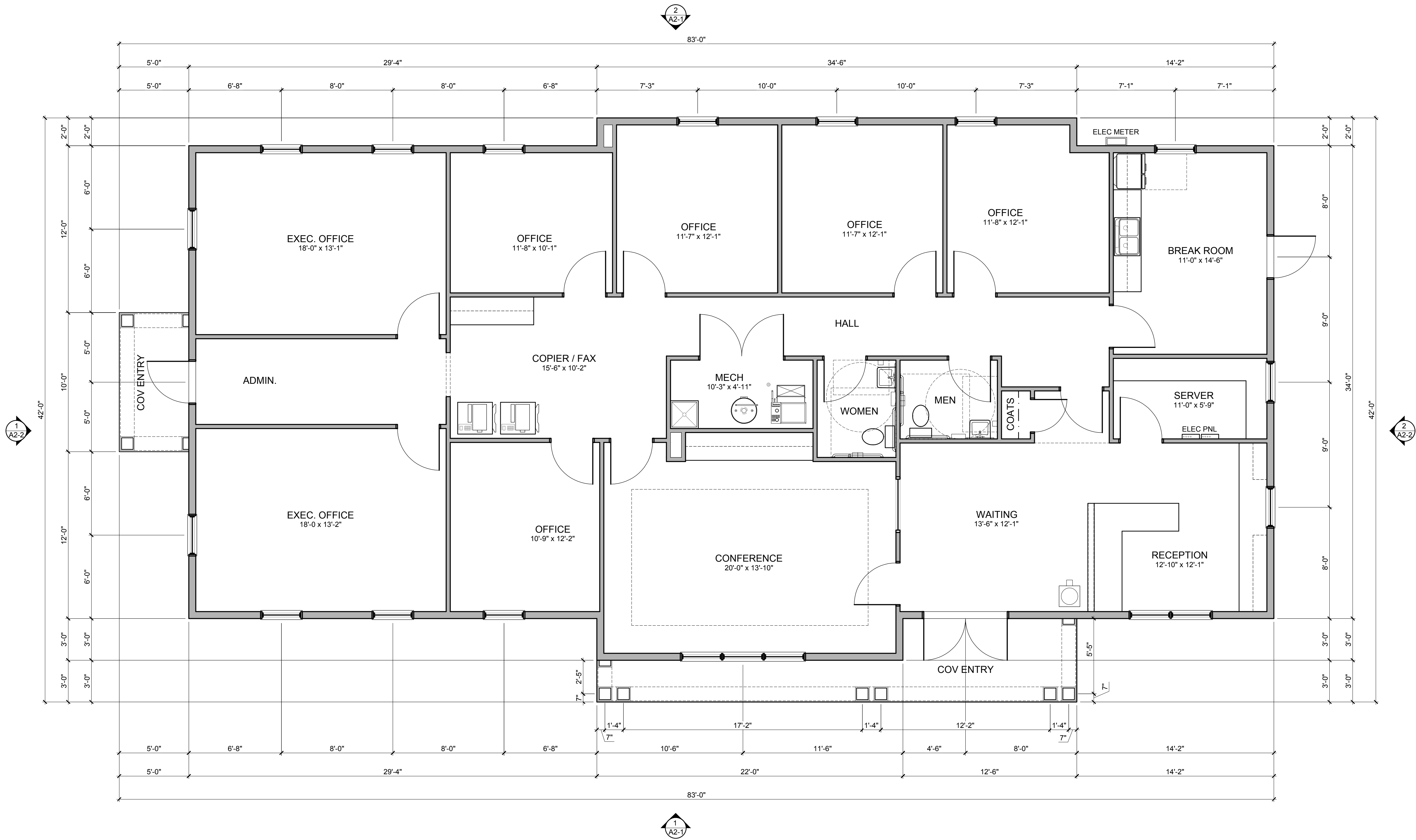
TAG	ISSUED	DATE
A	PRELIMINARY	1.27.15
B	REVISION 1	2.11.15
C	REVISION 2	3.10.15

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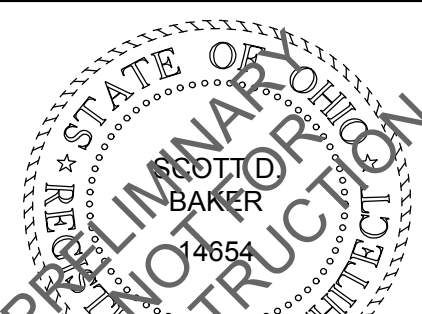
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**PRELIMINARY
DEVELOPMENT
PLAN**

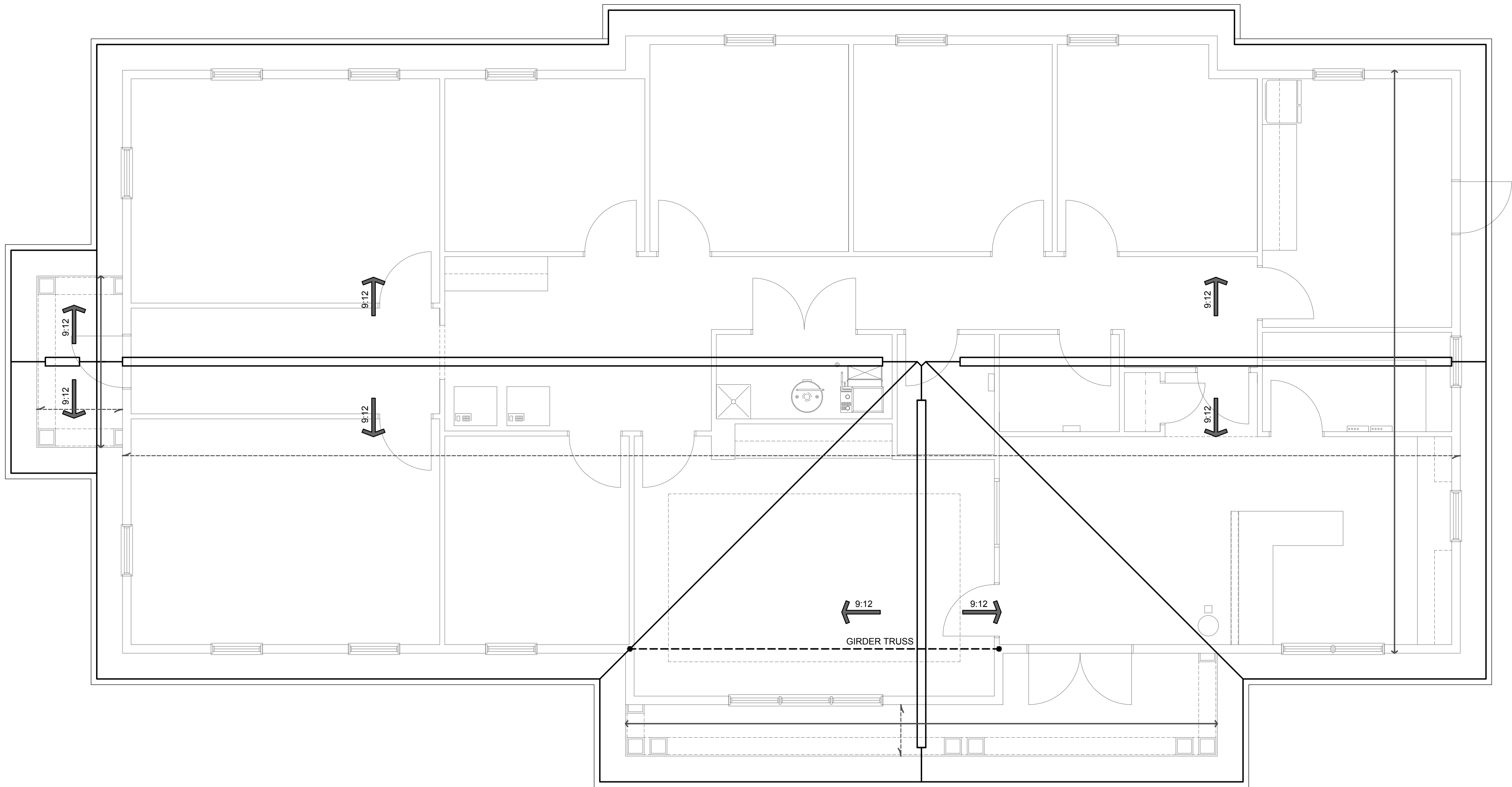
DRAWING NO.:
C.01



#	DATE	ISSUED WITH: CHANGE DESCRIPTION



 <p>SCOTT D. BAKER, LICENSE #14654 EXPIRATION DATE 12/31/2015</p>	SCALE: 1/4" = 1'-0"
	SHEET # / DESCRIPTION
	FLOOR PLAN
	A1-1
	DATE: 02.23.2015
PRELIMINARY	
SCOTT D. BAKER, LICENSE #14654 EXPIRATION DATE 12/31/2015	SBA STUDIOS PROJECT # 2014-391

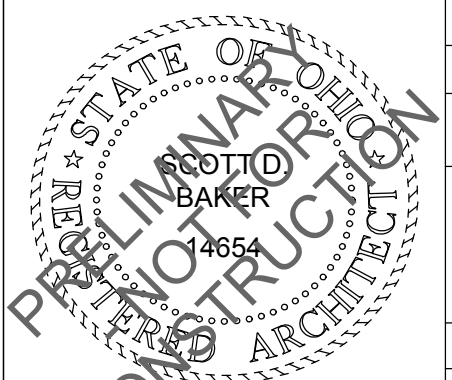


#	DATE	ISSUED WITH: CHANGE DESCRIPTION

ELITE LAND TITLE
NEW OFFICES

ELITE
LAND TITLE

SBA
STUDIOS
ARCHITECTURAL DESIGN
614.562.7761 WWW.SBA-STUDIOS.COM



SCALE: 1/4" = 1'-0"

SHEET # / DESCRIPTION

ROOF PLAN

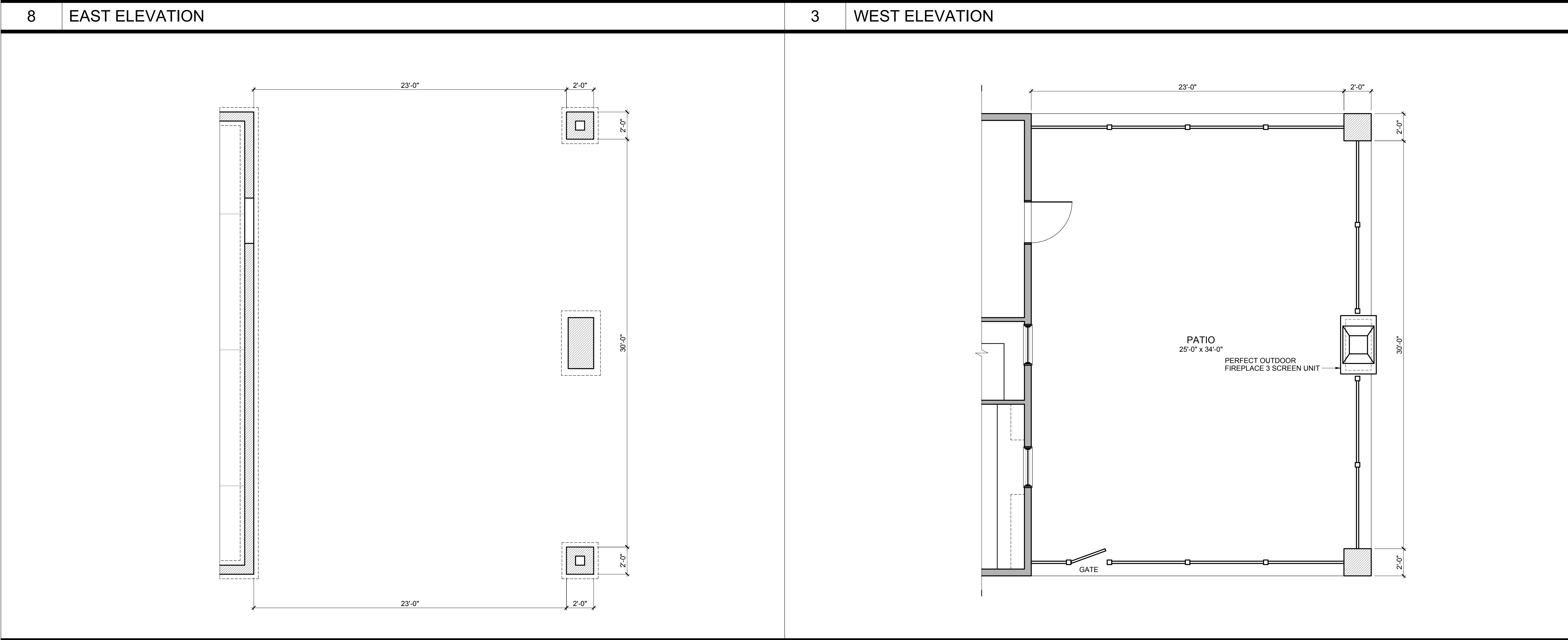
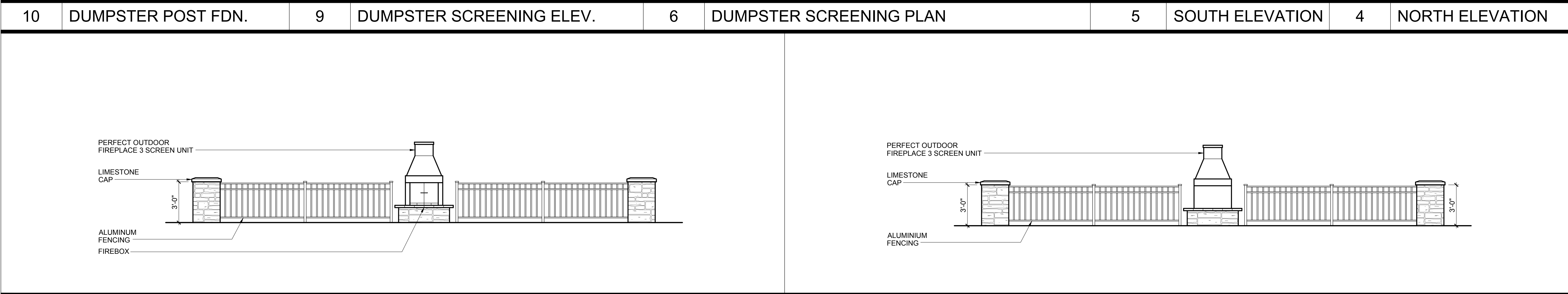
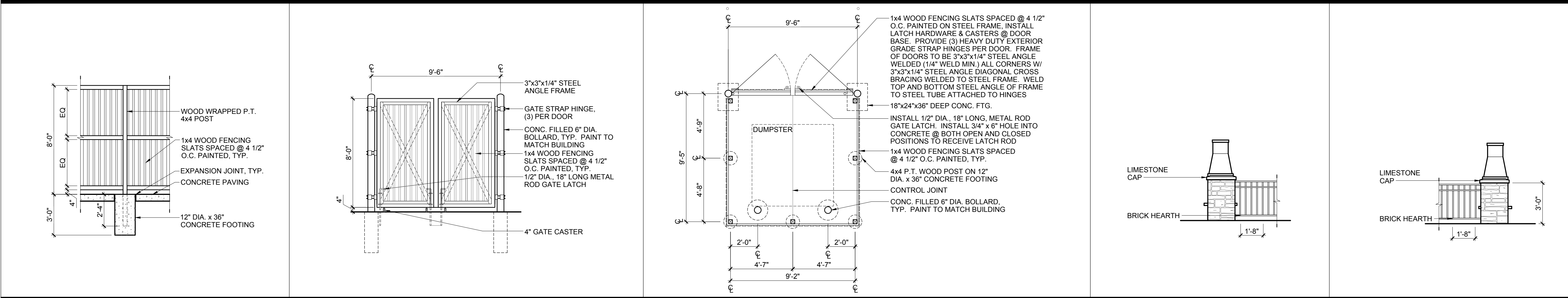
A1-2

DATE: 02.23.2015

PRELIMINARY

SCOTT B. BAKER, LICENSE #14654
EXPIRATION DATE 12/31/2015

SBA STUDIOS PROJECT # 2014-391



FLOOR PLAN NOTES

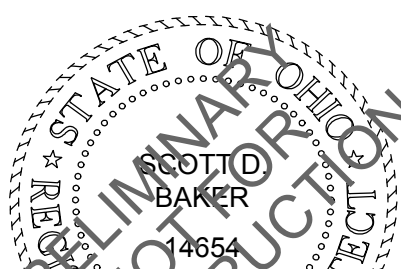
- ALL DOORS SHALL BE 6" FROM ADJACENT WALL OR CENTERED IN WALL UNLESS NOTED OTHERWISE.
- ALL INTERIOR STUD WALLS TO BE 2x4 STUDS @ 16" O.C. UNLESS NOTED OTHERWISE.
- ALL DIMENSIONS TO INTERIOR WALLS ARE TO FACE OF STUD. ALL DIMENSIONS TO OUTSIDE FACE OF EXTERIOR WALLS ARE TO FACE OF SHEATHING. ALL DIMENSIONS TO INSIDE FACE OF EXTERIOR WALL ARE TO FACE OF STUD.
- A READILY ACCESSIBLE ATTIC ACCESS FRAMED OPENING, NOT LESS THAN 22"x30", SHALL BE PROVIDED TO ANY ATTIC AREA HAVING A CLEAR HEIGHT OVER 30".
- STUDS SHALL BE ONE PIECE FULL HEIGHT. PROVIDE A MINIMUM OF (2) STUDS AT EACH SIDE OF ALL OPENINGS (1) KING STUD & (1) JACK STUD.
- ALL BEDROOM WINDOWS SHALL MEET CODE REQUIREMENTS FOR EGRESS. EGRESS CLEAR OPENINGS ON GRADE FLOOR SHALL BE A MINIMUM OF 5.0 SQUARE FEET. EGRESS CLEAR OPENINGS ON ALL OTHER FLOORS SHALL BE A MINIMUM OF 5.7 SQUARE FEET.
- EGRESS WINDOWS TO HAVE A MINIMUM CLEAR HEIGHT OF 24" AND A MINIMUM CLEAR OPENING WIDTH OF 20". SILL HEIGHT SHALL NOT EXCEED 44" ABOVE THE FINISH FLOOR.
- ALL ANGLED WALLS ARE 45 DEGREES U.N.O.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
- CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT SITE BEFORE BEGINNING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT IN WRITING FOR JUSTIFICATION AND / OR CORRECTION BEFORE PROCEEDING WITH WORK. CONTRACTORS SHALL ASSUME RESPONSIBILITY FOR ERRORS THAT ARE NOT REPORTED.
- ALL DIMENSIONS SHALL BE READ OR CALCULATED AND NEVER SCALED.
- CONTRACTOR SHALL ENSURE COMPATIBILITY OF THE BUILDING WITH ALL SITE REQUIREMENTS.
- ALL WOOD IN LOCATIONS SUBJECT TO TERMITE DECAY SHALL BE PRESSURE TREATED (CCA) OR BE OF AN APPROVED DECAY RESISTANT SPECIES. THIS INCLUDES, BUT NOT LIMITED TO, ALL EXTERIOR DECKS, SILLS AND SLEEPERS ON CONCRETE, MASONRY, OR IN DIRECT CONTACT WITH THE GROUND.

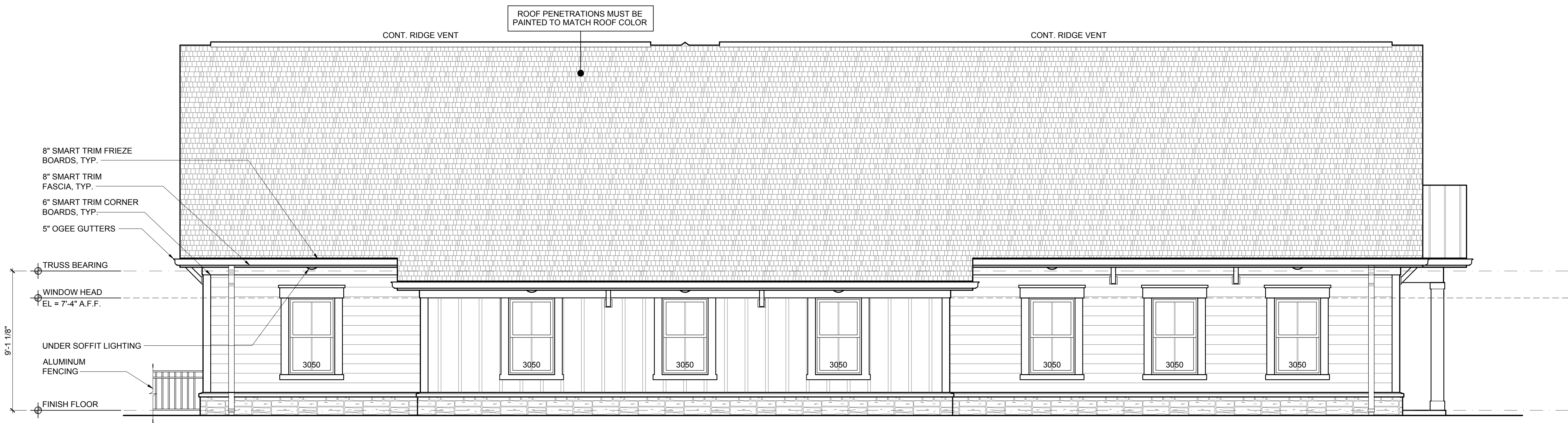
#	DATE	ISSUED WITH: CHANGE DESCRIPTION

ELITE LAND TITLE
NEW OFFICES

ELITE
LAND TITLE

SBA
STUDIOS
ARCHITECTURAL DESIGN
614.562.7761 WWW.SBA-STUDIOS.COM

 <p>SCOTT B. BAKER, LICENSE #14654 EXPIRATION DATE 12/31/2015</p>	SCALE: 1/4" = 1'-0"
	SHEET # / DESCRIPTION
	OPTIONAL PATIO
	A1-3
	DATE: 02.23.2015
	PRELIMINARY
	SBA STUDIOS PROJECT # 2014-39

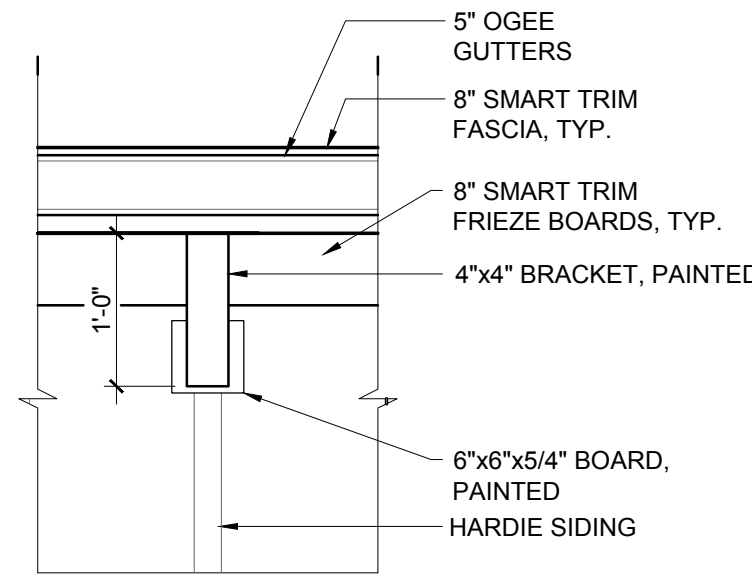


2 SOUTH ELEVATION

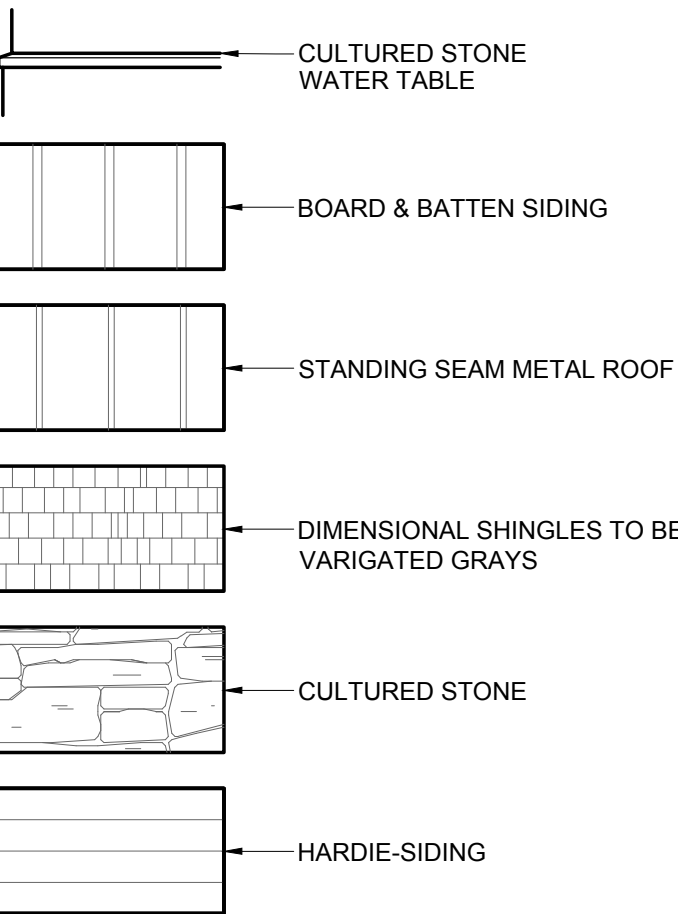


1 NORTH ELEVATION

TYPICAL BRACKET DETAIL



ELEVATION MATERIAL LEGEND



#	DATE	ISSUED WITH: CHANGE DESCRIPTION

ELITE LAND TITLE
NEW OFFICES

ELITE
LAND TITLE

SBA
STUDIOS
ARCHITECTURAL DESIGN
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SCALE: 1/4" = 1'-0"
SHEET # / DESCRIPTION
EXTERIOR ELEVATIONS

A2-1

DATE: 02.23.2015
PRELIMINARY
SCOTT B. BAKER, LICENSE #14654
EXPIRATION DATE 12/31/2015
SBA STUDIOS PROJECT # 2014-391



2

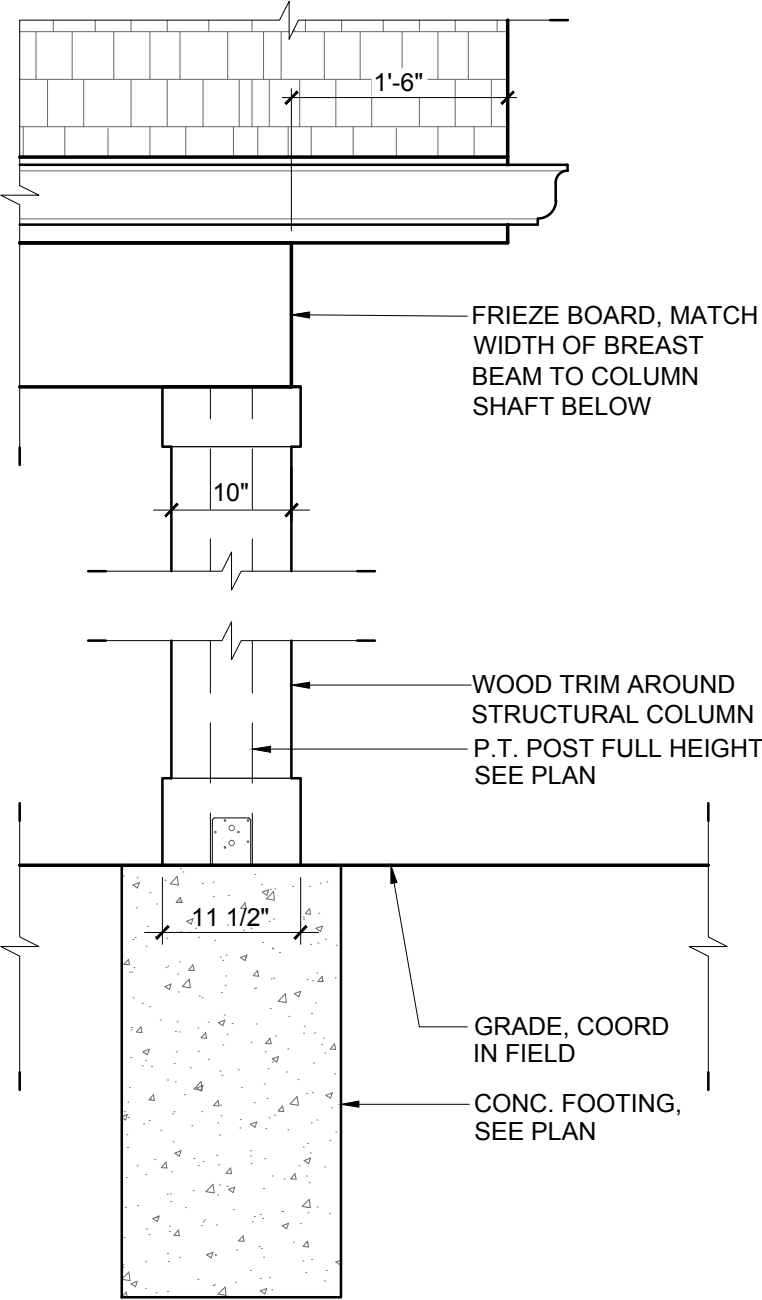
WEST ELEVATION



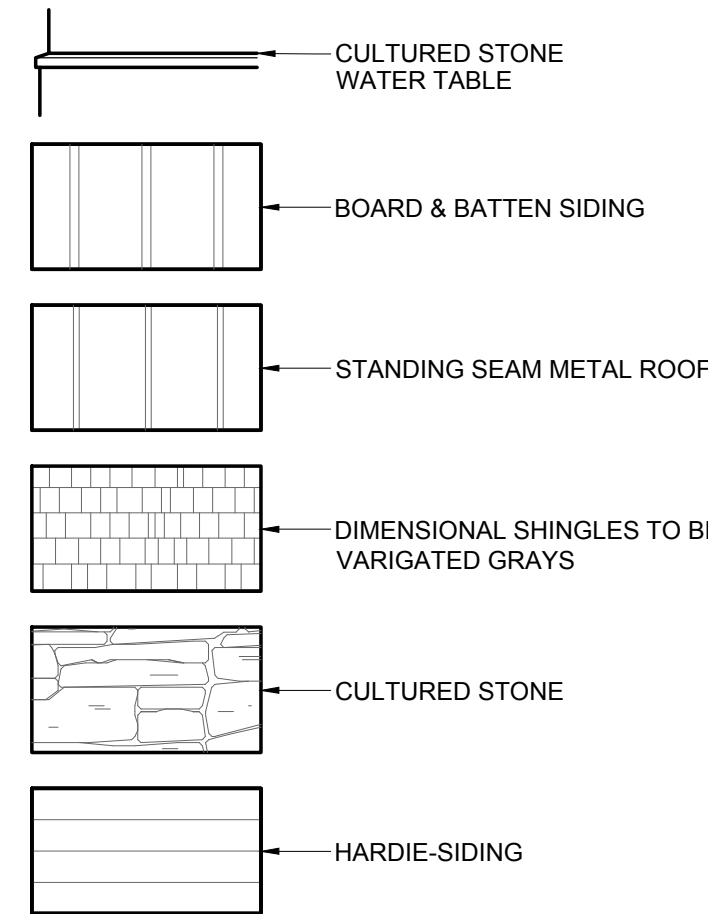
1

EAST ELEVATION

TYPICAL COLUMN DETAIL



ELEVATION MATERIAL LEGEND



#	DATE	ISSUED WITH: CHANGE DESCRIPTION

ELITE LAND TITLE
NEW OFFICES

ELITE
LAND TITLE

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PRELIMINARY
PROPOSED CONSTRUCTION

STATE OF MINNESOTA
SCOTT B. BAKER
LICENSE #14654
EXPIRATION DATE 12/31/2015

SCALE: 1/4" = 1'-0"

SHEET # / DESCRIPTION
EXTERIOR ELEVATIONS

A2-2

DATE: 02.23.2015
PRELIMINARY
SBA STUDIOS PROJECT # 2014-391