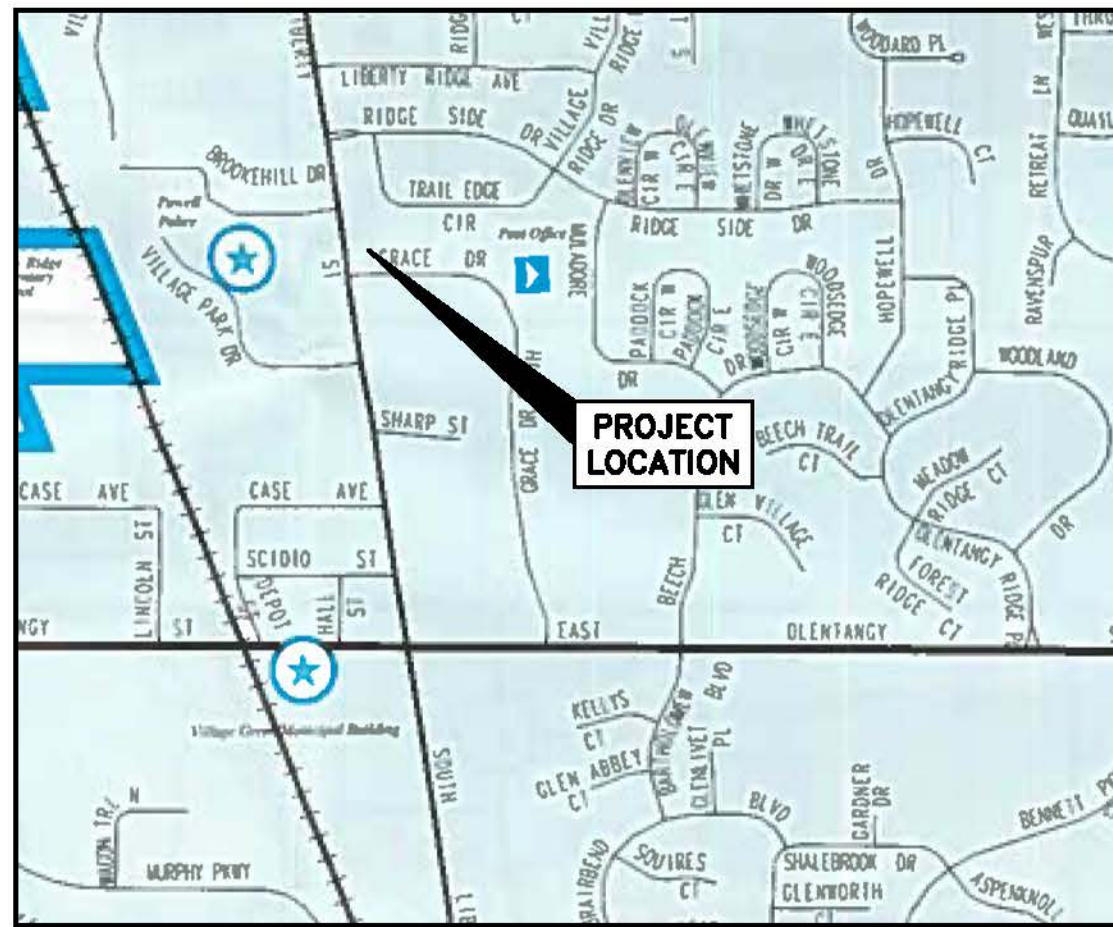


TOPOGRAPHICAL UTILITY SURVEY & DEMOLITION PLAN
BIG HEARTS LITTLE HANDS CHILDCARE
14 GRACE DRIVE
POWELL, OHIO



VICINITY MAP
NOT TO SCALE

FLOOD ZONE

BY GRAPHICAL PLOTTING ONLY, THE SUBJECT PREMISES IS LOCATED IN ZONE "X". (AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL FLOODPLAIN), AS DETERMINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, NATIONAL FLOOD INSURANCE PROGRAM, AND SHOWN ON THE FLOOD INSURANCE RATE MAP, 39041C0237K, EFFECTIVE DATE: APRIL 16, 2009.

BENCH MARKS

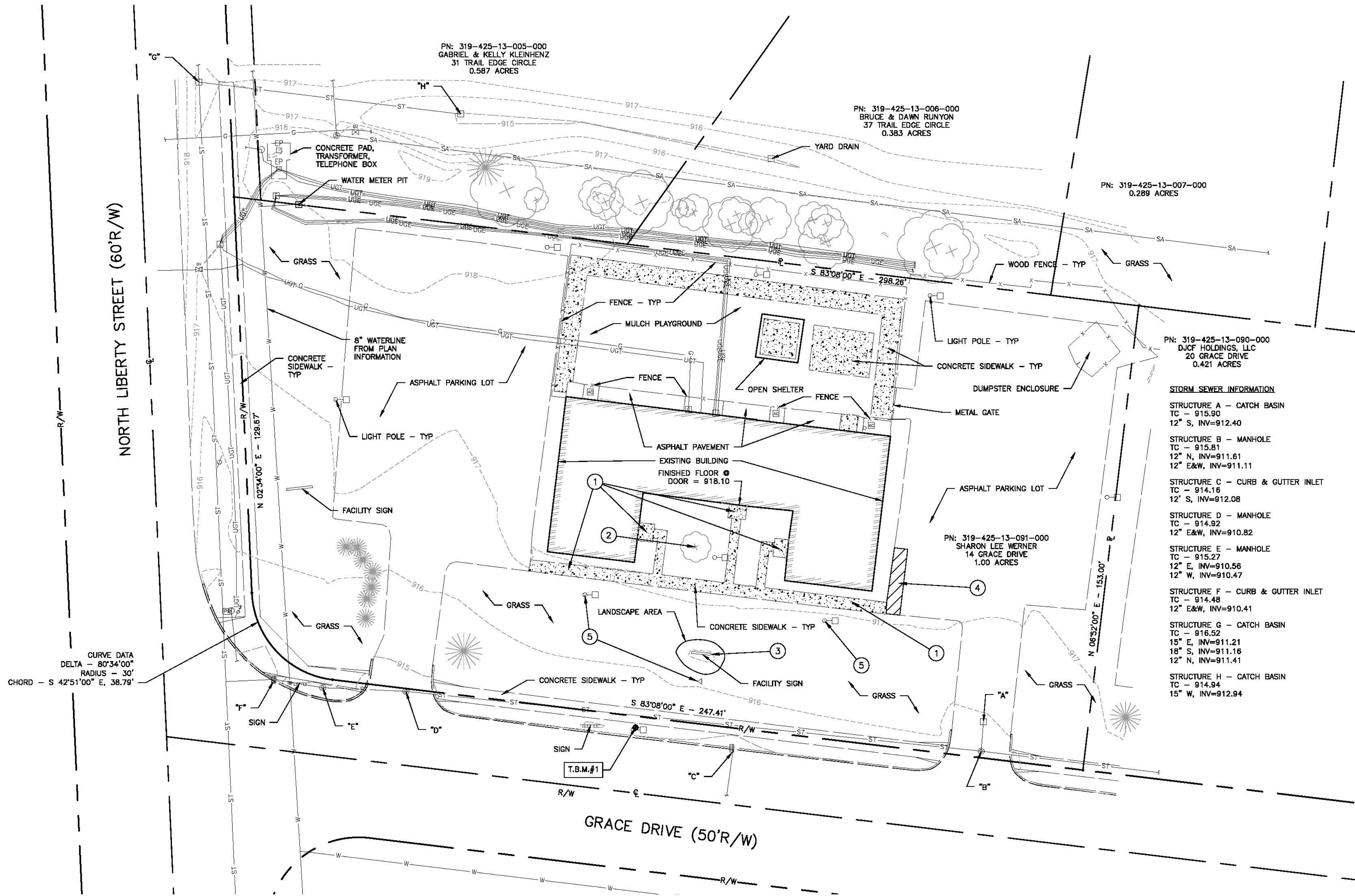
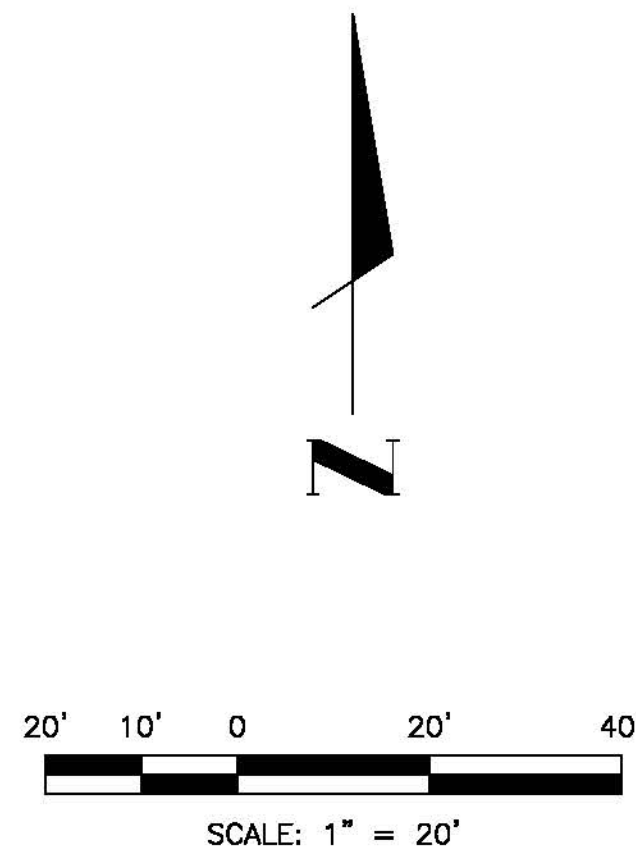
DELAWARE COUNTY SURVEY MARK
DESIGNATION: 97-056

BRASS TABLET SET IN CONCRETE FLUSH WITH THE GROUND, STAMPED "97-056" AND LOCATED 22' NORTH OF THE CENTERLINE OF EAST ORANGE ROAD, 110' EAST OF NORTH CENTRAL DRIVE.
ELEVATION = 948.3 (NAVD 88)

T.B.M. #1: CONCRETE NAIL IN NORTHEAST CORNER CONCRETE LIGHT POST BASE.
ELEVATION = 915.27 (NAVD 88)

DEMOLITION PLAN NOTES

1. REMOVE EXISTING SIDEWALK IN PROPOSED BUILDING AREA.
2. REMOVE EXISTING TREE.
3. REMOVE EXISTING FACILITY SIGN. RETURN TO PROPERTY OWNER.
4. REMOVE EXISTING ASPHALT PAVEMENT UNDER PROPOSED SIDEWALK. SEE PAVING PLAN FOR SIDEWALK LOCATION.
5. REMOVE SITE LIGHTING - RETURN FIXTURES TO PROPERTY OWNER.
- THERE ARE EXISTING SHRUBS/LANDSCAPE AREAS THAT ARE TO BE REMOVED IN DEVELOPMENT AREA.



SYMBOLS

● 5/8"x30" REBAR SET W/ YELLOW I.D. CAP MARKED "BRH GROUP"	⊗ FIRE HYDRANT	□ TELEPHONE PEDESTAL
▲ RAILROAD SPIKE SET	⊗ WATER VALVE	⊗ TELEPHONE POLE
■ MAG NAIL SET	⊗ WATER METER	⊗ TELEPHONE MARKER
○ FOUND, AS LABELED	⊗ CLEAN OUT	⊗ UTILITY POLE
△ RAILROAD SPIKE FOUND	⊗ GAS VALVE	⊗ GUY WIRE
⊞ MONUMENT FOUND	⊗ GAS METER	⊗ ELECTRIC TRANSFORMER
⊙ CENTERLINE	⊗ GAS MARKER	⊗ ELECTRICAL PULL BOX
⊞ PROPERTY LINE	⊗ CATCH BASIN	⊗ A/C UNIT
⊞ SIGN	⊗ CURB INLET	⊗ GUARD RAIL
● BOLLARD	⊗ MANHOLE (TYPE NOTED ON PLAN)	⊗ SIGNAL POLE
⊞ MAIL BOX	⊗ RIGHT-OF-WAY LINE	⊗ FLAG POLE
	⊗ LIGHT POLE	⊗ PID: PARCEL NUMBER

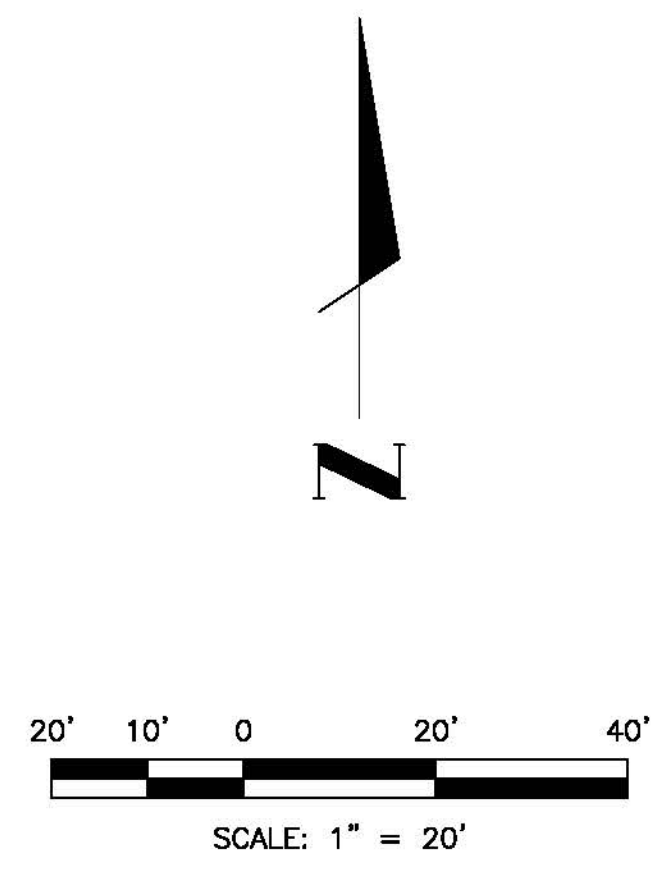
UTILITY STATEMENT

THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES AS SHOWN HEREON. THE UNDERGROUND UTILITIES SHOWN HEREON HAVE BEEN APPROXIMATELY PLOTTED BASED ON LOCATIONS FROM AN ACTUAL FIELD SURVEY, AND/OR INFORMATION OBTAINED FROM RECORD UTILITY PLANS AND ATLAS MAPS AS MAY BE AVAILABLE FROM LOCAL MUNICIPALITIES OR PUBLIC AND QUASI-PUBLIC UTILITY COMPANIES. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN HEREON COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN HEREON ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH HE DOES STATE THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE OHIO REVISED CODE, SECTIONS 3781.25 THROUGH 3781.32 REQUIRES THAT THE CONTRACTOR NOTIFY THE UTILITY PROTECTION SERVICE AND LOCAL UTILITY FACILITIES TWO WORKING DAYS PRIOR TO EXCAVATION.

O.U.P.S. LOCATE TICKET NO. A620401220

THE FOREGOING TOPOGRAPHIC SURVEY HAS BEEN PREPARED BY BRH GROUP, INC. FROM AN ACTUAL FIELD SURVEY OF THE PREMISES IN AUGUST, 2016. BOUNDARY LINES SHOWN HEREIN ARE BASED ON DEED INFORMATION AND FIELD OBSERVATIONS AND IS NOT A BOUNDARY SURVEY PURSUANT TO CHAPTER 4733-37 OF THE OHIO ADMINISTRATIVE CODE, THE SURVEY HAS BEEN PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT.

DATE	
REVISIONS	
NO.	
JOB NO.	40322
DRAWN BY	SRB
DESIGNED BY	
CHECKED BY	RH
FIELD CREW	RDG
FIELD BOOK	
DATE	10-24-2016
SCALE	1" = 20'



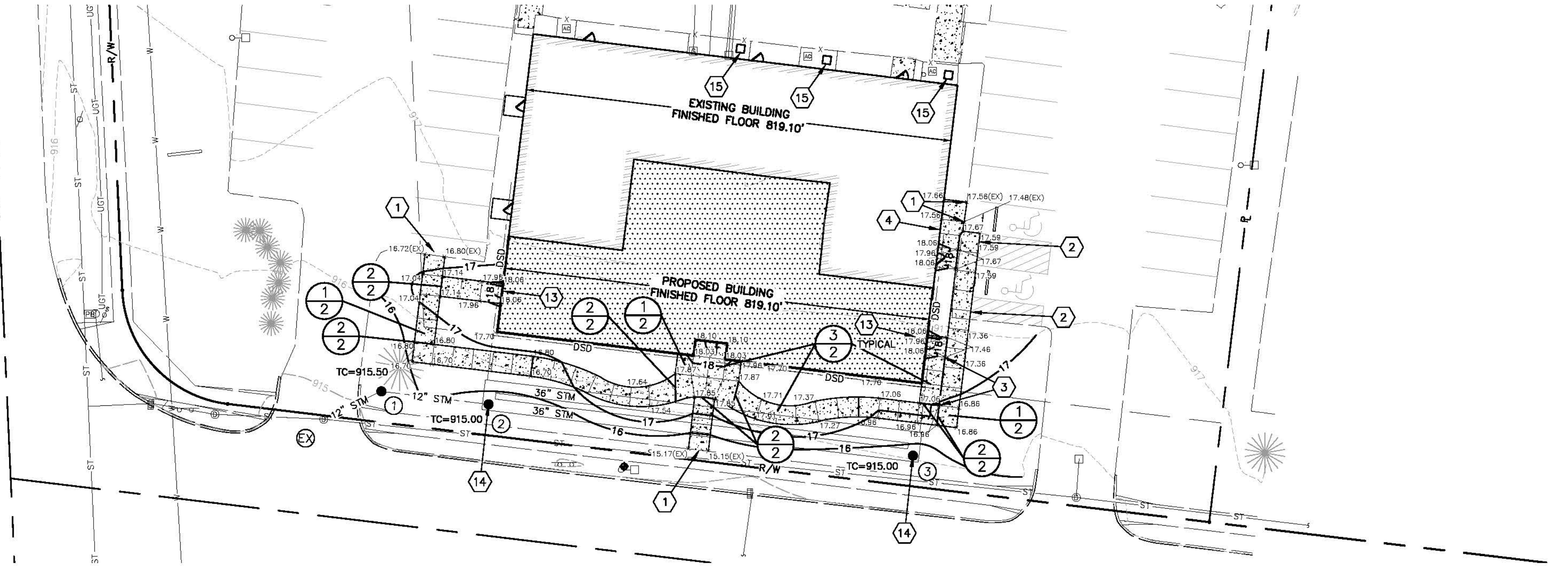
- LEGEND**
- = EX STORM MH
 - = EX STORM CB
 - = FLOW
 - x 36.88sw = SIDEWALK ELEVATION
 - x 36.88(EX) = EXISTING ELEVATION
 - ST — = STORM SEWER
 - DSD — = DSD/DOWNSPOUT DRAIN
 - W — = WATER LINE
 - SA — = SANITARY SEWER
 - UGE — = ELECTRIC
 - UGT — = TELEPHONE
 - G — = GAS
 - UD — = UNDERDRAIN

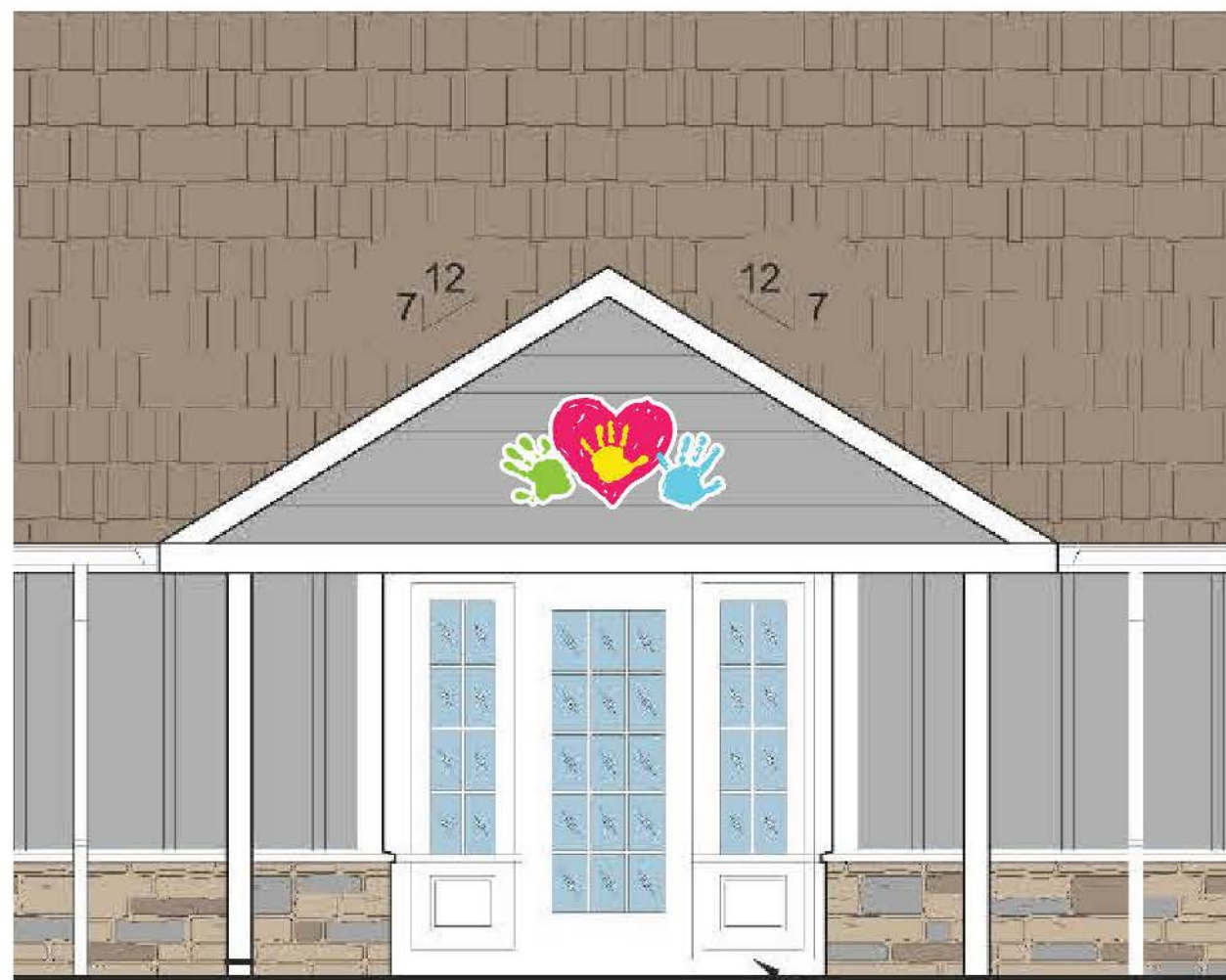
ALL ELEVATIONS ARE TOP OF PROPOSED PAVEMENT UNLESS OTHERWISE NOTED. ADD 900 FEET TO ALL ELEVATIONS TO ACHIEVE USGS DATUM.

- PAVEMENT MARKING LEGEND**
- PS — PARKING SPACE (SOLID WHITE-4" WIDE)
 - TL — TRANSVERSE LINE (SOLID WHITE-4" WIDE 12" O/C @ 45° ANGLE, 4" WIDE OUTER BAND)
 - WS — INTERNATIONAL SYMBOL OF ACCESS (WHEELCHAIR SYMBOL) (36" HIGH, 41" WIDE, 4" STROKE, WHITE)
- PAVEMENT MARKING SHALL MEET THE REQUIREMENTS OF COC ITEM 640 "PAVEMENT MARKING". PAINT MATERIAL SHALL BE SHERWIN-WILLIAMS HOTLINE 0.0TM2320 WHITE FAST DRY WATERBOURNE TRAFFIC MARKING PAINT. PAINT SHALL BE INSTALLED PER MANUFACTURER REQUIREMENTS.
- ALL SIGNAGE & STRIPPING SHALL MEET THE REQUIREMENTS OF THE, "OHIO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES" CURRENT ADDITION.

NORTH LIBERTY STREET (60'R/W)

NORTH LIBERTY





& Logo - Option D

Proposed Sign

Scale: nts



Duplicate of Existing Sign on Liberty Rd Frontage
to be Placed on Grace Drive Frontage
(24 Sq. Ft. - DS)

Proposed Sign

Scale: nts



GRACE DRIVE (50' R/W)

NOTE: SEE EXTERIOR ELEVATIONS FOR CAN LIGHTS LOCATED IN EAVES.

Landscape Plan

Scale 1"=20'-0"

Big Hearts Little Hands

Applicant:
Brenda Warnock
14 Grace Drive
Powell, Ohio 43065
Phone: 614.499.2596

Design Professionals:
Bogenrife Architecture LLC
1443 Snowmass Road
Columbus, Ohio 43235
Phone: 614.310.5922

BRH Group
1500 West Third Avenue
Columbus, Ohio 43212
Phone: 614-220-9122

Property owners within 250:
See drawing and attached list.

Legal Description of Property:
Lot 527 Huffman Subdivision No.2.

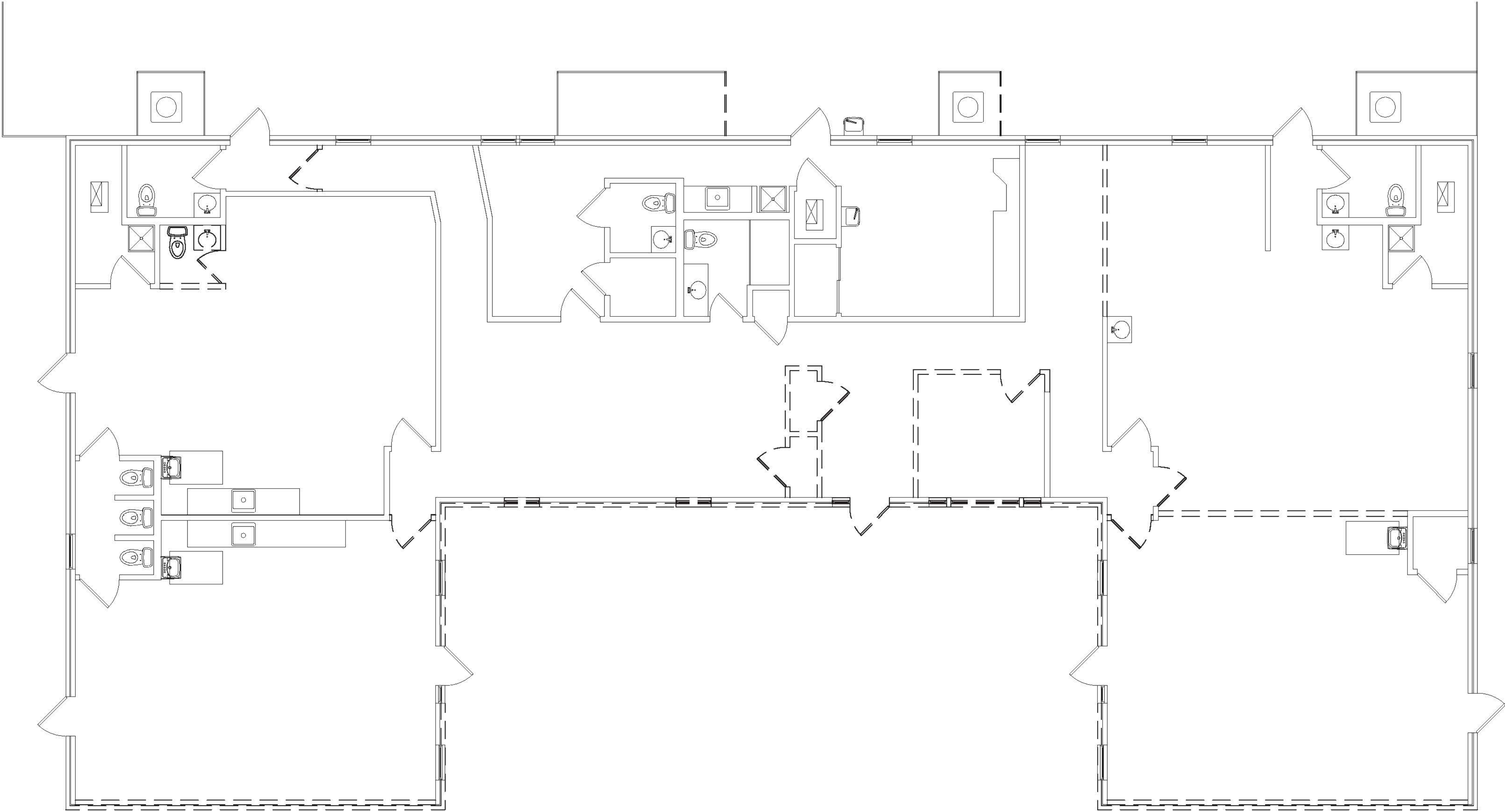
Description of present use:
The property is currently used as a day-care and will continue to be used as a day-care after the expansion.

Statement of Impact:
We feel the impact of the expansion will mostly be positive. Big Hearts Little Hands provides quality day care at a reasonable price and the expansion will allow the business to better serve the community. The paving will not be increased on the site as we already meet the parking requirement after the expansion. The impervious surface increase will mostly be from the building.

[illegible]

BIG HEARTS LITTLE HANDS

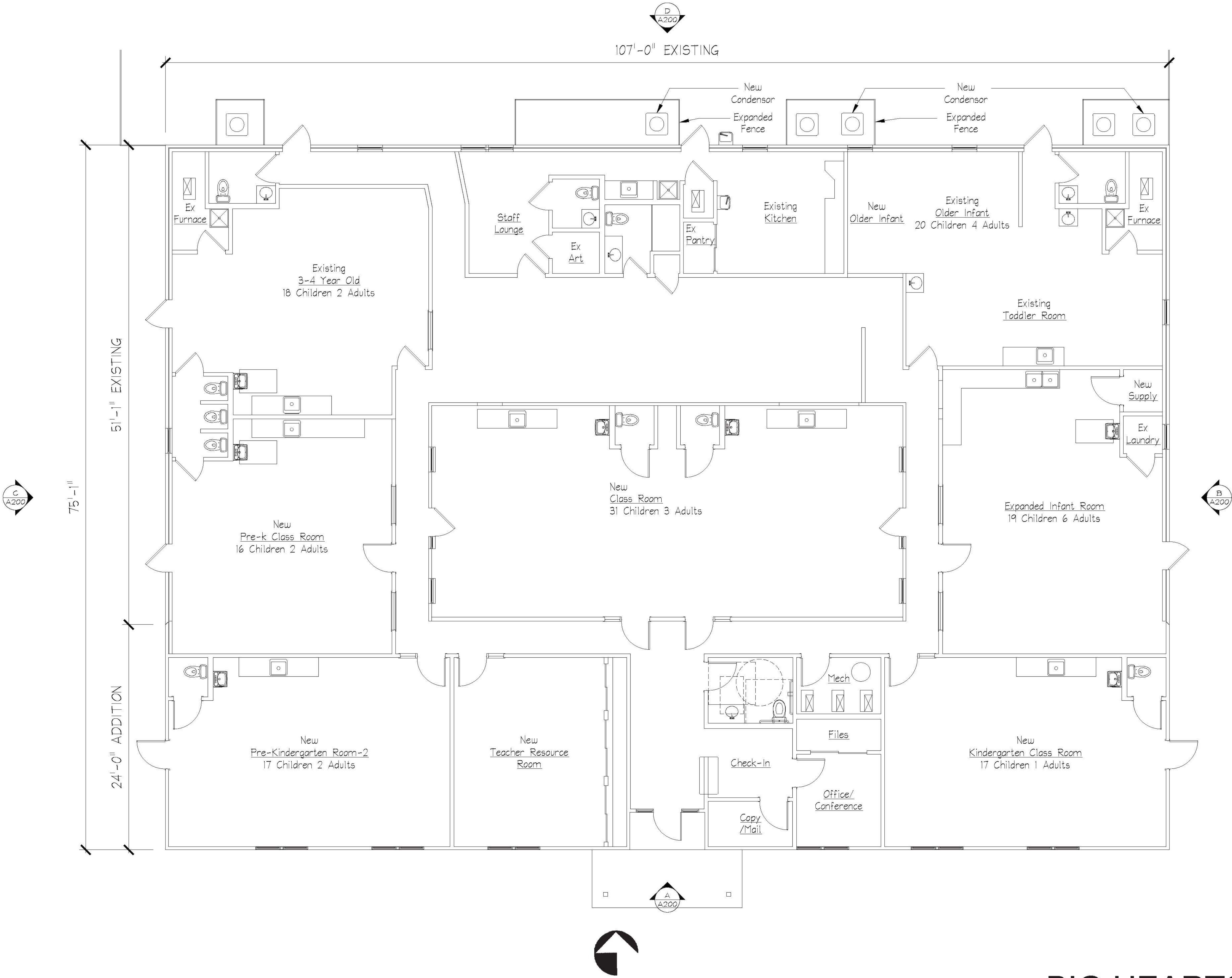
14 GRACE DRIVE
POWELL, OHIO 43065
21 OCTOBER 2016



Demolition Plan
Scale: 3/16"=1'-0"

BIG HEARTS LITTLE HANDS

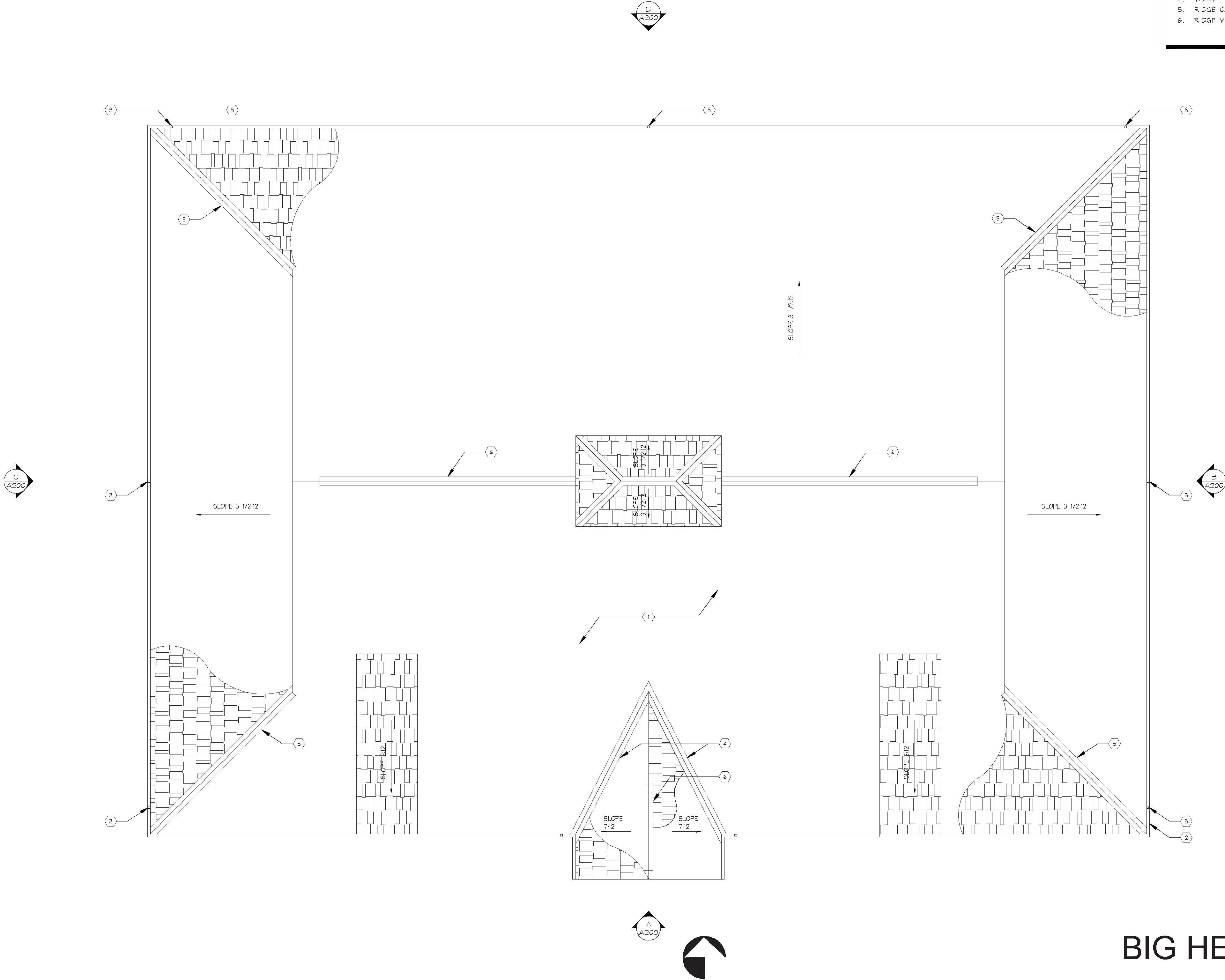
14 GRACE DRIVE
POWELL, OHIO 43065
21 OCTOBER 2016



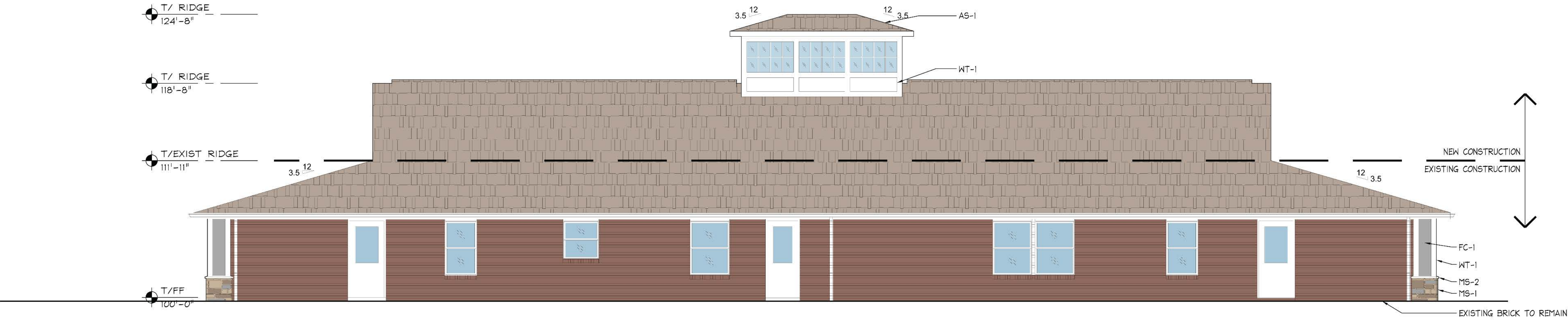
Floor Plan
Scale: 3/16"=1'-0"

BIG HEARTS LITTLE HANDS
14 GRACE DRIVE
POWELL, OHIO 43065
21 OCTOBER 2016

	ROOF PLAN CODED NOTES
1.	DIMENSIONAL SHINGLES - SEE ELEVATIONS (TYPICAL ALL ROOF PLANES)
2.	PREFINISHED ALUMINUM GUTTER (TYP)
3.	PREFINISHED DOWNSPOUT
4.	VALLEY FLASHING
5.	RIDGE CAP
6.	RIDGE VENT



Roof Plan
Scale: 3/16"=1'-0"



EXTERIOR FINISH SCHEDULE				
FINISH	MATERIAL	MANUFACTURER	COLOR	FINISH
AS-1	ASPHALT SHINGLES	GAF	WEATHERED WOOD	-
FC-1	FIBER CEMENT VERTICAL SIDING W/ WOOD BATTENS	HARD/BOARD	PRIMED PAINT PT-1	SELECT CEDARMILL
FC-2	FIBER CEMENT LAP SIDING	HARD/BOARD	PRIMED PAINT PT-1	SELECT CEDARMILL
WT-1	WOOD TRIM	NA	PAINT PT-2	-
MS-1	MANUFACTURED STONE VENEER	HERITAGE STONE	SANDUSKY SHORE LIMESTONE	-
MS-2	MANUFACTURED STONE VENEER - ACCESSORY	LANDMARK	WATERTABLE PROFILE	-
PT-1	PAINT	SHERWIN WILLIAMS	SW 2849 "WESTCHESTER GRAY"	-
PT-2	PAINT	SHERWIN WILLIAMS	SW 2829 "CLASSICAL WHITE"	-

